



Administrative Approval Action

Case File / Name: ASR-0028-2022
DSLCL - COTTAGES OF IDLEWILD

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.17 acre site zoned R-10 and within an NCOD (New Bern-Edenton) overlay district is located on the northwest corner of Idlewild Ave and E. Lane Street at 301 Idlewild Ave.

REQUEST: This is a Cottage Court consisting of nine (two unit) attached buildings totaling 18 dwelling units, with associated infrastructure.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 24, 2023 by Wetherill Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. As per note on ASR - please provide a lighting plan and a foot candle chart for all proposed outdoor lighting demonstration compliance to . (7.4.4 and 7.4.5 and 7.1.7 G)
2. Provide confirmation, (email, note, etc) that COR Solid waste is in agreement with your proposed plan along with your next submittal. Solid waste contact - E-mail: swscodecompliance@raleighnc.gov, Phone #: 919-996-3245

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. If required, a nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry



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6. A tree impact permit must be obtained for the removal of 6 existing street trees in the existing rights-of-way along Idlewild Avenue and E. Lane Street prior to issuance of a demolition permit or grading permit, whichever comes first.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Transit Deed of Easement Required |
| <input checked="" type="checkbox"/> | Right of Way Deed of Easement Required |

| | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Utility Placement Deed of Easement Required |
|-------------------------------------|---|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities



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4. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Transportation

6. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots into a single tract as shown on the preliminary plan.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A public infrastructure surety for 15 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
7. A tree impact permit must be obtained for the approved streetscape tree installation in the rights-of-way. This development proposes 7 street trees along Idlewild Avenue and 8 street trees along E. Lane Street, for a total of 15 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of right of way street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: September 13, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building



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permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 09/13/2023
Development Services Dir/Designee
Staff Coordinator: Michael Walters

PROJECT DATA

SITE INFORMATION

| | |
|--------------------------|--|
| JURISDICTION | CITY OF RALEIGH |
| EXISTING ZONE | R-10 |
| EXISTING USE | VACANT |
| PROPOSED USE | SINGLE-UNIT LIVING AND TWO-UNIT LIVING |
| PINS | 17400739, 174007470, 174009410 |
| GROSS SITE AREA | 1.17 AC. (50,771 S.F.) |
| DISTURBED AREA | 1.83 AC. (79,800 S.F.) |
| PROPOSED HOUSING PATTERN | COTTAGE COURT |
| PROPOSED # UNITS | 18 |
| OVERLAY DISTRICT(S) | NCOD/NEW BERN (NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT) |

STREET CLASSIFICATION

| | |
|-----------------|---------------------|
| E LANE STREET | NEIGHBORHOOD STREET |
| IDLEWILD AVENUE | NEIGHBORHOOD STREET |

BUILDING INFORMATION

| | |
|---|--------------------------------|
| PROPOSED BUILDINGS | |
| BUILDING #1 (JEFFERS) - 2 DWELLING UNITS | 2,234 S.F. |
| BUILDING #2 (FAISON) - 2 DWELLING UNITS | 2,572 S.F. |
| BUILDING #3 (JONES) - 2 DWELLING UNITS | 1,470 S.F. |
| BUILDING #4 (BLAYLOCK) - 2 DWELLING UNITS | 2,572 S.F. |
| BUILDING #5 (JEFFERS) - 2 DWELLING UNITS | 2,234 S.F. |
| BUILDING #6 (PULLEY) - 2 DWELLING UNITS | 2,412 S.F. |
| BUILDING #7 (MCDONALD) - 2 DWELLING UNITS | 2,878 S.F. |
| BUILDING #8 (MCDONALD) - 2 DWELLING UNITS | 2,878 S.F. |
| BUILDING #9 (PULLEY) - 2 DWELLING UNITS | 2,412 S.F. |
| TOTAL BUILDING SQUARE FOOTAGE | 21,478 S.F. |
| PROPOSED RESIDENTIAL DENSITY | 18 DU / 1.17 AC. = 15.38 DU/AC |

PARKING CALCULATION

| | |
|---|------------------------------------|
| REQUIRED: | NONE |
| PROVIDED: | 17 SPACES |
| REQUIRED PARKING NEAR CLUSTER BOX UNIT: | 2 SPACES FOR 50 HOUSES OR LESS |
| PROVIDED PARKING NEAR CLUSTER BOX UNIT: | 2 SPACES INCLUDING 1 ADA VAN SPACE |

DIMENSIONAL CRITERIA - R-10 COTTAGE COURT

| | |
|---|--|
| REQUIRED MIN. SITE AREA FOR R-10 ZONING | 13,000 S.F. + 2,650 S.F. PER UNIT OVER FOUR |
| TOTAL REQUIRED SITE AREA: | 13,000 S.F. + 14 UNITS X 2,650 S.F. PER UNIT = 50,100 S.F. |
| TOTAL SITE AREA PROVIDED: | 50,771 S.F. |
| REQUIRED (PROVIDED): | |
| SITE WIDTH | 90' MIN. (124') |
| SITE DEPTH | 90' MIN. (157.5') |
| MINIMUM LOT WIDTH DIRECTLY ABUTTING COURTYARD | 5' MIN. (34.7' - 37.7') |
| PRIMARY STREET SETBACK | 10' MIN. (10') |
| ALLEY SETBACK | 5' MIN. (N/A) |
| SIDE STREET SETBACK | 10' MIN. (10') |
| REAR SITE LINE SETBACK | 20' MIN. (47' - 50') |
| BUILDING SEPARATION | 6' MIN. (10'-14') |
| DWELLING UNITS PER SITE (MAX.) | 30 (18) |

SURFACE PARKING SETBACKS

| | |
|---------------------------------------|------------|
| PRIMARY STREET WITH C3 YARD SCREENING | 50' (117') |
| SIDE STREET SETBACK | 10' (10') |

INTERNAL COURTYARD REQUIREMENTS

| | |
|-------------------------------------|--|
| REQUIRED MIN. AREA FOR R-10 ZONING: | 2,100 S.F. + 550 S.F. PER UNIT OVER FOUR |
| TOTAL REQUIRED AREA: | 2,100 S.F. + 14 UNITS X 550 S.F. PER UNIT = 9,800 S.F. |
| TOTAL AREA PROVIDED: | 10,140 S.F. |

IMPERVIOUS CALCULATION

| | |
|---|---|
| EXISTING IMPERVIOUS | 0.10 AC. (4,356 S.F.) |
| EXISTING IMPERVIOUS FOR STORMWATER CALCULATIONS | 0.53 AC. (23,170 S.F.) |
| ROAD/PARKING: 0.24 AC. (10,305 S.F.) | |
| PROPOSED IMPERVIOUS | ROOF: 0.35 AC. (15,265 S.F.) |
| | SIDEWALK/CONCRETE PADS: 0.12 AC. (5,032 S.F.) |
| | TOTAL: 0.70 AC. (30,602 S.F.) (60.3%) |

GENERAL NOTES:

- Tree conservation requirements of UDO Section 9.1 are not applicable to this site due to the parcel being less than 2 acres in size (UDO Section 9.1.2).

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofwayservices@raleighnc.gov.
- The City of Raleigh requires an approved Right-of-Way Permit for work on any public street or sidewalk and NCOD/NT road within Raleigh's jurisdiction.
- A permit request with a TCPED Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All TCPED Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to:
 - Manual on Uniform Traffic Control (MUTCD);
 - Public Rights-of-Way Accessibility Guidelines (PROWAG);
 - American Disability Act (ADA) requirements;
 - Raleigh Street Design Manual (RSDM).
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

| PUBLIC IMPROVEMENT QUANTITY TABLE | |
|-----------------------------------|--------|
| PHASE NUMBER(S) | N/A |
| NUMBER OF LOT(S) | 1 |
| LOT NUMBER(S) BY PHASE | N/A |
| NUMBER OF UNITS | 18 |
| LIVABLE BUILDINGS | 9 |
| OPEN SPACE | NO |
| NUMBER OF OPEN SPACE LOTS | 0 |
| PUBLIC WATER (LF) | 0 LF |
| PUBLIC SEWER (LF) | 198 LF |
| PUBLIC STREET (LF) - FULL | 0 LF |
| PUBLIC STREET (LF) - PARTIAL | 0 LF |
| PUBLIC SIDEWALK (LF) - FULL | 0 LF |
| PUBLIC SIDEWALK (LF) - PARTIAL | 452 LF |
| STREET SIGNS (LF) | 0 LF |
| WATER SERVICE STUBS | 18 |
| SEWER SERVICE STUBS | 18 |

SITE PLAN
FOR

COTTAGES OF IDLEWILD

301 IDLEWILD AVE
RALEIGH, WAKE COUNTY, NC
1.17 - ACRE SITE
ASR-0028-2022
ISSUED 08.24.2023
WEI PROJECT # 22301.03



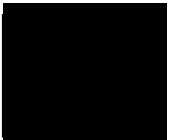
VICINITY MAP

SCALE: 1" = 500'



1223 JONES FRANKLIN ROAD
RALEIGH, NORTH CAROLINA, 27606
Phone: 919-851-8077
LICENSE No. F-0377
WETHERILL.ENG.COM

TRANSPORTATION PLANNING/DESIGN • BRIDGE/STRUCTURE DESIGN
CIVIL/SITE DESIGN • GIS/GPS • SURVEYING • CONSTRUCTION OBSERVATION



PRELIMINARY
NOT RELEASED FOR CONSTRUCTION

OWNER:

CITY OF RALEIGH
421 FAYETTEVILLE ST., STE 1200,
RALEIGH, NC 27601
ATTN: MARIA DEWEES
919-996-9648

DEVELOPER:

RALEIGH AREA LAND TRUST
900 S WILMINGTON ST.
RALEIGH, NC 27601
ATTN: RHETT FUSSELL
503-333-5774

ARCHITECT

HAVEN VENTURES, LLC.
800 N. MANGUM STREET SUITE A
DURHAM, NC 27701
ATTN: DAYLE BARNES, AIA
919-265-9256

ENGINEER:

