

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
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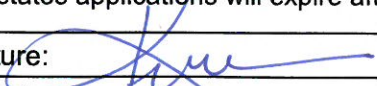
Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-30-99</u>	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Thornton Pointe</u>			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <u>8800 Wadford Road</u> <u>Raleigh, N.C.</u>			
Site P.I.N.(s): <u>1738-12-4451</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>New Building w/ Associated Parking</u>			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: <u>AF Thornton, LLC</u>		Title: <u>Jeremy Medlin VP of Real Est.</u>	
Address: <u>1330 Sunday Drive Ste. 105 Raleigh, N.C. 27607-5196</u>			
Phone #: <u>919-258-2087</u>		Email: <u>JMedlin@GreenHawkCorp.com</u>	
Applicant Name: <u>Kirby R. Bell, Jr. PE</u>			
Company: <u>Bass, Nixon &amp; Kennedy, Inc</u>		Address: <u>6310 Chapel Hill Rd. Raleigh, N.C. 27607</u>	
Phone #: <u>919-851-4422</u>		Email: <u>919-851-8968</u>	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):  CX-3-CU	Existing gross floor area (not to be demolished): N/A
	Existing gross floor area to be demolished: N/A
Gross site acreage: 1.5 Ac.	New gross floor area: 11,600 SF
# of parking spaces required: 34	Total sf gross (to remain and new): 11,600 SF
# of parking spaces proposed: 46	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Retail Sales	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.97 Square Feet: 42,334
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	(Imp. includes offsite road improvements)
If yes, please provide: N/A	
Alluvial soils: N/A	
Flood study: N/A	
FEMA Map Panel #: N/A	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>Kirby R. Bell, Jr.</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: 3/22/21
Printed Name: Kirby R. Bell, Jr	

# ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

### Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-986-2600

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 102.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only: Case #:** Planner (print):

Please review UDO Section 102.8, as amended by text change case **TC-14-19** to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Formal and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Certificate of Appropriateness #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Open lot
	<input type="checkbox"/> Board of Adjustment #:
	Zoning Case #: <b>Z-30-99</b>
	Administrative Alternate #:

**GENERAL INFORMATION**

Development name: **Thornton Pointe**

Inside City limits? Yes  No

Property address(es): **8800 Wadford Drive, Raleigh, N.C.**

Site P.L.N.(s): **1738-12-4451**

Please describe the scope of work. Include any additions, expansions, and change of use:

**New Building w/ Associated Parking**

Current Property Owner/Developer Contact Name: **NOTE: please attach purchase agreement when submitting this form.**

Company: **A.F. Thornton, LLC** Title: **Jeremy Medlin VP of Real Est.**

Address: **1330 Sunday Drive Ste 105 Raleigh, N.C. 27607-5196**

Phone #: **919-258-2087** Email: **JMedlin@GreenHawkCorp.com**

Applicant Name: **Kirby R. Bell, Jr. PE**

Company: **Bass, Nixon & Kennedy, Inc.** Address: **6310 Chapel Hill Rd. Raleigh, N.C. 27607**

Phone #: **919-851-4422** Email: **919-851-8968**

## SITE DATA

PROJECT NAME:	THORNTON'S POINTE
PIN:	1738-12-4451
OWNER:	AF THORNTON, LLC
ZONING:	CX-3-CU
CURRENT USE:	VACANT
PROPOSED USE:	OFFICE
BUILDING SQUARE FOOTAGE:	11,600 SF
PARKING REQUIRED:	11 SPACES
OFFICE: 1SPACE/400 S.F. (4,175 S.F.)	23 SPACES
RETAIL: 1 SPACE/300 S.F. (6,830 S.F.)	2 RACKS
SHORT TERM BIKE: 1 SPACE/10,000 S.F.	3 RACKS
LONG TERM BIKE: 1 SPACE/5,000 S.F.	34 SPACES
TOTAL PARKING PROVIDED:	44 SPACES (INCLUDING 2 HC SPACES)
TOTAL BIKE PARKING PROVIDED:	4 RACKS
BUILDING SETBACKS:	
FRONT	5'
SIDE	0'-6"
CORNER SIDE	5'
REAR	0'-6"
PARKING SETBACKS:	
FRONT	10'
SIDE	3'
CORNER SIDE	10'
REAR	3'
SITE AREA:	
TOTAL EXISTING AREA (GROSS):	65,280 SF (1.50 AC)
PROPOSED RIGHT-OF-WAY DEDICATION:	4,269 SF (0.098 AC)
TOTAL PROPOSED AREA (NET):	61,011 SF (1.38 AC)
AMENITY AREA: (10% REQUIRED)	6,101 S.F.
REQUIRED AMENITY AREA:	6,302 S.F.
PROVIDED OPEN SPACE:	(10.33%)
IMPERVIOUS AREAS:	
EX. IMPERVIOUS:	6,264 SF
EX. IMPERVIOUS REMOVED:	1,182 SF
EX. IMPERVIOUS REMAINING:	5,082 SF
PROP. IMPERVIOUS (ON SITE):	39,973 SF
PROP. IMPERVIOUS OFF SITE:	1,119 SF
TOTAL IMPERVIOUS (ON SITE, REMAINING & OFF SITE):	46,174 SF
TOTAL AREA DRAINAGE AREA INCLUDING STREETS:	70,100 SF

