



Administrative Approval Action

Case File / Name: ASR-0027-2022
DSLC - Budleigh East

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Oberlin Road, north of Fairview Road at 2504, 2506, 2508, 2510, 2512, 2516, 2518, 2520, 2522, 2526, 2528, 2530, 2532, 2534 & 2538 Bicton Place & 2610 Welham Alley.

REQUEST: Development of a 1.13 acre/49,329 sf tract zoned R-10 in a Frequent Transit Area. This tract was originally approved as part of the Budleigh East Subdivision (SUB-0054-2020)(SPR-0197-2021). This proposed multi-unit re-development includes former townhome lots 16-29, which will be recombined into 1 tract/Lot 16, as shown on the preliminary plan for a proposed 24 multi-units total (6 units per building) in four, 3-story apartment buildings. The overall proposed gross building area is 70,576 sf (17,644 sf per building). Note, the proposed amenity area for this development, Budleigh East Flats, will include sharing a portion of the recorded amenity area for Budleigh East Subdivision on Lot 55. This site portion of the overall Budleigh Development plan is located in the R-10 portion and does not include any rezoning conditions.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 8, 2022 by WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. A referenced copy of the approved retaining wall civil design approval elevations, as located and noted in the rear of private driveway of Lots 16-29, is insert into the civil plans set for ASR-0027-2022.
2. A detail of the proposed short-term bicycle parking and space maneuverability diagram, per the Raleigh Transit Manual B.20.01, is inserted the civil plans set.
3. Demonstrate compliance with the SWS pickup for the multi-unit apartments, with a transposed copy of the Will Serve letter, for private hauler service, to the SPR plans set sheets.
4. Elevation grade levels drawings and details for all proposed retaining walls designs are included with the SPR plans set.



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5. Lot 30, approved as part of the Budleigh East Subdivision (SUB-0054-2020; SPR-0197-2021) is labeled and referenced with the BM/PG # on all plans set sheets.
6. Demonstrate compliance with Sec.2.7.1.D.D5.F.F5, dimensioning & noting the required 4' or 20' setbacks, for the rear garage and buildings to the private driveway alley.
7. A note is placed in the site data table "minimum lot area calculations," referencing 'UDO Sec.2.7.1. Frequent Transit Area' with the information shown, and the site design requirements noted in UDO Sec.2.7.1 A-G are noted on the Site Permit plans set.

Stormwater

8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
9. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
2. A recombination plat shall be recorded, recombining existing Lots 16-29 into Lot 16 per the approved preliminary ASR approval.
3. A Shared Amenity Agreement between Lot 16 of Budleigh East Apartments (ASR-0027-2022) and the preliminary subdivision approval for SUB-0054-2020 Budleigh East Subdivision shall be recorded prior to or in conjunction with any plat recordings.

Stormwater

4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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7. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.
2. Provide fire flow analysis.
3. A recombination map shall be recorded, recombining the existing lots into a single tract.
4. A copy of the Shared Amenity Agreement for Lot 16 and SUB-0054-2020 shall be recorded and a copy of the recorded, signed, agreement provided with building plans for permitting.

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

6. Tree impact permits must be obtained for the approved streetscape tree installations in the right of way. This development proposes 10 street trees along Bicton Place.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of right of way street trees by Urban Forestry Staff.
2. All street lights and street signs required as part of the development approval are installed.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).



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4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: December 29, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 09/01/2022
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
4. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
5. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION ON BUSINESS PUBLIC RIGHTS OF WAY.

7. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND. HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (504 CMR), 2010. THE CONTRACTORS FOR ACCESSIBILITY DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
8. IF UNFORESEEN CONDITIONS DURING PUBLIC WORKS CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.

PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH STREET DESIGN DEPARTMENT AND THE PUBLIC WORKS DEPARTMENT TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2420 TO SET UP THE MEETING.

THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
12. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEND "RIGHT-OF-WAY CLOSURES" ON WWW.RAELGHC.COM, COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RAELGHC.COM.
13. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
14. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
15. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECTURAL/ENGINEER PRIOR TO ANY

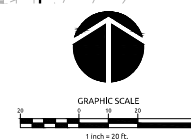
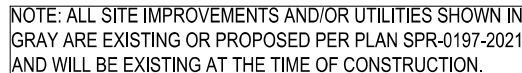


Table with 2 columns: LOT NUMBER, MAXIMUM IMPERVIOUS AREA. Includes subtotals for EXISTING MAX IMPERVIOUS AREA ALLOCATION and COMBINED MAX IMPERVIOUS AREA ALLOCATION.

