

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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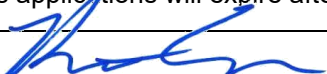
Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan	
	Building Type		Site Transaction History
	Detached	General	Subdivision case #: _____
	Attached	Mixed use	Scoping/sketch plan case #: _____
	Apartment	Open lot	Certificate of Appropriateness #: _____
	Townhouse	Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
GENERAL INFORMATION			
Development name:			
Inside City limits? Yes No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
NOTE: please attach purchase agreement when submitting this form.			
Company:			Title:
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date:
Printed Name:	

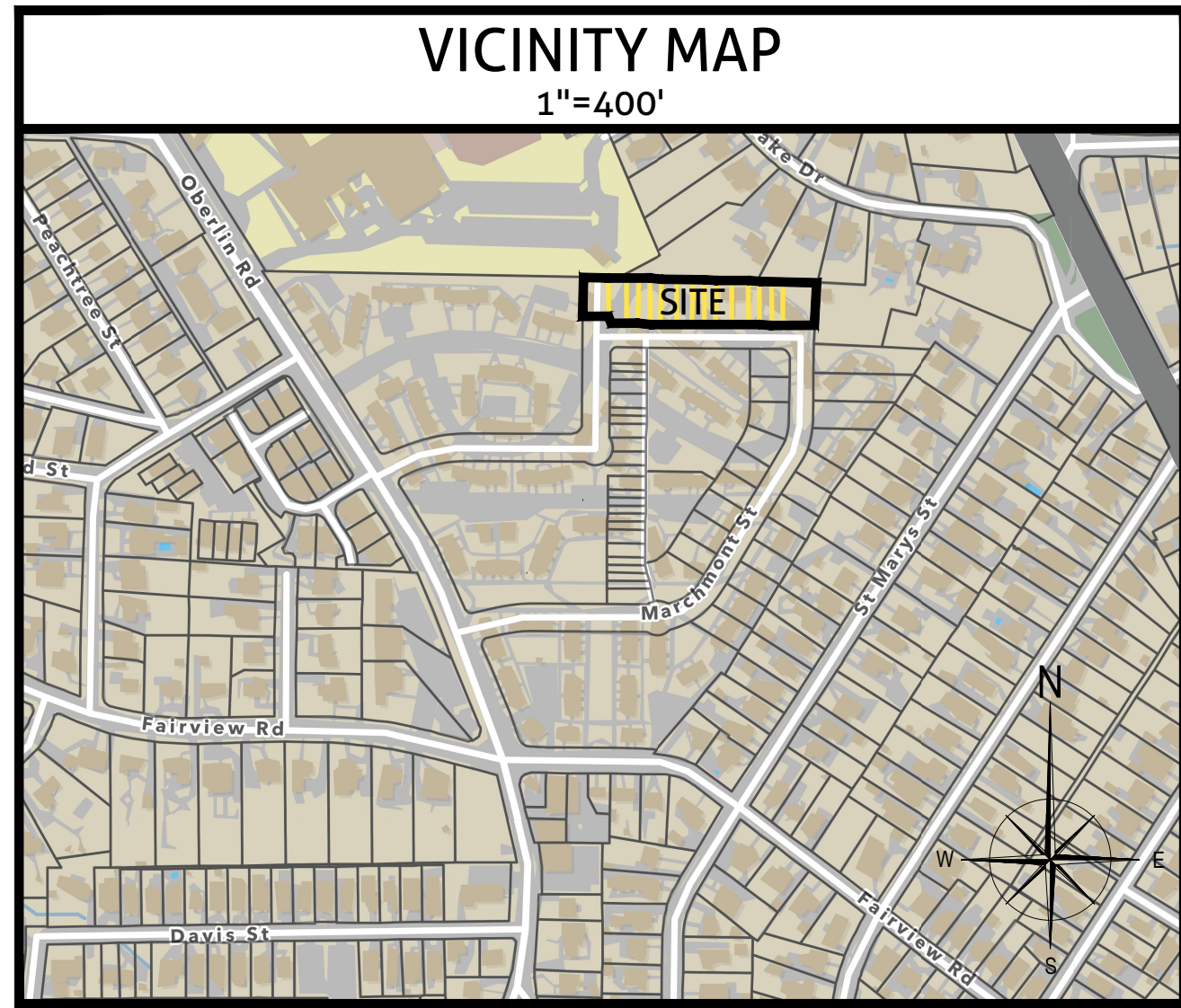
ADMINISTRATIVE SITE REVIEW PLANS FOR

BUDLEIGH EAST FLATS

(FORMERLY LOTS 16-29, 30, & 55; LOT 55 AMENITY ONLY)

2504, 2506, 2508, 2510, 2512, 2516, 2518, 2520, 2522, 2526, 2528, 2530, 2532, 2534, AND 2538 BICTON PLACE & 2610 WELHAM ALLEY, RALEIGH, NC

1st SUBMITTAL - APRIL 8, 2022
2nd SUBMITTAL - JUNE 10, 2022
3rd SUBMITTAL - AUGUST 8, 2022



SHEET LIST TABLE with columns for Sheet Number and Sheet Title, listing various plan sheets from COVER to PARCEL A OVERALL ELEVATIONS ASR.

ZONING CONDITIONS

Table detailing zoning conditions for Ordinance No. (2020) 84 ZC 797, including conditions, descriptions, and responses.

SITE DATA

Table providing site data including address (2504-2538 BICTON PLACE), PIN numbers, acreage, and building information.

PROJECT NOTES

- 1. THIS PROJECT IS AN ADMINISTRATIVE SITE REVIEW (ASR) AND IS CLASSIFIED AS A TIER THREE (3) SITE PLAN IN ACCORD WITH RECENTLY ADOPTED CITY OF RALEIGH ORDINANCE 2020-140 TC 438.
2. THE CURRENT USE OF THE SUBJECT PROPERTY IS VACANT.
3. PUBLIC INFRASTRUCTURE IS REQUIRED/PROPOSED UNDER APPROVED SPR-0197-2021; NO ADDITIONAL PUBLIC INFRASTRUCTURE IS PROPOSED AS PART OF THE ADMINISTRATIVE SITE REVIEW.

GENERAL NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.

SOLID WASTE INSPECTION STATEMENT

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. A ROLL-OUT BIN WILL BE PROVIDED FOR EACH UNIT AND WILL BE STORED IN THE GARAGE. TWICE A WEEK, A PROPERTY MANAGER EMPLOYEE WILL COLLECT THE WASTE AND BRING IT TO THE NEARBY CCRS SITE (PIN 1705109589), WHERE IT WILL THEN BE PROCESSED BY A PRIVATE VENDOR. REFER TO THE WILL-SERVE LETTER ON SHEET CO.2.
2. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

FIRE DEPARTMENT NOTES

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA 13 SPRINKLER SYSTEM PROPOSED)
2. FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2 INCH STORZ CONNECTION.
4. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF, SECTION 507.3.

RIGHT-OF-WAY OBSTRUCTION NOTES

- 1. STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES".
3. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.

Administrative Site Review Application form including sections for Office Use Only, Site Plan Tier, Building Type, Site Transaction History, Development name, and General Information.

DEVELOPMENT TYPE + SITE DATA TABLE including sections for SITE DATA, BUILDING DATA, STORMWATER INFORMATION, RESIDENTIAL DEVELOPMENTS, and SIGNATURE BLOCK.

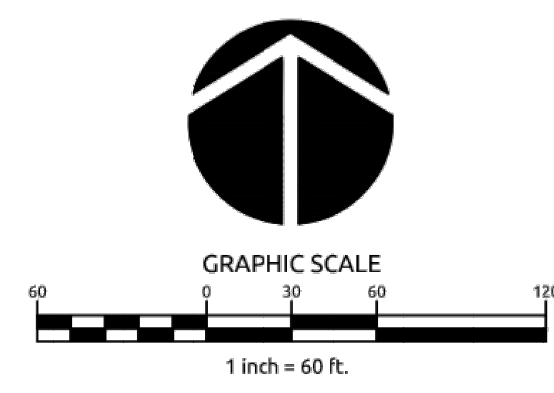
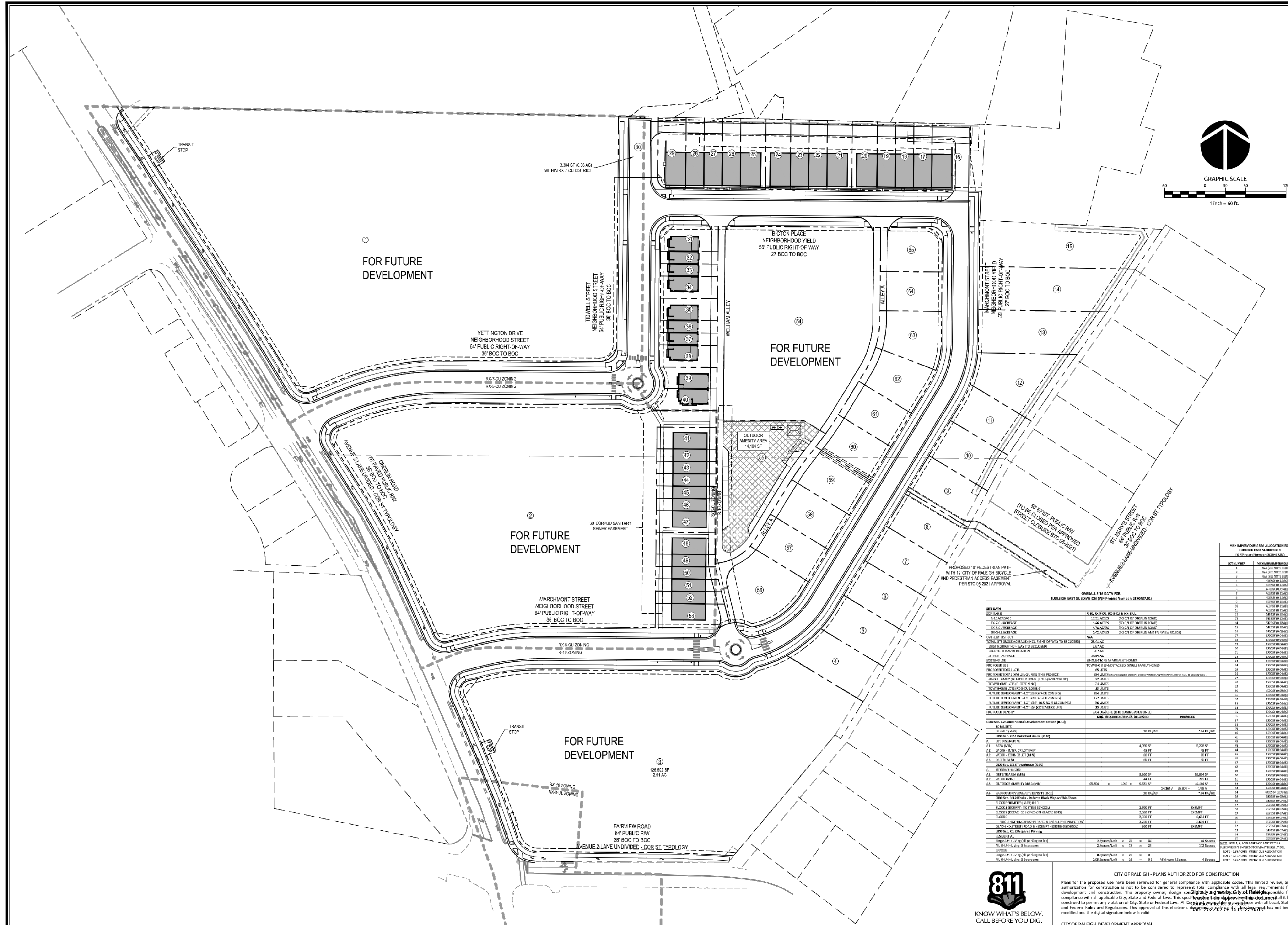
DEVELOPER: WILLIAMS REALTY & BUILDING CO., INC. 3111 GLENWOOD AVE. RALEIGH, NC 27612 919-881-1463

OWNER: LIBERTY SENIOR LIVING 2334 S. 41ST STREET WILMINGTON, NC 28403 919-612-7002

PREPARED BY: WithersRavenel Engineers | Planners 137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com CIVIL ENGINEER ROB CAUDLE, PE 919-238-0359 rcaudle@withersravenel.com

SHEET FOR REFERENCE ONLY. SEE APPROVED SPR-0197-2021.

