

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input type="checkbox"/>
Building Type		Site Transaction History
<input type="checkbox"/> Detached  <input type="checkbox"/> Attached  <input type="checkbox"/> Apartment  <input type="checkbox"/> Townhouse  <input type="checkbox"/> Tiny house	<input type="checkbox"/> Cottage Court  <input type="checkbox"/> General  <input type="checkbox"/> Mixed use  <input type="checkbox"/> Open lot  <input type="checkbox"/> Civic	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?    Yes    No		
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
<b>Current Property Owner(s):</b>		
Company:	Title:	
Address:		
Phone #:	Email:	
<b>Applicant Name (If different from owner. See “who can apply” in instructions):</b>		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner’s authorized agent <input type="checkbox"/> Easement holder		
Company:	Address:	

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units:	1br	2br	3br
			4br or more
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.


**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

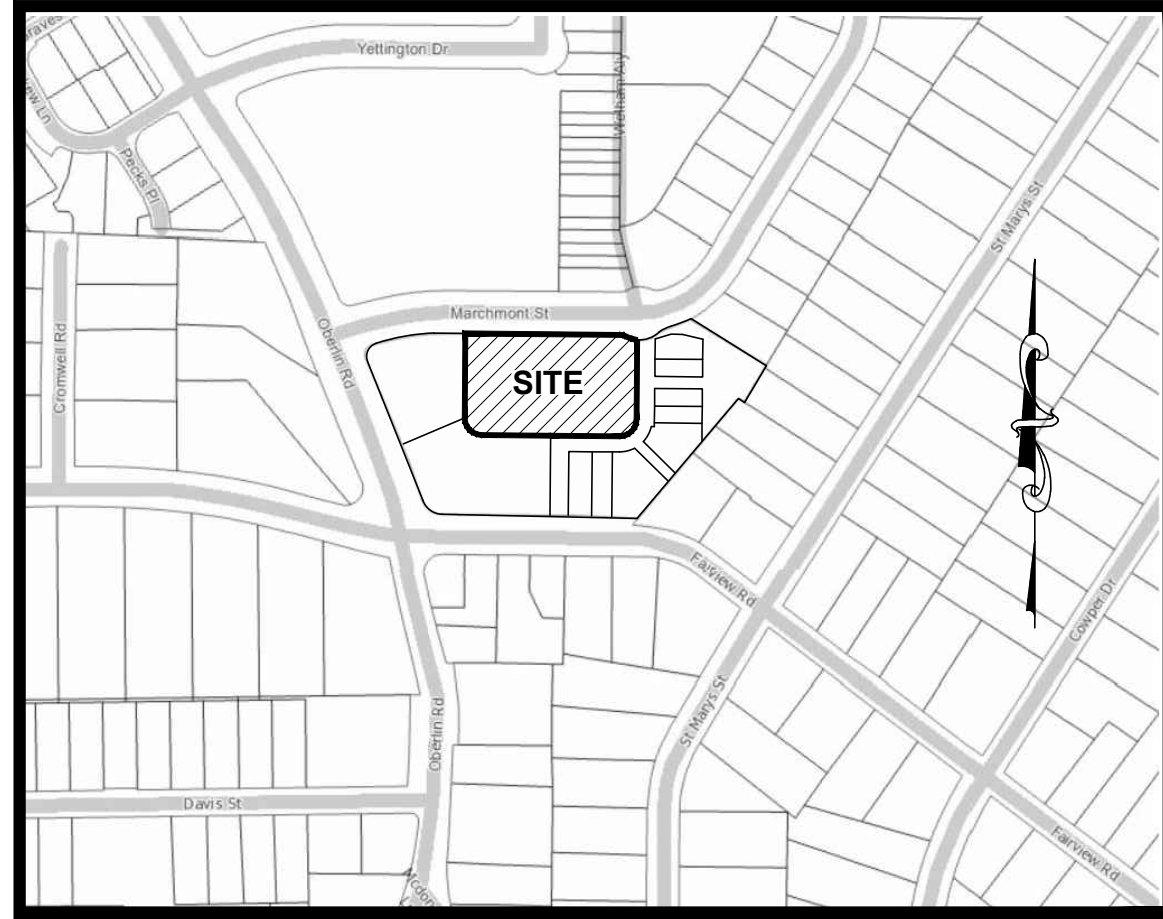
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:		Date:	4/20/23
Printed Name:	Scott Dixon		





VICINITY MAP  
(NOT TO SCALE)

# LOT 10 BUDLEIGH EAST

## ADMINISTRATIVE SITE REVIEW - TIER 3

### ASR-\_\_\_\_\_-2023

### SUB-0062-2022(REV)

## RALEIGH, NORTH CAROLINA

### APRIL 2023

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88

#### Administrative Site Review Application

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Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Tiny house	<input type="checkbox"/> Cottage Court <input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision case #: SUB-0062-2022 Scoping/sketch plan case #: SCOPE-0092-2022 Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

#### GENERAL INFORMATION

Development name: Lot 10 Budleigh East  
 Inside City limits?  Yes  No  
 Property address(es): 2550 Oberlin Road  
 Site P.I.N.(s): 1704-29-3852  
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 18 Condominium units in a single building over structured parking

Current Property Owner(s): Beacon Street Budleigh LLC  
 Company: \_\_\_\_\_ Title: \_\_\_\_\_  
 Address: PO Box 6474, Raleigh NC 27628  
 Phone #: (919) 785-1445 Email: sdixon@beacon-street.com  
 Applicant Name (if different from owner. See "who can apply" in instructions): Beacon Street Budleigh LLC  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
 Company: \_\_\_\_\_ Address: PO Box 6474, Raleigh NC 27628

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_  
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.  
 Developer Contact: Scott Dixon  
 Company: Beacon Street Budleigh LLC Title: Vice President  
 Address: PO Box 6474, Raleigh NC 27628  
 Phone #: (919) 785-1445 Email: sdixon@beacon-street.com  
 Applicant Name: Beacon Street Budleigh LLC  
 Company: \_\_\_\_\_ Address: PO Box 6474, Raleigh NC 27628  
 Phone #: (919) 785-1445 Email: sdixon@beacon-street.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): n/a
Gross site acreage: 1.0411 Acres	Existing gross floor area to be demolished: n/a
# of parking spaces proposed: 39 + 16 shared	New gross floor area: 51,567 sf
Max # parking permitted (7.1.2.C): 47 for condo use	Total of gross (to remain and new): 51,567 sf
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): multi-family condo	Proposed # of basement levels (UDO 1.5.7.A.6) 1

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf) 14,280 Proposed total (sf) 37,130	Existing (sf) 16,169 Proposed total (sf) 53,299

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 18	Total # of hotel bedrooms:
# of bedroom units: 1br <input type="checkbox"/> 2br <input checked="" type="checkbox"/> 3br <input checked="" type="checkbox"/> 4br or more <input type="checkbox"/>	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
# of lots: 1	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

**SITE DATA**

OWNER: BEACON STREET BUDLEIGH LLC  
PO BOX 6474  
RALEIGH, NC 27628-6474

ADDRESS: 2550 OBERLIN RD  
RALEIGH, NC 27608

PIN#: (PARENT PARCEL) 1704-29-3852

AREA: PROPOSED LOT 10 (SUB-0062-2022)  
45,349 S.F. (1.0411 AC.)

ZONING: R-10

CURRENT USE: VACANT

REFERENCES: DB 18959, PG 2149  
BM 2022, PG 386  
WAKE COUNTY REGISTRY

**APPLICANT SIGNATURE BLOCK**

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Signature: *Scott Dixon* Date: 4/20/23  
Printed Name: Scott Dixon

**DENSITY CALCULATION - LOT 10**

TOTAL ACREAGE: 45,349 S.F. (1.0411 AC.)

MAXIMUM DENSITY: 18.14 UNITS (1DU / 2,500SF)  
PROPOSED DENSITY: 18 UNITS (1DU / 2,519SF)

**VEHICLE PARKING SUMMARY**

PROPOSED 10 2-BR UNITS 2.25 SP PER UNIT MAX = 22.5 SPACES  
 PROPOSED 8 3-BR UNITS 3 SP PER UNIT MAX = 24 SPACES  
 MAXIMUM ALLOWED PARKING = 47 SPACES  
 TOTAL PARKING PROVIDED FOR 18 UNITS..... 39 SPACES  
 (INCLUDES) ..... 1 ADA SPACE (VAN)  
 SHARED PARKING PROVIDED FOR SUB-0062-2022..... 16 SPACES

**BICYCLE PARKING SUMMARY**

SHORT-TERM (MIN) 1 PER 20 UNITS MIN 4 = 4 SPACES (18 UNITS)  
 LONG-TERM (MIN) 1 PER 7 BR = 5 SPACES (36 BEDROOMS)

TOTAL BICYCLE PARKING PROVIDED (ALL IN GARAGE)  
 SHORT-TERM - 4 SPACES  
 LONG-TERM - 6 SPACES

**AMENITY AREA CALCULATION - LOT 10**

GROSS AREA ..... 45,349 S.F. (1.0411 AC.)  
 NET AREA ..... 45,349 S.F. (1.0411 AC.)  
 REQUIRED AREA (10%) ..... 4,535 S.F. (0.1041 AC.)  
 REQUIRED ADA ACCESSIBLE (50% OF REQ'D)..... 2,268 S.F. (0.0521 AC.)  
 PROVIDED AREA (10.4%) ..... 4,880 S.F. (0.1120 AC.)  
 PROVIDED ADA ACCESSIBLE AREA..... 2,380 S.F. (0.0546 AC.)

**SOLID WASTE SERVICES**

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

PRIVATE SERVICE TO BE PROVIDED.



September 12, 2022

Beacon Street  
2607 Oberlin Rd  
Raleigh, NC 27608  
Attn: Justin Hime

This is a letter of support for trash and recycling services for your new project being planned for Budleigh located off St. Mary's, Oberlin and Fairview.

We have reviewed the plans and have found that GFL Environmental will be able to safely perform all commercial waste and recycling services for this property.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Current design plans include residential carts for the perimeter buildings and mini mac containers for the center condo building. Valet service is anticipated by GFL. Frequency of service is to be determined.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and the trash enclosure will be large enough to accommodate the volume of trash that will be produced.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at [tara.zents@gflenv.com](mailto:tara.zents@gflenv.com).

Sincerely,

*Tara Zents*

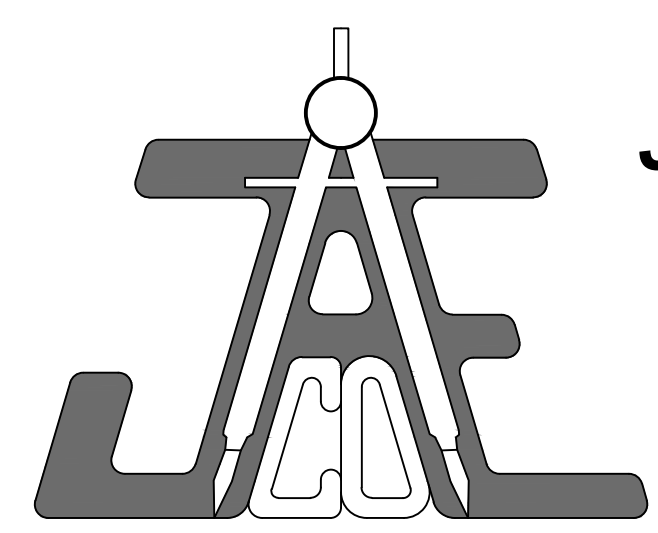
Account Manager  
GFL Environmental - Raleigh  
(M) 919-427-2399

**OWNER/DEVELOPER:**

**BEACON STREET BUDLEIGH LLC**  
 PO Box 6474  
 Raleigh, N.C. 27628  
 919-785-1445  
 sdixon@beacon-street.com

**CIVIL ENGINEER:**

**JAECO**  
**JOHN A. EDWARDS & COMPANY**  
 Consulting Engineers  
 NC License F-0289  
 333 Wade Ave., Raleigh, NC 27605  
 Phone: (919) 828-4428  
 Fax: (919) 828-4711  
 E-mail: info@jaeco.com