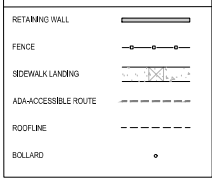
GENERAL NOTES:

- 1. ALL CONSTRUCTION AND UTILITIES SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS & APPLICABLE.
- 2. THE CONTRACTOR SHALL OBTAIN A PERMIT-TO-CONSTRUCT FROM THE CITY OF RALEIGH FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A PUBLIC RIGHT-OF-WAY. PARKING SPACES OR SIDEWALKS FROM HIGHWAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- 3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THE PLAN ARE REQUIRED, THE CITY OF RALEIGH SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO BRANCH OF PERMITS OR RECORDING OF ANY PLAN FOR THE DEVELOPMENT.
- 4. FIELD ADJUSTMENTS TO THE PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- 5. ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, HALDIX, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, SURVEY DATA FROM CAROLINA SPOKE IN THE FORM OF A MAPS 2019, AND SURVEY DATA INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- 6. ALL PROPOSED CURBS AND GUTTERS MINIMUM 18" WIDE OF ANY DRIVE OR DRIVE ALLEY TO BE SET BY CITY OF RALEIGH STANDARDS. CONCRETE CURBS AND GUTTERS, AND ALL OTHER PROPOSED CURBS AND GUTTERS TO BE 3" CONCRETE TO CURB AND GUTTER UNLESS OTHERWISE STATED ON PLAN.
- 7. ALL DRIVEWAYS SHOWN ARE TRACES OF CURBS, UNLESS OTHERWISE STATED ON PLAN.
- 8. WITHIN THE RIGHT-OF-WAY, THERE SHALL BE NO DISTRIBUTION BETWEEN 2 FEET AND 3 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WALKWAY OR PARK. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY FORM FURNITURE, FENCE, WALL, SIGN, OR TURNED VEHICLE.
- 9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN IN-ROAD TURNING RADIUS OF 27' MINIMUM.
- 10. TRASH AND CARGO/DUMPSTER ENCLOSURE SHALL COMPLY WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- 11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT-OF-WAY.
- 12. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTRACTOR TO OBTAIN ALL CITY OF RALEIGH FIELD LOCATION OF UNDERGROUND UTILITIES.
- 13. HANDICAP PARKING SPACES AND ACCESSIBLE SPACES SHALL BE NO GREATER THAN TWO PERCENT (2%) OF TOTAL PARKING SPACES AS PER ADA STANDARDS.
- 14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- 15. ALL RETAINING WALLS GREATER THAN 2' IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE, NO RETAINING WALLS ARE PERMITTED IN THE HIGHWAY RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- 16. THE MINIMUM CLEARANCE FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 30' WITHIN THE RIGHT-OF-WAY OF THE CURBLINE OF THE HIGHWAY OR HIGHWAY OVERPASS. UNLESS OTHERWISE NOTED, CLEARANCE SHALL BE 30' MINIMUM.
- 17. ALL ACCESS RAMP AND DRIVE PROVISIONS ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS. PROVIDE FURNITURE AND SIGNAGE SPECIFICATIONS.
- 18. ALL RAMP AND HANDRAILS SHALL BE CONFORM TO ADA STANDARDS.
- 19. ALL ASIDE DRIVEWAY UTILITY COVERS TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE. PRESTIGE ELECTRICAL TRANSFORMERS, BUSES OR CABLE VOTERS SHALL BE SCREENED FROM OFFICER VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- 20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS IN WHEELCHAIR AND LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND A TEMPORARY PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROVIDED), 2010 ADA STANDARD FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 21. IF AN OVERSEER CONSIDERS DUE TO DURING CONSTRUCTION, REFER TO CITY OF RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS DEPARTMENT FOR PERMITS TO CLOSE.
- 22. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT. TRANSPORTATION FIELD SERVICES STAFF TO DISCUSS THE SPECIFIC COMPONENTS OF THE PLANNING AND DESIGN OF THESE ROUTES. DURING CONSTRUCTION, CONTACT ENGINEERING INSPECTIONS AT INSPECTION TO SET UP THE MEETING. INCORPORATE TO THE PLAN.
- 23. THE CONTRACTOR SHALL CONDUCT THIS WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCURRING TO TRAFFIC.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE MINIMUM OF THE RATED CURRENTLY USED.
- 25. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. ALL HIGHWAY CLOSURES ON WALKWAY SHALL BE SUBMITTED TO THE CITY OF RALEIGH AND SHALL BE APPROVED BY THE CITY OF RALEIGH PRIOR TO THE START OF WORK.
- 26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 27. ALL WALLS WITH HEIGHTS IN EXCESS OF 3' REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
- 28. ALL HANDICAP RAMP AND DRIVE REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
- 29. PROPOSED WALKWAY TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON PLANS.