# THORNTON'S POINTE

## 8800 WADFORD DRIVE

### CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

#### ADMINISTRATIVE SITE REVIEW

## CITY OF RALEIGH PROJECT NO. ASR-0027-2021

## SHEET INDEX

COVER
RECORD PLAT BM 2016 PG 1620
<b>C1.0 EXISTING CONDITIONS &amp; DEMOLITION PLAN</b>
<b>C1.1 SITE PLAN</b>
<b>C2.1 UTILITY PLAN</b>
<b>C3.1 GRADING AND DRAINAGE PLAN</b>
<b>C3.2 DRAINAGE DETAILS</b>
<b>C3.3 DRAINAGE DETAILS</b>
<b>L1.1 LANDSCAPE PLAN</b>
<b>SL-101 LIGHTING PLAN</b>
<b>AS-1 BUILDING FOOTPRINT</b>
<b>AS-2 BUILDING ELEVATIONS</b>

## Z-30-99 ZONING CONDITIONS

Z-30-99 Thornton Road, north side, east of Capital Boulevard being Wake County Tax Map Parcels 1738.14, 22 7801, 1738.13, 12 3767, 3527, 1738.17, 12 2339, 3323. Approximately 17 acres to be rezoned to Shopping Center Conditional Use (20 acres) and Office and Institutional-2 Conditional Use (66 acres).

Conditions: (11/9/99)

- All development shall comply with CR-7107.
 

**Response:** The development will comply with all City of Raleigh Stormwater requirements and will comply with CR-7107.
- Reimbursement for future right-of-way dedications shall be based upon the pre-existing zoning. It shall be to the provisions of Code Sec. 10-3024 as a part of any subdivision of the subject property, and prior to issuance of building permits from any approved subdivision, the right-of-way for a collector shall be provided to Capital Boulevard (US Highway 17) as generally shown on attached plat dated October 22, 1999, entitled "Proposed Rezoning Plan for Thornton Road" and prepared for Tibitt Development Company, shall be dedicated from the subject property in any event, subject to the provisions of Code Sec. 10-3024, owner shall dedicate right-of-way from the subject property for the parallel collector along Capital Boulevard on or before said building converts to an accessory.
 

**Response:** Collector Street (Wadford Drive) right-of-way has been dedicated.
- The following uses, otherwise permitted, shall be prohibited in the C6-1.2 CUD district:
  - Emergency Shelter Type A and Emergency Shelter Type B;
  - Cemetery;
  - Artificial landing strip, heliport, and;
  - Manufacturing-Specialized.

**Response:** This development is not located within the C6-1.2 CUD District.
- The following uses, otherwise permitted, shall be prohibited in the SC District:
  - Emergency Shelter Type A and Emergency Shelter Type B;
  - Cemetery;
  - Landfill (debris from on site);
  - Adult establishment;
  - Artificial landing strip, heliport, and;
  - Kernel/Cathey.

**Response:** The proposed development is not one of the above listed uses. The proposed use is residential townhouses.
- A Natural Protective Yard area shall be maintained around trees of significant aesthetic value near the Thornton Road right-of-way shown on plat entitled "Wadford Boundary Survey" prepared by John A. Edwards & Company, dated August 19, 1999.
 

**Response:** No significant aesthetic trees are located on the property associated with this development plan.
- All refuse containers, mechanical/maintenance facilities, and HVAC units shall be screened such that they are not visible from any public streets right-of-way or residential zoning district.
 

**Response:** All refuse containers, mechanical/maintenance facilities, and HVAC units will be screened from the public rights-of-way.
- No land disturbing activity shall be permitted within any 100-year floodplain located on the property.
 

**Response:** No 100-year floodplain exists on the property associated with this development.
- Any retail development of the SC CUD portion shall be limited to floor area ratios of 3:1 and shall conform with only landscaping and utility of signage.
 

**Response:** No office development is associated with this development plan.
- Any retail development of the SC CUD portion of the property shall not include single uses or uses of 65,000 square feet, and shall conform with only landscaping and utility of signage. Retaining walls shall be constructed.
 

**Response:** No retail development is associated with this development plan.
- No dwelling unit or equivalent dwelling unit shall be established unless it is part of or adjoining a residential unit located on a minimum tract or a residential subdivision consisting of at least ten (10) acres.
 

**Response:** The proposed property is not one of the above listed uses. The proposed use is residential townhouses.
- Prior to the issuance of Certificates of Occupancy for more than 70,000 square feet of retail use, no less than 15 acres shall be developed for residential use.
 

**Response:** Acknowledged, more than 70,000 square feet of retail use has not been proposed currently.
- Cumulative residential development shall be a minimum of 8 units per acre and a maximum of 20 units per acre.
 

**Response:** Proposed density is 11.32 units/acre.
- A residential development shall be centrally located such that it is adjacent to the Shopping Center CUD and office development sites, substantially as shown on a map dated October 22, 1999, entitled "Proposed Rezoning Plan - Thornton Road" and prepared for Tibitt Development Company.
 

**Response:** Proposed residential development is centrally located.
- In order to encourage pedestrian use of the SC CUD site, a pedestrian access shall connect the proposed residential development to the SC CUD Portion of the pedestrian access located within SC CUD shall be at least 8 feet wide and covered.
 

**Response:** Pedestrian access via sidewalks is provided to connect the residential development to other portions of the SC CUD. Portions of the SC CUD that are to be developed as commercial/retail uses will have pedestrian access with portions 8' wide and covered.
- The development will comply with all City of Raleigh Stormwater requirements and will comply with CR-7107.
 