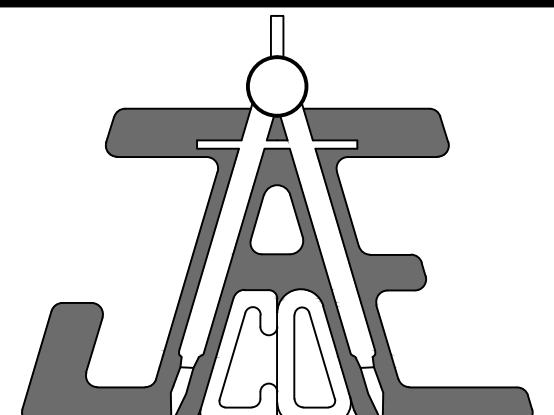
### INDEX

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CE-2	OVERALL SUBDIVISION PLAN
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CE-6	UTILITY PLAN
CE-7	GRADING / STORMWATER MANAGEMENT PLAN
L-1	FIRE DEPARTMENT PLAN
L-2	LANDSCAPE PLAN
A100	LANDSCAPE DETAILS
A104	GARAGE FLOOR PLAN
A201	ROOF DECK
A202	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS









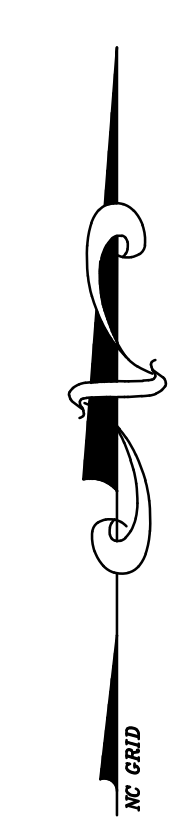
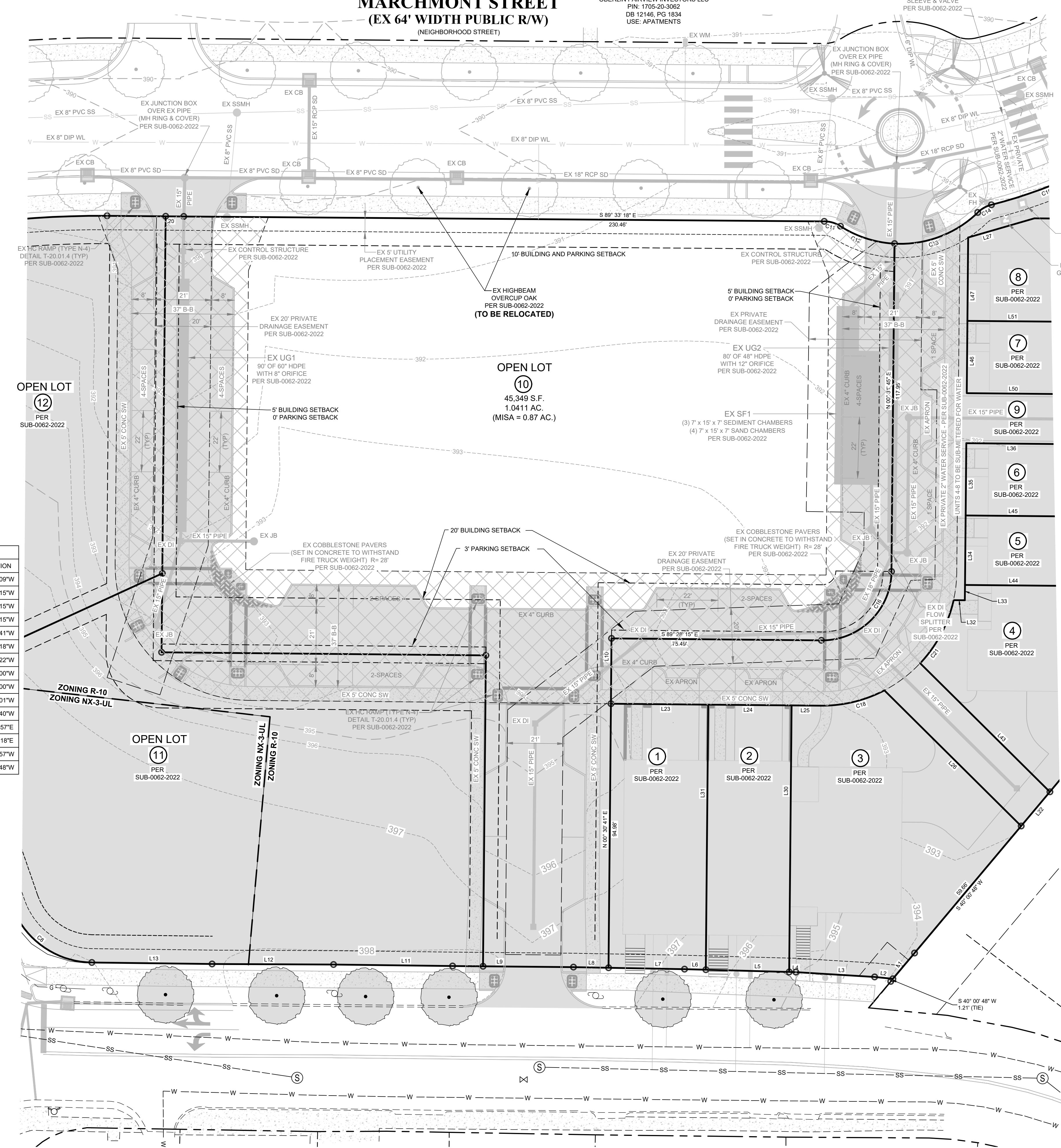
**JAECO**  
**Consulting Engineers**  
**and Land Surveyors**

NC License F-0289  
 333 Wade Ave., Raleigh, N.C. 27605  
 Phone: (919) 828-4428  
 Fax: (919) 828-4711  
 E-mail: info@jaeco.com

www.jaeco.com

**MARCHMONT STREET**  
 (EX 64' WIDTH PUBLIC R/W)  
 (NEIGHBORHOOD STREET)

NF  
 OBERLIN FAIRVIEW INVESTORS LLC  
 PIN: 1705-20-3062  
 DB 12146, PG 1834  
 USE: APARTMENTS



LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L98	35.03'	S89° 28' 15"E	L115	27.00'	S00° 31' 45"W	L132	12.64'	N88° 57' 09"W
L99	29.58'	S89° 28' 15"E	L116	72.59'	N89° 28' 15"W	L133	32.54'	N89° 28' 15"W
L100	10.88'	S89° 28' 15"E	L117	72.59'	S89° 28' 15"E	L134	10.95'	N89° 28' 15"W
L101	69.30'	S45° 14' 43"E	L118	4.06'	S89° 28' 15"E	L135	42.85'	N89° 18' 15"W
L102	95.90'	N00° 31' 45"E	L119	3.83'	N00° 31' 45"E	L136	43.71'	N89° 44' 41"W
L103	95.37'	N00° 31' 45"E	L120	24.80'	N73° 51' 31"E	L137	43.24'	N89° 17' 18"W
L104	25.67'	N00° 31' 45"E	L121	28.58'	S89° 28' 15"E	L138	61.87'	N19° 03' 22"W
L105	27.00'	N00° 31' 45"E	L122	21.67'	S88° 42' 08"E	L139	24.15'	N22° 23' 00"W
L106	72.59'	S89° 28' 15"E	L123	23.50'	N00° 31' 45"E	L140	37.74'	N22° 23' 00"W
L107	27.00'	S00° 31' 45"W	L124	18.33'	S89° 28' 15"E	L141	54.06'	N22° 52' 01"W
L108	25.67'	S00° 31' 45"W	L125	12.11'	S40° 00' 48"W	L142	48.76'	N23° 17' 40"W
L109	65.70'	N45° 14' 43"W	L126	6.60'	N84° 11' 27"W	L143	23.96'	N76° 13' 57"E
L110	72.59'	S89° 28' 15"E	L127	28.39'	N86° 31' 50"W	L144	21.07'	S89° 33' 18"E
L111	72.59'	S89° 28' 15"E	L128	2.82'	N88° 26' 40"W	L145	10.08'	N57° 08' 57"W
L112	27.00'	N00° 31' 45"E	L129	29.59'	N88° 26' 40"W	L146	16.05'	S40° 00' 48"W
L113	29.00'	N00° 31' 45"E	L130	7.68'	N88° 26' 40"W			
L114	28.43'	S00° 31' 45"W	L131	27.32'	N88° 57' 09"W			

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C8	38.00'	31.00'	070°13'56"	35.66'	N54° 10' 20"W
C9	27.79'	16.00'	099°31'37"	24.43'	N26° 28' 08"E
C10	85.08'	343.00'	014°12'46"	84.87'	N83° 20' 19"E
C11	6.18'	11.00'	032°11'23"	6.10'	S73° 27' 36"E
C12	20.65'	40.00'	029°35'02"	20.42'	S72° 09' 26"E
C13	32.89'	40.00'	047°06'53"	31.97'	N69° 29' 37"E
C14	5.70'	11.00'	029°42'08"	5.64'	N60° 47' 14"E
C15	46.36'	180.00'	014°45'22"	46.23'	N68° 15' 37"E
C16	39.27'	25.00'	090°00'00"	35.36'	N45° 31' 45"E
C17	39.21'	25.00'	089°51'22"	35.31'	S44° 32' 34"E
C18	23.79'	48.50'	028°06'08"	23.55'	N76° 28' 41"E
C21	25.99'	48.50'	030°42'23"	25.68'	N27° 53' 35"E

**LEGEND**

AC	ADCREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IP	IRON PIPE SET
BW	BOTTOM OF WALL	J	JUNCTION BOX
CG	CURB AND GUTTER	MB	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL	NF	NOW OR FORMERLY
CO	SEWER CLEANOUT	PG	PAGE
CONC	CONCRETE	RCP	REINFORCED CONC. PIPE
DB	DEED BOOK	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DOVA	DOUBLE CHECK VALVE	RPZ	REDUCED PRESSURE ZONE
DI	DUCTILE IRON	SP	SQUARE FEET
DI	DROP INLET	SS	SAINTARY SEWER
EIP	EXISTING IRON PIPE	SS	SAINTARY SEWER
ELEV	ELEVATION	TCA	TREE CONSERVATION AREA
EOP	EDGE OF PAVEMENT	SW	SIDEWALK
ESMT	EASEMENT	TC	TOP OF CURB
EX	EXISTING	TCP	TRAFFIC SIGNAL
FDC	FIRE DEPARTMENT CONNECTION	TW	TOP OF WALL
FES	FLARED END SECTION	TYP	TYPICAL
FFE	FINISHED FLOOR ELEVATION	WL	WATER LINE
FH	FIRE HYDRANT	WM	WATER METER
FL	FIRE LINE	WS	WATER SERVICE
HB	HANDICAP BOTTOM	WW	WATER VALVE
HC	HANDICAP	YI	YARD INLET
HT	HANDICAP TOP		

**PROPOSED**

- TOWNHOME COMMON AREA LOT 9
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED COBBLESTONE PAVERS
- PROPOSED AMENITY AREA
- PROPOSED R/W DEDICATION
- PROPOSED CROSS ACCESS

PER SUB-0062-2022

**LOT 10**  
**BUDLEIGH EAST**

Client  
**BEACON STREET**  
**BUDLEIGH LLC**

**LEGEND**

CONCRETE	NEW WATER VALVE
EX WATER VALVE	NEW WATER REDUCER
EX FIRE HYDRANT	NEW FIRE HYDRANT
EX WATER METER	NEW WATER METER
EX SEWER MANHOLE	NEW SEWER MANHOLE
EX SEWER CLEANOUT	NEW SEWER CLEANOUT
EX STORM CATCH BASIN	NEW STORM CATCH BASIN
EX STORM DROP INLET	NEW STORM DROP INLET
EX FLARED END SECTION	NEW FLARED END SECTION
EX LIGHT POLE	NEW LIGHT POLE

**PROPERTY LINE**  
 RIGHT-OF-WAY LINE  
 LOT LINE  
 EASEMENT LINE  
 EXISTING WATER LINE  
 EXISTING SANITARY SEWER  
 EXISTING STORM DRAINAGE  
 NEW WATER LINE  
 NEW SANITARY SEWER  
 NEW STORM DRAINAGE  
 EXISTING CONTOUR LINE  
 NEW CONTOUR LINE  
 BUILDING SETBACK LINE  
 EX OVERHEAD ELECTRIC CENTERLINE ROAD

**GRAPHIC SCALE**  
 1 inch = 20 ft

**SITE DATA**

OWNER: BEACON STREET BUDLEIGH LLC  
 PO BOX 6474  
 RALEIGH, NC 27628-6474

ADDRESS: 2550 OBERLIN ROAD  
 RALEIGH, NC 27608

PIN: 1704-29-3852

AREA: 126,592 S.F. (2.9061 AC.)