SITE CALCULATIONS:

Table with 2 columns: REQUIRED, PROVIDED. Includes calculations for NEW LOT 10 AREA, MINIMUM PARKING CALCULATIONS, MINIMUM BICYCLE PARKING CALCULATIONS, MINIMUM LOT AREA CALCULATIONS.

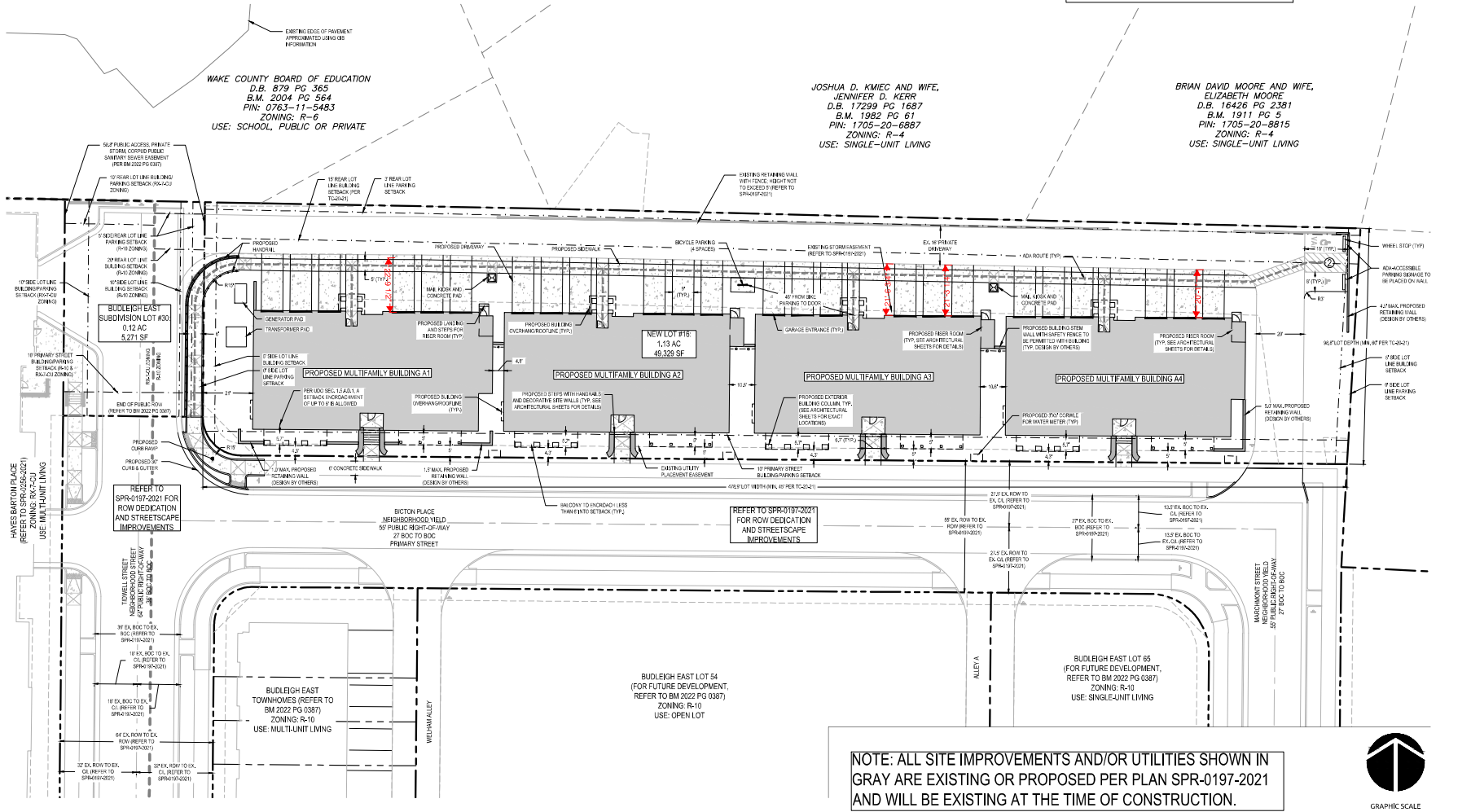
SITE LEGEND:



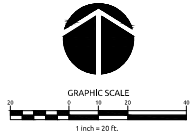
WAKE COUNTY BOARD OF EDUCATION
D.B. 879 PG 365
B.M. 2004 PG 564
PIN: 0763-11-5483
ZONING: R-5
USE: SCHOOL, PUBLIC OR PRIVATE

JOSHUA D. KMIEC AND WIFE,
JENNIFER D. KERR
D.B. 17299 PG 1687
B.M. 1992 PG 61
PIN: 1705-20-6887
ZONING: R-4
USE: SINGLE-UNIT LIVING

BRIAN DAVID MOORE AND WIFE,
ELIZABETH MOORE
D.B. 16428 PG 2381
B.M. 1911 PG 5
PIN: 1705-20-8815
ZONING: R-4
USE: SINGLE-UNIT LIVING



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



WithersRavenel Engineers | Planners | Surveyors

BUDLEIGH EAST FLATS (FORMERLY BUDLEIGH SUBDIVISION LOTS 16-29, 30, & 55) RALEIGH, NC

SITE PLAN

PRELIMINARY NOT APPROVED FOR CONSTRUCTION






Revisions table with 3 columns: Revision, Description, Date.

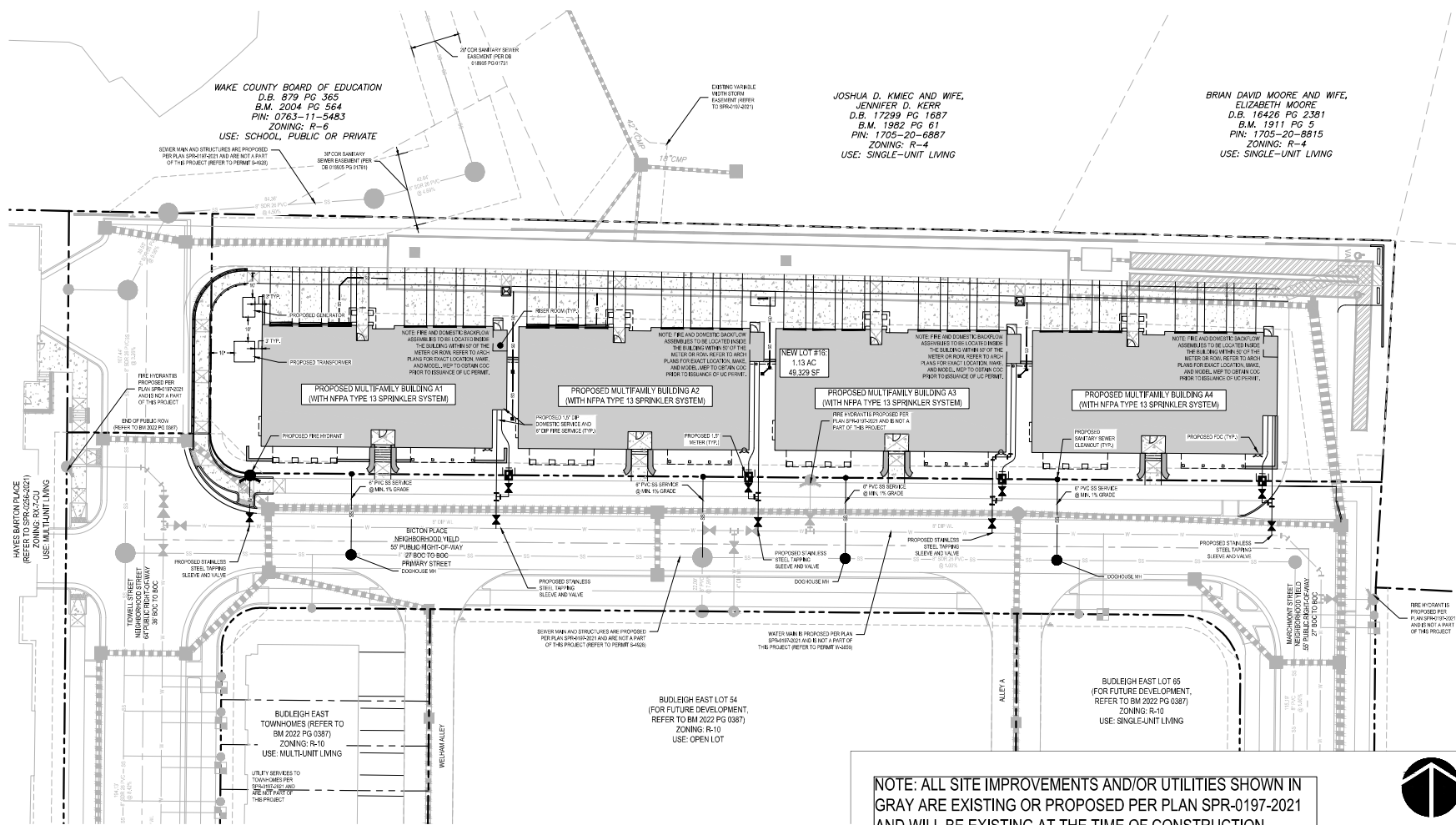
C2.0

COR APPENDIX D STANDARD UTILITY NOTES

- | FOR STANDARD OR STANDARD UTILITY NOTES: | |
|---|---|
| <p>1. ALL APPROPRIATE MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>2. UTILITY SEPARATION REQUIREMENTS:</p> <p>A. A MINIMUM OF 30" SHALL BE MAINTAINED BETWEEN ANY UTILITY SEAT AND ANY ADJACENT STRUCTURE OR EXISTING UTILITY, SUCH AS AN ADJACENT SEWER OR WATER MAIN.