WETHERILL ENGINEERING INC.
1223 JONES FRANKLIN RD
RALEIGH, NC 27606
ATTN: JORDAN BOGGESE, PE
919-851-8077

| Sheet List Table | | |
|------------------|-------------------------------------|------------|
| Sheet Number | Sheet Title | Issue Date |
| CVR | Cover Sheet | 8/23/2023 |
| APP | APP Application | 8/23/2023 |
| CIVIL/SITE | | |
| C001 | Notes, Legend, and Abbreviations | 8/23/2023 |
| C101 | Existing Conditions and Sanitation | 8/23/2023 |
| C201 | Site Layout | 8/23/2023 |
| C301 | Grading and Drainage Plan | 8/23/2023 |
| C302 | Drainage Profiles | 8/23/2023 |
| C303 | Drainage Profiles | 8/23/2023 |
| C304 | Sanitation Plan and Details | 8/23/2023 |
| C401 | Utility Plan | 8/23/2023 |
| C402 | E Lane St SS Replacement Plan | 8/23/2023 |
| C403 | Idlewild Avenue SS Replacement Plan | 8/23/2023 |
| C501 | Final Topographic Plan | 8/23/2023 |
| C701 | Details | 8/23/2023 |
| C702 | Details | 8/23/2023 |
| C703 | Details | 8/23/2023 |
| C704 | Details | 8/23/2023 |
| C705 | Details | 8/23/2023 |
| LANDSCAPE | | |
| L401 | Landscaping Plan | 7/26/2023 |
| L402 | Planting Notes | 7/26/2023 |
| ARCHITECTURAL | | |
| A-AC-10 | Blockin Floor Plans | 5/26/2023 |
| A-AS-10 | Blockin Elevations | 5/26/2023 |
| A-F-10 | Fabric Floor Plans | 5/26/2023 |
| A-F-10-01 | Fabric Elevations | 5/26/2023 |
| A-J-10 | Jones Floor Plans | 5/26/2023 |
| A-J-10-01 | Jones Elevations | 5/26/2023 |
| A-J-10-02 | Jones Floor Plans | 5/26/2023 |
| A-J-10-03 | Jones Elevations | 5/26/2023 |
| A-K-10 | Kingsley Floor Plans | 7/21/2023 |
| A-K-10-01 | Kingsley Elevations | 7/21/2023 |
| A-K-10-02 | Kingsley Floor Plans | 5/26/2023 |
| A-K-10-03 | Kingsley Elevations | 5/26/2023 |



Know what's below.
Call before you dig.



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-980-2500

This form is required when submitting all plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| Site Plan Tier: <input type="checkbox"/> Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|--|--|--------------------------|--|-----------------------------------|----------------------------------|--------------------------------|--|--|------------------------------------|--|--|------------------------------------|-----------------------------------|--|--|------------------------------------|--------------------------------|-----------------------------------|--|--|--|---------------------------|--|--|--|--|--|
| <table border="1"> <thead> <tr> <th colspan="2">Building Type</th> <th colspan="2">Site Transaction History</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Detached</td> <td><input type="checkbox"/> General</td> <td colspan="2">Subdivision case #: <u>N/A</u></td> </tr> <tr> <td><input checked="" type="checkbox"/> Attached</td> <td><input type="checkbox"/> Mixed use</td> <td colspan="2">Scoping/initials plan case #: <u>N/A</u></td> </tr> <tr> <td><input type="checkbox"/> Apartment</td> <td><input type="checkbox"/> Open lot</td> <td colspan="2">Certificate of Appropriateness #: <u>N/A</u></td> </tr> <tr> <td><input type="checkbox"/> Townhouse</td> <td><input type="checkbox"/> Civic</td> <td colspan="2">Board of Adjustment #: <u>N/A</u></td> </tr> <tr> <td colspan="2"></td> <td colspan="2">Zoning Case #: <u>N/A</u></td> </tr> <tr> <td colspan="2"></td> <td colspan="2">Administrative Alternate #: <u>N/A</u></td> </tr> </tbody> </table> | | Building Type | | Site Transaction History | | <input type="checkbox"/> Detached | <input type="checkbox"/> General | Subdivision case #: <u>N/A</u> | | <input checked="" type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Scoping/initials plan case #: <u>N/A</u> | | <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot | Certificate of Appropriateness #: <u>N/A</u> | | <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic | Board of Adjustment #: <u>N/A</u> | | | | Zoning Case #: <u>N/A</u> | | | | Administrative Alternate #: <u>N/A</u> | |
| Building Type | | Site Transaction History | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Detached | <input type="checkbox"/> General | Subdivision case #: <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Scoping/initials plan case #: <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot | Certificate of Appropriateness #: <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic | Board of Adjustment #: <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Zoning Case #: <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Administrative Alternate #: <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GENERAL INFORMATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Development name: <u>Cottages of Idowd</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Property address(es): <u>907 E Lane St, 913 E Lane St, 301 Idowd Ave, Raleigh, NC 27601</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Site PLN(s): <u>1714007339, 1714007470, 1714009410</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Please describe the scope of work. Include any additions, improvements, and changes of use.</p> <p>This project proposes a cottage court with 18 new dwelling units on a 1.17 acre site which will require construction of a driveway, parking, utilities, and drainage. The site is currently vacant and will be utilized for two unit living.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Current Property Owner/Developer Contact Name: <u>Maria Dimesse</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NOTE: please attach purchase agreement when submitting this form. <u>N/A</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| City: <u>Raleigh</u> Title: <u>Project Manager</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Address: <u>One City Plaza, Suite 1200, 421 Fayetteville St., Raleigh, NC 27601</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Phone #: <u>919-966-9648</u> | Email: <u>Maria.Dimesse@raleighnc.gov</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Applicant Name: <u>Jordan J. Boggess, P.E.</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Company: <u>Wetherill Engineering Inc.</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Address: <u>1233 Jones Franklin Rd, Raleigh, NC 27606</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Phone #: <u>919-851-8077</u> | Email: <u>j.boggess@wetherill.com</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

| SITE DATA | BUILDING DATA |
|---|--|
| Zoning district (if more than one, please provide the acreage of each): R-10 | Existing gross floor area (not to be demolished): 0 S.F. Existing gross floor area to be demolished: 0 S.F. |
| Gross site acreage: 1.17 AC. | Total gross floor area: 21,478 S.F. |
| # of parking spaces required: 0 | New gross floor (to remain and new): 21,478 S.F. |
| # of parking spaces proposed: 17 | Proposed # of buildings: 9 |
| Overlay District (if applicable): -NCOD New Bern | Proposed # of stories for each: 2 |
| Existing use (UDO 6.1.4): Vacant | |
| Proposed use (UDO 6.1.4): Single-Unit and Two-Unit Living | |

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.53 Square Feet: 23,170 Proposed Impervious Surface: Acres: 0.70 Square Feet: 30,602

Is this a flood hazard area? Yes ☐ No ☒

If yes, please provide: N/A

Alluvial soils: N/A

Flood study: N/A

FEMA Map Panel #: 3720171400J

Neuse River Buffer Yes ☐ No ☒ Wetlands Yes ☐ No ☒

OPMENTS

| | | | | | |
|-------------------------------|--|-------|--|-----------------------------|--|
| Total # of dwelling units: 18 | | | | Total # of hotel units: N/A | |
| # of bedroom units: 1br 2 | | 2br 8 | 3br 8 | 4br or more N/A | |
| # of lots: N/A | | | Is your project a cottage court? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | | |

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jordan J. Boggess, P.E. will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submital policy, which states applications will expire after 180 days of inactivity.

Signature: Jordan J. Boggess Date: 7/27/2023
Printed Name: Jordan J. Boggess, P.E. 3041400370108



TRANSPORTATION PLANNING DESIGN -
BRIDGE/STRUCTURE DESIGN - CIVIL/SITE DESIGN
- GIS/GPS - SURVEYING -
CONSTRUCTION OBSERVATION

1223 JONES FRANKLIN ROAD
RALEIGH, NORTH CAROLINA, 27601
PHONE: 919-851-8077
LICENSE No. F-0377
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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. - RALEIGH, NC
WAKE COUNTY NORTH CAROLINA - 1.17 ACRES

DATE: 08.24.2023

REVISIONS

| DATE | COMMENT |
|----------|---|
| 04/05/22 | A. City of Raleigh Administrative Site Review |
| 05/06/22 | B. City of Raleigh Administrative Site Review |
| 07/28/23 | C. City of Raleigh Administrative Site Review |
| 06/24/23 | D. City of Raleigh Administrative Site Review |
| | |
| | |
| | |
| | |



PRELIMINARY

22301.03

ASR APPLICATION

APP

LEGEND

| | | | |
|----------------------------|--------------------------|--|--------------------|
| | PROJECT PROPERTY LINE | | IPS |
| | ADJACENT PROPERTY LINE | | PF |
| | PR. LOT LINE | | SURVEY MONUMENT |
| | FUTURE RIW LINE | | SURVEY CONTROL |
| | EASEMENT | | BENCHMARK |
| | ZONING LINE | | UTILITY POLE |
| | BUFFER OR SETBACK LINE | | GUY WIRE |
| | STREAM OR LAKE | | TRANSMISSION POLE |
| | FLOODPLAIN | | FIBER OPTIC MARKER |
| | | | TELEPHONE PEDESTAL |
| EXISTING CONDITIONS | | | UTILITY MANHOLE |
| | BUILDING | | GAS VALVE |
| | GUARD RAIL | | GAS METER |
| | FENCE | | GAS MARKER |
| | TREE LINE | | |
| | MAJOR CONTOUR LINE | | |
| | MINOR CONTOUR LINE | | |
| | GAS LINE | | |
| | OVERHEAD UTILITY LINE | | |
| | OVERHEAD POWER LINE | | |
| | UNDERGROUND POWER LINE | | |
| | SEWER LINE | | |
| | FORCE MAIN | | |
| | SERVER SERVICE LINE | | |
| | FIBER OPTIC LINE | | |
| | OVERHEAD TELECOM LINE | | |
| | UNDERGROUND TELECOM LINE | | |
| | TRAFFIC SIGNAL LINE | | |
| | WATER LINE | | |