ZONING: R-10 & NX-3-UL

CURRENT LAND USE: VACANT

REFERENCE: DB 18959, PG 2149  
 BM 2022, PG 386  
 WAKE COUNTY REGISTRY

**LOT AREA CHART**

LOT NUMBER	AREA (SF)	AREA (AC)
1	3,330	0.0764
2	2,869	0.0659
3	5,950	0.1366
4	4,424	0.1016
5	1,777	0.0408
6	1,848	0.0424
7	1,848	0.0424
8	2,446	0.0562
9	17,063	0.4055
LOTS 1 - 9 TOTAL	42,156	0.9678
10	45,349	1.0411
11	21,064	0.4836
12	17,236	0.3957
LOTS 1 - 12 TOTAL	125,806	2.8881

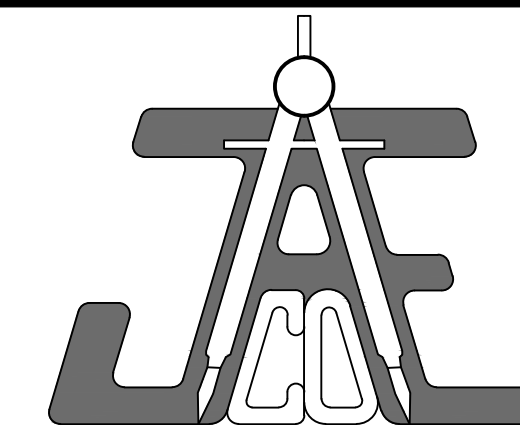
**EXISTING CONDITIONS PLAN**

Revisions

Number	Description	Date

Drawing Scale: 1" = 20'  
 Drawn By: BF  
 Checked By: JAE, JR.  
 Date Issued: XXXX/22





**JAECO**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com

**LOT 10  
BUDLEIGH EAST**

**BEACON STREET  
BUDLEIGH LLC**

**LEGEND**

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
CG	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOW OR FORMERLY
CO	SEWER CLEANOUT	PVC	POLYVINYL CHLORIDE PIPE
CNC	CONCRETE	RCP	REINFORCED CONC. PIPE
DB	DEED BOOK	RPD	REDUCED PRESSURE
DOVA	DOUBLE CHECK VALVE	RPZ	REDUCED PRESSURE ZONE
DI	DUCTILE IRON	RW	RIGHT-OF-WAY
DI	DROP INLET	S.F.	SQUARE FEET
EIP	EXISTING IRON PIPE	SP	SPACES
ELEV	ELEVATION	SS	SANITARY SEWER
EOP	EDGE OF PAVEMENT	SW	SIDEWALK
ESMT	EASEMENT	TCA	TOP OF CURB
EX	EXISTING	TCP	TREE CONSERVATION AREA
FDC	FIRE DEPARTMENT CONNECTION	TSP	TERRA COTTA PIPE
FES	FLARED END SECTION	TSF	TRAFFIC SIGNAL
FFE	FINISHED FLOOR ELEVATION	TW	TOP OF WALL
FL	FIRE LINE	TYP	TYPICAL
FL	FIRE LINE	WL	WATER LINE
HB	HANDICAP BOTTOM	WM	WATER METER
HC	HANDICAP	WS	WATER SERVICE
HT	HANDICAP TOP	WV	WATER VALVE
		YI	YARD INLET

**DENSITY CALCULATION - LOT 10**  
TOTAL ACREAGE: 45,349 S.F. (1.0411 AC.)  
MAXIMUM DENSITY: 18.14 UNITS (1 DU / 2,500SF)  
PROPOSED DENSITY: 18 UNITS (1 DU / 2,519SF)

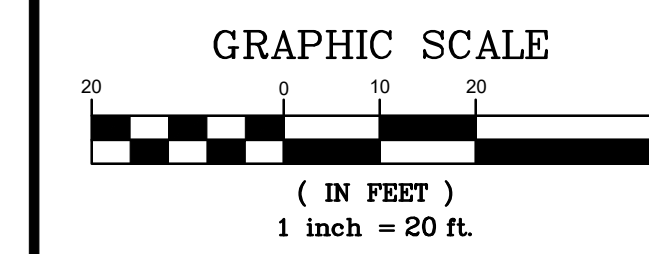
**VEHICLE PARKING SUMMARY**  
PROPOSED 10 2-BR UNITS 2.25 SP PER UNIT MAX = 22.5 SPACES  
PROPOSED 8 3-BR UNITS 3 SP PER UNIT MAX = 24 SPACES  
MAXIMUM ALLOWED PARKING = 47 SPACES  
TOTAL PARKING PROVIDED FOR 18 UNITS ..... 39 SPACES  
(INCLUDES) ..... 1 ADA SPACE (VAN)  
SHARED PARKING PROVIDED FOR SUB-0062-2022 ..... 16 SPACES

**BICYCLE PARKING SUMMARY**  
SHORT-TERM (MIN) 1 PER 20 UNITS MIN 4 = 4 SPACES (18 UNITS)  
LONG-TERM (MIN) 1 PER 7 BR = 5 SPACES (36 BEDROOMS)  
TOTAL BICYCLE PARKING PROVIDED (ALL IN GARAGE)  
SHORT-TERM - 4 SPACES  
LONG-TERM - 6 SPACES

**AMENITY AREA CALCULATION - LOT 10**  
GROSS AREA ..... 45,349 S.F. (1.0411 AC.)  
NET AREA ..... 45,349 S.F. (1.0411 AC.)  
REQUIRED AREA (10%) ..... 4,535 S.F. (0.1041 AC.)  
REQUIRED ADA ACCESSIBLE (50% OF REQ'D) ..... 2,268 S.F. (0.0521 AC.)  
PROVIDED AREA (10.4%) ..... 4,880 S.F. (0.1120 AC.)  
PROVIDED ADA ACCESSIBLE AREA ..... 2,380 S.F. (0.0546 AC.)

**NOTE:**  
PUBLIC IMPROVEMENTS ALONG FRONTAGES  
ARE SHOWN BASED ON SPR-0197-2021 WHICH  
WAS APPROVED ALONG WITH SUB-0054-2020

**BLOCK PERIMETER**  
SITE IS EXEMPT FROM BLOCK PERIMETER  
PER 8.3.2.A.2.B AS SITE IS LESS THAN 3  
ACRES FOR R-10 ZONING & LESS THAN 5  
ACRES FOR NX ZONING.



**SITE PLAN**

- TOWNHOME COMMON AREA LOT 9
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED COBBLESTONE PAVERS
- PROPOSED AMENITY AREA
- PROPOSED RW DEDICATION
- PROPOSED CROSS ACCESS

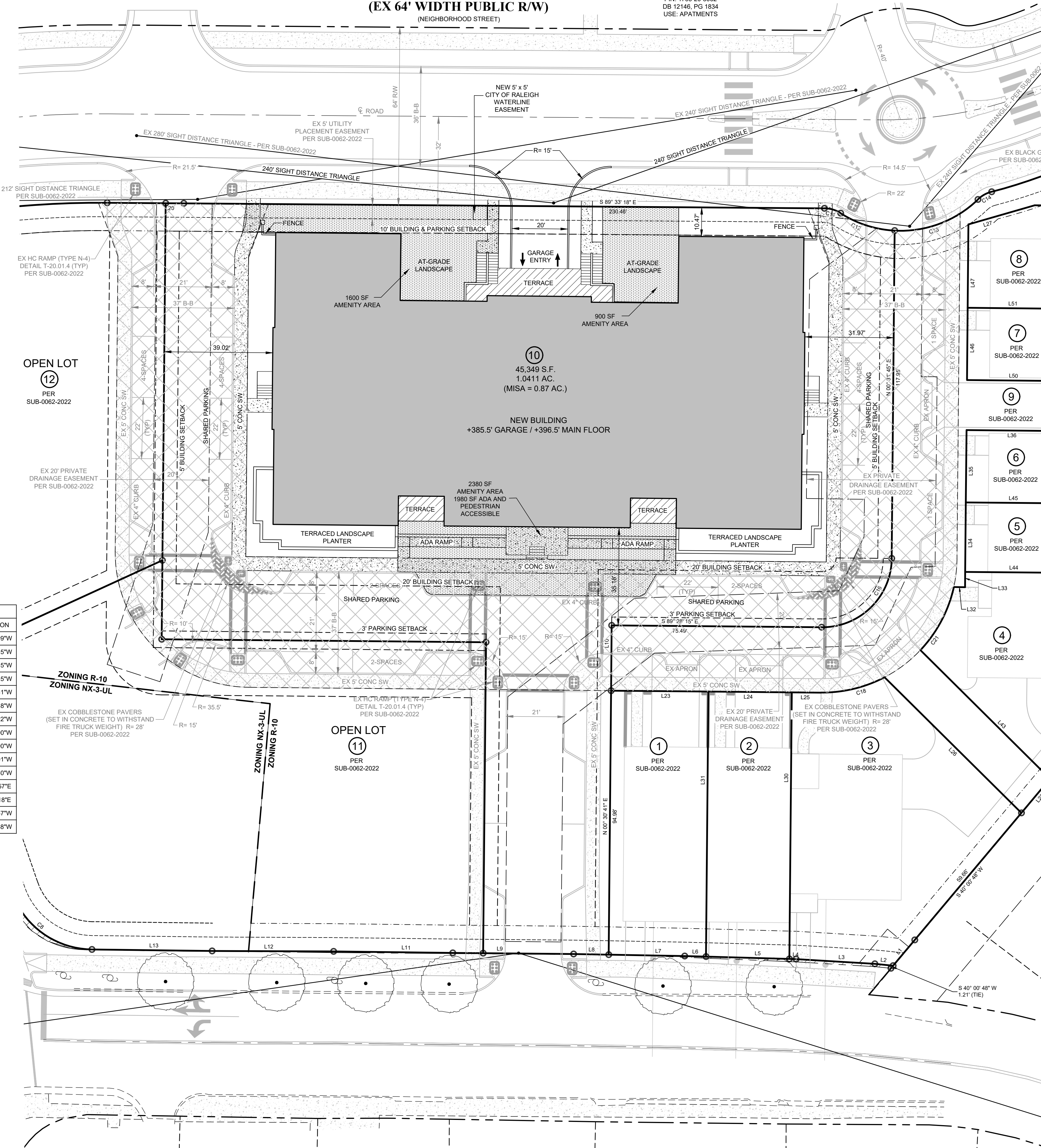
Revisions

Number	Description	Date

Drawing Scale 1" = 20'  
Drawn By BF  
Checked By JAE, JR.  
Date Issued XXXX/22 of

**MARCHMONT STREET  
(EX 64' WIDTH PUBLIC RW)**  
(NEIGHBORHOOD STREET)

N/F  
OBERLIN FAIRVIEW INVESTORS LLC  
PIN 1705-20-3062  
DB 12146, PG 1834  
USE: APARTMENTS



LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L98	35.03'	S89° 28' 15"E	L115	27.00'	S00° 31' 45"W	L132	12.64'	N88° 57' 09"W
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L101	69.30'	S45° 14' 43"E	L118	4.06'	S89° 28' 15"E	L135	42.85'	N89° 18' 15"W
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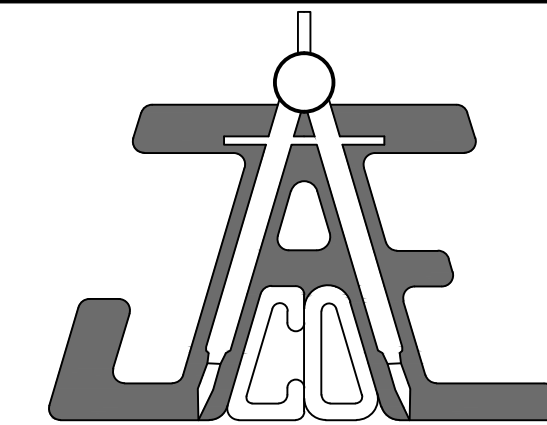
BOUNDARY CURVE TABLE

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**LOT 10**  
**BUDLEIGH EAST**

Client  
**BEACON STREET**  
**BUDLEIGH LLC**

**LEGEND**

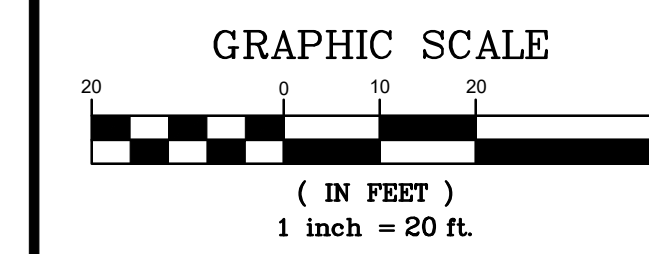
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EX WATER VALVE	NEW WATER REDUCER
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EX WATER METER	NEW WATER METER
EX SEWER MANHOLE	NEW SEWER MANHOLE
EX SEWER CLEANOUT	NEW SEWER CLEANOUT
EX STORM CATCH BASIN	NEW STORM CATCH BASIN
EX STORM DROP INLET	NEW STORM DROP INLET
EX FLARED END SECTION	NEW FLARED END SECTION
EX LIGHT POLE	