**Response:** No retail space is proposed with this development plan.
- A minimum of 5' of the total square footage of development in the SC CUD zoning west of the loop road shown on a map dated October 22, 1999, entitled "Proposed Rezoning Plan - Thornton Road" and prepared for Tibitt Development Company, shall consist of 0% uses.
 

**Response:** No 0% uses are proposed with this development plan.
- Development of the Shopping Center CUD shall consist of a neighborhood scale shopping/service center facility and no more than three (3) retail out parcels.
 

**Response:** No shopping, service center facilities or retail are proposed with this development plan.
- If the shopping/service center facility includes multiple levels, office, institutional and residential uses shall occupy the upper levels.
 

**Response:** No shopping-center facility is proposed with this development plan.
- Any retail uses located in the SC CUD on the east side of the loop road, as shown on map dated October 22, 1999, entitled "Proposed Rezoning Plan - Thornton Road" and prepared for Tibitt Development Company, shall be located in a building of at least two stories and shall include office and/or residential uses on the upper floors.
 

**Response:** No retail uses on the east side of the loop road are proposed with this development plan.
- All retail out parcels which are immediately adjacent to a residential development or office development shall provide safe pedestrian cross access with access.
 

**Response:** No retail out parcels which are immediately adjacent to a residential development or office development are proposed with this development plan.
- Cross Access - Upon complete build-out of the subject property, a level of cross access shall be achieved such that a pedestrian or vehicle or both can access every developed parcel from another developed parcel. This level of cross access may be achieved through one or more of the following:
  - Vehicle Cross Access
    - Existing or newly dedicated public streets and rights-of-way;
    - Private driveways;
    - Parking lots;
    - Other vehicular surface areas
  - Pedestrian Cross Access
    - Sidewalk (inside and outside of public rights-of-way)
    - Cross-walks;
    - Walking paths;
    - Jogging paths;
    - Block yards;
    - Other pedestrian access ways;

**Response:** The development will be connected to all adjacent properties by both private drives and sidewalks.
- Property owner shall make available to the City a site for a municipal bus stop, the specific location of which will be determined at site plan approval.
 

**Response:** A transit assessment has been performed at the intersection of the private drive and Thornton Commons Drive.
- Hotels, motels and extended stay facilities, as defined by the City of Raleigh code, shall be prohibited within the area designated for residential development as generally shown on a map dated October 22, 1999, entitled "Proposed Rezoning Plan - Thornton Road" and prepared for Tibitt Development Company.
 

**Response:** No hotels, motels or extended stay facilities are proposed with this development plan.
- Prior to condition 24 above, no more than two hotel, motel or extended stay facilities, as defined by the City of Raleigh code, or any combination thereof shall be allowed on the subject property.
 

**Response:** No hotels, motels or extended stay facilities are proposed with this development plan.
- Prior to the issuance of Certificates of Occupancy for any uses on the SC CUD east of the loop road as shown on a map dated October 22, 1999, entitled "Proposed Rezoning Plan - Thornton Road" and prepared for Tibitt Development Company, a minimum of 10,000 square feet within the SC CUD area will have a primary building entrance facing residential development to the east and/or south.
 

**Response:** This development plan is not located east of the loop road and development is for residential use.

### DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
CX-3-CU	N/A
	Existing gross floor area to be demolished:
	N/A
Gross site acreage: 1.5 Ac.	New gross floor area: 11,600 SF
# of parking spaces required: 34	Total of gross (to remain and new): 11,600 SF
# of parking spaces proposed: 46	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Retail Sales	

### STORMWATER INFORMATION

Existing Impervious Surface:	Acres: 0	Square Feet: 0	Proposed Impervious Surface:	Acres: 0.97	Square Feet: 42,334
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, please provide: N/A (imp. includes offsite road improvements)				
Aluvial soils: N/A					
Flood study: N/A					
FEMA Map Panel #: N/A					
Neuse River Buffer: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>					

### RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br	4br or more
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

### SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in compliance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, **Kirby R. Bell, Jr.**, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