PROPOSED CONDITIONS

| | |
|---------------------------------------|--------------------------|
| — X — X — X — X — | BUILDING |
| —•—•—•—•—•—•—•—•— | WIRE FENCE |
| —○—○—○—○—○—○—○—○— | CHAIN LINK |
| —●—●—●—●—●—●—●—●— | WOODEN FENCE |
| —•—•—•—•—•—•—•—•— | DECORATIVE FENCE |
| —•—•—•—•—•—•—•—•— | COMPOSITE PRIVACY FENCE |
| —•—•—•—•—•—•—•—•— | MAJOR CONTOUR |
| —•—•—•—•—•—•—•—•— | MINOR CONTOUR |
| —•—•—•—•—•—•—•—•— | STORMWATER FACILITY |
| — LOC — LOC — LOC — LOC — | LIMITS OF DISTURBANCE |
| —○—○—○—○—○—○—○—○— | GAS LINE |
| — P — P — P — P — P — P — | OVERHEAD POWER LINE |
| — P — P — P — P — P — P — | UNDERGROUND POWER LINE |
| — BS — BS — BS — BS — BS — BS — | SEWER LINE |
| — FM — FM — FM — FM — FM — FM — | FORCE MAIN |
| — SVC — SVC — SVC — SVC — SVC — SVC — | SANITARY SERVICE LINE |
| — T — T — T — T — T — T — | OVERHEAD TELECOM LINE |
| — T — T — T — T — T — T — | UNDERGROUND TELECOM LINE |
| — W — W — W — W — W — W — | WATER LINE |

| | | | |
|---|-------------------|---|-----------------------------|
|  | A/C CONDENSER |  | WATER ELBOW |
|  | LIGHT POLE |  | WATER TEE |
|  | COBRA HEAD LIGHT |  | WATER CROSS |
|  | STORM LINE |  | WATER CAP |
|  | JUNCTION BOX |  | WATER REDUCER |
|  | GRATE INLET |  | WATER PLUG |
|  | COMBINATION INLET |  | REMOTE FOC |
|  | DOUBLE WING INLET |  | FDC |
|  | SINGLE WING INLET |  | POST INDICATOR VALVE |
|  | HEADWALL |  | WATER METER |
|  | WEIR INLET |  | UTILITY VAULT |
|  | SEWER MANHOLE |  | DOUBLE CHECK VALVE |
|  | WATER VALVE |  | DOUBLE DETECTOR CHECK VALVE |
|  | FIRE HYDRANT | | |

| | |
|--------|----------------------------------|
| ABC | AGGREGATE BASE COURSE |
| AC | ACROSS |
| APPROX | APPROXIMATE |
| ASPH | ASPHALT |
| AWWA | AMERICAN WATER WORKS ASSOCIATION |
| B-B | BACK OF CURB TO BACK OF CURB |
| B&M | BENCHMARK |
| BOC | BACK OF CURB |
| BOL | BOLLARD |
| BVC | BEGIN VERTICAL CURVE |
| BW | BARB WIRE |
| C&G | CURB AND GUTTER |
| C&TV | CABLE TELEVISION |
| CB | CATCH BASIN |
| CBLE | CABLE |
| CFS | CUBIC FEET PER SECOND |
| CHL | CHALK LINE |
| CHU | CHURCH |
| CI | CURB LINE |
| CL | CAST IRON PIPE |
| CMP | CENTLINE |
| CM | CONCRETE MOVEMENT |
| CMF | CORRUGATED METAL PIPE |
| CN | CLEAN OUT |
| CON | COMPARISON |
| CONC | CONCRETE |
| CONSTR | CONSTRUCTION |
| CONTR | CONTRACTOR |
| COR | CORNER |
| CPAL | CORNER POLA AND LIGHT |
| CUV | CULVERT |
| Δ | CHANGED WATER |
| DCV | DEBITOR CHECK VALVE |
| DDCV | DOUBLE DEBITOR CHECK VALVE |
| DI | DRIP INLET |
| DM | DIMETER |
| DP | DUCTILE IRON PIPE |
| DRW | DRAWING |
| DW | DOMESTIC WATER |
| EBL | EXISTING ROAD LINE |
| EQ | EXISTING GRADE |
| ELEC | ELECTRIC |
| ELEV | ELEVATION |
| EM | ELECTRIC METER |
| END | EDGE OF PAVEMENT |
| EVC | END VERTICAL CURVE |
| EX | EXISTING |
| FES | FLARED END SECTION |
| FVE | FINISHED FLOOR ELEVATION |
| FR | FINISHED GRADE |
| FI | FIRE HYDRANT |
| FNC | FENCE |
| FOC | FEET OF CURB |
| FS | FEET PER SECOND |
| G&V | GUTTERIZED |
| GC | GENERAL CONTRACTOR |
| GL | GLASS LINE |
| GM | GAS METER |
| GPM | GALLONS PER MINUTE |
| GRV | GRAVEL |
| GTV | GATE VALVE |
| GV | GAS VALVE |
| GW | GUY WIRE |
| HC | HANDICAP |
| HCP | HANDICAP PARKING |
| HCR | HANDICAP RAMP |
| HCV | HEADSAIL |
| HP | HIGH POINT |
| HT | HIGHT |
| ID | INSIDE DIAMETER |
| INHR | INCHES PER HOUR |
| INVT | INVERT |
| ISL | ISLAND |
| ITL | INDEPENDENT TESTING LABORATORY |
| J& | JUNCTION BOX |
| L | LENGTH |
| LF | LINEAR FEET |
| LGT | LIGHT |
| LPL | LIGHT POLE |
| LS | LINEAR |
| LT | LEFT |

STANDARD SITE ABBREVIATIONS

| | |
|----------|---|
| MAX | MAXIMUM |
| MD | MEAN |
| MH | MANHOLE |
| MM | MINIMUM |
| MJ | MECHANICAL JOINT |
| MON | MONUMENT |
| MT | METAL |
| MW | MONITOR WELL |
| NA | NOT APPLICABLE |
| NAD 83 | NORTH AMERICAN DATUM 1983 |
| NAD 1983 | NORTH AMERICAN DATUM 1983 |
| NBL | NORTH BOUND LANE |
| NCL | NORMAL |
| NC GRD | NORTH CAROLINA GRD |
| NC DOT | NORTH CAROLINA DEPARTMENT OF TRANSPORTATION |
| NCSS | NORTH CAROLINA GEODETIC SURVEY |
| NP | NEAR IRON PIPE |
| NTS | NOT TO SCALE |
| OC | ON CENTER |
| OD | OUTSIDE DIAMETER |
| OSH | OVERHEAD |
| OSHA | OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION |
| OVH | OVERHANG |
| PA | PARKING AREA |
| PC | POINT OF CURVATURE |
| PCC | POINT OF COMPOUND CURVATURE |
| PCF | PERCENT |
| PI | POINT OF INTERSECTION |
| PI INT | POINT OF INTERSECTION ON CURVE |
| PV | POST INDICATOR VALVE |
| PL | PROPERTY LINE |
| POC | POINT ON CURVE |
| POS | POINT OF SIGHT |
| POT | POINT ON TANGENT |
| PP | POWER POLE |
| PRC | POINT OF REVERSE CURVATURE |
| PSI | POUNDS PER SQUARE INCH |
| PT | POINT OF TANGENCY |
| PVC | POINT VERTICAL CURVE |
| PVI | POINT OF VERTICAL INTERSECTION |
| PWT | PAVEMENT |
| R | RADIUS |
| RR | RIGHT OF WAY |
| RCP | REINFORCED CONCRETE PIPE |
| RETN | RETAINING |
| RETV | RETAINED |
| RTP | REDUCED PRESSURE ZONE |
| RT | RIGHT |
| RWM | RIGHT OF MONUMENT |
| SAN | SANITARY |
| SB | SOIL BERM |
| SHT | SHEET |
| SBL | SOUTH BOUND LANE |
| SH | SHAMERE CONNECTION |
| SD | SIGNAL |
| SP | SIGNAL POLE |
| SPTS | SPECIFICATIONS |
| STA | STATION |
| SW | SIDEWALK |
| T | TANGENT |
| TBM | TEMPORARY BENCHMARK |
| TCP | TERRACE RAILPIPE |
| TEL | TELEPHONE |
| TEMP | TEMPORARY |
| TOC | TOP OF CURVE |
| TOS | TOP OF SLOPE |
| TOP | TOP OF SLOPE |
| TOW | TOP OF CURB WALL |
| TP | TELEPHONE POLE |
| TRANS | TRANSFORMER |
| TRP | TYPICAL |
| UC | UNDER CONSTRUCTION |
| UG | UNDERGROUND |
| UL | UTILITY POLE |
| VCP | VERTICAL CURVE |
| VCL | VERTICAL CULVERT |
| WBL | WEST BOUND LANE |
| WL | WATER LINE |
| WM | WATER METER |
| WV | WATER WIRE |
| WVW | WOVEN WIRE |

GENERAL NOTES

- [illegible]

NCOO/NEW BERN EDENTON OVERLAY REQUIREMENTS

MINIMUM LOT SIZE: 1,000 SF.
PROVIDED LOT SIZE: 52,771 SF.

MINIMUM LOT FRONTAGE: 30'
PROVIDED LOT FRONTAGE: 333'

FRONT YARD SETBACK: MINIMUM 10' MAINTAIN 50' PER ZONING ADMINISTRATION, A COTTAGE COURT WITH PROPOSED BUILDINGS ON ONE LOT WHERE THE FEET OF THE NEIGHBORHOOD MEET THE MINIMUM AND MAINTAIN FRONT SETBACKS OF THE NOOD LOCATED BEHIND THE SETBACK REQUIREMENT. PROPOSED BE SETBACKED AND OTHER BUILDINGS SHOULD BE LOCATED BEHIND THE 25 MAINTAIN SETBACK LINE.