**NOTE:**  
PUBLIC IMPROVEMENTS ALONG FRONTAGES ARE SHOWN BASED ON SPR-0197-2021 WHICH WAS APPROVED ALONG WITH SUB-0054-2020

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---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	EASEMENT LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
---	NEW WATER LINE
---	NEW SANITARY SEWER
---	NEW STORM DRAINAGE
---	EXISTING CONTOUR LINE
---	NEW CONTOUR LINE
---	BUILDING SETBACK LINE
---	EX OVERHEAD ELECTRIC CENTERLINE ROAD

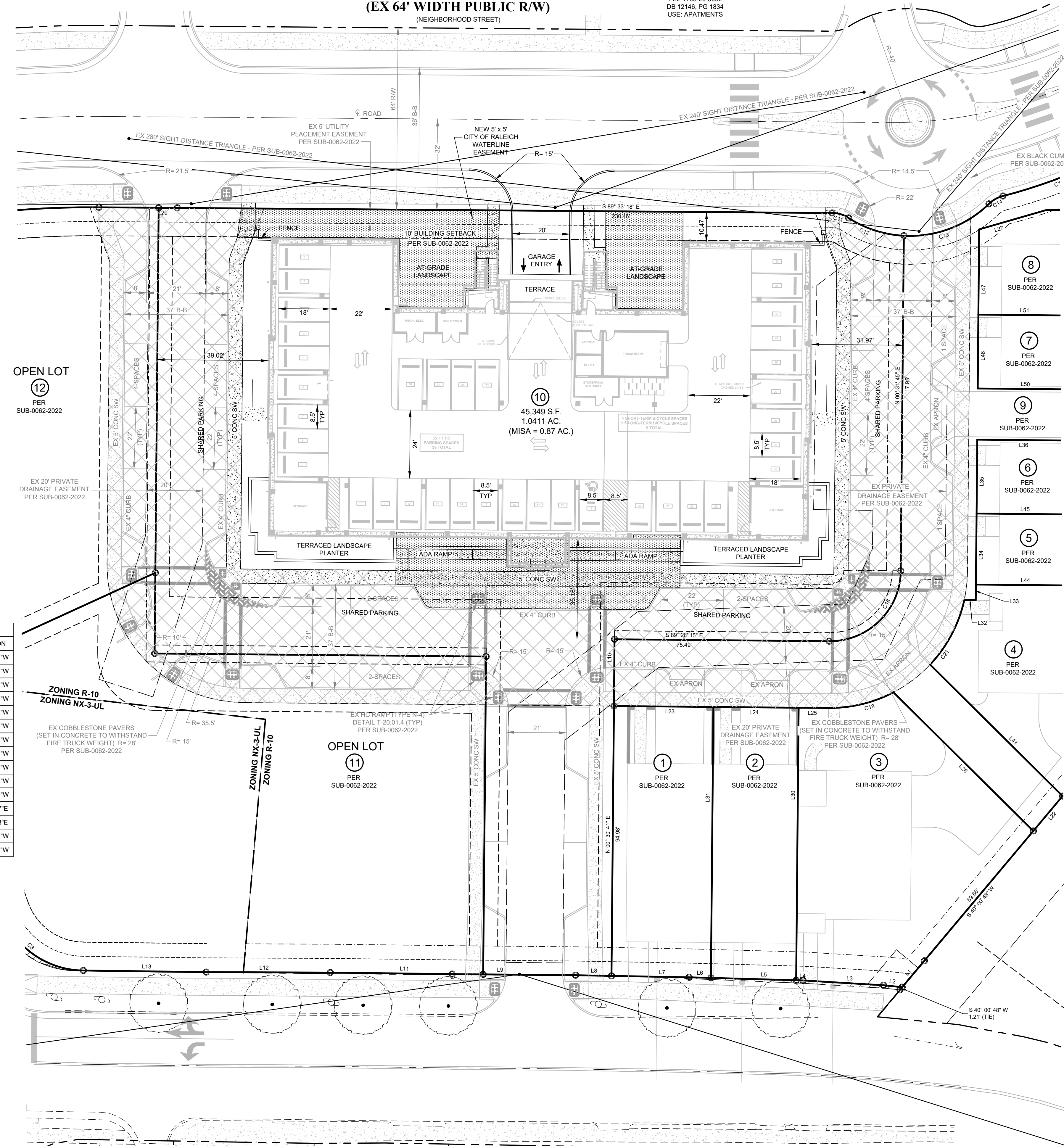


**SITE PLAN**  
**PARKING LEVEL**

Revisions

Number	Description	Date

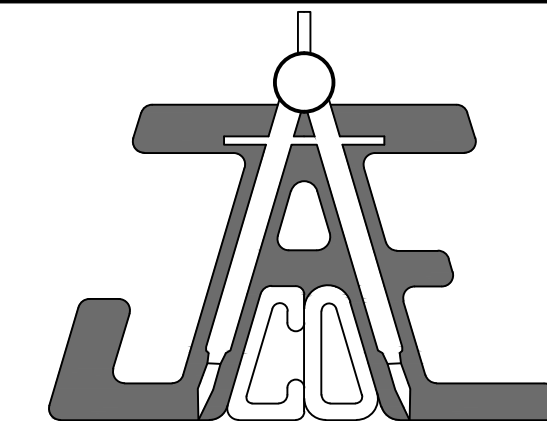
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Project  
**LOT 10  
BUDLEIGH EAST**

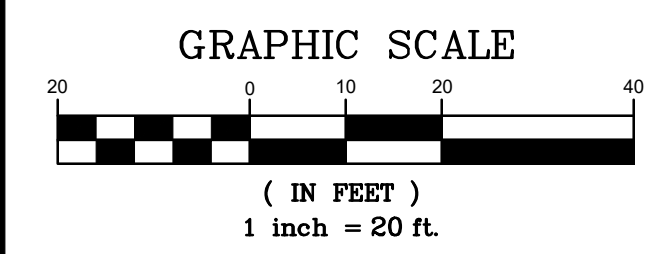
Client  
**BEACON STREET  
BUDLEIGH LLC**

**LEGEND**

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
CG	CURB AND GUTTER	JH	MANHOLE
CB	CATCH BASIN	MN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOW OR FORMERLY
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CNC	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
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	CONCRETE		EX. POWER POLE
	EX. WATER VALVE		NEW WATER VALVE
	EX. FIRE HYDRANT		NEW WATER REDUCER
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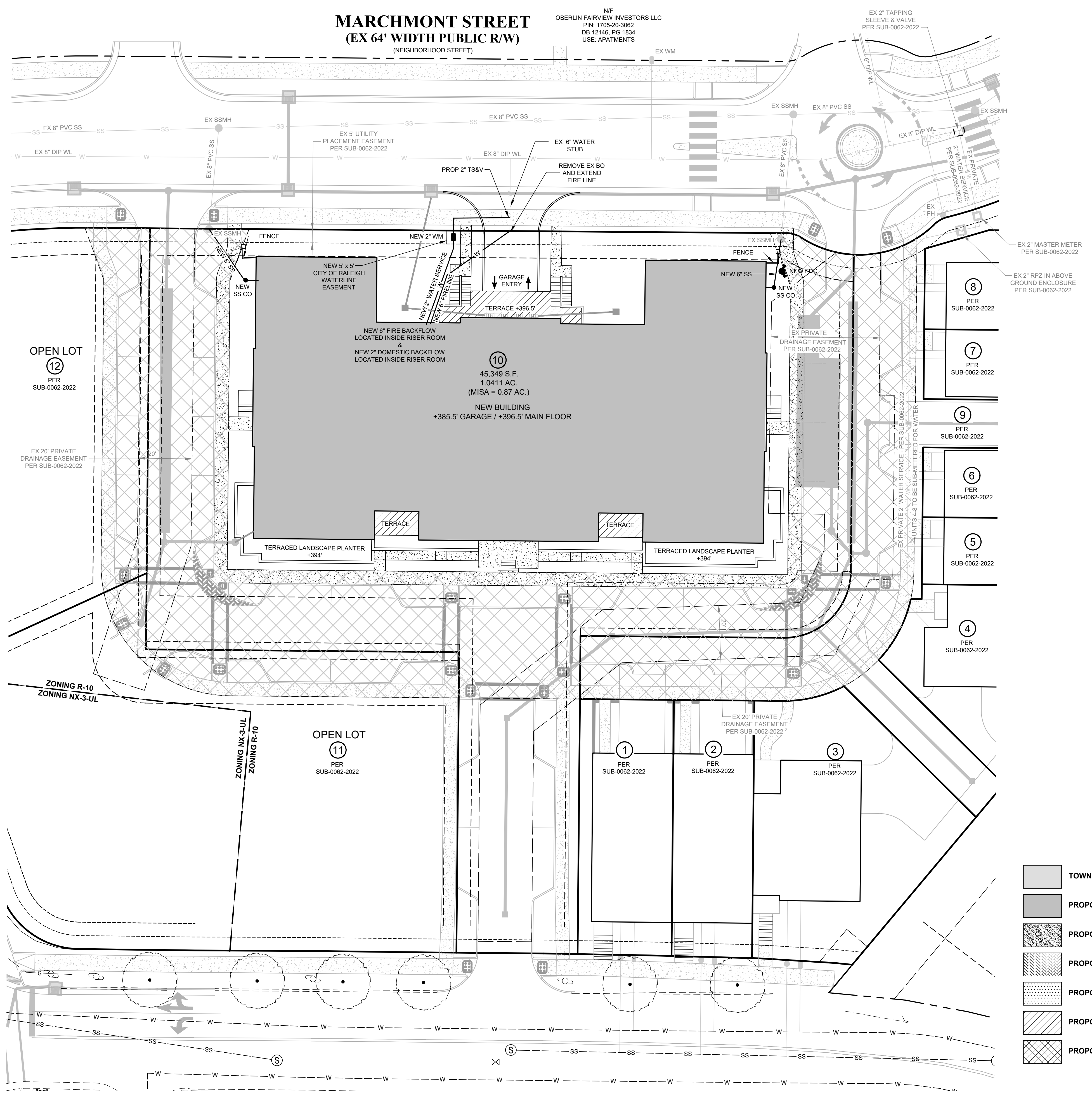