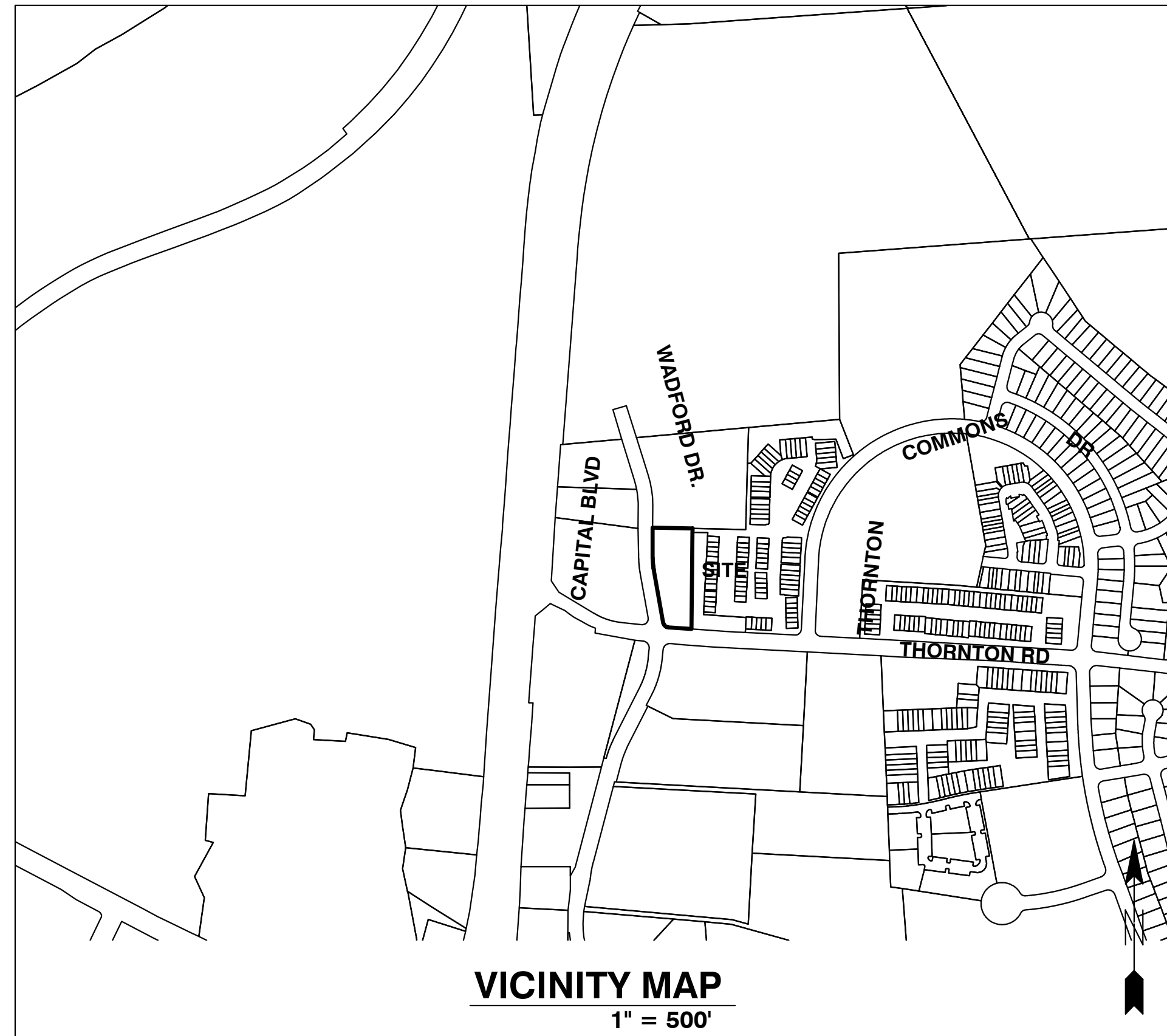
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: **[Signature]** Date: **3/22/21**

Printed Name: **Kirby R. Bell, Jr.**

## LEGEND

	EXISTING CURB INLET		NEW CURB INLET
	EXISTING GRATE INLET/YARD INLET		NEW GRATE INLET/YARD INLET
	EXISTING FLARED END SECTION		NEW FLARED END SECTION
	EXISTING FIRE HYDRANT		NEW FIRE HYDRANT
	EXISTING BLOW-OFF ASSEMBLY		NEW BLOW-OFF ASSEMBLY
	EXISTING GATE VALVE		NEW GATE VALVE
	EXISTING REDUCER		NEW REDUCER
	EXISTING WATER METER		NEW WATER METER
	EXISTING SAN SEWER MANHOLE		NEW PLUG
	EXISTING CLEAN OUT		NEW MANHOLE
	EXISTING POWER POLE		NEW CLEAN OUT
	EXISTING TELEPHONE PEDESTAL		NEW SIGN
	EXISTING AREA LIGHT		IRON PIPE
	EXISTING SIGN		BENCHMARK



VICINITY MAP  
1" = 500'

RECORDED DOCUMENTS RELATING TO THIS PROJECT:

OFF SITE SCM - "DECLARATION OF MAINTENANCE COVENANT AND GRANT OF PROTECTION EASEMENTS FOR STORMWATER CONTROL FACILITIES"  
DB. 014293 PG 01206