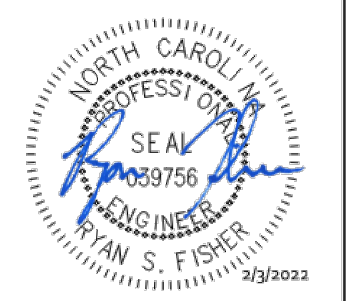
NOTE: THE OVERALL SUBDIVISION PLAN FROM APPROVED SPR-0197-2021 IS INCLUDED IN THIS SET AS IT CONTAINS AMENITY AREA CALCULATIONS. THE CALCULATIONS SHOWN ON THIS SHEET ACCOUNT FOR THIS PROJECT'S SITE AREA. PLEASE SEE AMENITY AREA PLAN, SHEET C2.1, FOR MORE INFORMATION REGARDING AMENITY AREA REQUIREMENTS AND PROVISIONS FOR THIS SITE.



**BUDLEIGH EAST
SITE PERMIT
REVIEW DRAWINGS**
RALEIGH, NORTH CAROLINA

**OVERALL SUBDIVISION
PLAN**

Job No. 02170437.06
Date 08/20/2021
Checked By WR
Design By WR



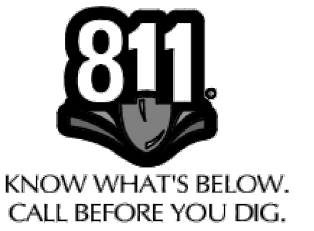
Revisions

1	COR COMMENTS	10/28/21
2	COR COMMENTS	12/10/21

Sheet No.
C2.00

OVERALL SITE DATA FOR BUDLEIGH EAST SUBDIVISION (JOB Project Number: 2170437.01)

ITEM	DESCRIPTION	QUANTITY	UNIT
SITE DATA			
ZONING	R-10, R-12, R-14, R-16, R-18, R-20, R-22, R-24, R-26, R-28, R-30, R-32, R-34, R-36, R-38, R-40, R-42, R-44, R-46, R-48, R-50, R-52, R-54, R-56, R-58, R-60, R-62, R-64, R-66, R-68, R-70, R-72, R-74, R-76, R-78, R-80, R-82, R-84, R-86, R-88, R-90, R-92, R-94, R-96, R-98, R-100		
ACRES	TOTAL SITE CROSS AREA (W/IN RIGHT-OF-WAY TO BE CLOSED)	31.45	AC
ACRES	EXISTING RIGHT-OF-WAY TO BE CLOSED	2.87	AC
ACRES	PROPOSED NEW CONSTRUCTION	2.87	AC
ACRES	NET AC	31.45	AC
PROPOSED USE			
PROPOSED TOTAL UNITS	TOWNHOMES & DETACHED SINGLE FAMILY HOMES	48	UNITS
PROPOSED TOTAL SINGLE-FAMILY UNITS (THIS PROJECT)		48	UNITS
PROPOSED TOTAL TOWNHOMES (THIS PROJECT)		0	UNITS
TOWNHOME LOTS (R-10 ZONING)		24	LOTS
TOWNHOME LOTS (R-12 ZONING)		24	LOTS
FUTURE DEVELOPMENT - LOT #1 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #2 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #3 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #4 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #5 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #6 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #7 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #8 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #9 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #10 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #11 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #12 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #13 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #14 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #15 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #16 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #17 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #18 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #19 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #20 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #21 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #22 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #23 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #24 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #25 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #26 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #27 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #28 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #29 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #30 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #31 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #32 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #33 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #34 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #35 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #36 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #37 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #38 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #39 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #40 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #41 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #42 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #43 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #44 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #45 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #46 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #47 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #48 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #49 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #50 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #51 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #52 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #53 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #54 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #55 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #56 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #57 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #58 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #59 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #60 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #61 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #62 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #63 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #64 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #65 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #66 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #67 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #68 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #69 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #70 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #71 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #72 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #73 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #74 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #75 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #76 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #77 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #78 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #79 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #80 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #81 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #82 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #83 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #84 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #85 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #86 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #87 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #88 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #89 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #90 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #91 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #92 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #93 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #94 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #95 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #96 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #97 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #98 (R-12 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #99 (R-10 ZONING)		1	LOT
FUTURE DEVELOPMENT - LOT #100 (R-12 ZONING)		1	LOT



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultant and contractor shall be responsible for compliance with all applicable City, State and Federal laws. This project is not to be construed as a representation of the City of Raleigh. All other provisions of the City of Raleigh Code of Ordinances, including but not limited to the City of Raleigh Code of Ordinances, shall be applicable to this project. This project has not been modified and the digital signature below is valid: 08/20/2021 09:48:25 AM

Sheet No.
C0.05



**BUDLEIGH EAST FLATS
(FORMERLY BUDLEIGH
SUBDIVISION LOTS
16-29, 30, & 55)
RALEIGH, NC**

**OVERALL SUBDIVISION
PLAN (FROM
SPR-0197-2021, FOR
REFERENCE ONLY)**

Job No. 02170437.06
Date 04/08/22
Checked By WR
Design By WR



Revisions

1	COR COMMENTS	06/10/22
2	COR COMMENTS	08/08/22

Sheet No.
C0.05

K:\17174\020170437\020170437-01\Drawings\020170437-01\020170437-01.dwg: Thursday, August 4, 2022 12:55:10 PM - ANASOON

K:\17174\020170437\020170437-01\Drawings\020170437-01\020170437-01.dwg: Thursday, February 3, 2022 12:55:50 PM - CONRAD AMBER

EXISTING MAX IMPERVIOUS AREA ALLOCATION FOR BUDLEIGH EAST SUBDIVISION LOTS 16-30	
LOT NUMBER	MAXIMUM IMPERVIOUS AREA
16	3700 SF (0.08 AC)
17	1700 SF (0.04 AC)
18	1700 SF (0.04 AC)
19	1700 SF (0.04 AC)
20	1700 SF (0.04 AC)
21	1700 SF (0.04 AC)
22	1700 SF (0.04 AC)
23	1700 SF (0.04 AC)
24	1700 SF (0.04 AC)
25	1700 SF (0.04 AC)
26	1700 SF (0.04 AC)
27	1700 SF (0.04 AC)
28	1700 SF (0.04 AC)
29	1700 SF (0.04 AC)
30	4000 SF (0.09 AC)
TOTAL	29800 SF (0.68 AC)

COMBINED MAX IMPERVIOUS AREA ALLOCATION FOR NEW LOT 16 (PREVIOUSLY LOTS 16-29) AND LOT 30	
LOT NUMBER	MAXIMUM IMPERVIOUS AREA
16	25100 SF (0.58 AC)
30	4700 SF (0.11 AC)
TOTAL	29800 SF (0.68 AC)

- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, GARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAG SPECIFICATIONS.
 - ALL RAMP(S) AND HANDRAIL(S) SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO CITY OF RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
 - ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
 - FIRE/SOLID WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.

SITE CALCULATIONS:

NEW LOT 16 AREA (NOT INCLUDING LOTS 30 OR 55): 49,329 SF [1.13 AC]

TOTAL UNITS: 24 (ALL 2 BEDROOMS)

MINIMUM PARKING CALCULATIONS

REQUIRED: MULTI-UNIT LIVING: 2 BEDROOMS (PER TC-1(A)-20 SEC. 7.1.2.C): 24 UNITS X 1.5 SPACES PER UNIT = 36 SPACES

PROVIDED: 50 SPACES (48 GARAGE SPACES (2 PER UNIT) & 2 SURFACE SPACES) 2 ADA-ACCESSIBLE SPACES (BOTH SURFACE SPACES)

MINIMUM BICYCLE PARKING CALCULATIONS

REQUIRED (LONG TERM): MULTI-UNIT LIVING: 2 BEDROOMS (PER TC-1(A)-20 SEC. 7.1.2.C): NONE

PROVIDED (LONG TERM): NONE

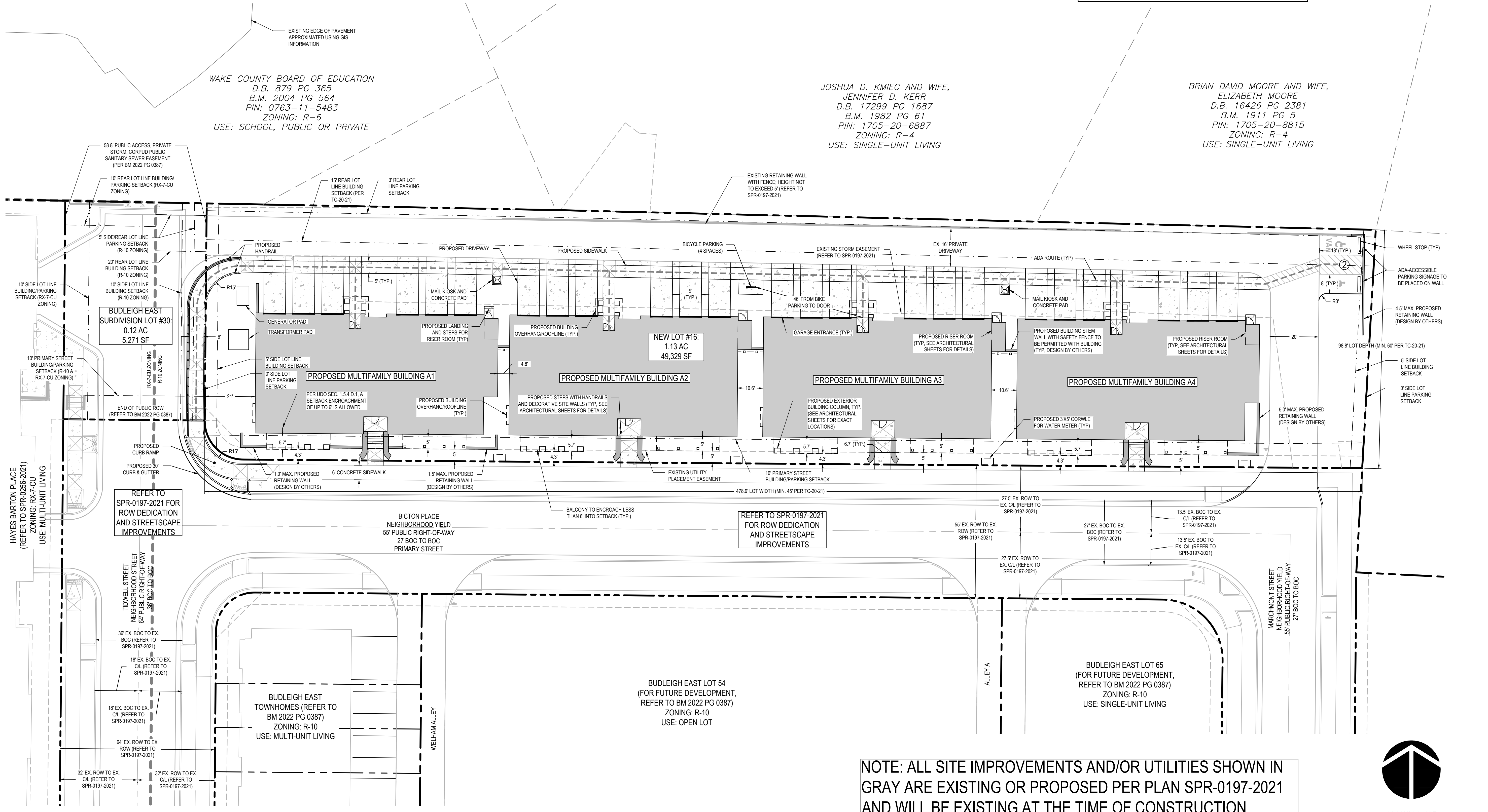
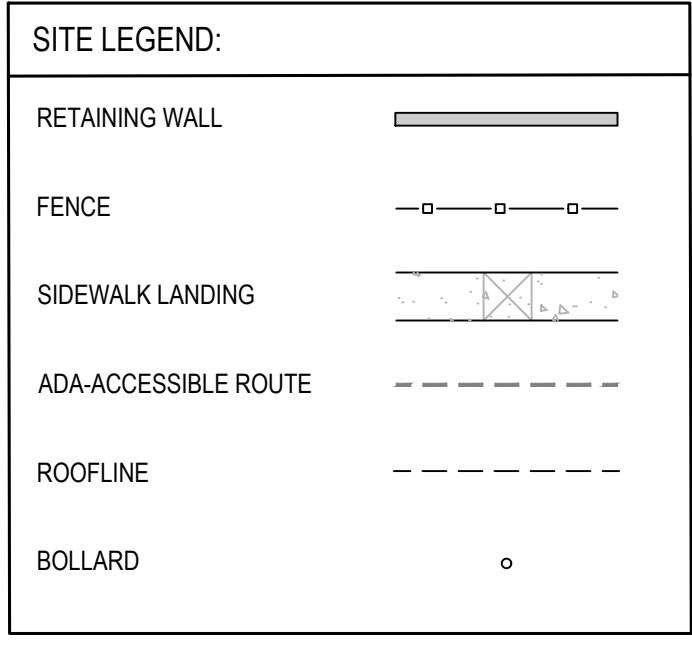
REQUIRED (SHORT TERM): MULTI-UNIT LIVING: 2 BEDROOMS (PER TC-1(A)-20 SEC. 7.1.2.C): 1 SPACE PER 20 UNITS, MIN. 4