</p> <p>B. THE SEPARATION OF CROSSING UTILITIES BY ADEQUATE, APPROVED MATERIALS CANNOT BE USED TO MAINTAIN THE SEPARATION OF UTILITIES. THE SEPARATION OF UTILITIES BY ADEQUATE, APPROVED MATERIALS CANNOT BE USED TO MAINTAIN THE SEPARATION OF UTILITIES. THE SEPARATION OF UTILITIES BY ADEQUATE, APPROVED MATERIALS CANNOT BE USED TO MAINTAIN THE SEPARATION OF UTILITIES.</p> | <p>3. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>4. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>5. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> |
| <p>6. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>7. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>8. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> | <p>9. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>10. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> <p>11. 3/4" MINIMUM HOLES SHALL BE MAINTAINED FOR ALL SANITARY SEWER LATERALS AND MAINS. ALL SANITARY SEWER LATERALS AND MAINS SHALL BE IN ACCORDANCE WITH THE CITY OF SALEM DESIGN STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION.</p> |

UTILITIES LEGEND

SYMBOL	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED WATER LINE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER LINE



NOTE: ALL SITE IMPROVEMENTS AND/OR UTILITIES SHOWN IN GRAY ARE EXISTING OR PROPOSED PER PLAN SPR-0197-2021 AND WILL BE EXISTING AT THE TIME OF CONSTRUCTION.



GRAPHIC SCALE

20 0 50 20

1 inch = 20 ft.