**UTILITY PLAN**

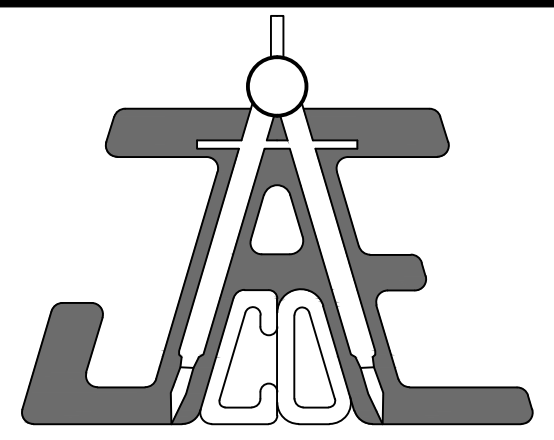
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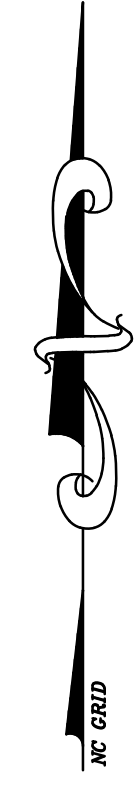
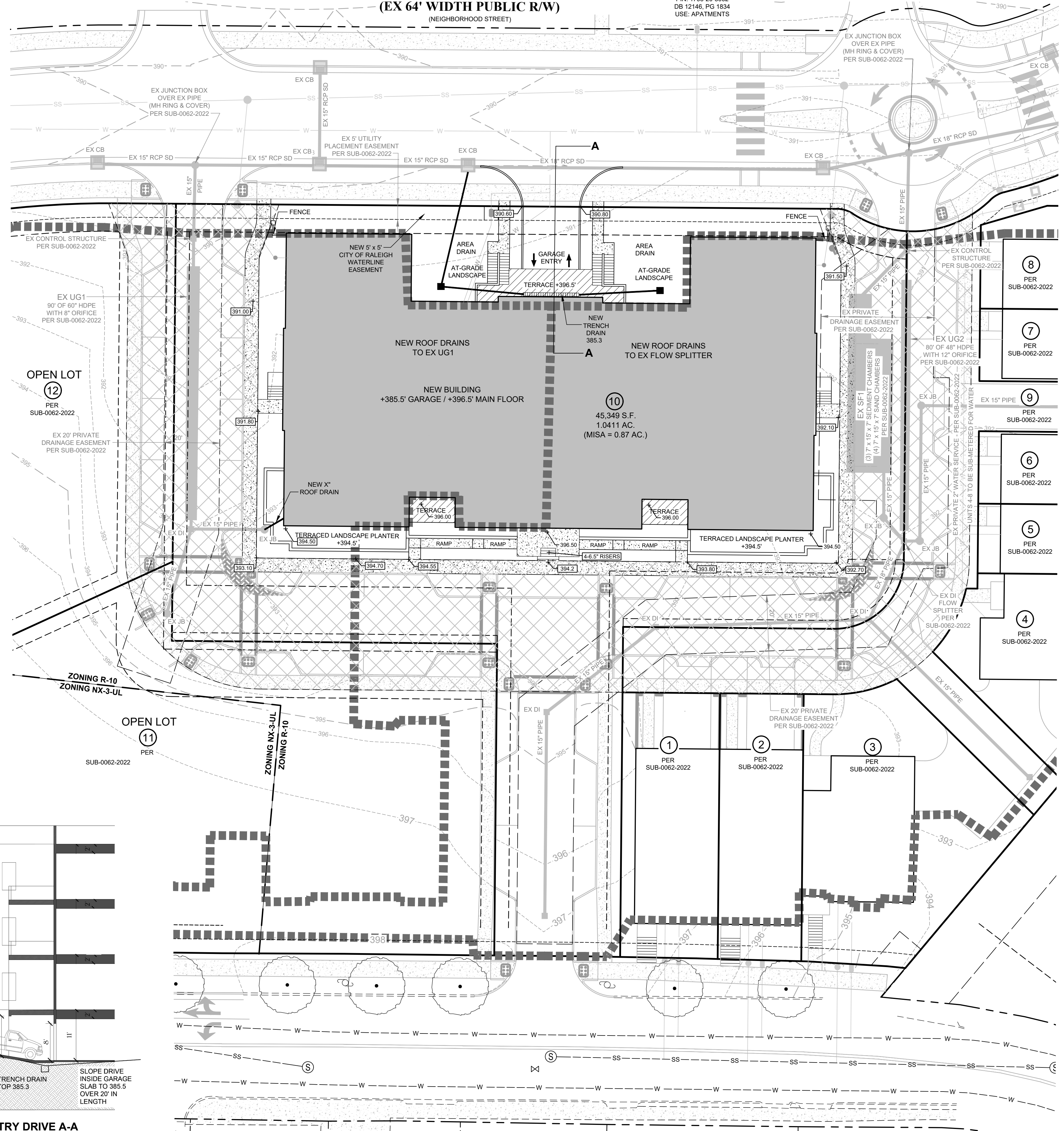
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PIN: 1705-20-3982  
DB 12146, PG 1834  
USE: APARTMENTS



BUILDING	BUILDING ELEVATIONS			
	PRIMARY STREET FRONT	HIGH	LOW	AVG
BLDG 1	Farview Road	396.50	394.50	395.50

**STORMWATER MANAGEMENT PLAN**  
**LOT 10 UTILITIES SHARED FACILITIES**  
**CONSTRUCTED WITH SUB-0062-2022**  
**MAXIMUM IMPERVIOUS AREA FOR LOT 10**  
**PER SUB-0062-2022 = 0.87 AC.**  
**PROPOSED IMPERVIOUS AREA = 0.85 AC.**

**LOT 10**  
**BUDLEIGH EAST**

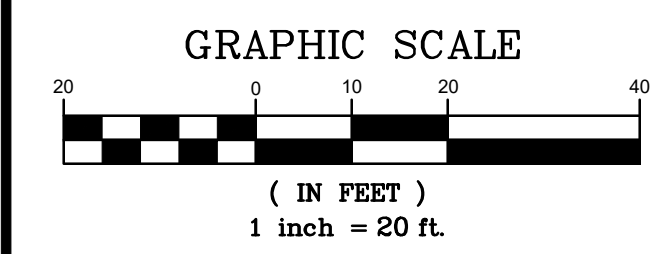
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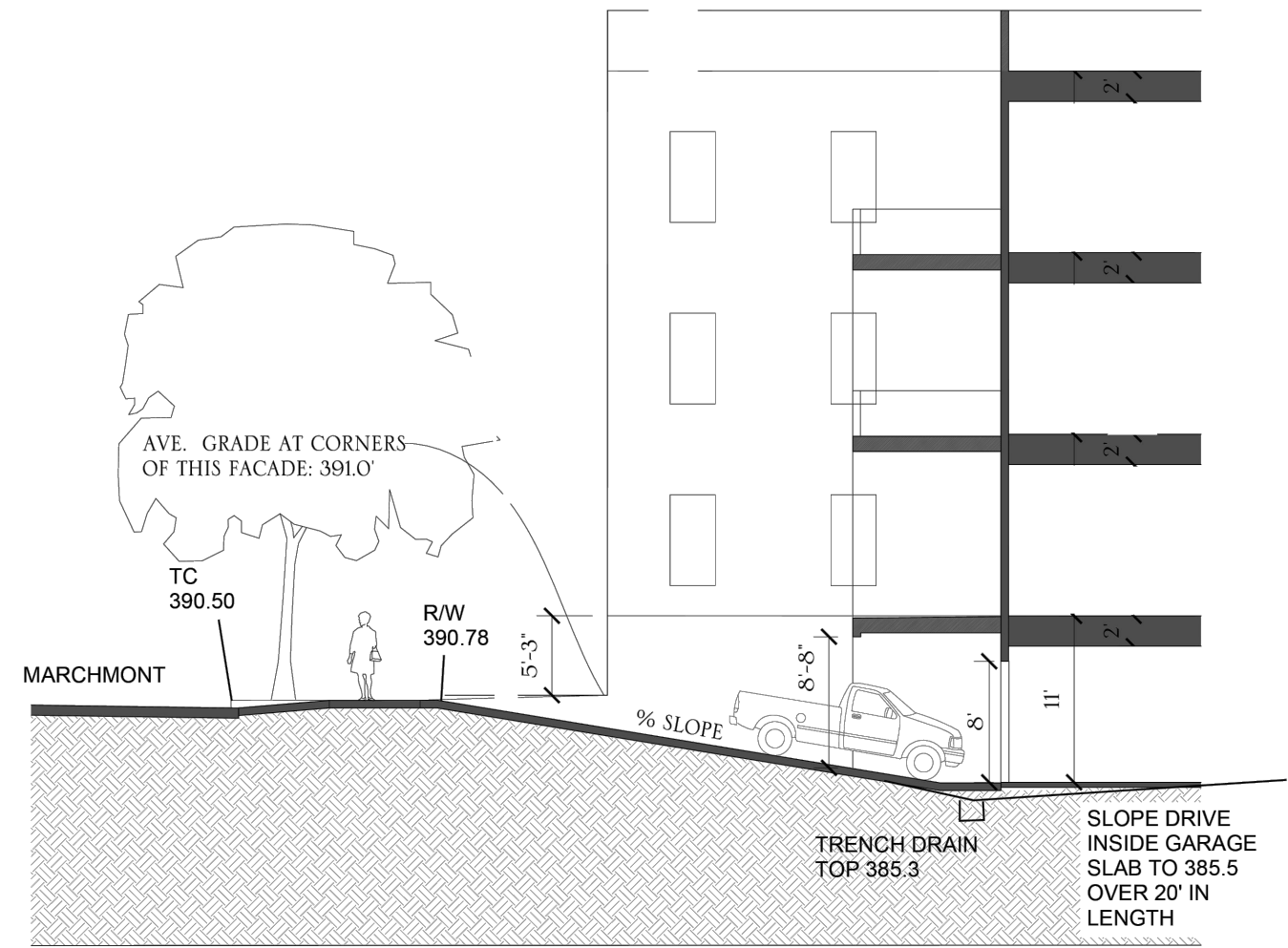
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EX. LIGHT POLE	NEW FLARED END SECTION	NEW FLARED END SECTION



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- PROPOSED CONCRETE
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**CONCEPTUAL SCHEMATIC GARAGE ENTRY DRIVE A-A**

Drawing Title  
**GRADING / STORMWATER MANAGEMENT PLAN**

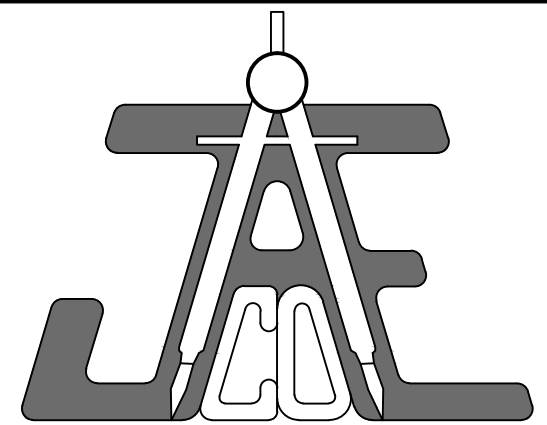
Revisions

Number	Description	Date

Drawing Scale 1" = 20'  
 Drawn By BF  
 Checked By JAE, JR.  
 Date Issued XXXX/22

**CE-6**





**JAECO**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605

Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com

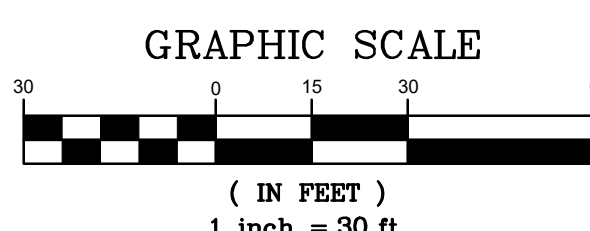
www.jaeco.com

Project  
**LOT 10  
BUDLEIGH EAST**

Client  
**BEACON STREET  
BUDLEIGH LLC**

**LEGEND**

AC	ADCREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
CB	CONCRETE	MB	MANHOLE
CB	CATCH BASIN	MN	MINIMUM
CMP	CORRUGATED METAL	NF	NOT ON FORMERLY
CO	CONCRETE	PG	PAGE
CO	CONCRETE	PCV	POLYVINYL CHLORIDE PIPE
CO	CONCRETE	RC	REINFORCED CONC. PIPE
DB	DEED BOOK	RPD	REDUCED PRESSURE DETECTOR ASSEMBLY
DCA	DOUBLE CHECK VALVE	RPZ	REDUCED PRESSURE ZONE
DI	DUCTILE IRON	RW	RIGHT-OF-WAY
DI	DROP INLET	SF	SQUARE FEET
EIP	EXISTING IRON PIPE	SP	SPACES
ELEV	ELEVATION	SS	SANITARY SEWER
EOP	EDGE OF PAVEMENT	SW	SIDEWALK
ESMT	EASEMENT	TCA	TREE CONSERVATION AREA
EX	EXISTING	TCP	TERRA COTTA PIPE
FDC	FIRE DEPARTMENT CONNECTION	TSP	TRAFFIC SIGNAL
FES	FLARED END SECTION	TW	TOP OF WALL
FFE	FINISHED FLOOR ELEVATION	TYP	TYPICAL
FH	FIRE HYDRANT	WM	WATER METER
FL	FIRE LINE	WS	WATER SERVICE
HB	HANDICAP BOTTOM	WV	WATER VALVE
HC	HANDICAP	WV	WATER VALVE
HT	HANDICAP TOP	YI	YARD INLET