PROVIDED (SHORT TERM): 4 SPACES

MINIMUM LOT AREA CALCULATIONS

REQUIRED: 800 SF/DU (PER TC-20-21; REFER TO SHEET C0.1 AND TC-20-21 MEMO)

PROVIDED: TOTAL DWELLING UNITS: 24 DUs
LOT AREA: 49,329 SF [1.13 AC]
LOT AREA PER UNIT: 2,055 SF/DU

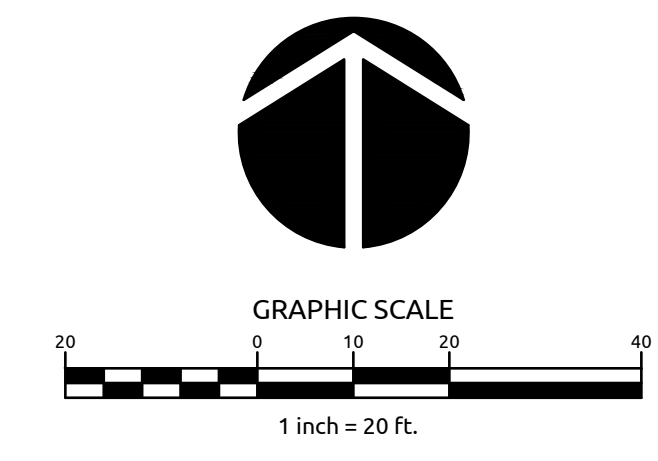


Job No.	022170437.06
Date	04/08/22
Checked By	WR
Drawn By	WR
Designer	WR

**PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION**

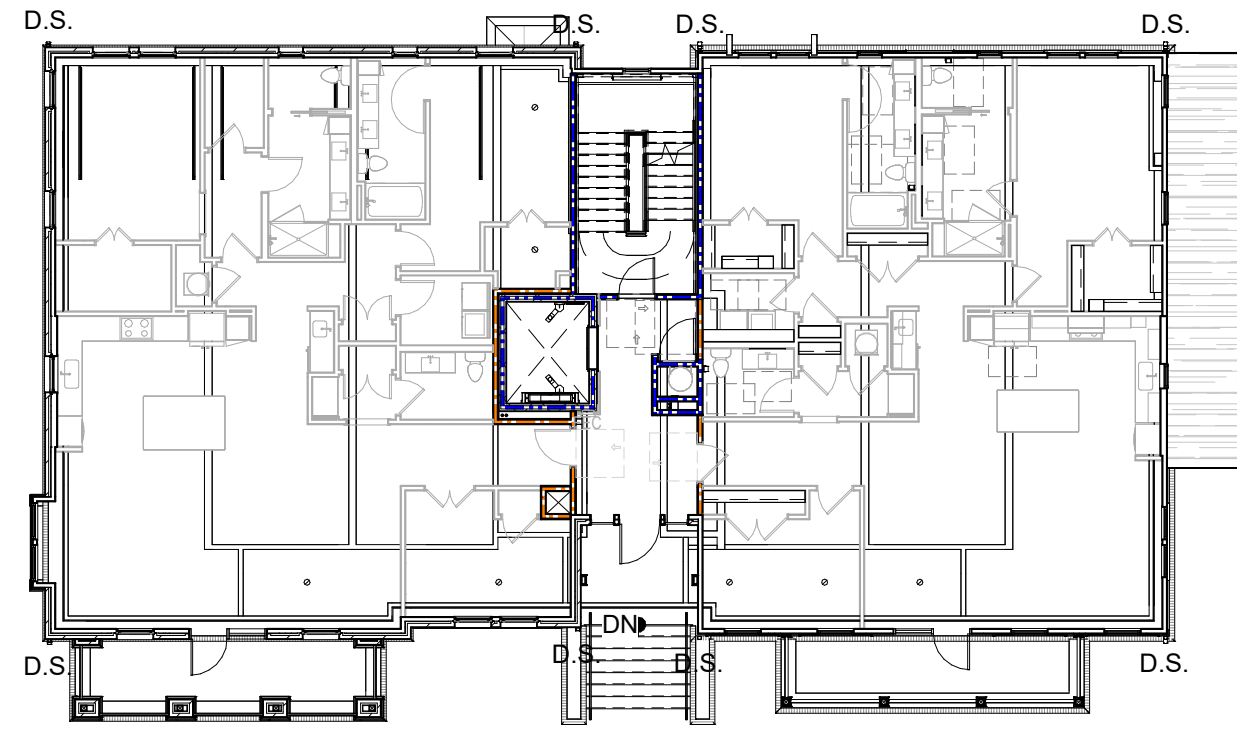
Revisions		
1	COR COMMENTS	06/10/22
2	COR COMMENTS	08/08/22

NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.

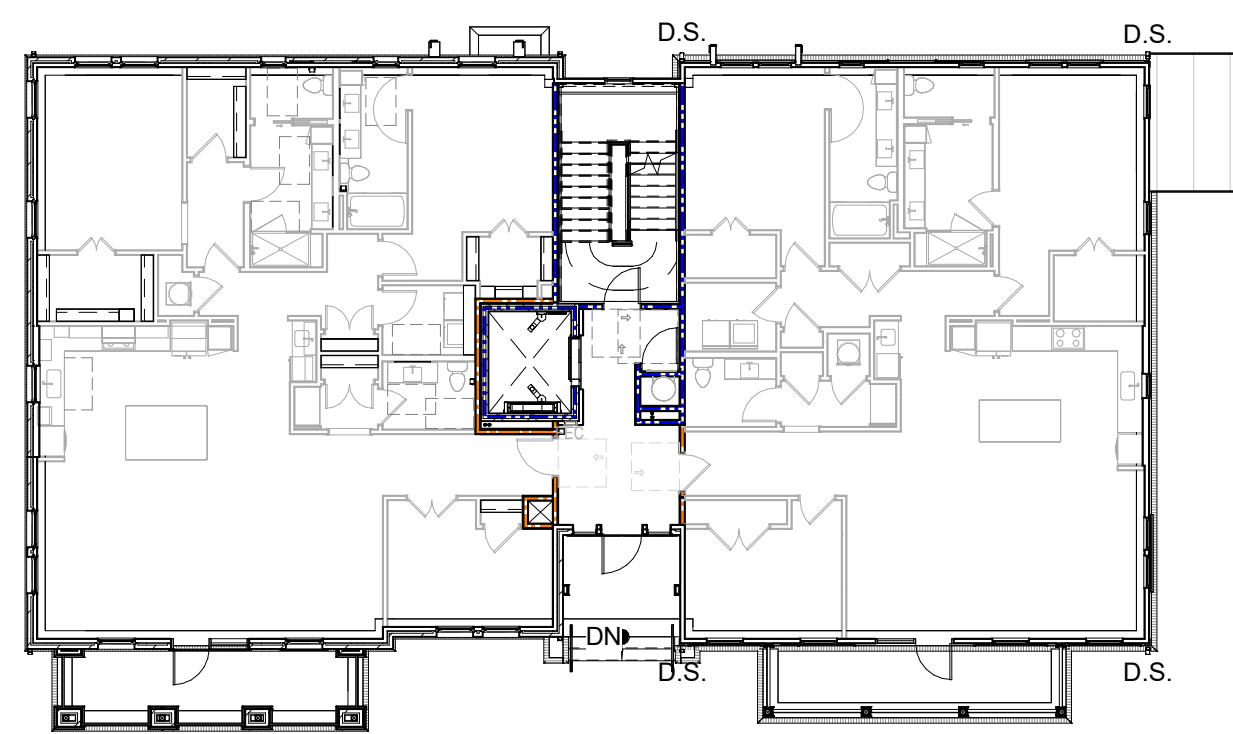


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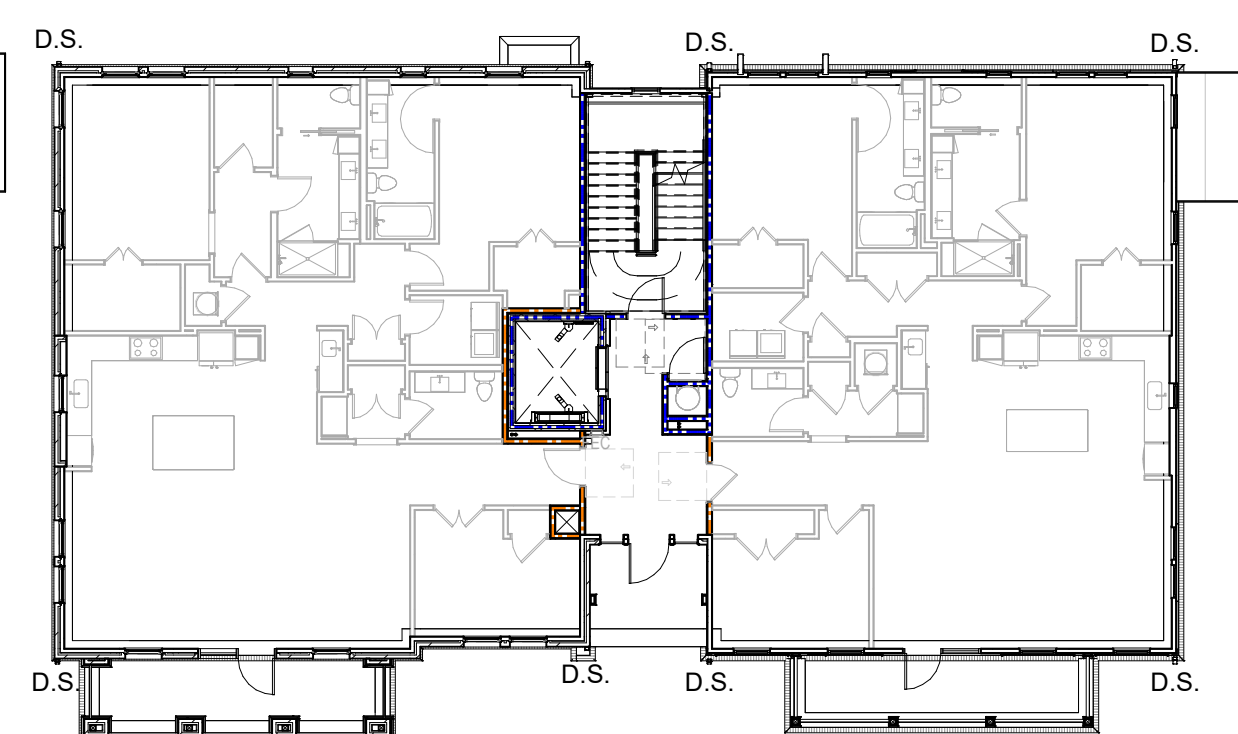
BUILDING A1