WithersRavenel
Engineers | Planners | Surveyors

127 S. Wilmington Street, Suite 200 | Raleigh, NC 27602 | E: info@wr-engineers.com | T: 919.469.2340 | Fax: 919.469.2349

**BUDLEIGH EAST FLATS
(FORMERLY BUDLEIGH
SUBDIVISION LOTS
16-29, 30, & 55)
RALEIGH, NC**

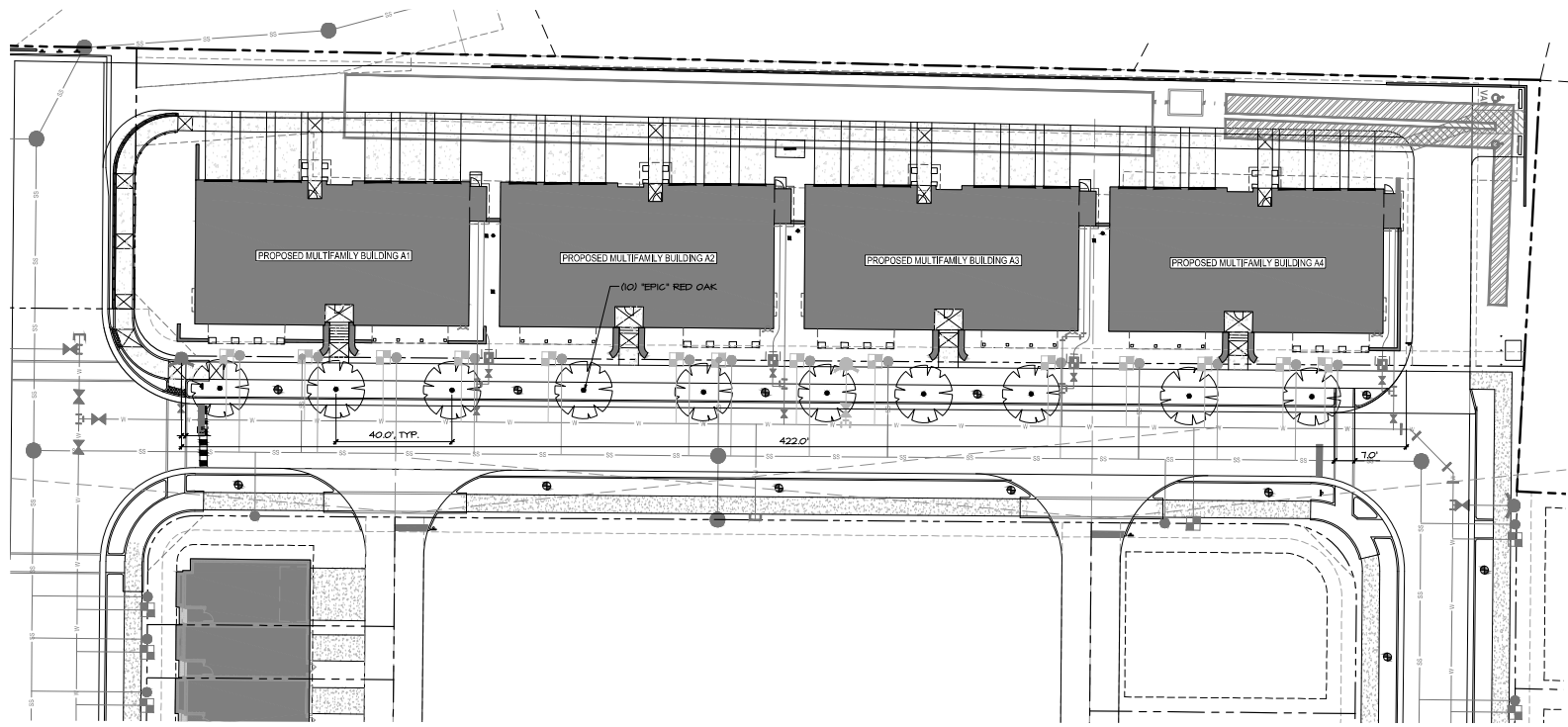
UTILITY PLAN

Job No. 022170437.06	
Date 04/08/22	Drawn By W
Checked By	Designer

PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

Revisions		
1	COR COMMENTS	06/10/2018
2	COR COMMENTS	08/08/2018

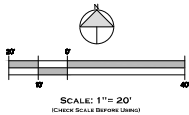
Sheet No.
C4.0



STREET TREE CALCULATIONS
BICTON PLACE, STREET TREES
422 LF
1 LARGE TREE/40 LF
422- 8.5 (SIDEWALKS) = 413.5 LF
413.5/40 = 10.34 TREES REQUIRED
10 TREES PROVIDED
INSTALL 3" CALIPER, 10' TALL