FIVE PROPOSED BUILDINGS MEET THE MINIMUM 10' SETBACK FROM LANE 1ST AND EXEMPLE AVE. ALL COTTAGES WITH CURVATURE.

SIDE YARD SETBACK: MINIMUM OF 10' MAINTAIN 12' BUILDING SEPARATION IS MET.
PROVIDED: SIDE YARD SETBACK: PLANNING MEET BUILDING SEPARATION REQUIREMENTS.

BUILDING SEPARATION: MINIMUM OF 10'
ALL COTTAGES ARE SEPARATED BY A MINIMUM OF 10'.

MAINTAIN BUILDING HEIGHT: 30'
ALL COTTAGES DO NOT EXCEED MAINTAIN 30' BUILDING HEIGHT.



TRANSPORTATION PLANNING/DESIGN -
BRIDGE/STRUCTURE DESIGN - CIVIL/SITE DESIGN
- GIS/GPS - SURVEYING -
CONSTRUCTION OBSERVATION

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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. - RALEIGH, NC
WAKE COUNTY, NORTH CAROLINA - 1.17

DATE: 08.24.2023

REVISIONS

| DATE | COMMENT |
|----------|---|
| 04/05/22 | A. City of Raleigh Administrative Site Review |
| 05/26/23 | B. City of Raleigh Administrative Site Review |
| 07/28/23 | C. City of Raleigh Administrative Site Review |
| 08/24/23 | D. City of Raleigh Administrative Site Review |
| | |
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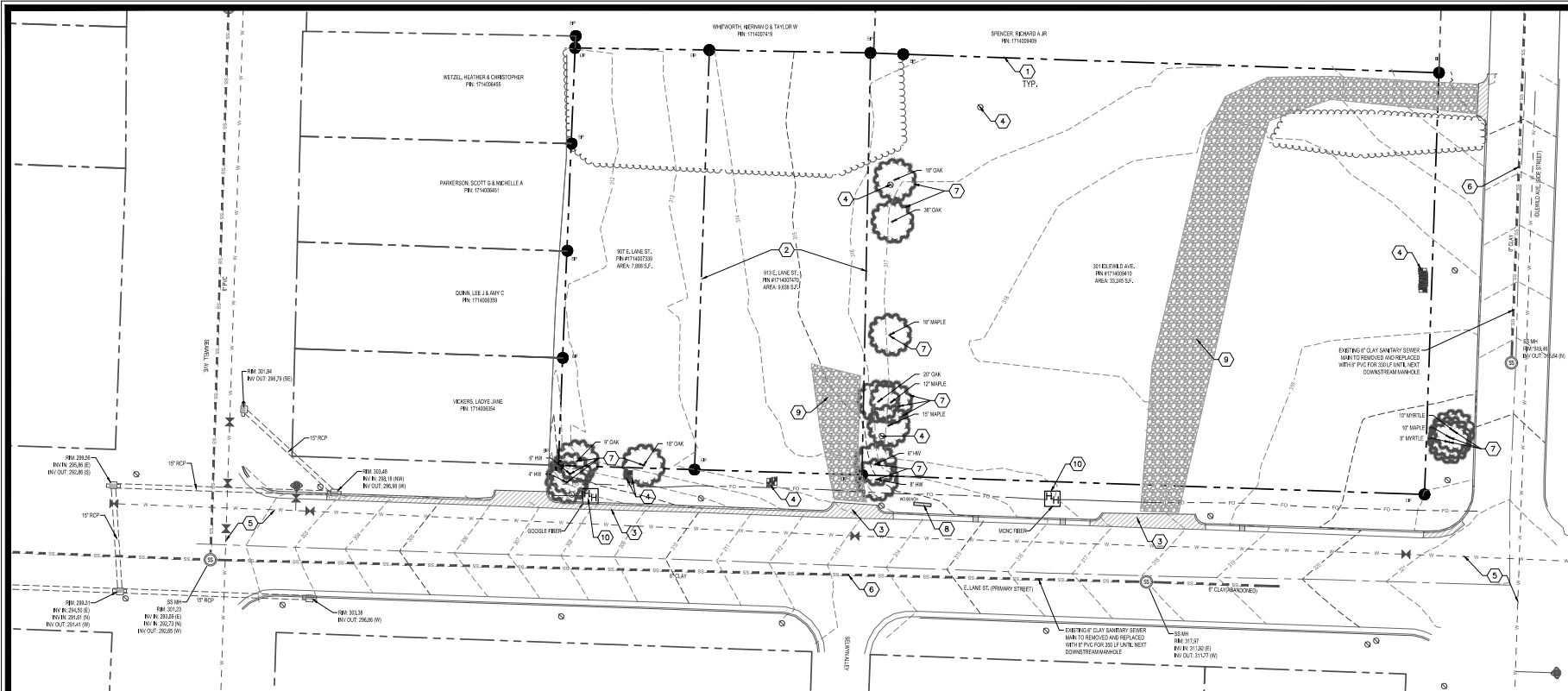


PRELIMINARY
NOT RELEASED FOR CONSTRUCTION

22301.03

NOTES, LEGEND, AND ABBREVIATIONS

C001



| KEYNOTE LEGEND | |
|----------------|--|
| SYMBOL | NOTES |
| 1 | PROPERTY LINE - TO BE ABANDONED |
| 2 | EXISTING CURB - TO BE REMOVED |
| 3 | EXISTING UTILITIES - TO BE REMOVED |
| 4 | EXISTING CITY OF RALEIGH WATER MAIN |
| 5 | EXISTING CITY OF RALEIGH SANITARY SEWER MAIN |
| 6 | EXISTING TREE - TO BE REMOVED |
| 7 | EXISTING BUS STOP - TO BE REMOVED |
| 8 | EXISTING GRAVEL - TO BE REMOVED |
| 9 | EXISTING UNDERGROUND FIBER OPTIC - TO BE RELOCATED AS NEEDED |

EXISTING CONDITIONS NOTES

- ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH DUE CARE AND DILIGENCE SO AS TO PREVENT THE ARBITRARY OBSTRUCTION OR INTERRUPTION OF CONSOLIDATED UTILITIES FROM BEING RETURNED TO NORMAL USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERED UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ENGINEER AND OWNER BEFORE REMOVAL FOR FINAL DISPOSITION.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION WORK SHALL BE EXPOSED OF OFF SITE IN ACCORDANCE WITH TOWN OF CLAYTON REGULATIONS AND ANY STATE OR FEDERAL REGULATIONS.
- SALVAGEABLE FILL MATERIALS FROM SITES DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOIL TESTING LABORATORY SHALL BE UNLOADED FOR FILL MATERIAL WHERE APPROPRIATE.
- ALL STRUCTURE UTILITIES DESIGNATED FOR MODIFICATION SHALL BE PROTECTED BY THE CONTRACTOR DURING CONSTRUCTION.
- EXISTING SITE SURVEY INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY WETHERILL ENGINEERING, INC.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE BEGINNING WORK.
- ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

TRANSPORTATION PLANNING/DESIGN -
BRIDGE/STRUCTURE DESIGN - CIVIL/ITE DESIGN
GEOTECHNICAL DESIGN - RAIL
CONSTRUCTION OBSERVATION

1233 JONES FRANKLIN ROAD
RALEIGH, NORTH CAROLINA, 27606
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LICENSE NO. F-42077
WETHERILLENGINEERING.COM

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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. • RALEIGH, NC
WAKE COUNTY, NORTH CAROLINA - 1.17 ACRES

DATE: 08.24.2023

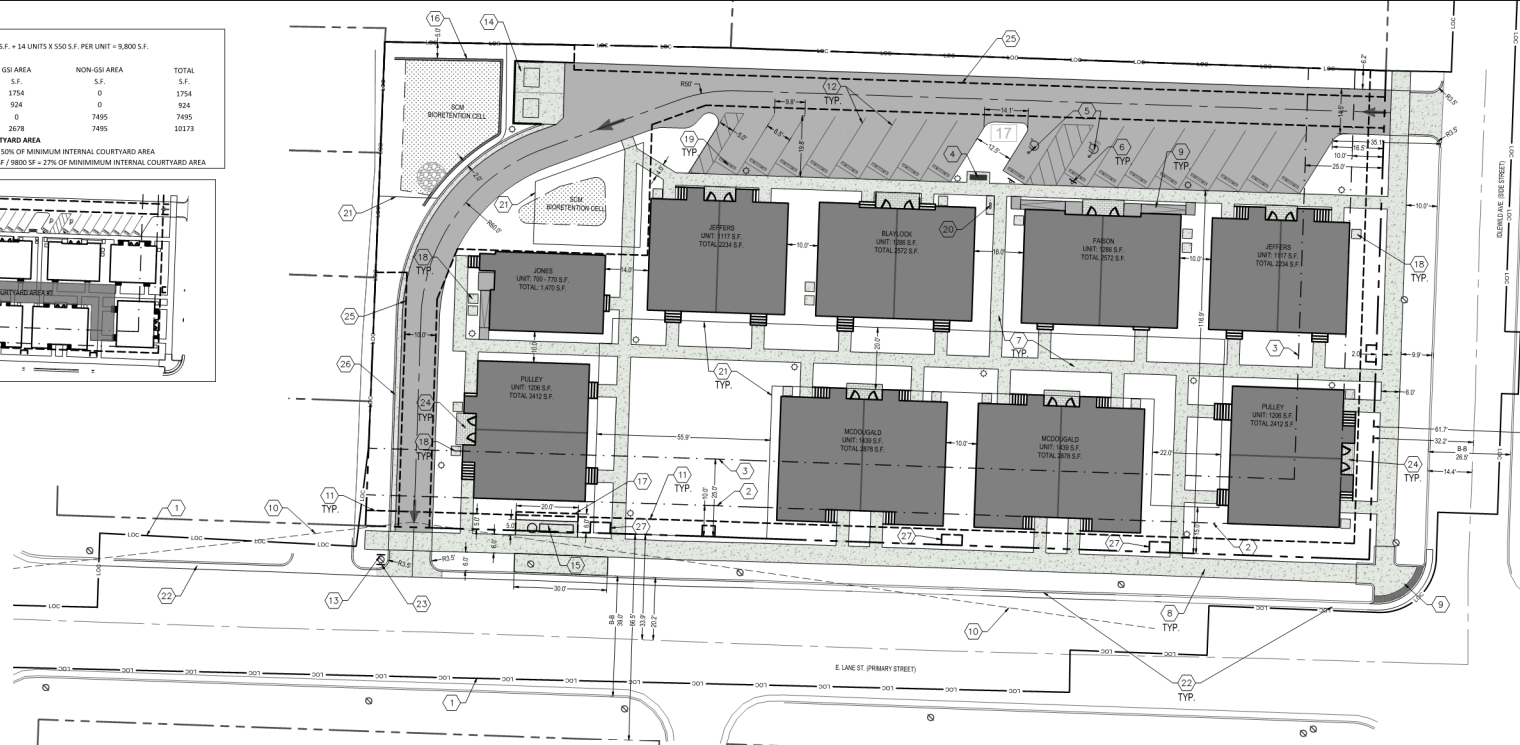
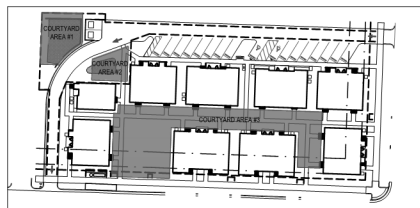
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| 08/24/23 | D. City of Raleigh Administrative Site Review |