DECLARATION OF LANDSCAPE EASEMENT  
DB 014293 PGS 01214 - 01219

DECLARATION OF CROSS-ACCESS EASEMENT  
DB 014293 PGS 01207 - 01213

ZONING CASE NUMBER Z-30-99

**NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH**

**OWNER:**  
**A.F. THORNTON, LLC**  
**1330 SUNDAY DRIVE, STE 105**  
**RALEIGH, NC 27607-5196**

**CONTACT: JEREMY MEDLIN**  
**PHONE: (919) 258-2087**  
**EMAIL: jmedlin@greenhawkcorp.com**

**DEVELOPER:**  
**GREENHAWK CORPORATION, INC.**  
**1330 SUNDAY DRIVE, STE 105**  
**RALEIGH, NC 27607-5196**

**CONTACT: JEREMY MEDLIN**  
**PHONE: (919) 258-2087**  
**EMAIL: jmedlin@greenhawkcorp.com**

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE MUNICIPALITY STANDARDS, SPECIFICATIONS, AND DETAILS. WORK IN THIS PROJECT SHALL ALSO CONFORM TO THESE: LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, THE FINAL GEOTECHNICAL REPORT, AND GENERAL DESIGN STANDARDS. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR TRENCH SAFETY DURING ALL PHASES OF CONSTRUCTION.
- THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (ULOCAL) AT 1-800-632-4949 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- TRAFFIC CONTROL ON PUBLIC STREETS SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AND AS FURTHER DIRECTED BY CITY AND STATE INSPECTORS.
- ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH THE CITY ENGINEERING DIVISION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES OR OTHER METHODS APPROVED BY THE ENGINEER AND APPLICABLE MUNICIPALITY AS REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING OUT ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AS SET OUT IN ASTM STANDARD D998. STONE BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTM STANDARD D1557. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A CERTIFIED MATERIALS TESTING LABORATORY AND THE CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REPRESENTING THE LABORATORY.
- PROPOSED CONTOURS AND OUTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES/SUPERELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- THE CONTRACTOR SHALL REVIEW, VERIFY AND COORDINATE ALL DIMENSIONS SHOWN ON PLANS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER PRIOR TO STARTING PROJECT.
- ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE NORTH CAROLINA STATE BUILDING CODE, VOL. 1-C ACCESSIBILITY CODE.
- OWNER SHALL PROVIDE FENCING AND OTHER SAFETY MEASURES NECESSARY IN AND AROUND ANY PROPOSED STORMWATER MANAGEMENT MEASURES (PONDS, WETLANDS, ETC.) OBTAINING PROPER PERMITS SHALL BE THE RESPONSIBILITY OF THE OWNER.
- RETAINING WALLS EXCEEDING 30 INCHES IN HEIGHT SHALL INCLUDE FALL PROTECTION IN THE FORM OF A HANDRAIL OR FENCING ON THE HIGH SIDE OF THE RETAINING WALL.
- PROPER COMPACTION OF ALL FILL SOILS PLACED ON SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COMPACTION SHALL BE ADEQUATE TO SUPPORT THE PROPOSED USE OF AREAS IN WHICH FILL SOILS ARE PLACED. THE CONTRACTOR SHALL HIRE A GEOTECHNICAL ENGINEER TO TEST AND VERIFY THAT COMPACTION IS ADEQUATE FOR THE PROPOSED USE OF IN THE AREA OF FILL PLACEMENT.
- ALL ASPECTS OF THIS PROJECT SHALL BE IN FULL COMPLIANCE WITH CURRENT ADA STANDARDS, AND THE CONTRACTOR NOTES ANY ASPECTS OF THE PROJECT WHICH ARE NOT IN COMPLIANCE. THE ENGINEER SHALL BE NOTIFIED PRIOR TO ANY FURTHER WORK BEING PERFORMED. ANY WORK PERFORMED AFTER THE CONTRACTOR NOTES SUCH A NON COMPLIANCE IS SUBJECT TO REMOVAL AND REPAIR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR OR OWNER SHALL EMPLOY A GEOTECHNICAL ENGINEER TO TEST ALL EMBANKMENTS AND FILL PLACEMENT FOR PROPER COMPACTION. PROPER COMPACTION SHALL BE PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS OR THESE PLANS, WHICHEVER IS MORE STRINGENT. EMBANKMENTS FOR PONDS SHALL BE PLACED IN 6 INCH LOOSE LAYERS AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF + OR - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D998. THE CONTRACTOR SHALL TAKE PHOTOGRAPHS OF THE OUTLET STRUCTURE AT ALL AT ALL PHASES OF INSTALLATION AND SHALL RETAIN WITH GEOTECHNICAL TESTING DATA. THE CONTRACTOR SHALL ALSO RETAIN ALL SHIPPING RECORDS AND SPECIFICATIONS FOR THE OUTLET STRUCTURE MATERIALS AND STRUCTURES. ALL OF THE ABOVE DATA MAY BE REQUIRED AS PART OF THE MUNICIPALITY AS-BUILT PROCESS AND SHALL BE MADE AVAILABLE TO THE ENGINEER UPON REQUEST. THE CONTRACTOR AND OWNER SHALL HAVE DOCUMENTATION OF THESE TESTS AVAILABLE UPON REQUEST.
- RETAINING WALLS SHOWN HEREIN SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL ENGINEER WITH EXPERIENCE DESIGNING RETAINING WALLS. AT LEAST 14 DAYS PRIOR TO BEGINNING CONSTRUCTION OF RETAINING WALLS, THE CONTRACTOR SHALL CONTACT THE OWNER'S GEOTECHNICAL ENGINEER TO SCHEDULE AND COORDINATE ALL APPROPRIATE INSPECTIONS, TESTING, AND VERIFICATION NECESSARY DURING RETAINING WALL CONSTRUCTION. THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTION, TESTING AND VERIFICATION FOR THE DURATION OF RETAINING WALL CONSTRUCTION. PROPER SCHEDULING, EXECUTION, AND RECORD KEEPING FOR ALL REQUIRED INSPECTIONS, TESTING, AND VERIFICATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RECORDS SHALL BE RETAINED AND SHALL BE PROVIDED TO THE OWNER AND BASS, NIXON & KENNEDY, INC. ALL MONITORING, TESTING, AND VERIFICATION SHALL CONFORM TO THE MOST RECENT VERSION OF THE NC BUILDING CODE CHAPTER 18, SECTION 1806 OR THE WALL DESIGN ENGINEER'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
- SITE WILL BE EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO 8.3.2.2.b (TC-6-19).