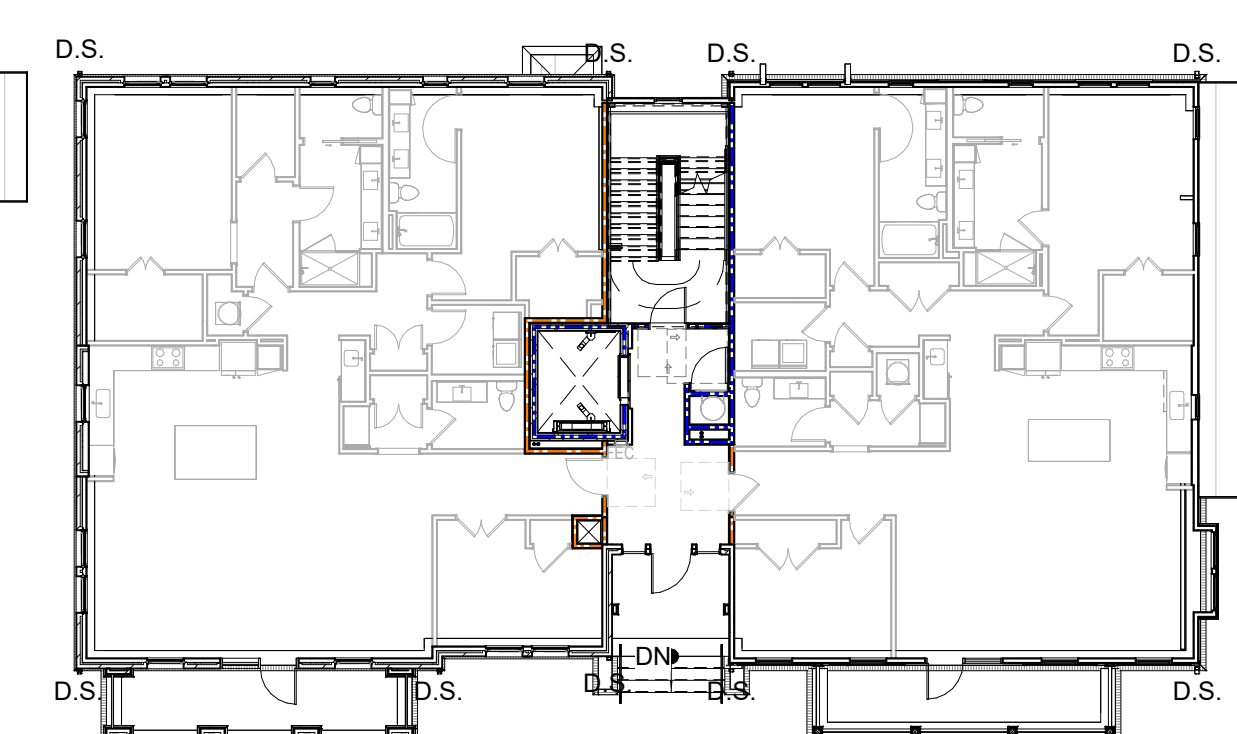
BUILDING A2



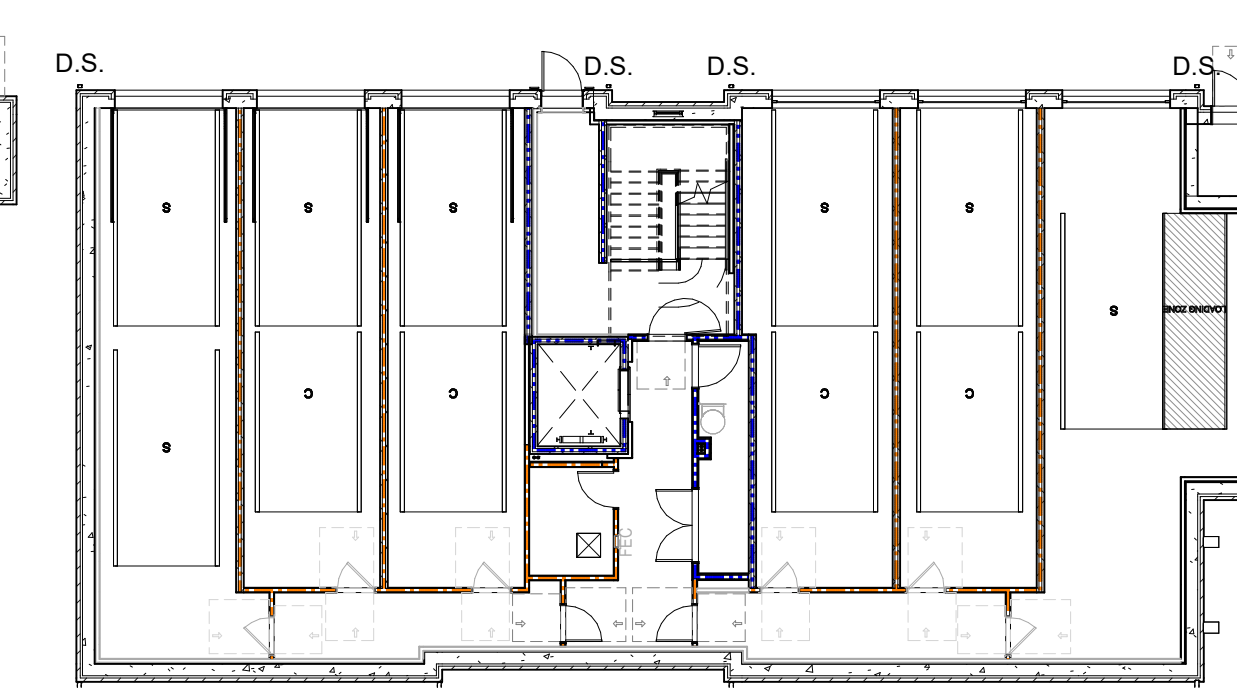
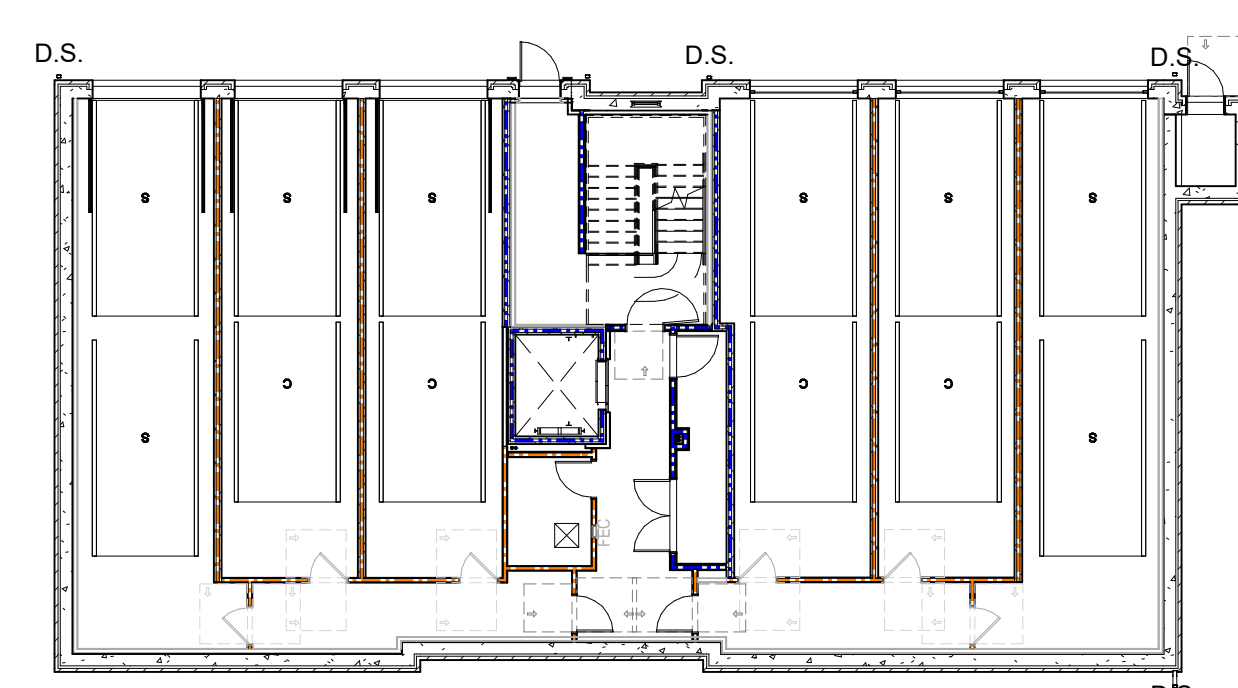
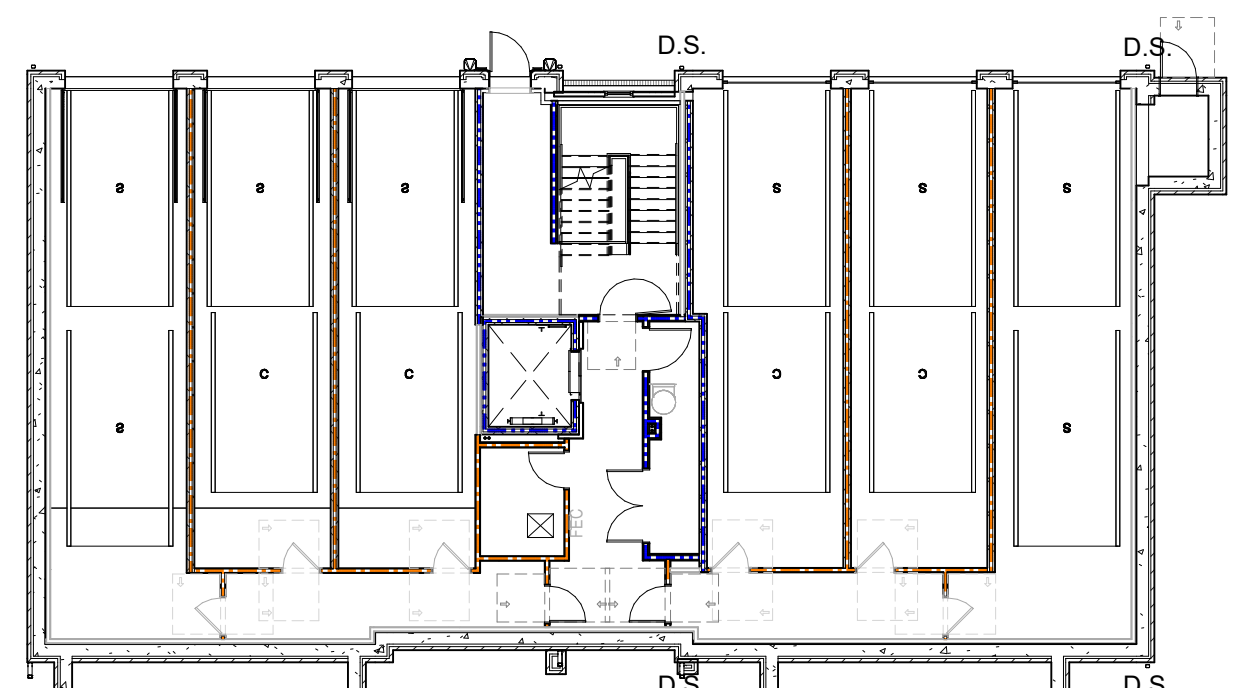
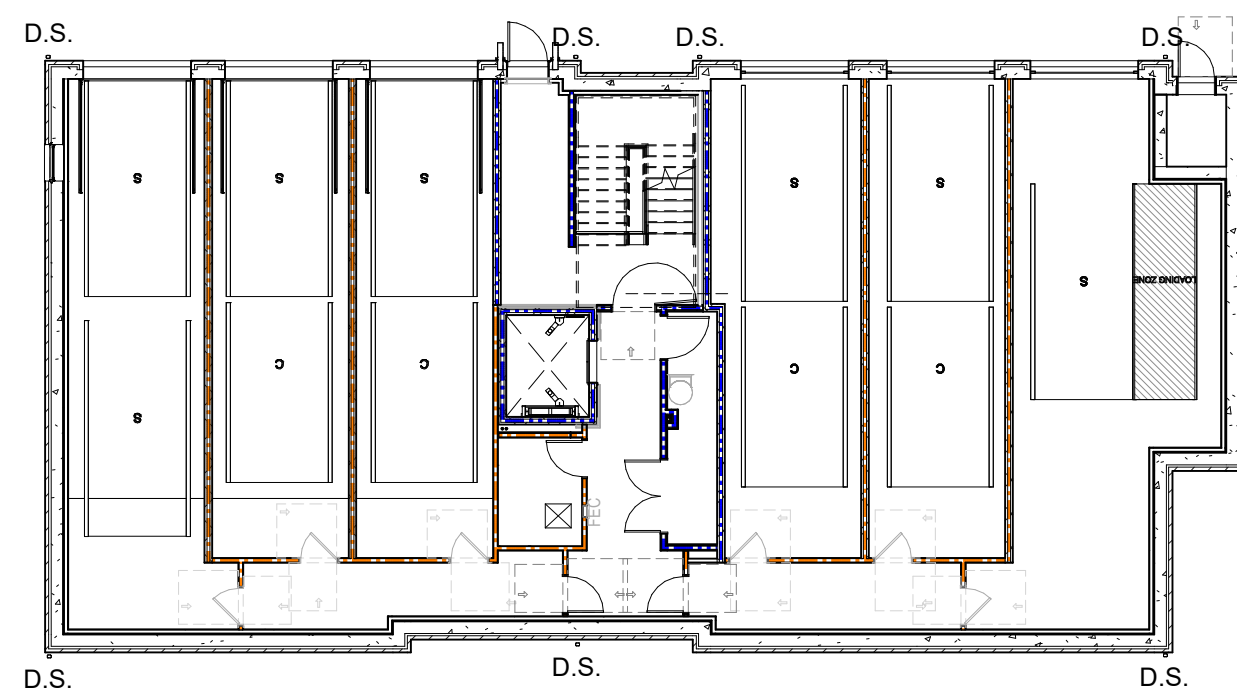
BUILDING A3



BUILDING A4



PARCEL A 1ST FLOOR OVERALL 3
1/16" = 1'-0"