QTY	CODE REQUIRED PLANT SCHEDULE		SIZE	NOTES
	BOTANICAL NAME	COMMON NAME		
	TREES AND LARGE EVERGREENS			
10	EPIC® RED OAK	EPIC® RED OAK	3" CAL., 10' TALL	FULL MATURING STREET TREES

NOTE:
1. STREET TREES SHALL BE
INSTALLED AND MAINTAINED
IN ACCORDANCE WITH THE
REQUIREMENTS OF CHAPTER
2 OF THE CITY TREE MANUAL



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization shall not be a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and this digital signature remains valid.

CITY OF RALEIGH DEVELOPMENT APPROVAL

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SURVEYOR:
WITHERS & RAVENEL
115 SOUTHVALE DRIVE, CARY, NC 27511
919.851.4344

SEAL BY SIGNATURE:
(Signature)
NOT APPROVED FOR
CONSTRUCTION UNLESS SIGNED
BY LANDSCAPE ARCHITECT

CLIENT
GRUBB
VENTURES

BUDLEIGH EAST FLATS
BICTON PLACE
RALEIGH, NORTH CAROLINA

ISSUED FOR:
SUBMITTAL
ISSUED DATE:
6/7/2022

REVISIONS:		
NO.	ITEM	DATE

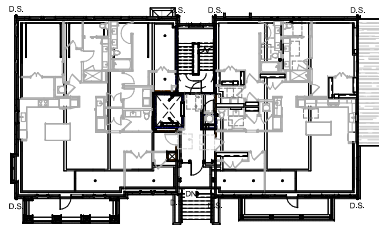
DRAWING TITLE:
CODE COMPLIANT
LANDSCAPE PLAN

DRAWN BY: RW/WAB
CHECKED BY: FL
SCALE: 1"=20'

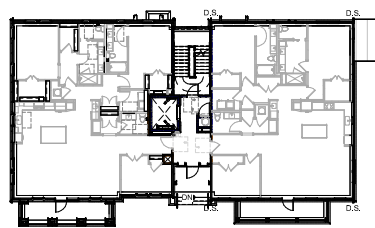
SHEET NUMBER:

L-1
OF 2

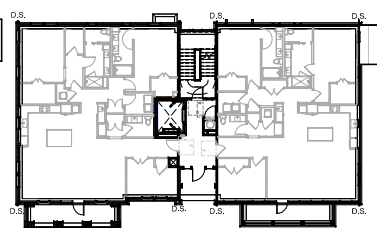
BUILDING A1



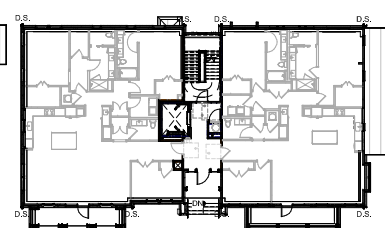
BUILDING A2



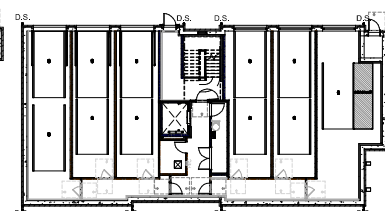
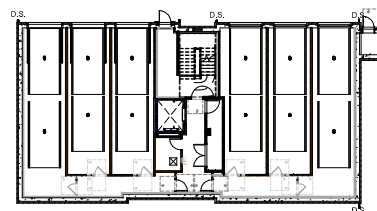
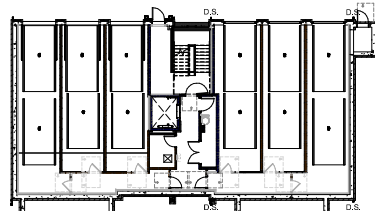
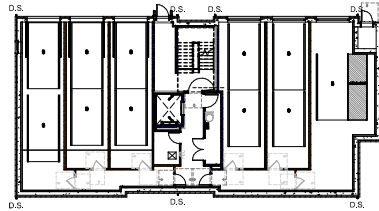
BUILDING A3



BUILDING A4



PARCEL A 1ST FLOOR OVERALL 3
1/16" = 1'-0"