BEFORE YOU DIG  
CONTACT ONE-CALL CENTER  
1-800-632-4949

**ENGINEER:**  
**BASS, NIXON & KENNEDY, INC.**  
**CONSULTING ENGINEERS**  
**6310 CHAPEL HILL ROAD, SUITE 250**  
**RALEIGH, NORTH CAROLINA 27607**  
**TELEPHONE: (919) 851-4422**  
**FAX: (919) 851-8968**

**CERTIFICATION NUMBERS: NCBELS (C-0110)**  
**NCBOLA (C-0267)**

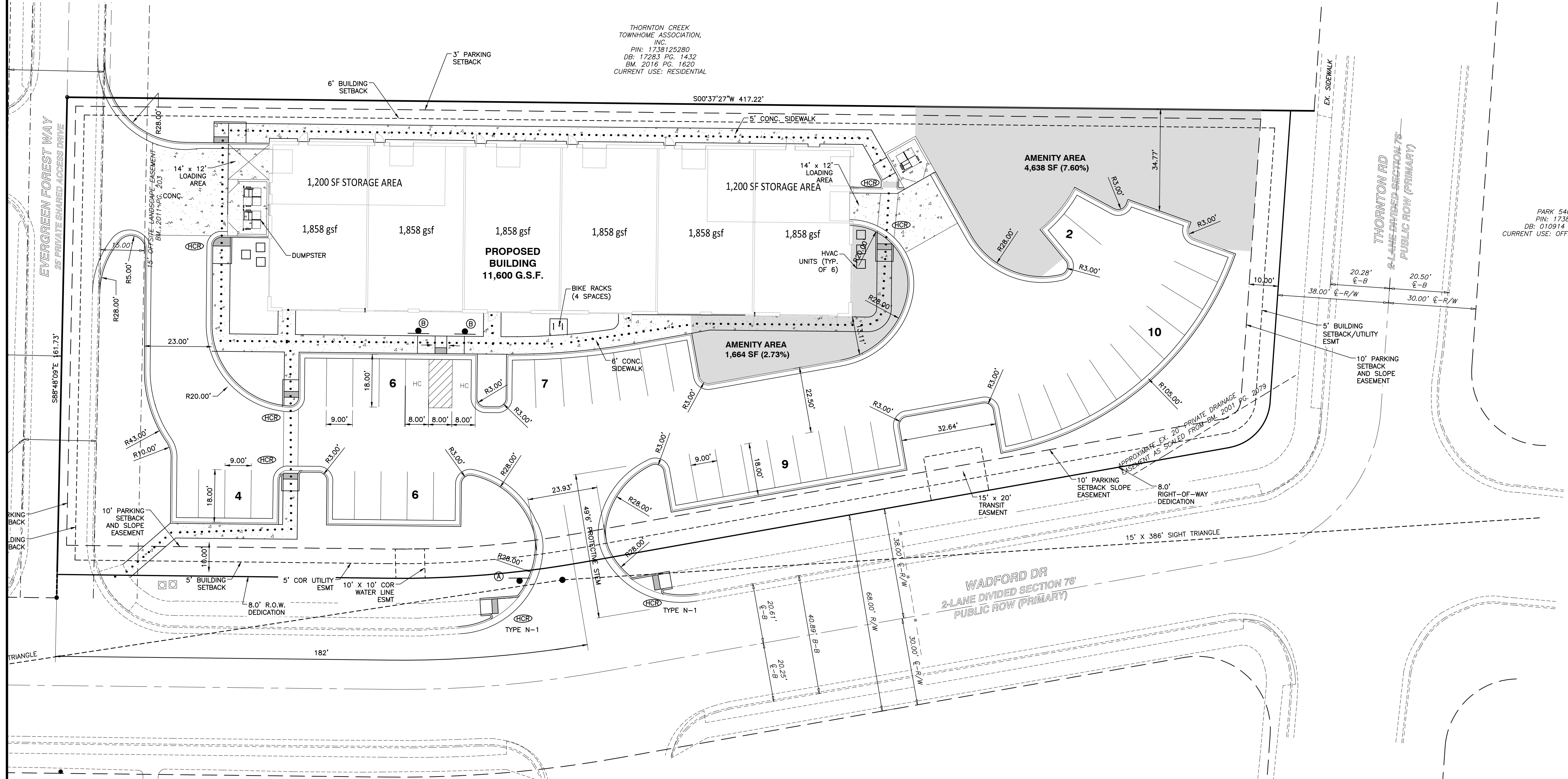
**CONTACT: KIRBY R. BELL, JR., PE CPESC**  
**EMAIL: Robbie.Bell@BNKinc.com**

CITY OF RALEIGH PROJECT NO. ASR-0027-2021

ADMINISTRATIVE SITE REVIEW

BASS, NIXON & KENNEDY, INC.