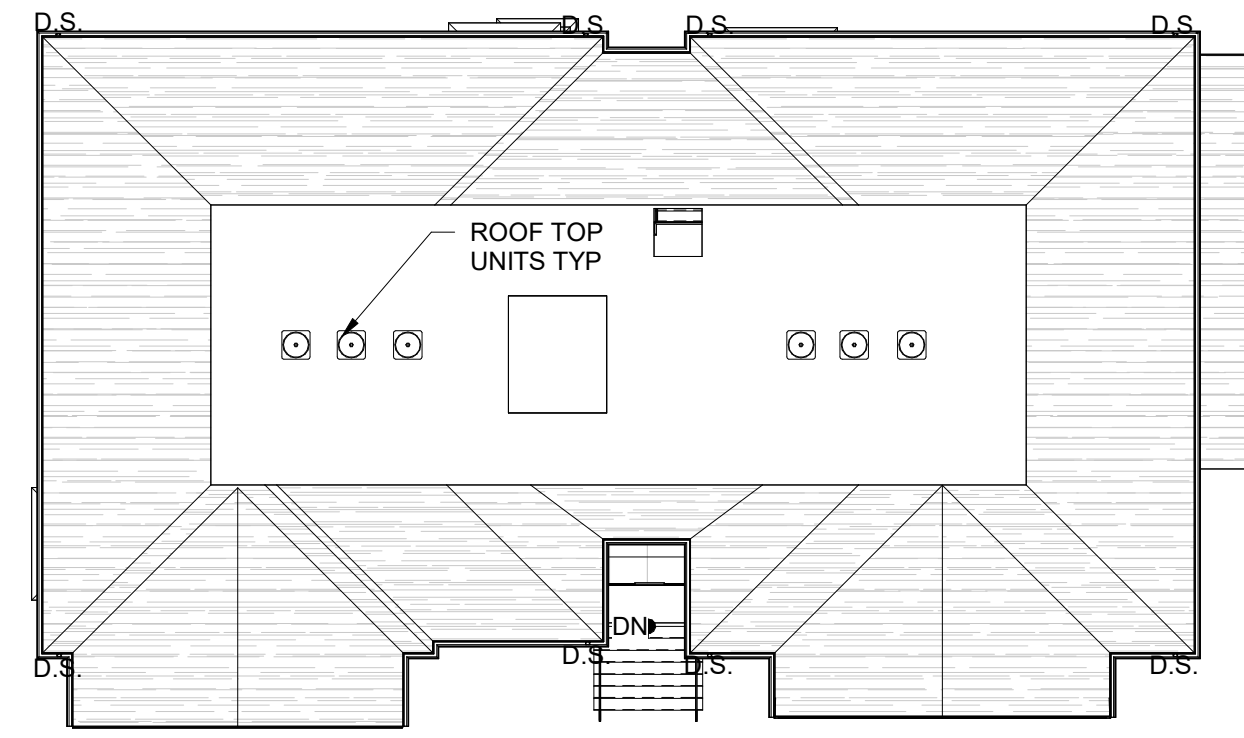
PARCEL A GARAGE PLAN OVERALL 2
1/16" = 1'-0"



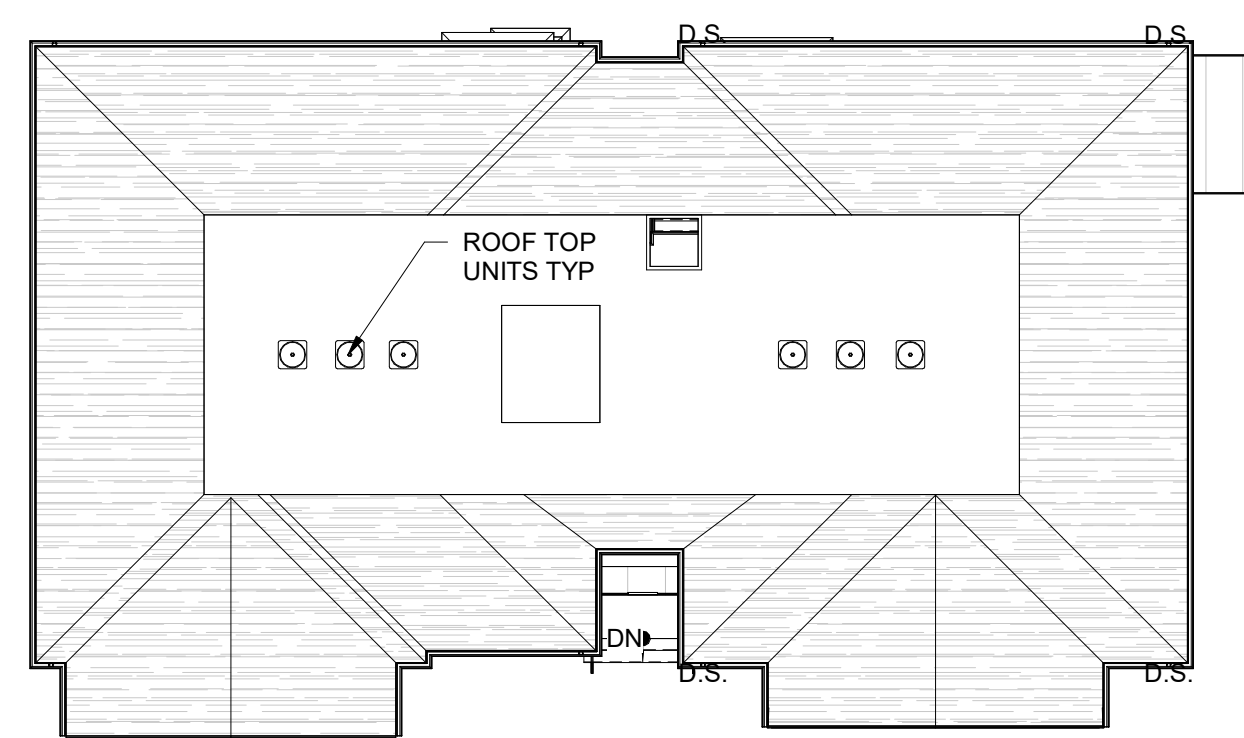
PARCEL A ELEVATION OVERALL 1
1/16" = 1'-0"