PARCEL A GARAGE PLAN OVERALL 2
1/16" = 1'-0"



PARCEL A ELEVATION OVERALL 1
1/16" = 1'-0"



BUDLEIGH TOWNES & FLATS
RALEIGH, NC

PARCEL A OVERALL ELEVATIONS & PLANS ASR-A-01
1/16" = 1'-0" | 022029 | 08.08.22



BUILDING A1 ROOF BEARING 395.40'
 BUILDING A1 3RD FLOOR 386.33'
 BUILDING A1 2ND FLOOR 375.67'
 BUILDING A1 1ST FLOOR 365'
 BUILDING A1 BASEMENT 354'

BUILDING A1 - EAST ELEVATION 4
 1/8" = 1'-0"



BUILDING A1 ROOF BEARING 395.40'
 BUILDING A1 3RD FLOOR 386.33'
 BUILDING A1 2ND FLOOR 375.67'
 BUILDING A1 1ST FLOOR 365'
 BUILDING A1 BASEMENT 354'

BUILDING A1 - NORTH ELEVATION 2
 1/8" = 1'-0"



BUILDING A1 ROOF BEARING 395.40'
 BUILDING A1 3RD FLOOR 386.33'
 BUILDING A1 2ND FLOOR 375.67'
 BUILDING A1 1ST FLOOR 365'
 BUILDING A1 BASEMENT 354'

BUILDING A1 - WEST ELEVATION 3
 1/8" = 1'-0"



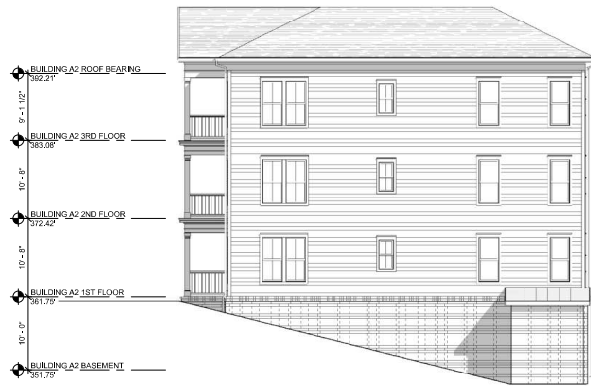
BUILDING A1 ROOF BEARING 395.40'
 BUILDING A1 3RD FLOOR 386.33'
 BUILDING A1 2ND FLOOR 375.67'
 BUILDING A1 1ST FLOOR 365'

BUILDING A1 - SOUTH ELEVATION 1
 1/8" = 1'-0"



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BUILDING A1 ELEVATIONS ASR-A-03
 1/8" = 1'-0" | 022029 | 08.08.22



BUILDING A2 - EAST ELEVATION ASR
1/8" = 1'-0"

4



BUILDING A2 - NORTH ELEVATION ASR
1/8" = 1'-0"

2



BUILDING A2 - WEST ELEVATION ASR
1/8" = 1'-0"

3



BUILDING A2 - SOUTH ELEVATION ASR
1/8" = 1'-0"

1



BUDLEIGH TOWNES & FLATS
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BUILDING A2 ELEVATIONS ASR-A-04
1/8" = 1'-0" | 022029 | 08.08.22



BUILDING A3 - EAST ELEVATION ASR
1/8" = 1'-0"

4



BUILDING A3 - NORTH ELEVATION ASR
1/8" = 1'-0"

2



BUILDING A3 - WEST ELEVATION ASR
1/8" = 1'-0"

3



BUILDING A3 - SOUTH ELEVATION ASR
1/8" = 1'-0"

1



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BUILDING A3 ELEVATIONS ASR-A-05
1/8" = 1'-0" | 022029 | 08.08.22



BUILDING A4 - EAST ELEVATION ASR
1/8" = 1'-0"

4



BUILDING A4 - NORTH ELEVATION ASR
1/8" = 1'-0"

2



BUILDING A4 - WEST ELEVATION ASR
1/8" = 1'-0"

3



BUILDING A4 - SOUTH ELEVATION ASR
1/8" = 1'-0"

1



BUDLEIGH TOWNES & FLATS
RALEIGH, NC

BUILDING A4 ELEVATIONS ASR-A-06
1/8" = 1'-0" | 022029 | 08.08.22