THORNTON'S POINTE



### SITE DATA

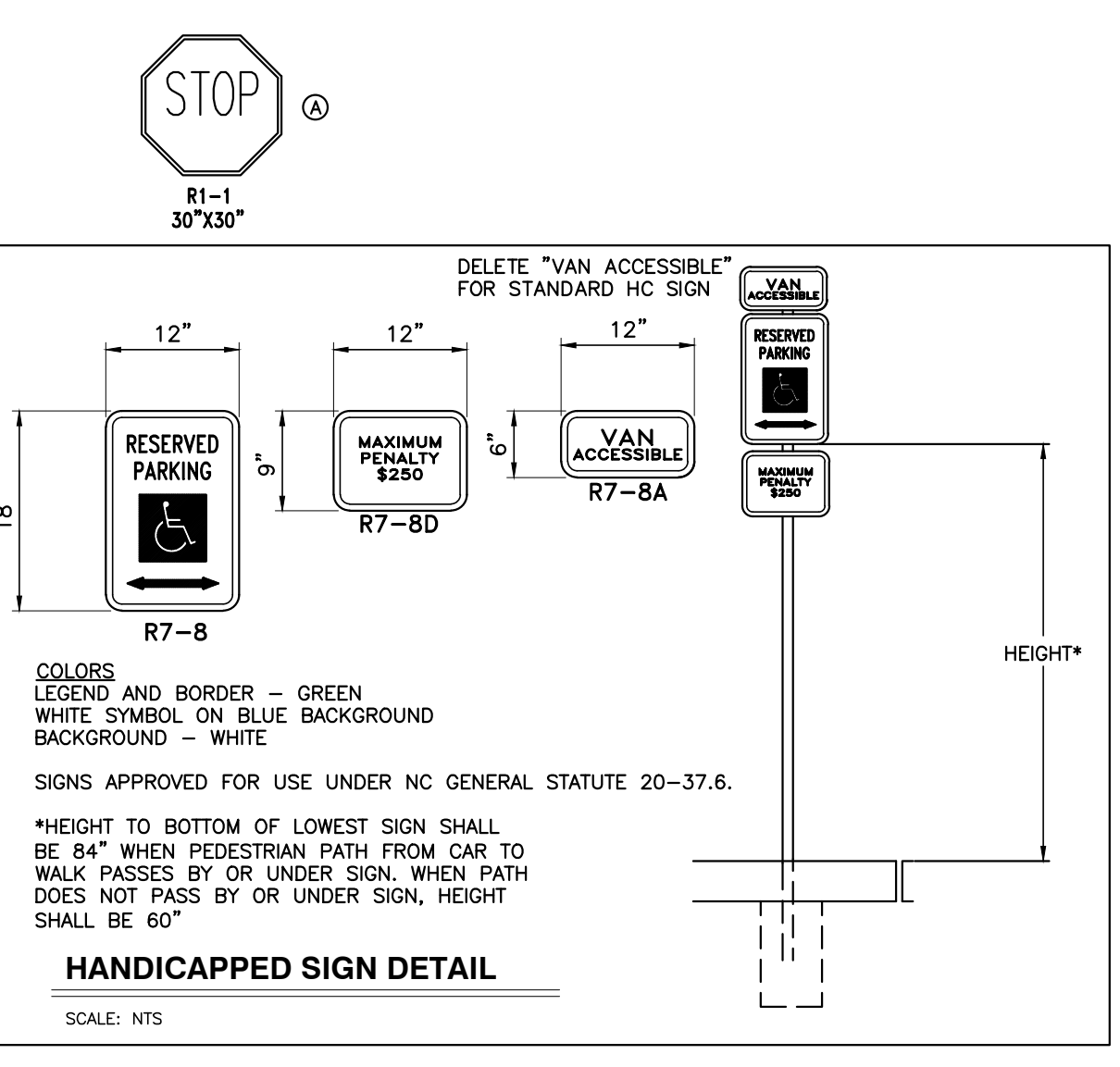
PROJECT NAME:	THORNTON'S POINTE
PIN:	1738-12-4451
OWNER:	AF THORNTON, LLC
ZONING:	CX-3-CU
CURRENT USE:	VACANT
PROPOSED USE:	OFFICE
BUILDING SQUARE FOOTAGE:	11,600 SF
PARKING REQUIRED:	44 SPACES (INCLUDING 2 HC SPACES)
OFFICE: 1SPACE/400 S.F. (4,175 S.F.)	11 SPACES
RETAIL: 1 SPACE/300 S.F. (6,830 S.F.)	23 SPACES
SHORT TERM BIKE: 1 SPACE/10,000 S.F.	2 RACKS
LONG TERM BIKE: 1 SPACE/5,000 S.F.	3 RACKS
TOTAL PARKING REQUIRED:	34 SPACES
TOTAL PARKING PROVIDED:	44 SPACES (INCLUDING 2 HC SPACES)
TOTAL BIKE PARKING PROVIDED:	4 RACKS
BUILDING SETBACKS:	
FRONT	5'-0"
SIDE	0'-6"
CORNER SIDE	5'-0"
REAR	0'-6"
PARKING SETBACKS:	
FRONT	10'
SIDE	3'
CORNER SIDE	10'
REAR	3'
SITE AREA:	
TOTAL EXISTING AREA (GROSS):	65,280 SF (1.50 AC)
PROPOSED RIGHT-OF-WAY DEDICATION:	4,269 SF (0.098 AC)
TOTAL PROPOSED AREA (NET):	61,011 SF (1.38 AC)
AMENITY AREA: (10% REQUIRED)	6,101 S.F.
REQUIRED AMENITY AREA:	(10.33%) 6,302 S.F.
PROVIDED OPEN SPACE:	
IMPERVIOUS AREAS:	
EX. IMPERVIOUS:	6,264 SF
EX. IMPERVIOUS REMOVED:	1,182 SF
EX. IMPERVIOUS REMAINING:	5,082 SF
PROP. IMPERVIOUS (ON SITE):	39,973 SF
PROP. IMPERVIOUS OFF SITE:	1,119 SF
TOTAL IMPERVIOUS (ON SITE, REMAINING & OFF SITE):	46,174 SF
TOTAL AREA DRAINAGE AREA INCLUDING STREETS:	70,100 SF

- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP BY BASS, NIXON & KENNEDY, INC., DATED JANUARY 21, 2015.
  - PROVIDE 24" STANDARD CONCRETE CURB AND GUTTER ON-SITE. 30" IN PUBLIC R/W.
  - ALL HVAC AND OTHER MECHANICAL SYSTEMS SHALL BE SCREENED FROM OFF-SITE VIEWS.
  - ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
  - ALL EXTERIOR SITE LIGHTING SHALL BE DESIGNED TO PREVENT OFF-SITE GLARE.
  - ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL FINAL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
  - ALL WORK MUST COMPLY WITH CURRENT NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE.
  - NO COMPACTOR IS REQUIRED FOR THIS SITE.
  - MAP RECORDATION REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.
  - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

### TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3LB GALVANIZED STEEL U-CHEANNEL POST SET IN 3FT DEEP x 12IN DIA. CONCRETE FOOTING.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE WHICH MAY BE THERMOPLASTIC OR ALKYD-RESIN TYPE PAINT.