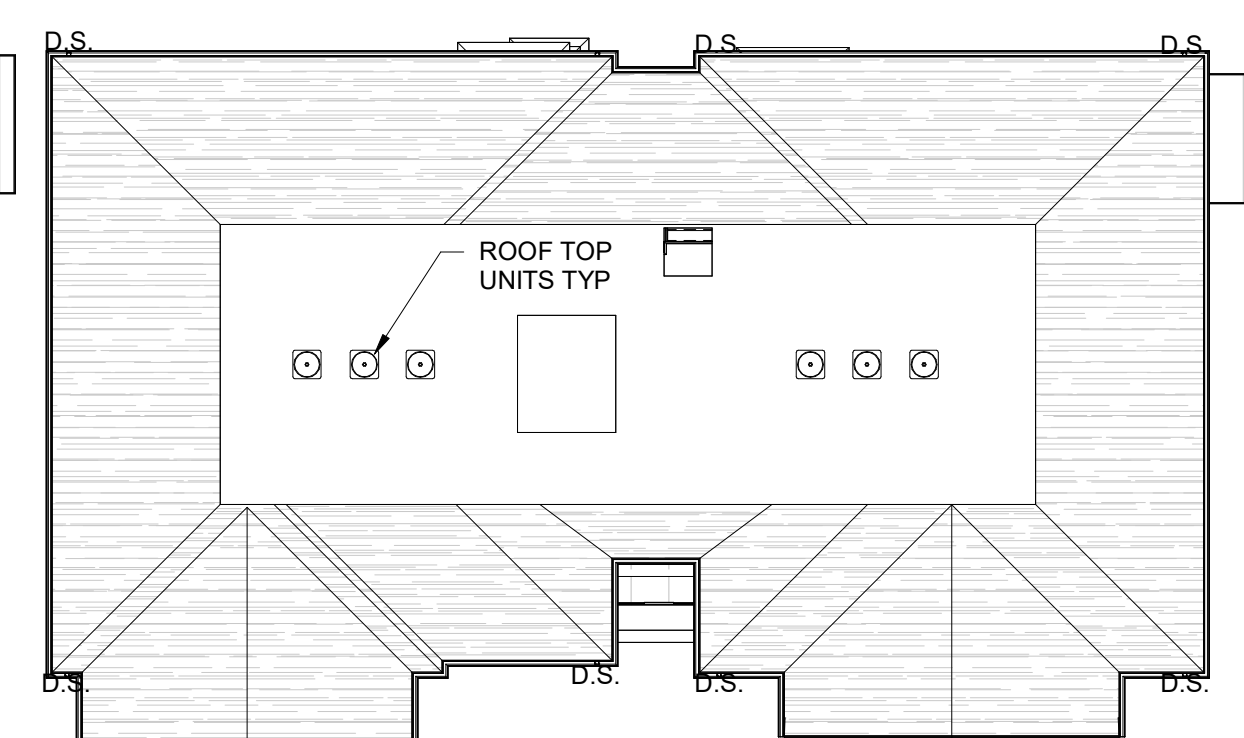
BUILDING A1



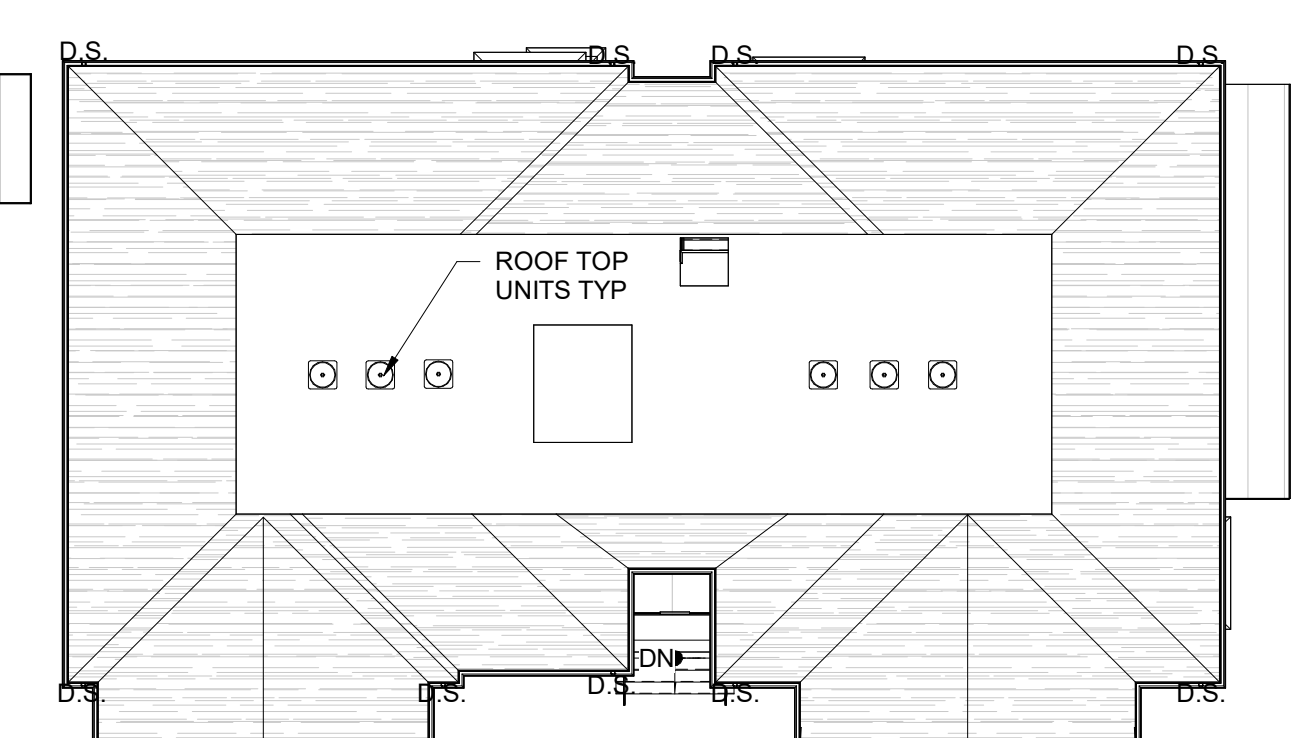
BUILDING A2



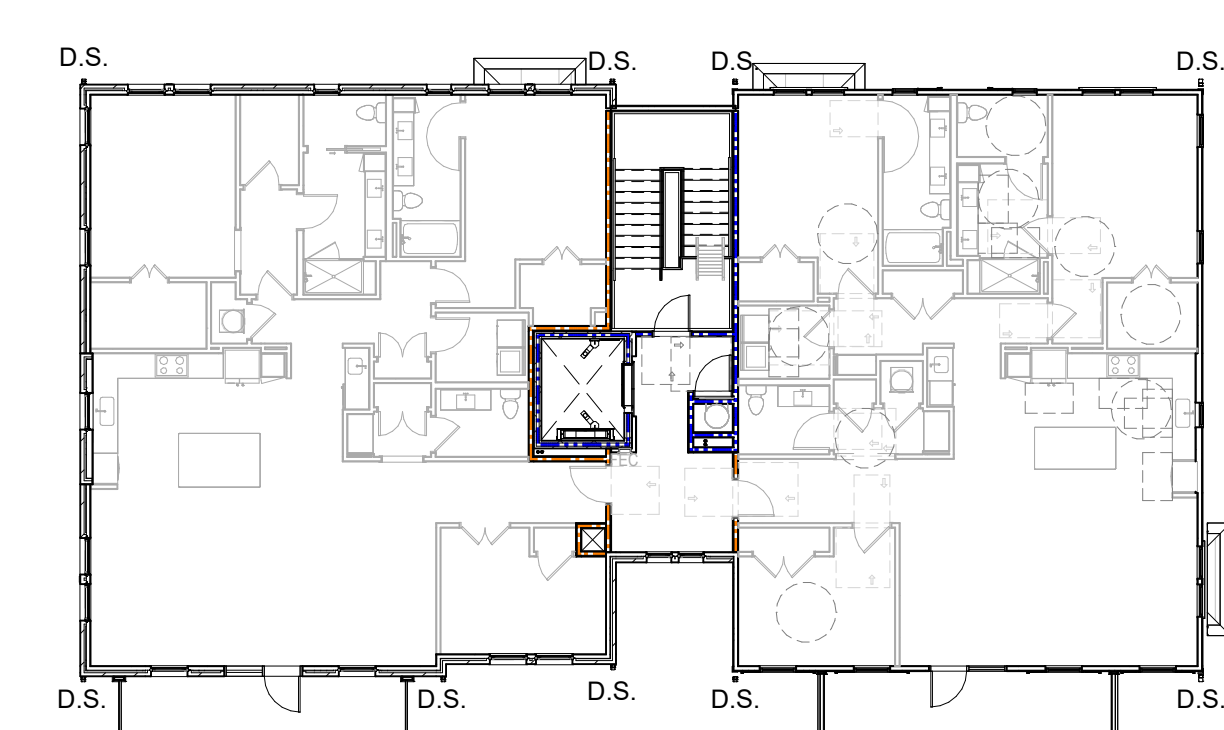
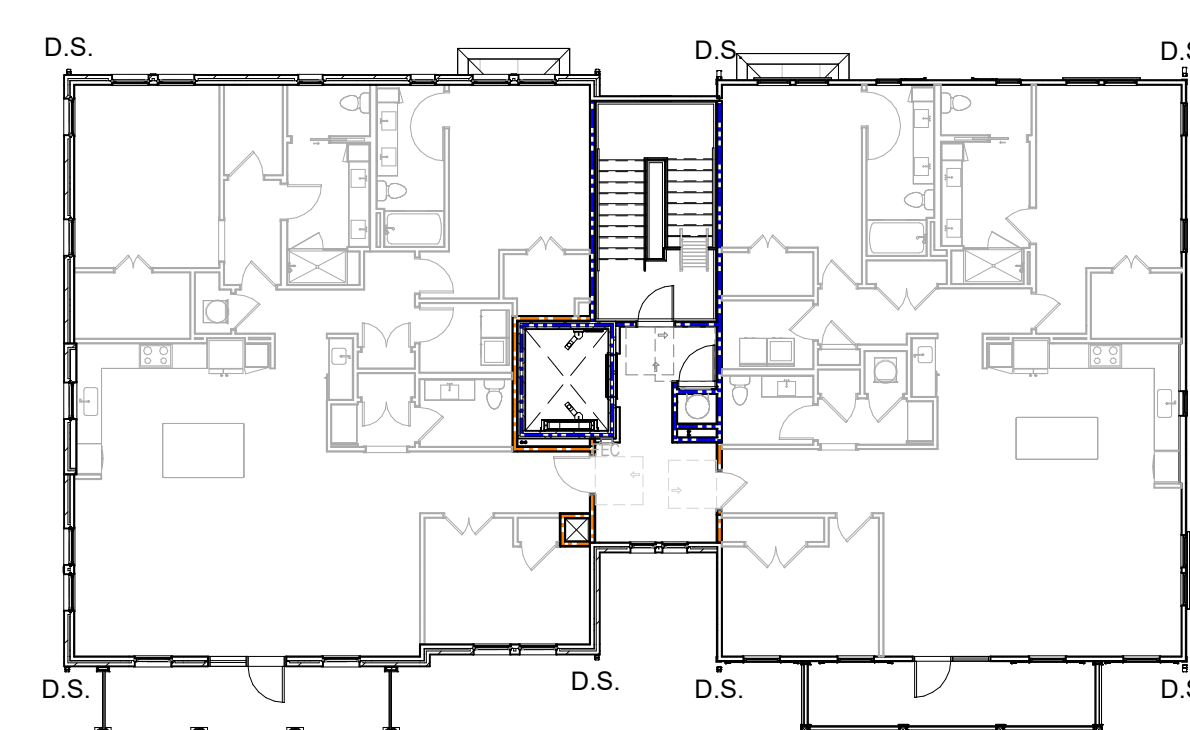
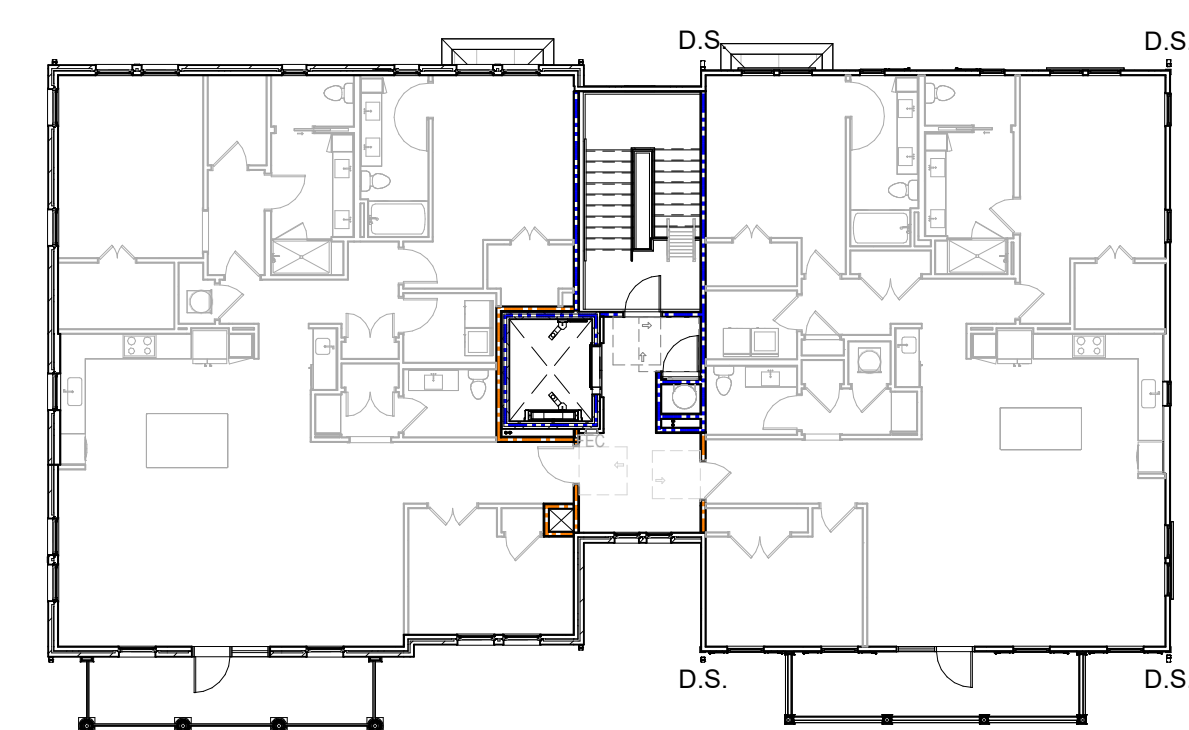
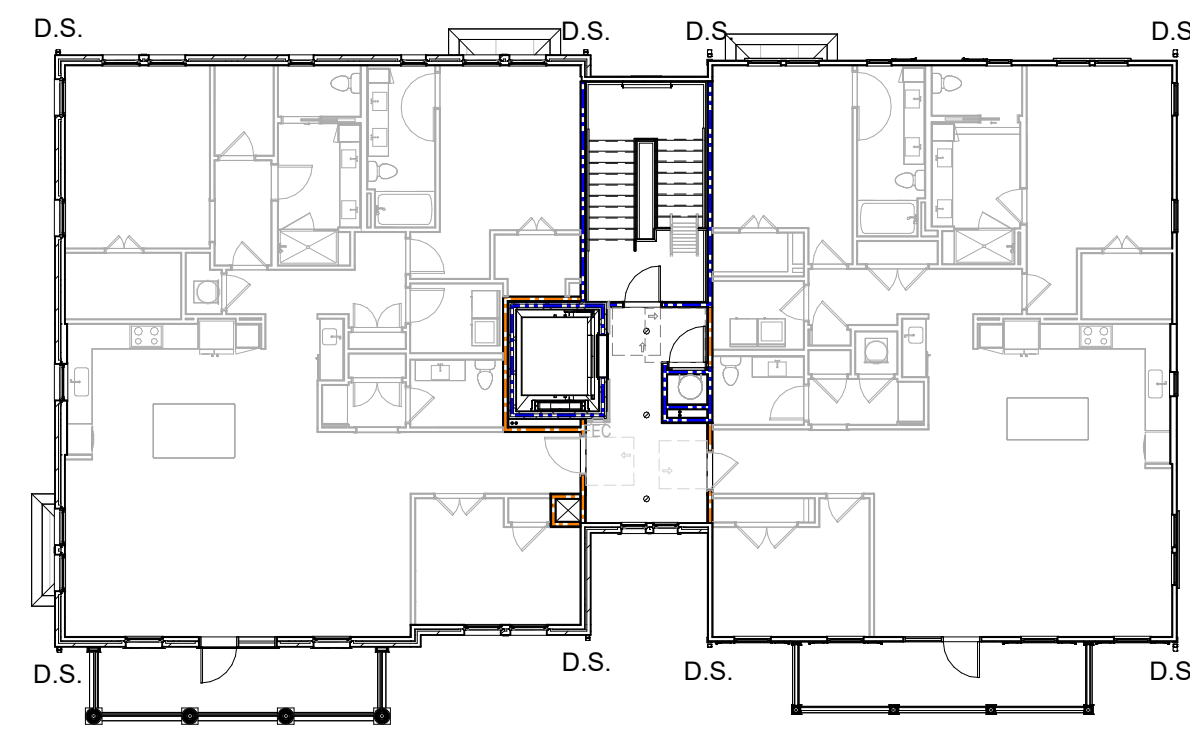
BUILDING A3