PRELIMINARY
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22301.03
EXISTING
CONDITIONS AND
DEMOLITION
C101

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| COTTAGE COURTYARD DETAIL | | | |
|--|--|--------------|-------|
| TOTAL COURTYARD AREA REQUIRED = 2,100 S.F. = 14 UNITS X 550 S.F. PER UNIT = 9,800 S.F. | | | |
| TOTAL COURTYARD AREA PROVIDED = | | | |
| | GSI AREA | NON-GSI AREA | TOTAL |
| | S.F. | S.F. | S.F. |
| COURTYARD AREA #1 | 1754 | 0 | 1754 |
| COURTYARD AREA #2 | 924 | 0 | 924 |
| COURTYARD AREA #3 | 0 | 7495 | 7495 |
| TOTAL COURTYARD AREA | 2678 | 7495 | 10173 |
| GREEN STORMWATER INFRASTRUCTURE INCLUDED IN COURTYARD AREA | | | |
| ALLOWED | UP TO 50% OF MINIMUM INTERNAL COURTYARD AREA | | |
| PROVIDED | 2678 SF / 9800 SF = 27% OF MINIMUM INTERNAL COURTYARD AREA | | |



| PROJECT DATA | |
|--|--|
| SITE INFORMATION | |
| JURISDICTION | CITY OF RALEIGH |
| EXISTING ZONE | R-10 |
| EXISTING USE | VACANT |
| PROPOSED USE | SINGLE-UNIT LIVING AND TWO-UNIT LIVING |
| PIN(S) | 1714007339, 1714007470, 1714009420 |
| GROSS SITE AREA | 1.17 AC. (50,771 S.F.) |
| DISTURBED AREA | 1.83 AC. (79,800 S.F.) |
| PROPOSED YOUSING PATTERN | COTTAGE COURT |
| PROPOSED # OF UNITS | 18 |
| OVERLAY (DISTRICTS) | NCOD/NEIGH BERN (NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT) |
| STREET CLASSIFICATION | |
| E LANE STREET | NEIGHBORHOOD STREET |
| IDLEWILD AVENUE | NEIGHBORHOOD STREET |
| BUILDING INFORMATION | |
| PROPOSED BUILDINGS | |
| BUILDING #1 (JEFFERS) - 2 DWELLING UNITS | 2,234 S.F. |
| BUILDING #2 (PARSON) - 2 DWELLING UNITS | 2,572 S.F. |
| BUILDING #3 (JONES) - 2 DWELLING UNITS | 1,470 S.F. |
| BUILDING #4 (BLAYLOCK) - 2 DWELLING UNITS | 2,572 S.F. |
| BUILDING #5 (JEFFERS) - 2 DWELLING UNITS | 2,234 S.F. |
| BUILDING #6 (PULLEY) - 2 DWELLING UNITS | 2,412 S.F. |
| BUILDING #7 (MCDOUGALD) - 2 DWELLING UNITS | 2,878 S.F. |
| BUILDING #8 (MCDOUGALD) - 2 DWELLING UNITS | 2,878 S.F. |
| BUILDING #9 (PULLEY) - 2 DWELLING UNITS | 2,412 S.F. |
| TOTAL BUILDING SQUARE FOOTAGE | 21,478 S.F. |
| PROPOSED RESIDENTIAL DENSITY | 18 DU / 1.17 AC. = 15.38 DU/AC |
| PARKING CALCULATION | |
| REQUIRED: | |
| PROVIDED: | NONE |
| REQUIRED PARKING NEAR CLUSTER BOX UNIT: | 2 SPACES |
| REQUIRED PARKING NEAR CLUSTER BOX UNIT: | 2 SPACES FOR 50 HOUSES OR LESS |
| PROVIDED PARKING NEAR CLUSTER BOX UNIT: | 2 SPACES INCLUDING 1 ADA VAN SPACE |

| DIMENSIONAL CRITERIA - R-10 COTTAGE COURT | |
|--|--|
| REQUIRED MIN. SITE AREA FOR R-10 ZONING | 13,000 S.F. = 2,450 S.F. PER UNIT OVER FOUR |
| TOTAL REQUIRED SITE AREA: | 13,000 S.F. = 14 UNITS X 2,450 S.F. PER UNIT = 50,100 S.F. |
| TOTAL SITE AREA PROVIDED: | 50,771 S.F. |
| REQUIRED (PROVIDED) | |
| SITE WIDTH | 90' MIN. [324'] |
| SITE DEPTH | 90' MIN. [157.5'] |
| MINIMUM LOT WIDTH DIRECTLY ABUTTING COURTYARD | 5' MIN. [34.7' - 37.7'] |
| PRIMARY STREET SETBACK | 30' MIN. [10'] |
| ALLEY SETBACK | 5' MIN. [N/A] |
| SIDE STREET SETBACK | 30' MIN. [10'] |
| REAR SITE LINE SETBACK | 20' MIN. [147' - 50'] |
| BUILDING SEPARATION | 6' MIN. [10'-14'] |
| DWELLING UNITS PER SITE (MAX.) | 30 [18] |
| SURFACE PARKING SETBACKS | |
| PRIMARY STREET WITH C3 YARD SCREENING | 50' [117'] |
| SIDE STREET SETBACK | 30' [10'] |
| INTERNAL COURTYARD REQUIREMENTS | |
| REQUIRED MIN. AREA FOR R-10 ZONING: | 2,100 S.F. = 550 S.F. PER UNIT OVER FOUR |
| TOTAL REQUIRED AREA: | 2,100 S.F. = 14 UNITS X 550 S.F. PER UNIT = 9,800 S.F. |
| TOTAL AREA PROVIDED: | 10,140 S.F. |
| IMPERVIOUS CALCULATION | |
| EXISTING IMPERVIOUS | 0.10 AC. (4,350 S.F.) |
| EXISTING IMPERVIOUS FOR STORMWATER CALCULATION | 0.53 AC. (23,170 S.F.) |
| PROPOSED IMPERVIOUS | ROADS/PARKING: 0.24 AC. (10,305 S.F.) ROOF: 0.35 AC. (15,265 S.F.) SIDEWALK/CONCRETE PAVES: 0.12 AC. (5,032 S.F.) TOTAL: 0.70 AC. (30,602 S.F.) [60%] |

| GROSS FLOOR AREA PER DWELLING | |
|-------------------------------|--|
| BUILDING #1 (JEFFERS) | UNIT 1: 1,117 S.F. UNIT 2: 1,117 S.F. |
| BUILDING #2 (PARSON) | UNIT 3: 1,286 S.F. UNIT 4: 1,286 S.F. |
| BUILDING #3 (BLAYLOCK) | UNIT 5: 1,286 S.F. UNIT 6: 1,286 S.F. |
| BUILDING #4 (JEFFERS) | UNIT 7: 1,117 S.F. UNIT 8: 1,117 S.F. |
| BUILDING #5 (JONES) | UNIT 9: 700 S.F. UNIT 10: 770 S.F. |
| BUILDING #6 (PULLEY) | UNIT 11: 1,206 S.F. UNIT 12: 1,206 S.F. |
| BUILDING #7 (MCDOUGALD) | UNIT 13: 1,439 S.F. UNIT 14: 1,439 S.F. |
| BUILDING #8 (MCDOUGALD) | UNIT 15: 1,439 S.F. UNIT 16: 1,439 S.F. |
| BUILDING #9 (PULLEY) | UNIT 17: 1,206 S.F. UNIT 18: 1,206 S.F. |