**FIRE DEPARTMENT PLAN**

Revisions

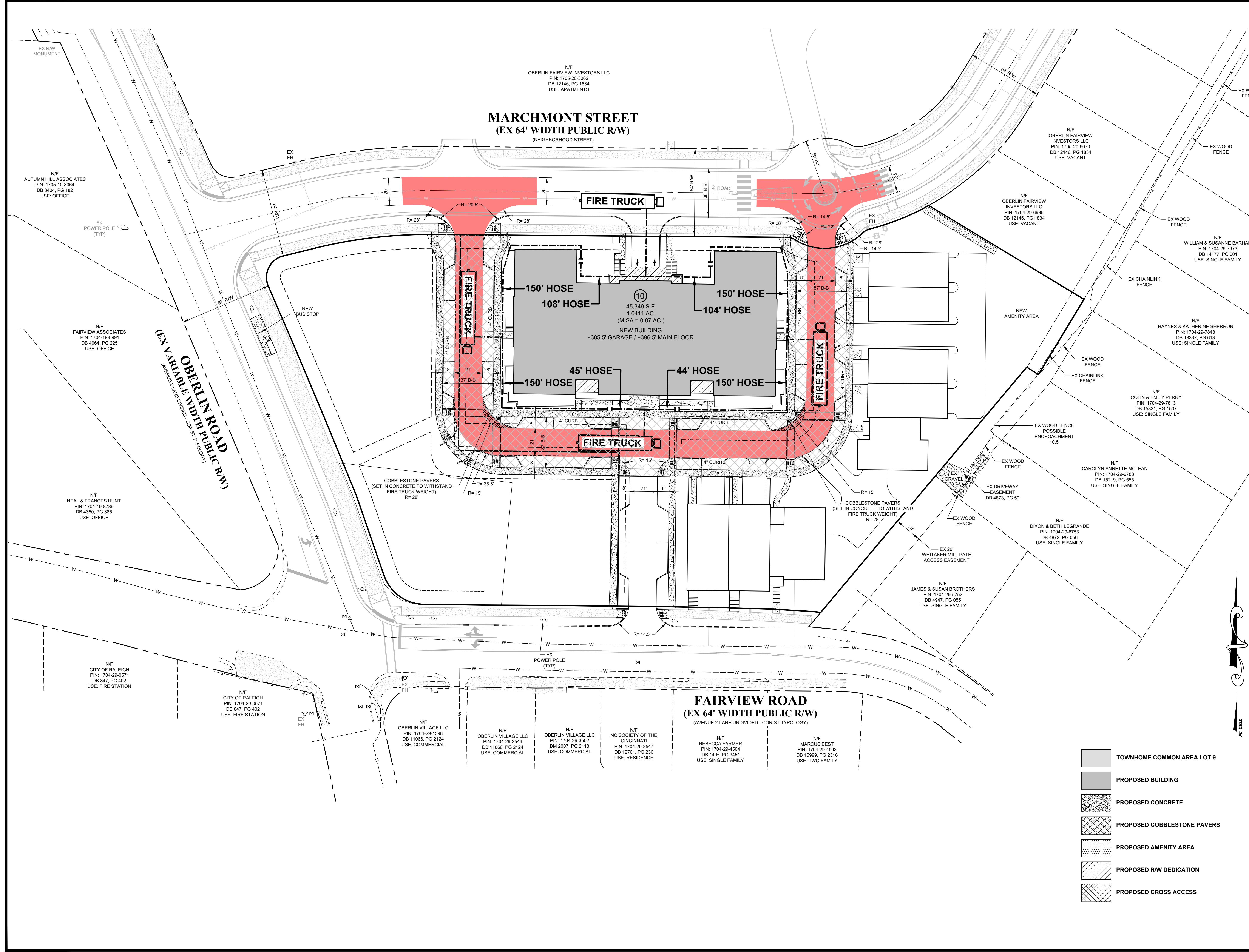
Number	Description	Date

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Drawn By BF

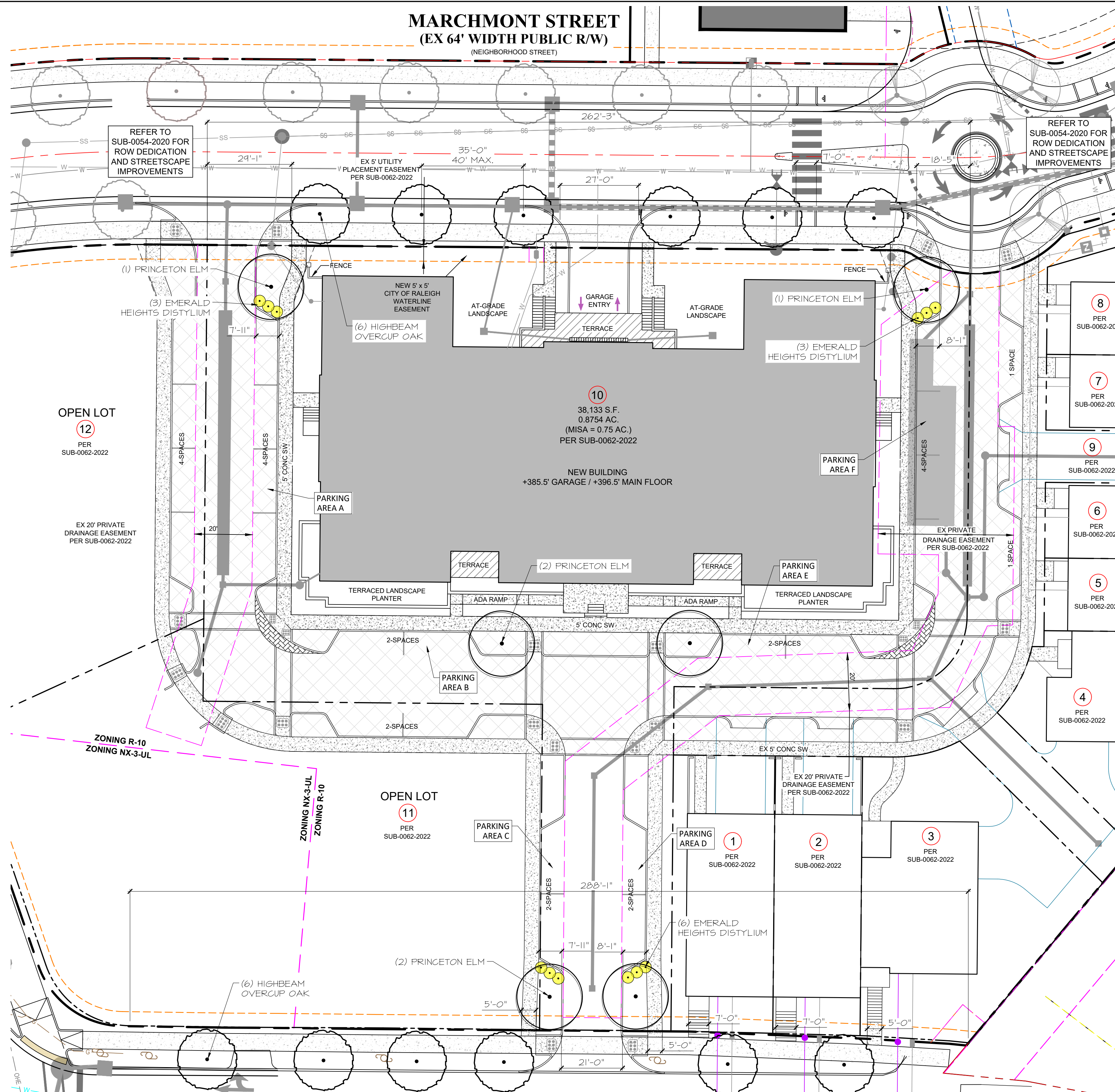
Checked By JAE, JR.

Date Issued XXXX/22 of



[Pattern]	TOWNHOME COMMON AREA LOT 9
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED COBBLESTONE PAVERS
[Pattern]	PROPOSED AMENITY AREA
[Pattern]	PROPOSED RW DEDICATION
[Pattern]	PROPOSED CROSS ACCESS





**STREET TREE CALCULATIONS**

**MARCHMONT STREET TREES**  
 255.75 LF  
 1 LARGE TREE/40 LF  
 255.75 / 40 = 6.39 (DRIVEWAYS & SIDEWALKS) = 180.75 LF  
 180.75/40 = 4.52 TREE REQUIRED  
 6 TREES PROVIDED  
 INSTALL 3" CALIPER, 10' TALL

**FAIRVIEW STREET TREES**  
 288.08 LF  
 1 LARGE TREE/40 LF  
 288.08 / 40 = 7.20 (DRIVEWAYS & SIDEWALKS) = 238.08 LF  
 238.08/40 = 5.95 TREE REQUIRED  
 6 TREES PROVIDED  
 INSTALL 3" CALIPER, 10' TALL

**VEHICULAR PARKING LOT A PLANTING**

**TREES**  
 (1) SHADE TREE/10 SPACES  
 4 SPACES/10 = 0.4 TREES REQUIRED  
 1 SHADE TREE PROVIDED

**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

**VEHICULAR PARKING LOT B PLANTING**

**TREES**  
 (1) SHADE TREE/10 SPACES  
 2 SPACES/10 = 0.2 TREES REQUIRED  
 1 SHADE TREE PROVIDED

**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

**VEHICULAR PARKING LOT C PLANTING**

**TREES**  
 (1) SHADE TREE/10 SPACES  
 2 SPACES/10 = 0.2 TREES REQUIRED  
 1 SHADE TREE PROVIDED

**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

**VEHICULAR PARKING LOT D PLANTING**

**TREES**  
 (1) SHADE TREE/10 SPACES  
 2 SPACES/10 = 0.2 TREES REQUIRED  
 1 SHADE TREE PROVIDED

**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

**VEHICULAR PARKING LOT E PLANTING**

**TREES**  
 (1) SHADE TREE/10 SPACES  
 2 SPACES/10 = 0.2 TREES REQUIRED  
 1 SHADE TREE PROVIDED

**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

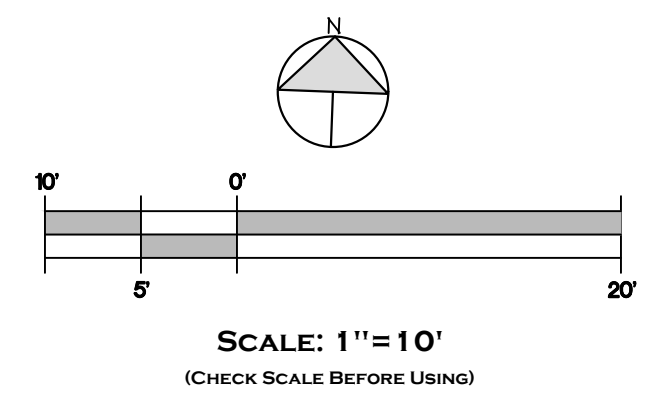
**VEHICULAR PARKING LOT F PLANTING**

**TREES**  
 (1) SHADE TREE/10 SPACES  
 4 SPACES/10 = 0.4 TREES REQUIRED  
 1 SHADE TREE PROVIDED

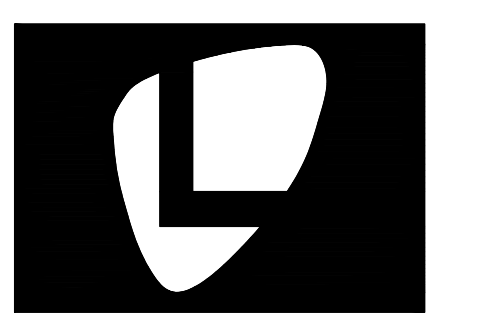
**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

NOTE:  
 1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

NOTE:  
 SEE BUDLEIGH EAST SUBDIVISION PLANS (SUB-0054-2020) FOR ALL STREETScape IMPROVEMENTS, STREET TREE PLANTINGS AND DETAILS.