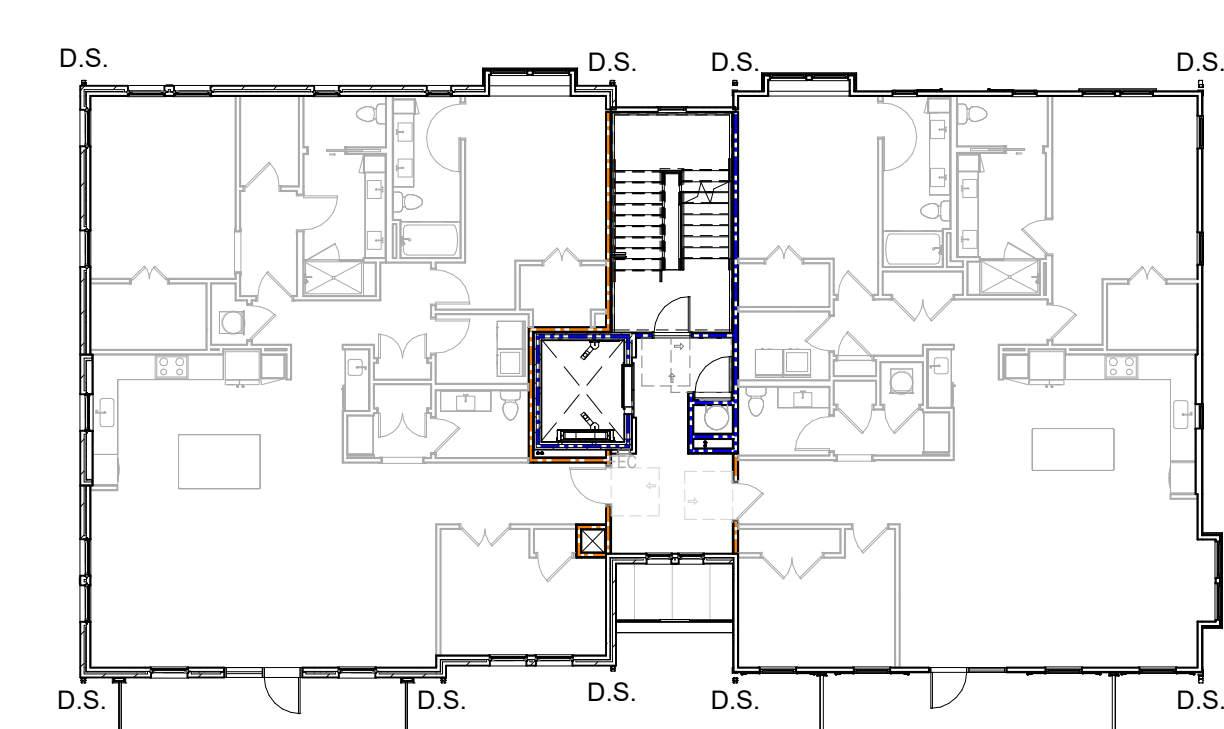
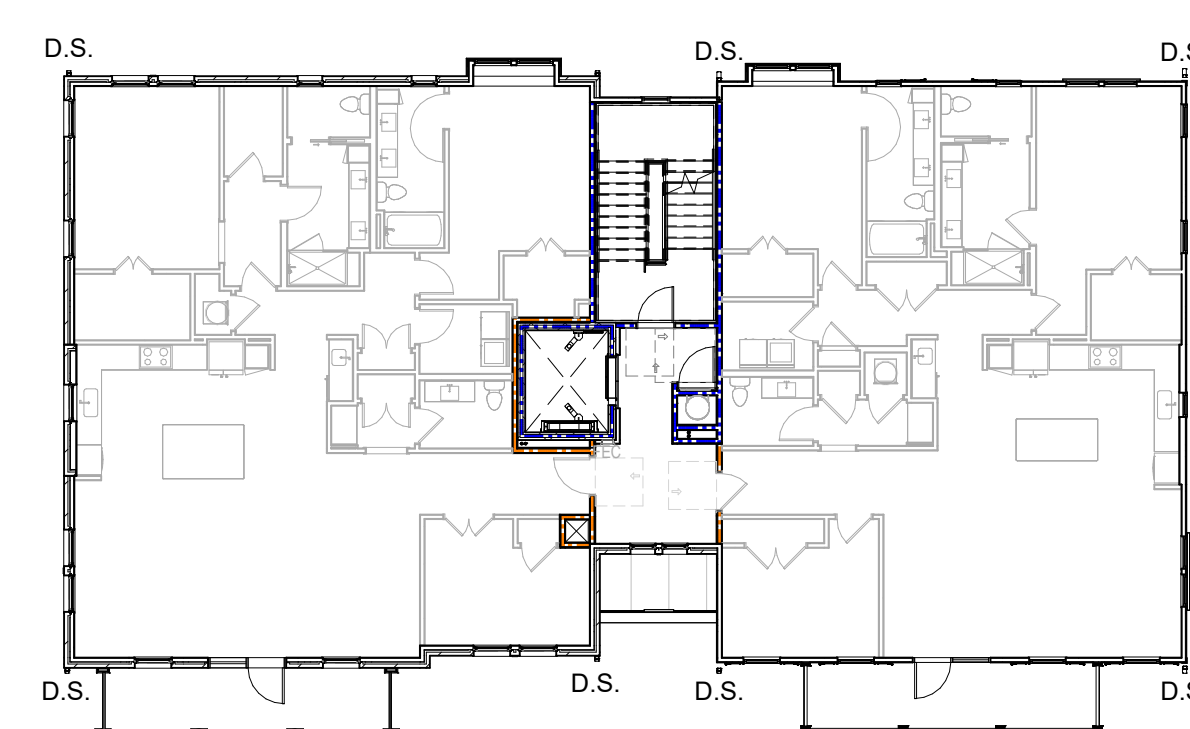
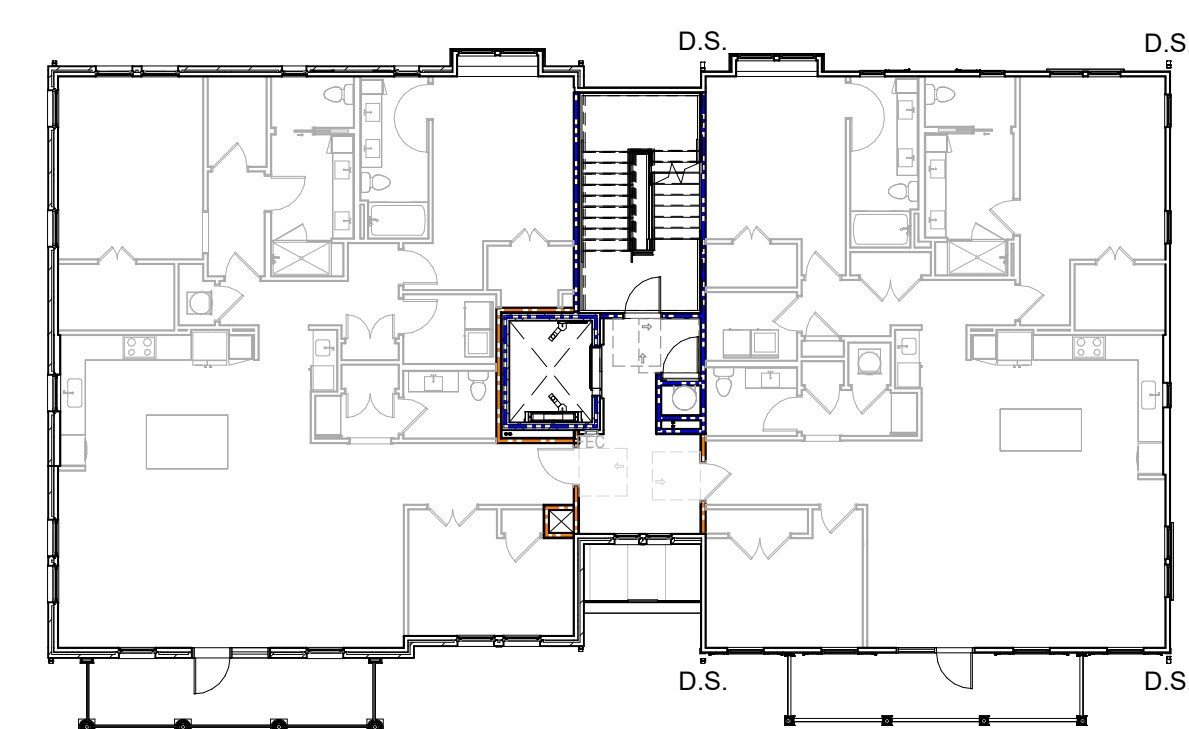
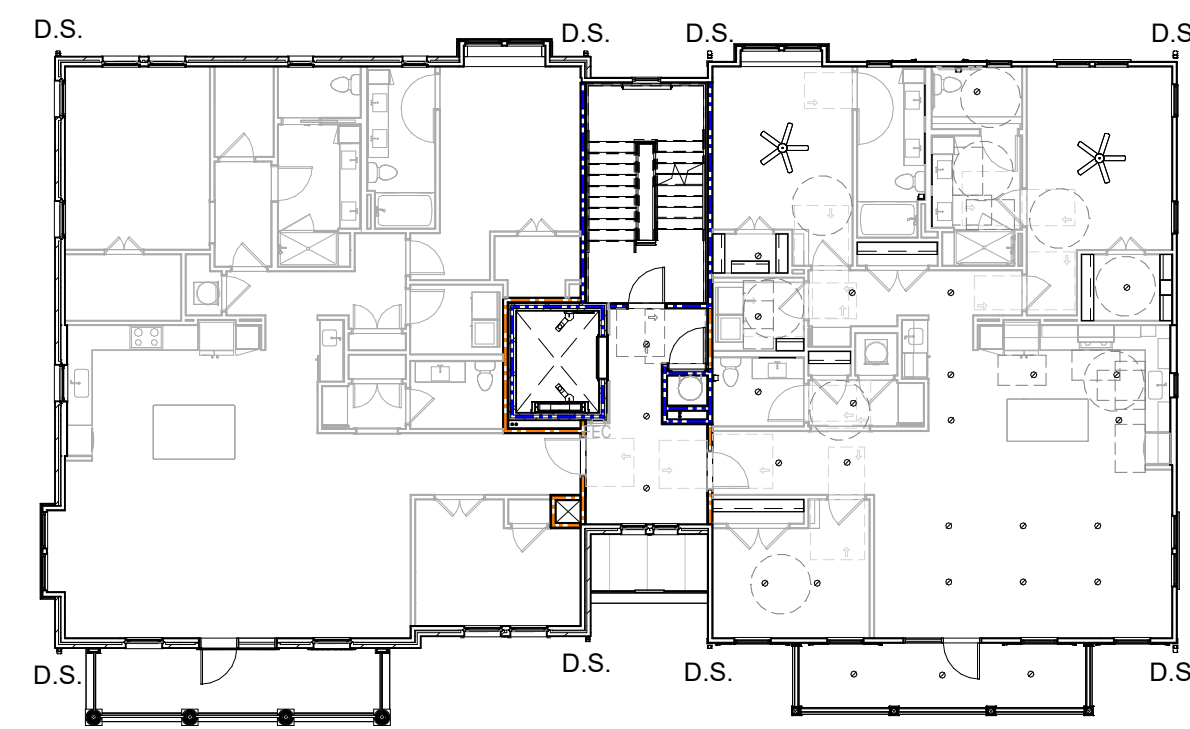
BUILDING A4



PARCEL A ROOF PLAN OVERALL 3
1/16" = 1'-0"



PARCEL A 3RD FLOOR OVERALL 2
1/16" = 1'-0"



PARCEL A 2ND FLOOR OVERALL 1
1/16" = 1'-0"

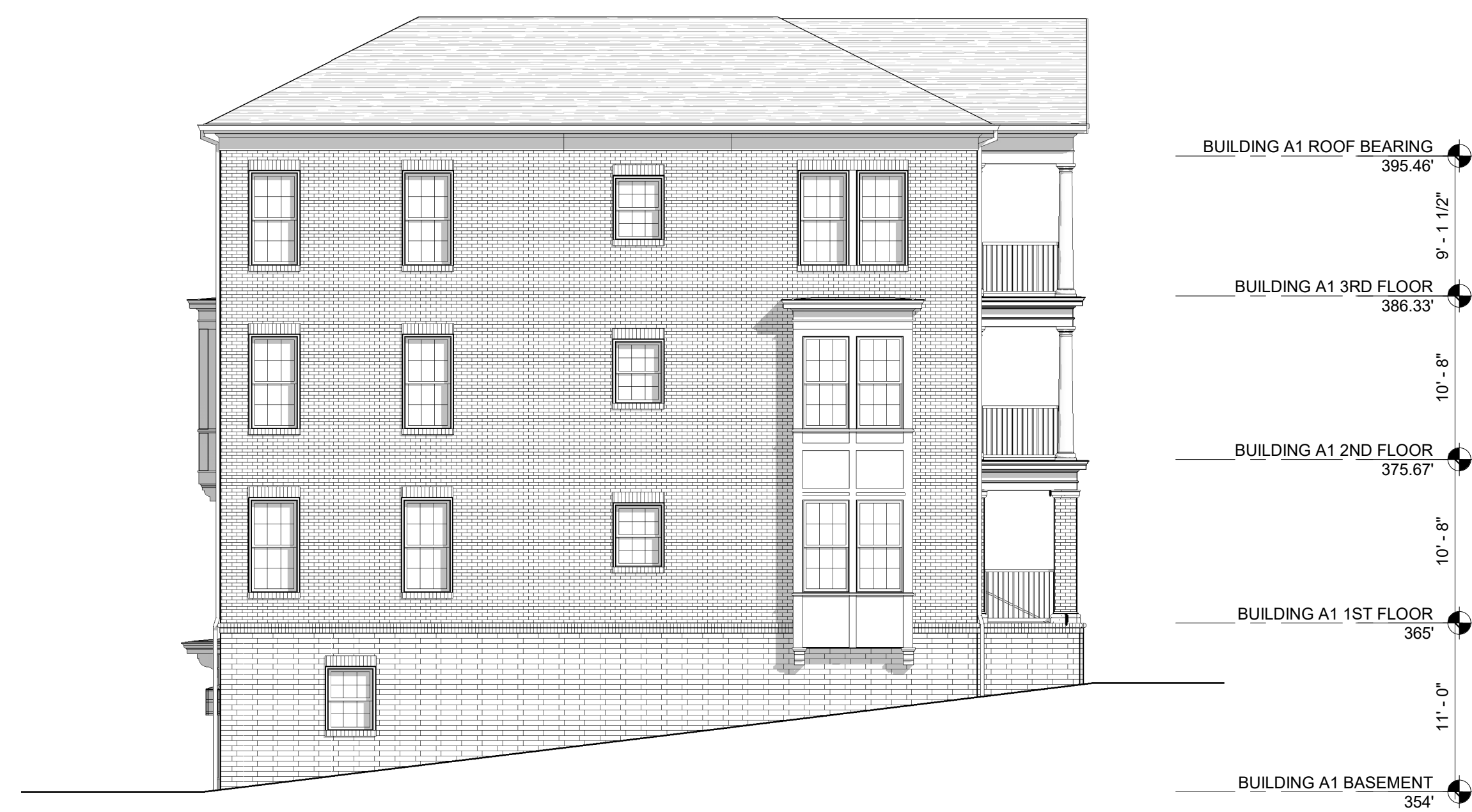




BUILDING A1 - EAST ELEVATION 4
1/8" = 1'-0"