| KEYNOTE LEGEND | |
|----------------|---|
| SYMBOL | NOTES |
| 1 | CONSTRUCTION LIMITS |
| 2 | MINIMUM BUILDING SETBACK |
| 3 | MAXIMUM BUILDING SETBACK |
| 4 | CLUSTER MAILBOX UNIT |
| 5 | ACCESSIBLE PARKING IN ACCORDANCE WITH ADA STANDARDS |
| 6 | R1-4 AND R1-4P ACCESSIBLE PARKING SIGNS IN ACCORDANCE WITH ADA STANDARDS |
| 7 | 6" WIDE CONCRETE SIDEWALK |
| 8 | SHARED CURB RAMP IN ACCORDANCE WITH ADA STANDARDS (7'20" D1-2, 115' RADIUS) |
| 9 | RIGHT TRIANGLE PER CITY OF RALEIGH STREET DESIGN MANUAL: WITHIN THE AREA OF ABOVE DEFINED RIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BUSHES OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION ON THE NEAREST TRAVELED WAY IF NO CURBING EXISTS. |
| 10 | UTILITY PLACEMENT EASEMENT |
| 11 | 4" WIDE WHITE SLIP RESISTANT PAINT STRIPING |
| 12 | R1-1 STOP SIGN 34" X 30" MIN SIZE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" |
| 13 | DUMPSTER PAD AND ENCLOSURE: SEE DETAIL ON SHEET C704 |
| 14 | BUS STOP PAD WITH BENCH AND TRASH RECEPTACLE |
| 15 | SEGMENTAL BLOCK RETAINING WALL |
| 16 | 6" X 20" TRANSIT EASEMENT |
| 17 | 3" X 3" CONCRETE HUNG PAD |
| 18 | WHEEL STOP |
| 19 | BIKE RACK |
| 20 | COURTYARD BOUNDARY |
| 21 | 30" CURB & GUTTER |
| 22 | ONE WAY DO NOT ENTER SIGN |
| 23 | PERVIOUS GRAVEL PAD FOR STORAGE ROOM ENTRANCE |

| LAYOUT PLAN NOTES | |
|-------------------|---|
| 1 | ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, BACK OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. |
| 2 | ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECS. ALL PAINTS SHALL BE SLIP-RESISTANT. |
| 3 | ALL RADI TO BE 7'-0" R/C UNLESS OTHERWISE NOTED. |
| 4 | ALL SIGNS AND RETAINING WALLS MUST BE PERMITTED SEPARATELY. |
| 5 | THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS AND ANY STATE OR LOCAL REQUIREMENTS BASED ON IT. |
| 6 | WITHIN THE AREA OF ABOVE DEFINED RIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BUSHES, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION ON THE NEAREST TRAVELED WAY IF NO CURBING EXISTS. |

TRANSPORTATION PLANNING/DESIGN
BRIDGE/STRUCTURE DESIGN - CIVIL/STE DESIGN
GEOTECH - SURVEYING
CONSTRUCTION OBSERVATION

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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. - RALEIGH, NC
WAKE COUNTY, NORTH CAROLINA - 1.17 ACRES

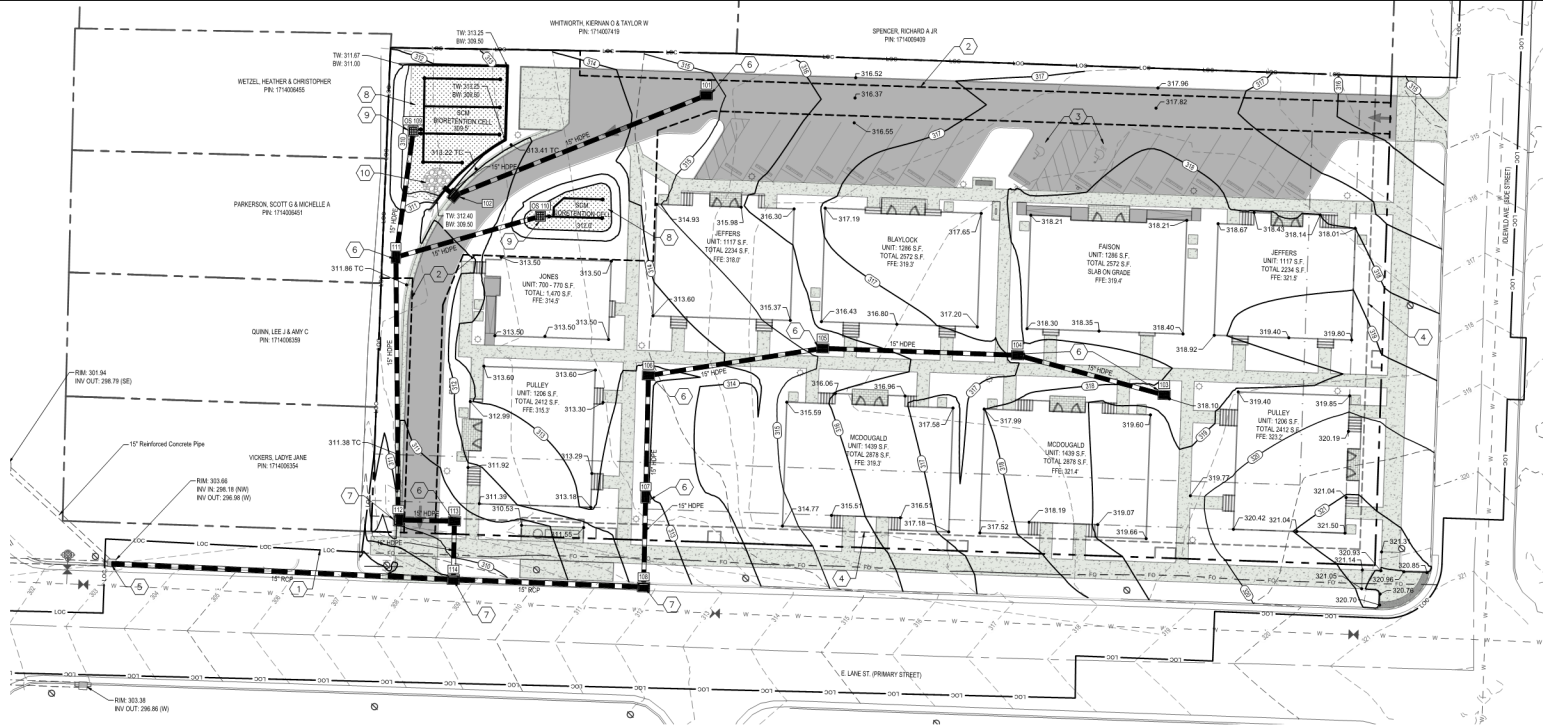
| REVISIONS | |
|-----------|---|
| DATE: | 08.24.2023 |
| DATE | COMMENT |
| 04/05/23 | A. City of Raleigh Administrative Site Review |
| 05/09/23 | B. City of Raleigh Administrative Site Review |
| 07/28/23 | C. City of Raleigh Administrative Site Review |
| 08/24/23 | D. City of Raleigh Administrative Site Review |

22301.03

SITE LAYOUT

C201

PRELIMINARY
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| KEYNOTE LEGEND | |
|----------------|--|
| SYMBOL | NOTES |
| 1 | CONSTRUCTION LIMITS |
| 2 | CITY OF RALEIGH PRIVATE DRAINAGE EASEMENT FOR SCM ACCESS AND MAINTENANCE |
| 3 | ACCESSIBLE PARKING, SLOPE NOT TO EXCEED 2% IN ANY DIRECTION |
| 4 | UTILITY PLACEMENT EASEMENT |
| 5 | CONNECT PROPOSED DRAINAGE TO EXISTING CATCH BASIN |
| 6 | DROP INLET |
| 7 | 5' OM CATCH BASIN |
| 8 | BORNTENTION AREA |
| 9 | SCM OUTLET CONTROL STRUCTURE |
| 10 | RP-WAP OUTLET PROTECTION |

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNERS INDEPENDENT TESTING LABORATORY.
 - ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER ARE TOP OF CURB UNLESS OTHERWISE NOTED.
 - THERE ARE NO WETLANDS WITHIN THE CONSTRUCTION LIMITS.
 - NO LAND DISTURBING ACTIVITY SHALL OCCUR WITHOUT A GRADING PERMIT. A PRECONSTRUCTION MEETING WILL BE REQUIRED BEFORE A GRADING PERMIT IS ISSUED.
 - TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT.
 - THE TREE PROTECTION FENCING SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL INSPECTION.
 - TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREAS WITHOUT WRITTEN AUTHORIZATION OF CITY OF RALEIGH URBAN FORESTRY DEPT.
 - STREETS ADJACENT TO THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES.
 - CUT AND FILL SLOPES GREATER THAN 3:1 SHALL NOT BE STABILIZED WITH TURF GRASS BUT MUST BE STABILIZED WITH VEGETATION THAT REQUIRES MINIMAL MAINTENANCE, I.E. KEEPING LOW GROUND, RED FESCUE, OR OTHER "NO-MOW" MAT.
 - ALL AREAS DISTURBED SHALL BE RESTORED WITH A TOPSOIL AND SEEDING, UNLESS OTHERWISE NOTED.
 - AFTER COMPLETION OF GRADING, PERMANENT GROUND COVER SHALL BE ESTABLISHED AS SOON AS PRACTICABLE BUT IN NO CASE LONGER THAN 90 CALENDAR DAYS AFTER THE LAST LAND DISTURBING ACTIVITY.
 - SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. AREAS OF THE PROJECT SITE THAT ARE NOT TO BE GRADED SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC OR OTHER DISTURBANCE UNTIL FINAL SEEDING IS PERFORMED.
 - ALL STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEGMENT CONTROL MEASURE.
 - INLET PROTECTION IS TO BE INSTALLED IMMEDIATELY AFTER WORK IS COMPLETED ON DRAINAGE STRUCTURES.
 - ALL OPEN STORM DRAIN PIPES SHALL BE PROTECTED DURING CONSTRUCTION, INCLUDING AT THE END OF EVERY WORK DAY.
 - ALL TEMPORARY SCM EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT TO BE REMOVED FROM TEMPORARY SOIL EROSION CONTROL MEASURES, AND ALL DISTURBED AREAS SET TO FINAL GRADE AND PERMANENTLY STABILIZED.
 - CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS OFF SITE. THE RESPONSIBILITY SHALL INCLUDE ALL REQUIRED APPROVALS AND CONDITIONS DICTATED BY THE JURISDICTIONAL EROSION CONTROL AUTHORITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS AND ANY STATE OF LOCAL REQUIREMENTS BASED ON IT.