QUAN	PLANT SCHEDULE		INSTALLATION SIZE	MATURE SIZE	NOTES
	BOTANICAL NAME	COMMON NAME			
<b>TREES AND LARGE EVERGREENS</b>					
12	QUERCUS LYRATA "HIGHBEAM"	HIGHBEAM OVERCUP OAK	3" CAL., 10' TALL, MIN.	60" TALL & 40' WIDE	FULL, MATCHING, STREET TREES
6	ULMUS AMERICANA "PRINCETON"	PRINCETON ELM	3" CAL., 10' TALL, MIN.	80" TALL & 50' WIDE	VEHICULAR PARKING LOT TREE
<b>SHRUBS</b>					
12	DISTYLIUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLIUM	24" TALL, MIN.	5' TALL & 5' WIDE	FULL, MATCHING, VEHICULAR PARKING LOT SHRUBS



**LIGGETT DESIGN GROUP**  
 LANDSCAPE ARCHITECTURE  
 SITE PLANNING & DESIGN

7254 PERSHING ROAD, RALEIGH, NC 27608  
 PHONE: 919.853.0303 FAX: 919.853.1116  
 MAIL: LIGGETTDESIGNGROUP.COM

CONSULTANTS

JOHN A. EDWARDS & CO  
 333 WALK AVE., RALEIGH, NC  
 (919) 826-4425

CLIENT

**BUDLEIGH EAST  
 BEACON STREET LOT 10**  
 BEACON STREET BUDLEIGH, LLC  
 2550 OBERLIN ROAD - RALEIGH, NC

ISSUED FOR:  
**REVIEW**

ISSUED DATE:  
**4/12/2023**

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:  
**PLANTING PLAN**

DRAWN BY: AS/RW/WAB  
 CHECKED BY: FL  
 SCALE: 1" = 10"  
 SHEET NUMBER:

**L-1**  
 OF 2



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.  
 CITY OF RALEIGH DEVELOPMENT APPROVAL



**PLANTING NOTES**

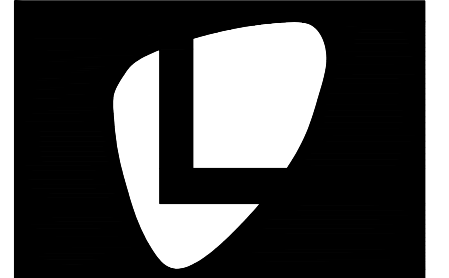
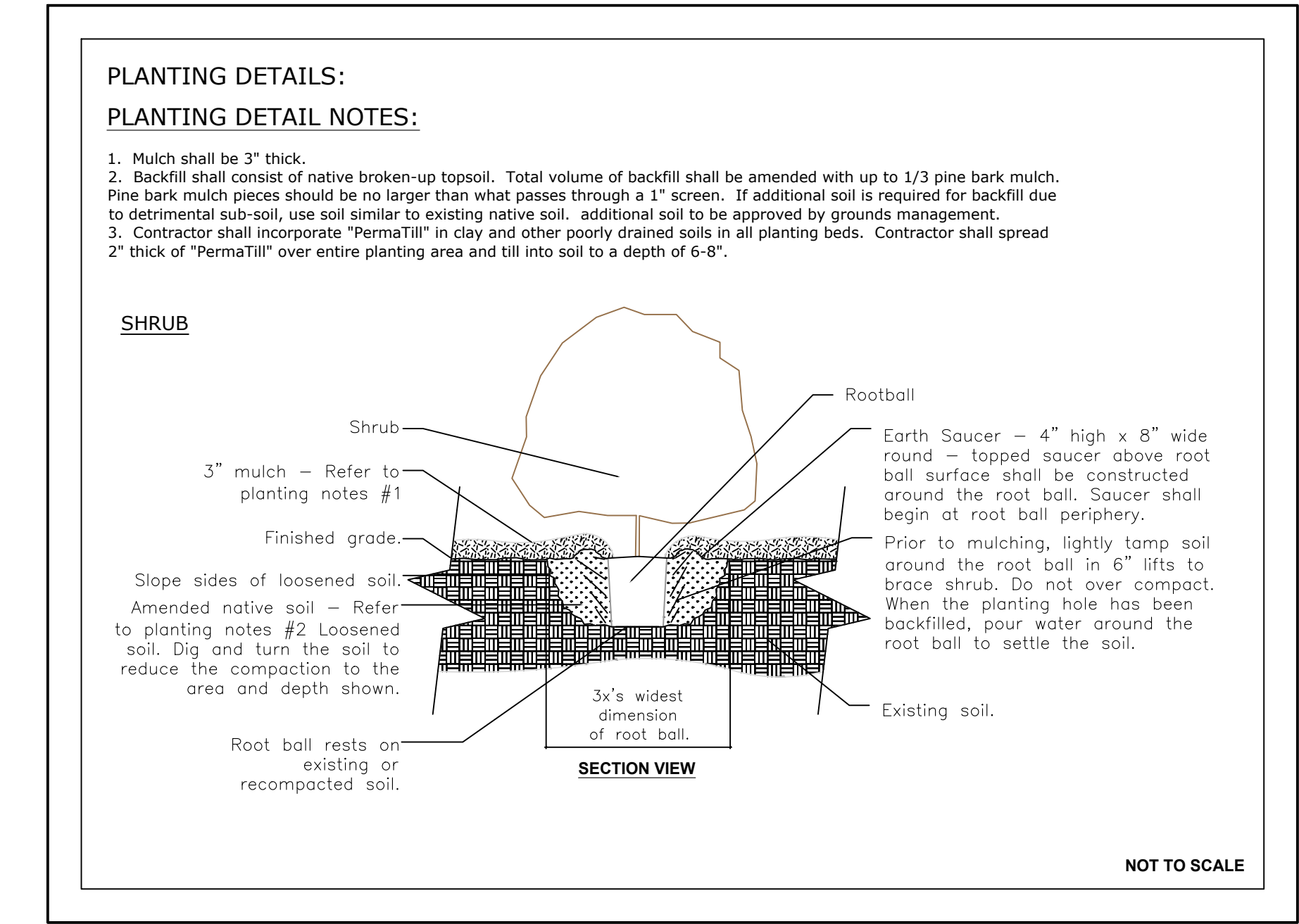
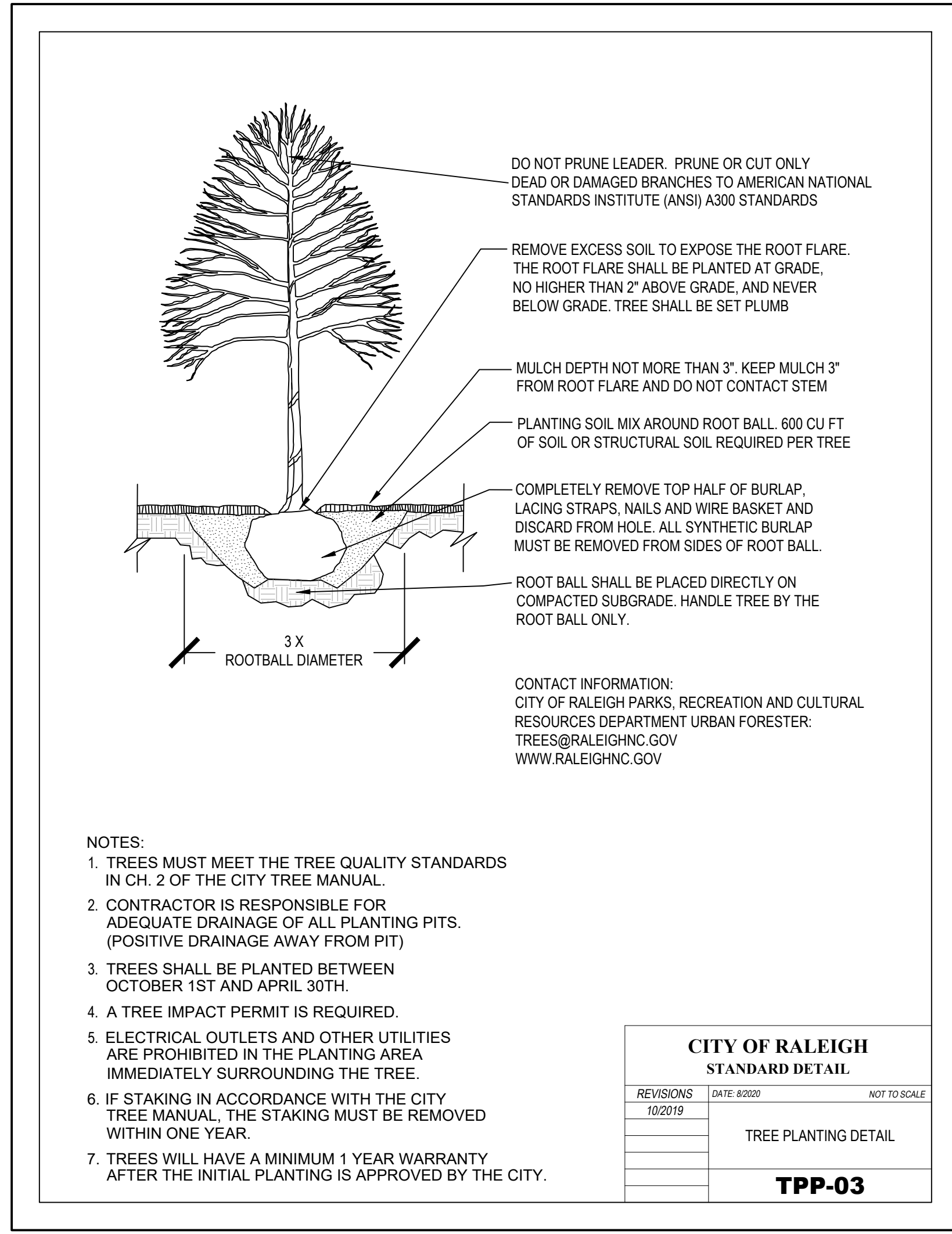
- Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
- Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
- Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
- All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
- All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of +/- 1/2% to ensure smooth transitions between planting beds and lawn areas.
- Mulch - install 3" of shredded pine bark mulch in plant beds around buildings, patio, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
- All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
- Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
- Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
- All trees located adjacent to walks and drives shall have 6' of clearance height to first branching.
- All trees shall be placed a minimum of 3' from sidewalks, curbs and hardscape, and a minimum of 6' from fire hydrants and other utilities, unless otherwise noted on plans.
- All plants shall be installed as per generally accepted planting standards.
- All dead and/or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
- All plants and stakes shall be set plumb unless otherwise specified.
- Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
- Landscape Architect shall select and layout all the perennial beds.
- All planting bed edges to be smooth flowing arcs, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 3 to 4 inches deep, and "V" shaped. All excavated material shall be removed from the bed edge and planting bed.
- If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
- Any disturbed areas that are not planted or grassed as part of the landscape plan shall be restored to their previous existing condition (including raking uneven areas, seeding grassed areas and for natural areas spreading minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

**LANDSCAPE MAINTENANCE AGREEMENT**

- "The Owners of the Property and their Agents, Heirs or Assigns shall be responsible for the installation, preservation and maintenance of all plantings and physical features shown on this plan. The Owners shall be responsible for annual maintenance of the vegetation to include but not limited to:"
- Fertilization: Zoysia lawns: Fertilize lawns twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Tifway 419 Bermuda lawns: fertilize lawns twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
  - Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilizer shall be watered in.
  - Fertilization: Shrubs, groundcover and seasonal plants not listed in a (2) Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be spread evenly under all plants (where applicable) and watered in. \*\*Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization 2x/year due to the planting "arrangement", however, over-fertilization shall not be acceptable.
  - Pruning: Removal of dead or diseased wood, or removal of tree branches for sight distance/safety reasons, the Shigo standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges and sheared upright evergreen trees.
  - Pest control: Pre-emergent weed control for lawns to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.
  - Mulching: Mulching shall be maintained at a depth of 2 - 3" in plant beds and tree saucers. As a minimum, mulch shall be reapplied at least every year during the months of February and March.
  - Mowing: Zoysia lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Tifway 419 Bermuda lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
  - Plant protection: Avoid excess intrusion into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
  - Watering: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
  - Warranty: Remove/replace all dead and/or diseased plant material at each maintenance visit.

**PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS**

- Provide soil pH testing, adjust the pH range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and superphosphate uniformly at the rate specified per soil pH testing results.
- Site to be fine graded before permanent planting and seeding or sodding is installed.
- Soil shall be loosened to a depth of 4-6 inches by disking, raking, roto-tilling or other acceptable means. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Chisel compacted areas and spread topsoil 3 inches deep over adverse soil conditions.
- Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate/till-in 50/50 soil amendment in all plant beds.
- All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
- Sod areas to be sodded with workable size rolls that are not broken or stretched. Sod shall be free of thatch. Sod shall be installed within 24 hours of arrival at the site.
- Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sodded or seeded area moist.
- Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be staked.
- Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
- Inspect all sodded areas and make necessary repairs or resod within the planting season, if possible. If grass stand should be over 60% damaged, Contractor shall consult with a conservation inspector on maintenance treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
- Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
- Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



**LIGGETT DESIGN GROUP**

LANDSCAPE ARCHITECTURE  
SITE PLANNING & DESIGN

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**CONSULTANTS**

JOHN A. EDWARDS & CO  
333 WALK AVE. RALEIGH, NC  
(919) 826-4425

**BUDLEIGH EAST  
BEACON STREET LOT 10  
BEACON STREET BUDLEIGH, LLC  
2550 OBERLIN ROAD - RALEIGH, NC**

ISSUED FOR:  
**REVIEW**

ISSUED DATE:  
**4/12/2023**

**REVISIONS:**

NO.	ITEM	DATE

**DRAWING TITLE:**

**PLANTING NOTES & DETAILS**

DRAWN BY: **AS/RW/WAB**

CHECKED BY: **FL**

SCALE: **1" = 10'**

SHEET NUMBER:

**L-2  
OF 2**

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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CITY OF RALEIGH DEVELOPMENT APPROVAL \_\_\_\_\_

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**BEACON STREET  
BEACON ST. CONDOS**  
RALEIGH, NC