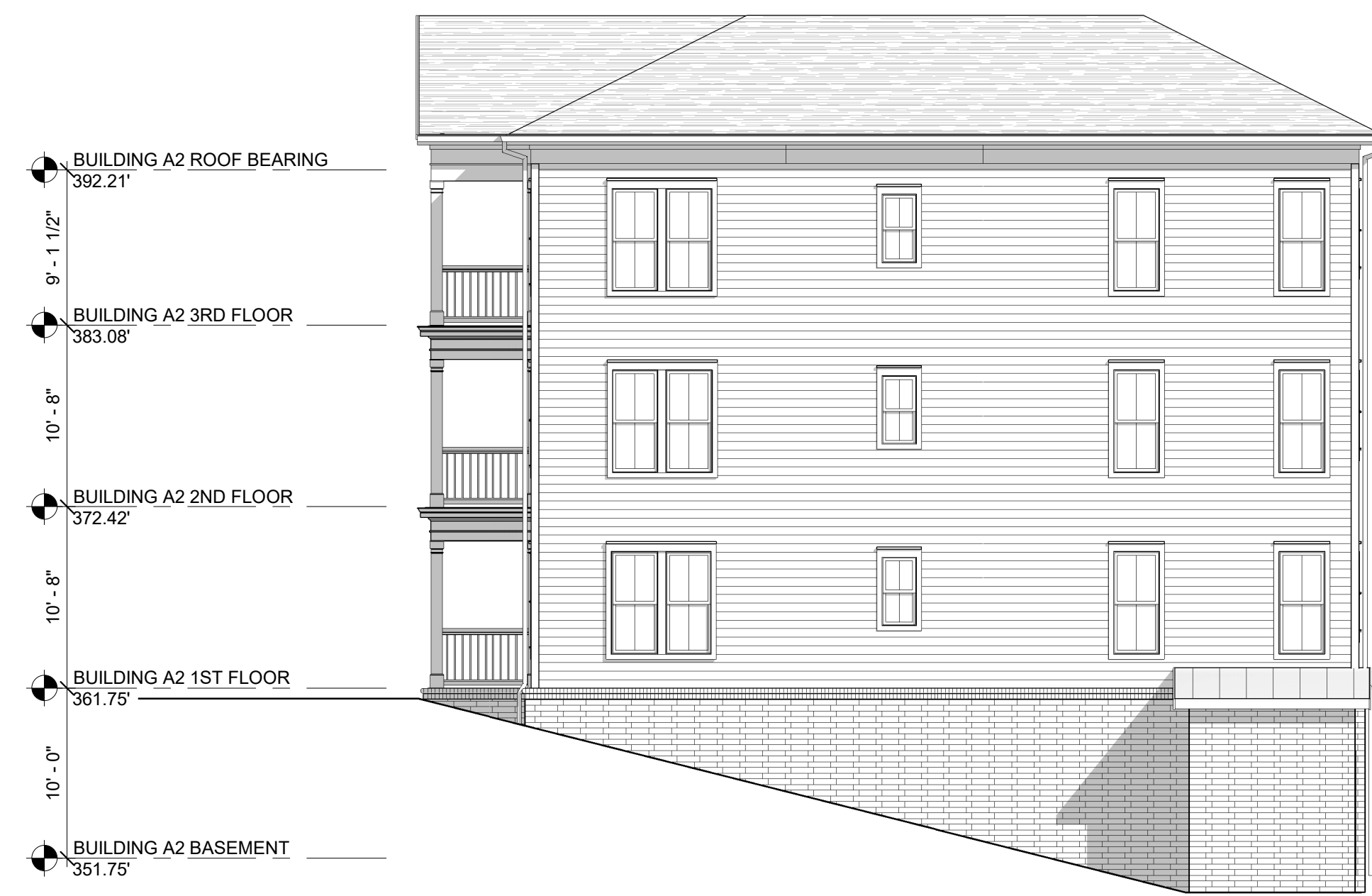
BUILDING A1 - NORTH ELEVATION 2
1/8" = 1'-0"



BUILDING A1 - WEST ELEVATION 3
1/8" = 1'-0"



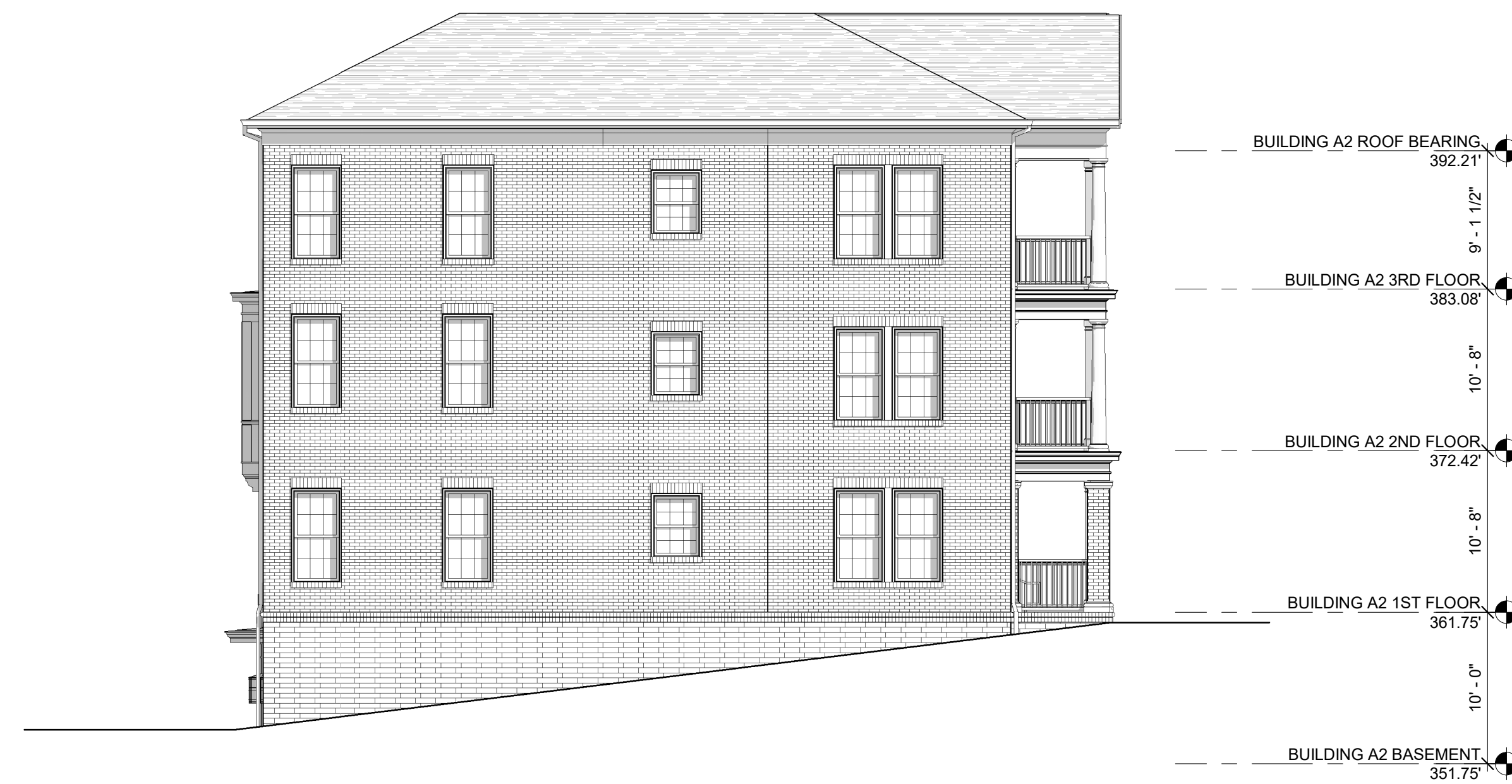
BUILDING A1 - SOUTH ELEVATION 1
1/8" = 1'-0"



BUILDING A2 - EAST ELEVATION ASR 4
1/8" = 1'-0"



BUILDING A2 - NORTH ELEVATION ASR 2
1/8" = 1'-0"



BUILDING A2 - WEST ELEVATION ASR 3
1/8" = 1'-0"



BUILDING A2 - SOUTH ELEVATION ASR 1
1/8" = 1'-0"





BUILDING A3 - EAST ELEVATION ASR 4
1/8" = 1'-0"



BUILDING A3 - NORTH ELEVATION ASR 2
1/8" = 1'-0"



BUILDING A3 - WEST ELEVATION ASR 3
1/8" = 1'-0"



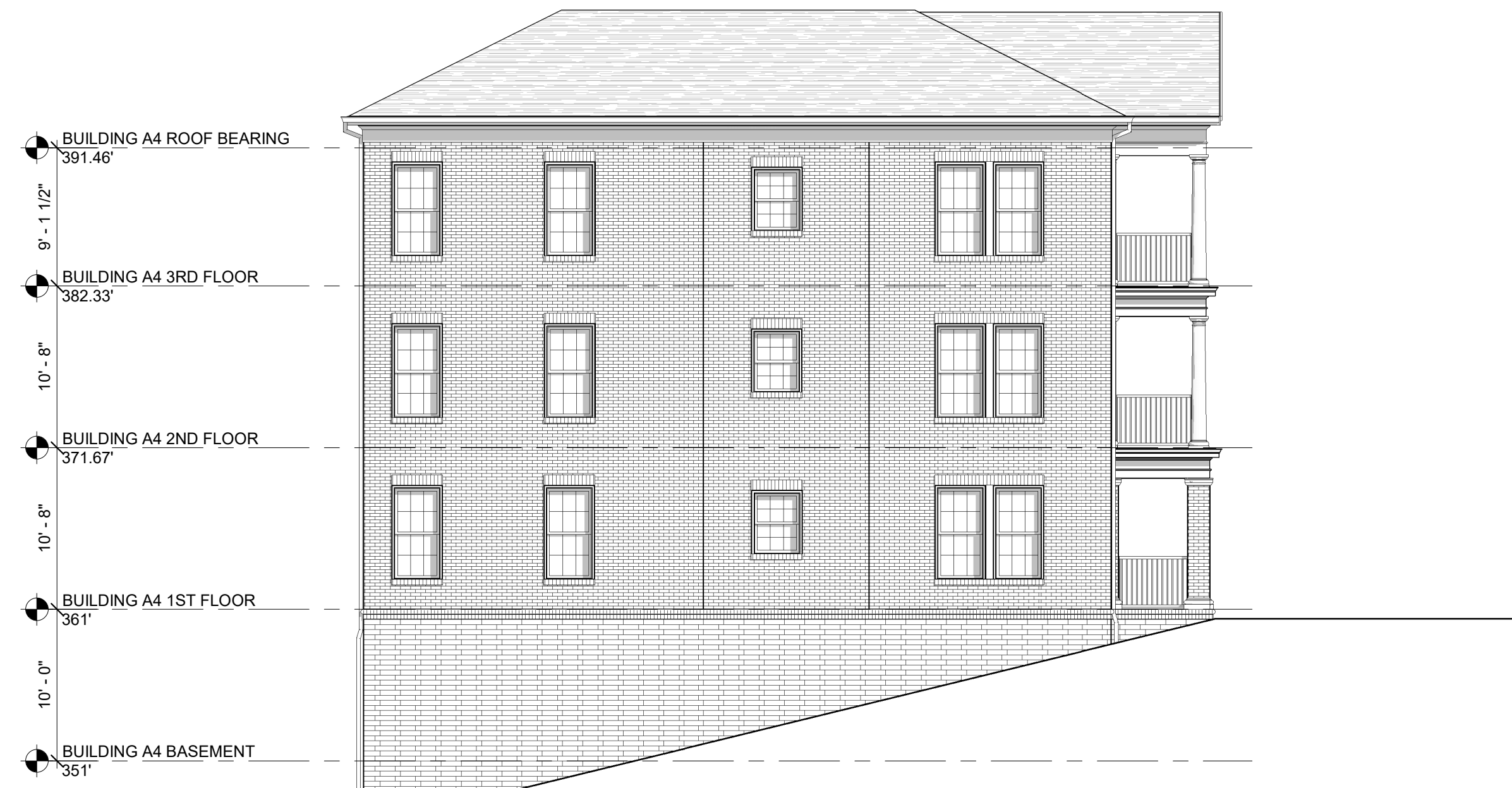
BUILDING A3 - SOUTH ELEVATION ASR 1
1/8" = 1'-0"



BUILDING A4 - EAST ELEVATION ASR 4
1/8" = 1'-0"



BUILDING A4 - NORTH ELEVATION ASR 2
1/8" = 1'-0"



BUILDING A4 - WEST ELEVATION ASR 3
1/8" = 1'-0"



BUILDING A4 - SOUTH ELEVATION ASR 1
1/8" = 1'-0"