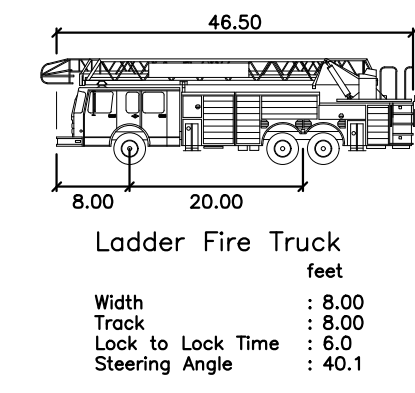
### SIGN LEGEND



### LEGEND

..... HANDICAPPED ACCESSIBLE ROUTE

**NOTE:**  
 FIL FOR WADFORD DRIVE AND THORNTON ROAD AGREED UPON BY TRANSPORTATION STAFF



**SIGHT DISTANCE CALCULATIONS**  
 WADFORD DR. (EAST BOUND ONTO STREET B) V = 35 MPH  
 RIGHT TURN (LOOKING LEFT): 1.47 (35)(6.5) = 335'  
 LEFT TURN (LOOKING RIGHT): 1.47 (35)(7.5) = 386'

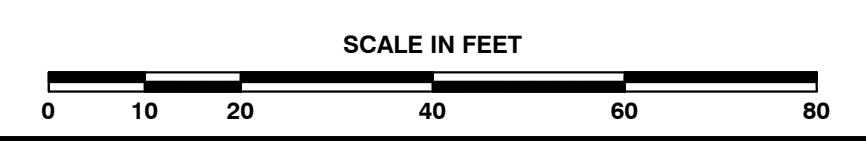
**PRELIMINARY PAVEMENT DESIGN**  
 DRIVES: 8" ABC - 2.5" S9.5C  
 PARKING: 6" ABC - 2" S9.5C  
 CONC. DUMPSTER PADS: 6" 3000 PSI CONC. W/4" X 4" WIRE MESH OVER 6" COMPACTED BASE.  
 CONC. PAD IN FRONT OF DUMPSTER GATE: 8" COMPACTED ABC AND/OR 3" S9.5C OR 8" 3000 PSI CONC. WITH 4" X 4" WIRE MESH

NOTE: ABOVE PAVEMENT DESIGNS ARE OR MINIMUM. SOIL CONDITIONS SHOULD BE CHECKED AND PAVEMENT DESIGN VERIFIED BY TESTING COMPANY.

NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH



**BASS, NIXON & KENNEDY, INC.**  
 CONSULTING ENGINEERS  
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607  
 TELEPHONE: 919/851-4422 FAX: 919/851-8968  
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY
1	08-03-21	PER COR COMMENTS	IP
2	08-03-21	PER COR COMMENTS	IP

PROGRESS	DATE	DRAWN BY	IP
IP			

SITE PLAN  
 SCALE: 1" = 20'

**THORNTON'S POINTE**  
 8800 WADFORD DRIVE  
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

SHEET C1.1

## Thornton's Pointe

8800 Wadford Drive  
Raleigh, NC 27616

Job Number: 20-037  
Project Manager: Chris Horner  
Date Issued: 03/19/21  
Design Phase: SITE PLAN SUBMITTAL

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### Revisions

- 05/11/21 REVISION PER CITY COMMENTS
- 07/20/21 REVISION PER CITY COMMENTS
- 
- 

### Consultants

### Seals

Sheet Data  
Plot Date: 7/20/2021  
Plot Time: 12:45 PM  
File Name: 8800 Wadford plans R-8  
View: A108  
Drawn By: CH

### Sheet Title

## ELEVATIONS

# AS-2

### TRANSPARENCY & BLANK WALL CALCULATIONS

ELEVATION	OVERALL SF	TRANSPARENCY - GROUND FLOOR		50% TRANSPARENCY BETWEEN 3' AND 6'		BLANK WALL AREA	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED	MAX. ALLOWABLE	PROVIDED
WEST	3,820	33% (1260 SF)	1206 SF	50% (182 SF)	688 SF	50% (2,500 SF), 30'	385 SF, 20'
SOUTH	1104	33% (365 SF)	378 SF	50% (111 SF)	199 SF	50% (2,500 SF), 30'	180 SF, 10'
NORTH	1104	N/A	N/A	N/A	N/A	50% (2,500 SF), 30'	180 SF, 10'
EAST	3,374	N/A	N/A	N/A	N/A	50% (2,500 SF), 30'	460 SF, 28'

### AVERAGE GRADE CALCULATION

	PRE-DEVELOPMENT			IMPROVED		
	HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE
WEST PLANE				266.9	266.9	266.9
SOUTH PLANE				266.9	266.9	266.9
NORTH PLANE						
EAST PLANE						
AVERAGE OF WALL PLANES						266.9