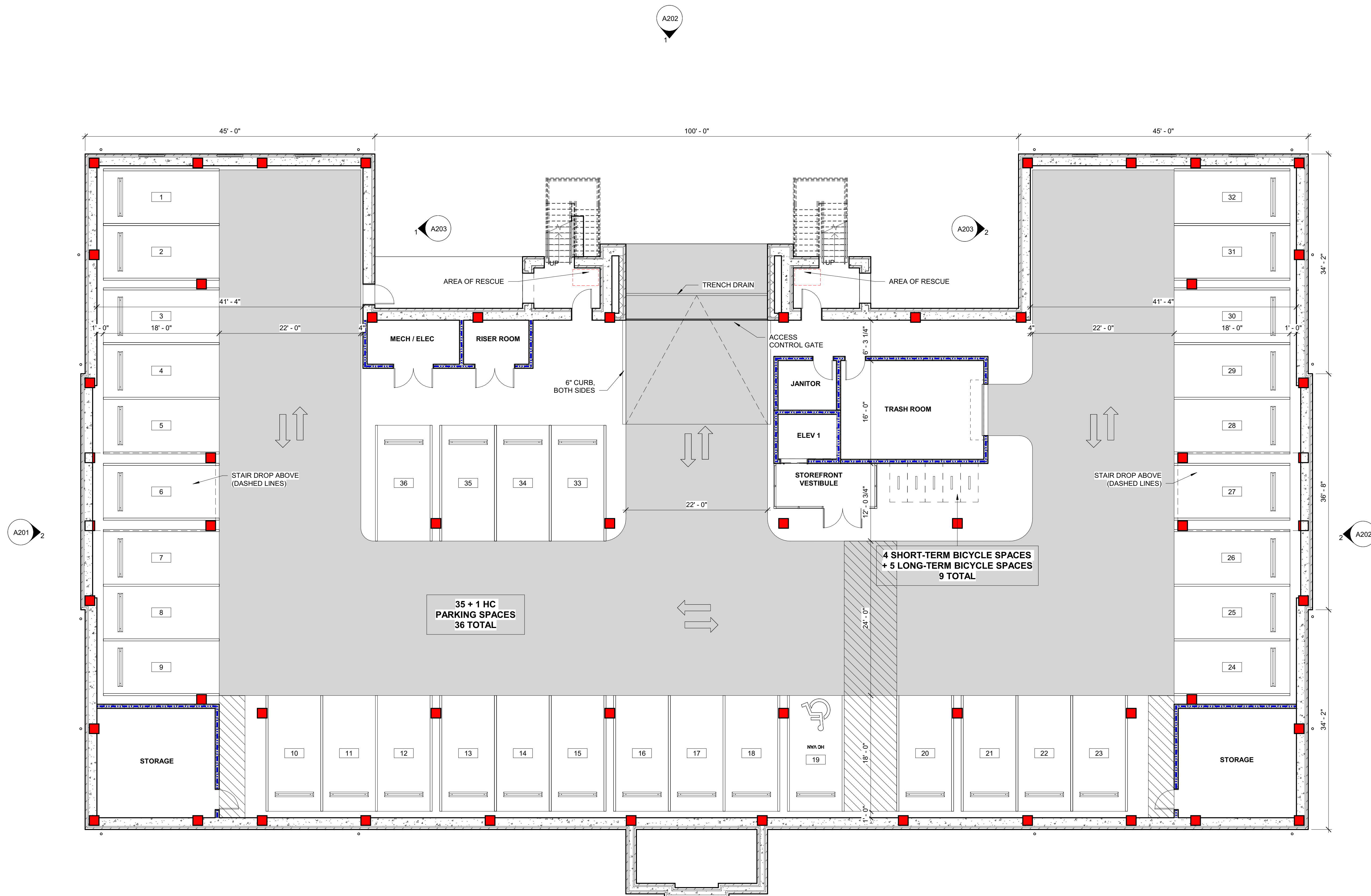
NOT FOR  
CONSTRUCTION

PROJECT: 022135  
DATE: 03.07.2023  
REVISIONS: DATE

DRAWN BY: KS/RB  
CHECKED BY: LL

**PARKING FLOOR PLAN**

**A100A**

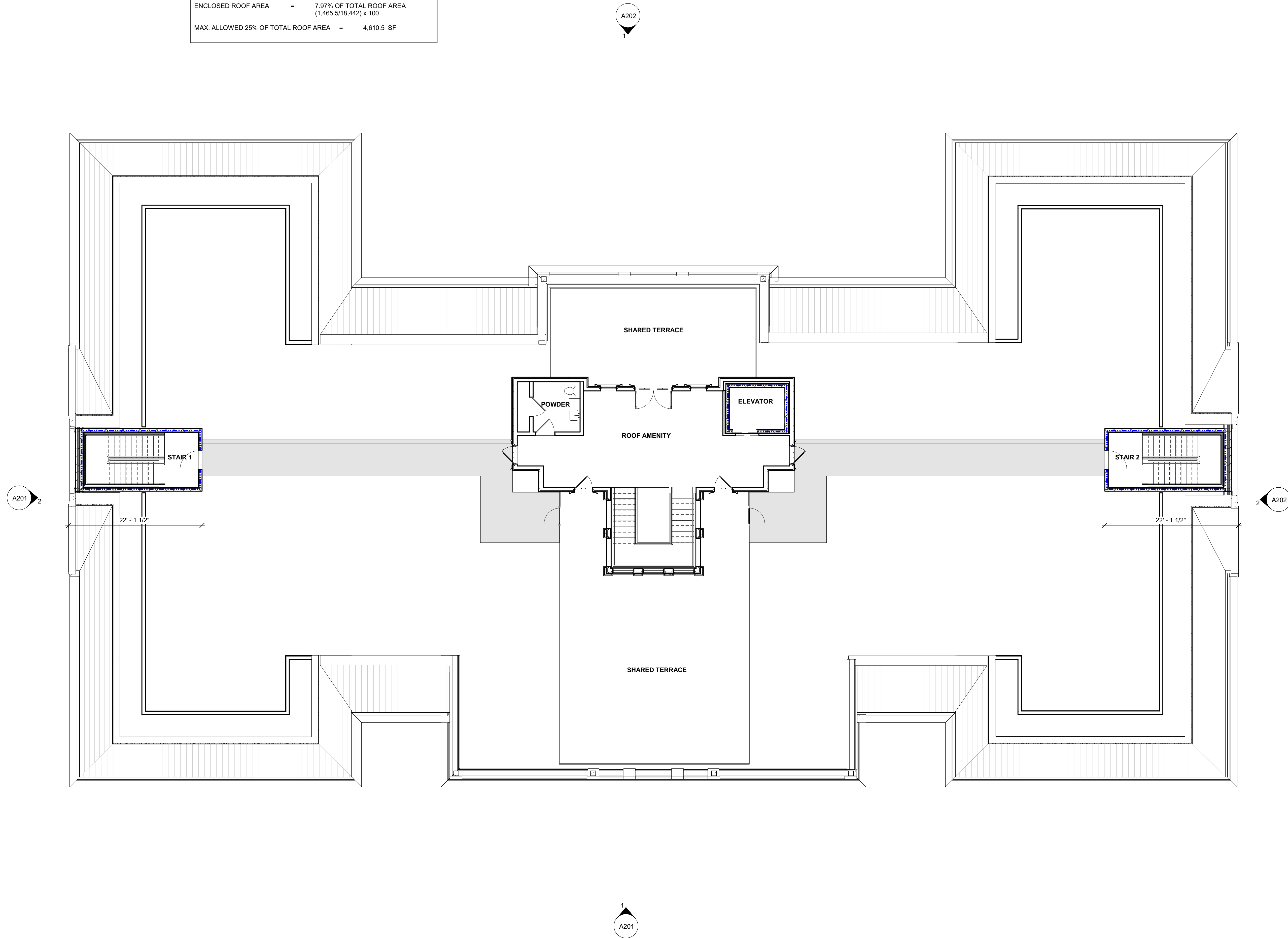


**ALTERNATE PARKING LAYOUT**



PER RALEIGH UDO, SEC. 1.5.7. HEIGHT, D. HEIGHT ENCROACHMENTS, THE PORTION OF BUILDING EXTENDING ABOVE THE MAXIMUM BUILDING HEIGHT COMPLIES WITH 3.G. ACCESSORY STRUCTURES AS AN ELEVATOR OR STAIRWAY ACCESS TO THE ROOF AND EXCEEDS THE MAXIMUM BUILDING HEIGHT BY LESS THAN 12 FEET. SEE BELOW FOR AREA CALCULATIONS DEMONSTRATING THE SIZE OF THE ACCESSORY STRUCTURE AS LESS THAN 25% OF THE ROOF AREA WITH A SETBACK OF AT LEAST 10'-0" FROM THE EDGE OF THE ROOF.

TOTAL ROOF AREA	=	18,442 SF
STAIR 1 AREA	=	216.25 SF
STAIR 2 AREA	=	216.25 SF
ROOF AMENITY AREA	=	1,037 SF
<b>TOTAL ENCLOSED AREA</b>	=	<b>1,469.5 SF</b>
ENCLOSED ROOF AREA	=	7.97% OF TOTAL ROOF AREA (1,469.5/18,442) x 100
MAX. ALLOWED 25% OF TOTAL ROOF AREA	=	4,610.5 SF



NOT FOR  
CONSTRUCTION

ASR  
SUBMITTAL

PROJECT:	022135
DATE:	02.24.2023
REVISIONS:	DATE

DRAWN BY: KS/RB  
CHECKED BY: LL

**ROOF DECK**

2/24/2023 11:03:39 AM C:\Users\kshah\Documents\022135 - Beacon St Condos - SD - 023 - A104\RoofDeck.rvt

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PER RALEIGH UDO, SEC. 1.5.7, HEIGHT, D. HEIGHT ENCROACHMENTS, THE PORTION OF BUILDING EXTENDING ABOVE THE MAXIMUM BUILDING HEIGHT COMPLIES WITH 3.G. ACCESSORY STRUCTURES AS AN ELEVATOR OR STAIRWAY ACCESS TO THE ROOF AND EXCEEDS THE MAXIMUM BUILDING HEIGHT BY LESS THAN 12 FEET. SEE SHEET A104 FOR AREA CALCULATIONS DEMONSTRATING THE SIZE OF THE ACCESSORY STRUCTURE AS LESS THAN 25% OF THE ROOF AREA WITH A SETBACK OF AT LEAST 10'-0" FROM THE EDGE OF THE ROOF.

AVERAGE GRADE CALCULATION

BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG 1	Fairview Road	396.50	394.50	395.50



WEST ELEVATION (OBERLIN)

1/8" = 1'-0"

2



SOUTH ELEVATION (FAIRVIEW)

1/8" = 1'-0"

1



125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
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HISTORICAL  
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678/325-6665  
historicalconcepts.com

BEACON STREET  
BEACON ST. CONDOS  
RALEIGH, NC

NOT FOR  
CONSTRUCTION

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SUBMITTAL

PROJECT: 022135  
DATE: 02.24.2023  
REVISIONS: DATE

DRAWN BY: KS/RB  
CHECKED BY: LL

EXTERIOR  
ELEVATIONS

A201



PER RALEIGH UDO, SEC. 1.5.7, HEIGHT, D. HEIGHT ENCROACHMENTS, THE PORTION OF BUILDING EXTENDING ABOVE THE MAXIMUM BUILDING HEIGHT COMPLIES WITH 3.G. ACCESSORY STRUCTURES AS AN ELEVATOR OR STAIRWAY ACCESS TO THE ROOF AND EXCEEDS THE MAXIMUM BUILDING HEIGHT BY LESS THAN 12 FEET. SEE SHEET A104 FOR AREA CALCULATIONS DEMONSTRATING THE SIZE OF THE ACCESSORY STRUCTURE AS LESS THAN 25% OF THE ROOF AREA WITH A SETBACK OF AT LEAST 10'-0" FROM THE EDGE OF THE ROOF.

AVERAGE GRADE CALCULATION

BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG 1	Farview Road	396.50	394.50	395.50



**EAST ELEVATION (ST MARYS)** 2  
1/8" = 1'-0"



**NORTH ELEVATION (MARCHMONT)** 1  
1/8" = 1'-0"



125 N. Harrington St.  
Raleigh, NC 27603  
919/833-6413  
ClineDesignAssoc.com

**HISTORICAL  
CONCEPTS**  
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**BEACON STREET  
BEACON ST. CONDOS**  
RALEIGH, NC

NOT FOR  
CONSTRUCTION

ASR  
SUBMITTAL

PROJECT: 022135  
DATE: 02.24.2023  
REVISIONS: DATE

DRAWN BY: KS/RB  
CHECKED BY: LL

**EXTERIOR  
ELEVATIONS**

**A202**

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