| IMPERVIOUS CALCULATION | |
|---|------------------------|
| EXISTING IMPERVIOUS | 0.10 AC. (4,350 S.F.) |
| EXISTING IMPERVIOUS FOR STORMWATER CALCULATIONS | 0.53 AC. (23,170 S.F.) |
| PROPOSED IMPERVIOUS | |
| ROAD/PARKING: 0.24 AC. (10,305 S.F.) | |
| ROOF: 0.35 AC. (15,265 S.F.) | |
| SIDEWALK/CONCRETE PADS: 0.12 AC. (5,032 S.F.) | |
| TOTAL: 0.70 AC. (30,602 S.F.) (60.3%) | |

| AVERAGE GRADE CALCULATION FOR BUILDING HEIGHT* | | | |
|--|--------------------|-------------------|---------------|
| BUILDING | HIGHSIDE ELEVATION | LOWSIDE ELEVATION | AVERAGE GRADE |
| JEFFERS 1 | 319.8' | 318.9' | 319.4' |
| FAISON (ADA) | 318.4' | 318.3' | 318.4' |
| BLAYLOCK | 317.2' | 316.4' | 316.8' |
| JEFFERS 2 | 315.4' | 313.6' | 314.5' |
| JONES | 313.5' | 313.5' | 313.5' |
| PULLEY 1 | 313.2' | 311.4' | 312.3' |
| MCDUGALD 1 | 317.2' | 314.8' | 316.0' |
| MCDUGALD 2 | 319.7' | 317.5' | 318.6' |
| PULLEY 2 | 321.5' | 320.4' | 321.0' |

*AVERAGE GRADE IS MEASURED ALONG THE FAÇADE FACING PRIMARY STREET (E LANE ST)

| RESIDENTIAL INFILL COMPATIBILITY AVERAGE GRADE CALCULATIONS ¹ | | | | | | |
|--|-------------------|------------------|-------------------|-------------------|------------------|-------------------------------------|
| BUILDING | PRE-DEVELOPMENT | | | POST-DEVELOPMENT | | IS POST- LOWER THAN PRE-DEVELOPMENT |
| | HIGHEST ELEVATION | LOWEST ELEVATION | AVERAGE ELEVATION | HIGHEST ELEVATION | LOWEST ELEVATION | |
| JEFFERS 1 | 318.7' | 318.5' | 318.6' | 318.9' | 318.7' | NO |
| FAISON (ADA) | 318.4' | 318.4' | 318.4' | 318.3' | 318.2' | YES |
| BLAYLOCK | 317.7' | 317.1' | 317.4' | 316.8' | 316.4' | YES |
| JEFFERS 2 | 315.2' | 315.0' | 315.1' | 314.9' | 313.6' | YES |
| JONES | 313.0' | 312.8' | 312.9' | 313.5' | 313.5' | NO |
| PULLEY 1 | 312.8' | 312.7' | 312.8' | 313.6' | 311.4' | YES |
| MCDUGALD 1 | 317.0' | 317.5' | 317.3' | 315.6' | 314.8' | YES |
| MCDUGALD 2 | 318.1' | 317.7' | 317.9' | 318.0' | 317.8' | NO |
| PULLEY 2 | 319.4' | 319.0' | 319.2' | 320.4' | 319.4' | NO |

¹PRE- AND POST-DEVELOPMENT ELEVATIONS MEASURED ALONG THE FAÇADE FACING THE WESTERN PROPERTY LINE

²IF POST-DEVELOPMENT AVERAGE GRADE IS LOWER THAN PRE-DEVELOPMENT AVERAGE GRADE, USE POST-DEVELOPMENT AVERAGE GRADE FOR 2.2.7.D WALL HEIGHT REQUIREMENT. OTHERWISE USE THE COMBINED AVERAGE GRADE FROM PRE AND POST DEVELOPMENT.

WETHERILL ENGINEERING

TRANSPORTATION PLANNING/DESIGN
BRIDGE/STRUCTURE DESIGN - CIVIL/STEEL DESIGN
GEOTECHNICAL/GEOPHYSICAL
CONSTRUCTION OBSERVATION

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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. - RALEIGH, NC
WAKE COUNTY, NORTH CAROLINA - 1.17 ACRES

DATE: 08.24.2023

| REVISIONS | |
|-----------|---|
| DATE | COMMENT |
| 04/05/23 | A. City of Raleigh Administrative Site Review |
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| 08/24/23 | D. City of Raleigh Administrative Site Review |



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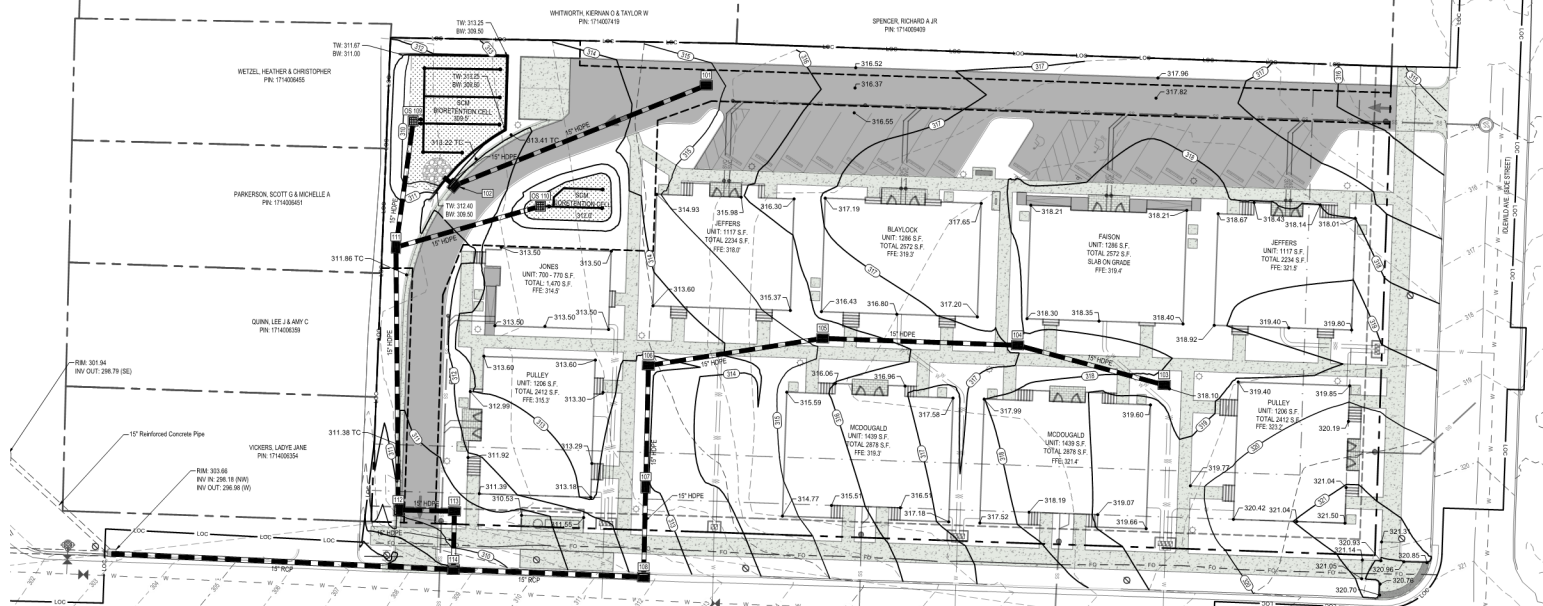
GRADING AND DRAINAGE PLAN

C301

301 IDLEWILD AVE. - RALEIGH, NC
WAKE COUNTY, NORTH CAROLINA - 1.17 ACRES

C302





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TRANSPORTATION PLANNING/DESIGN
BRIDGE/STRUCTURE DESIGN - CIVIL/SITE DESIGN
GEOTECHNICAL ENGINEERING
CONSTRUCTION OBSERVATION

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| 08/24/23 | D. City of Raleigh Administrative Site Review |

Now, what's below. Call before you dig.

811

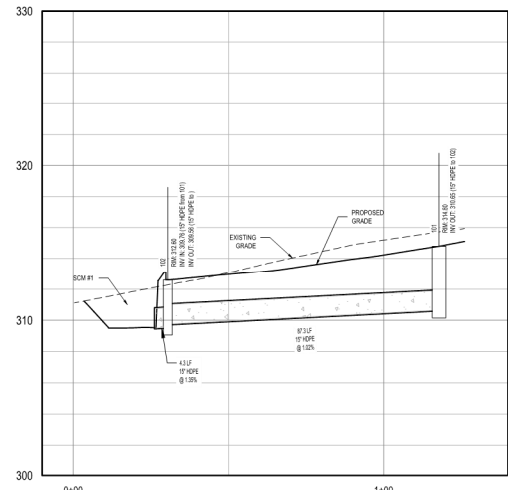
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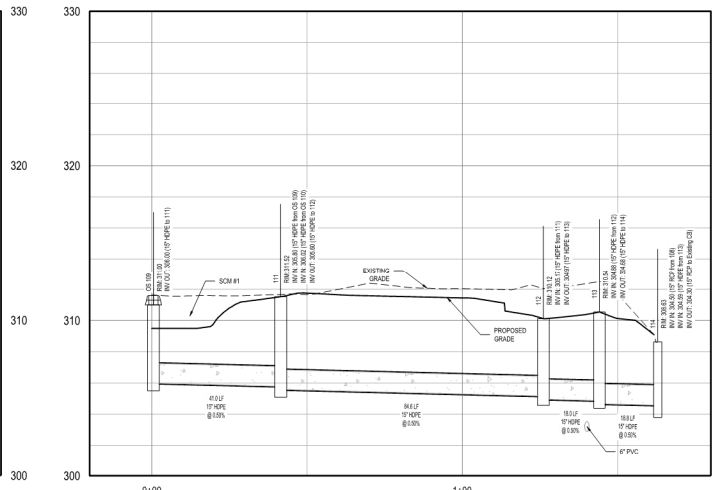
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DRAINAGE PROFILES

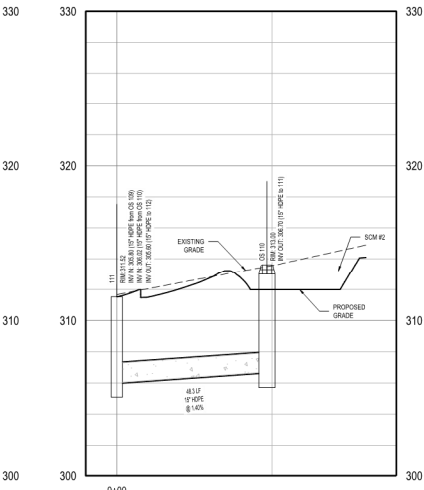
C303



101 TO SCM LARGE
Horz: 1"=20'
Vert: 1"=4'

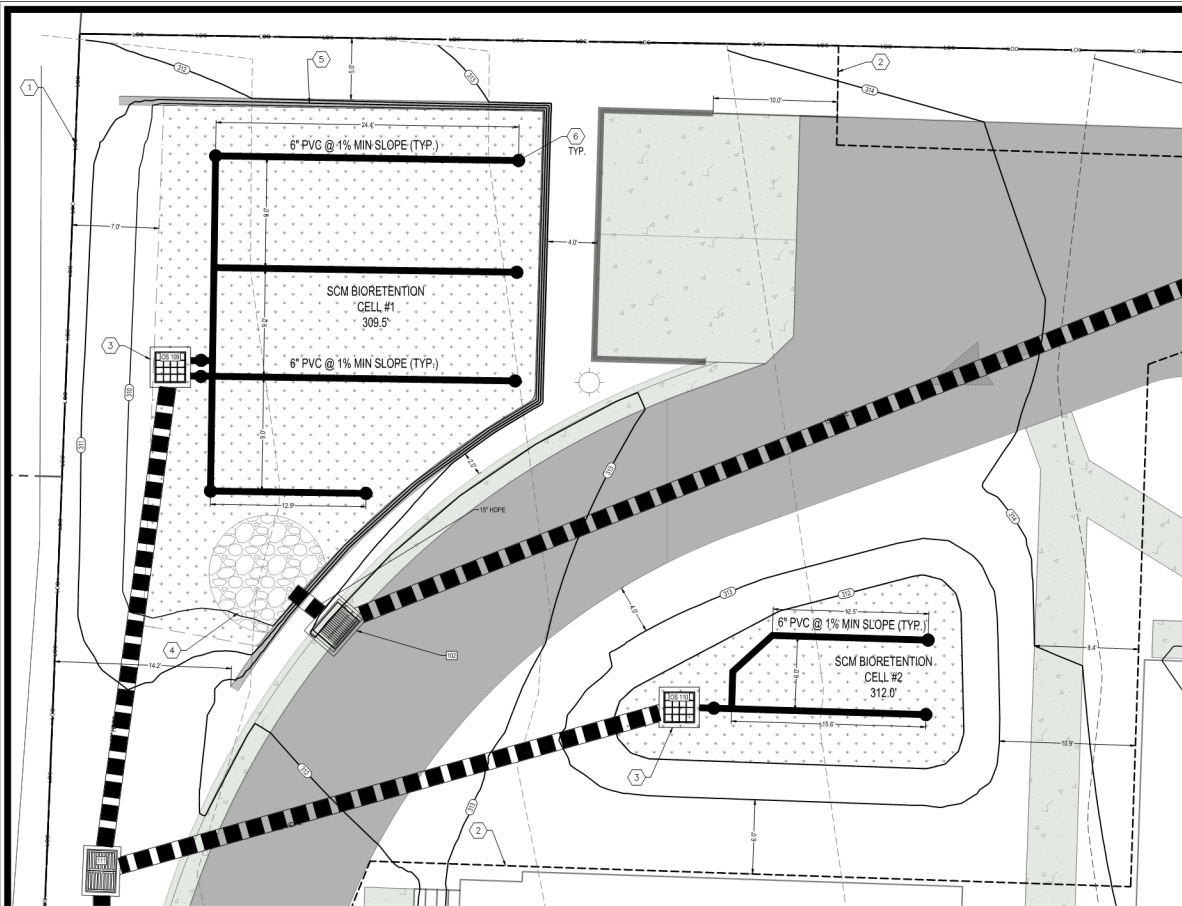


109-114
Horz: 1"=20'
Vert: 1"=4'



110-111
Horz: 1"=20'
Vert: 1"=4'

SCALE: 1" = 20'



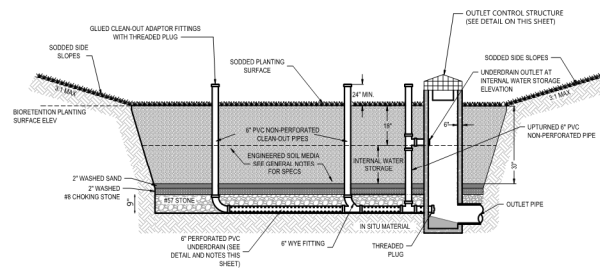
| KEYNOTE LEGEND | |
|----------------|--|
| SYMBOL | NOTES |
| 1 | CONSTRUCTION LIMITS |
| 2 | CITY OF RALEIGH PRIVATE DRAINAGE EASEMENT FOR SCM ACCESS AND MAINTENANCE |
| 3 | OUTLET CONTROL STRUCTURE |
| 4 | RIP-RAP LINED ENTRANCE |
| 5 | RETAINING WALL |
| 6 | UNDERDRAIN CLEAROUT |

BIORETENTION GENERAL NOTES

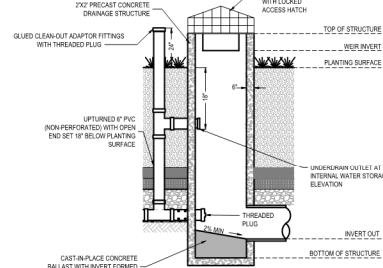
1. BOWEN/SHAW PER LATEST EDITION OF NCSDG STORMWATER DESIGN MANUAL.
2. PLACEMENT OF ALL FILL MATERIALS SHALL BE AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
3. ALL PIPING WITHIN THE UNDERDRAIN SYSTEM SHALL BE CONSTRUCTED OF SCHEDULE 40 OR SDR 35 SMOOTH WALL PVC PIPE. NO FLEXIBLE PIPE ALLOWED.
4. THE SPACING OF COLLECTION LATERALS SHALL BE NO GREATER THAN 10 FEET CENTER TO CENTER, AND A MINIMUM OF TWO PIPES SHOULD BE INSTALLED TO ALLOW FOR REDUNDANCY.
5. A MINIMUM OF 4 ROWS OF PERFORATIONS SHALL BE PROVIDED AROUND THE DIAMETER OF THE PIPE, AND THE PERFORATIONS SHALL BE PLACED 8 INCHES ON CENTER WITH EACH ROW FOR THE ENTIRE LENGTH OF THE DRAINAGE LATERAL. PERFORATIONS SHALL BE 1/2 INCH IN DIAMETER.
6. A MINIMUM OF ONE CLEANOUT PIPE MUST BE PROVIDED ON EACH UNDERDRAIN LINE. CLEANOUT PIPES SHALL BE NON-PERFORATED, WITH GLUED CLEAN-OUT FITTINGS AND SCREEN TYPE CAPS, AND ARE TO BE INSTALLED AT ABOVE GROUND SURFACE.
7. UNDERDRAIN PIPES SHALL HAVE A MINIMUM OF 3 INCHES OF WASHED #4 STONE ABOVE AND ON EACH SIDE OF THE PIPE.
8. THE SOIL MIX SHALL BE UNIFORM AND FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR MATERIAL GREATER THAN 2 INCHES. IT SHALL BE A HOMOGENEOUS SOIL MIX OF 15-40 PERCENT CUMULUM TO COARSE WASHED SAND AND 60-85% SAND TO 40-60% FINE, WITH CUMULATIVE PERCENTAGE OF EQUIVALENTS 8-15 PERCENT FINES (SILT AND CLAY), AND 5-15 PERCENT ORGANIC MATTER (SUCH AS PINE BARK FINES) SHALL BE USED.
9. THE P-RATIO FOR BIORETENTION SOIL MEDIA SHALL NOT EXCEED 30 IN NEW WATERS AS DEFINED IN 15A NCAC 02B.005 AND SHALL NOT EXCEED 30 IN BEDROCK.
10. THE MEDIA SHALL NOT BE MECHANICALLY COMPACTED.
11. THE MEDIA SHALL BE TESTED TO DETERMINE AN ACTUAL RATE AFTER PLACEMENT. THE PERMEABILITY SHALL BE A MINIMUM OF 1 INCH PER HOUR.
12. **PLANTING**
 - A. BIORETENTION AREAS, INCLUDING THE PLANTING SURFACE, SIDE SLOPES, AND AREAS ADJACENT TO THE BOMS SHALL BE SOODED.
 - B. SOIL THAT HAS BEEN GROWN IN SOIL WITH AN IMPERMEABLE LAYER, SUCH AS CLAY, CAN NOT BE USED FOR BIORETENTION AREAS.
 - C. SOIL SHALL BE A NON-CLAMPING, DEEP-ROOTED SPECIES.

BIORETENTION CELL DESIGN INFORMATION

| BIORETENTION CELL | | CELL #1 | CELL #2 |
|--|--|---------|---------|
| CONTRIBUTING DRAINAGE AREA (ACRES) | | 0.33 | 0.09 |
| PLANTING SURFACE AREA (FT ²) | | 1150 | 316 |
| DESIGN VOLUME PONDING DEPTH (IN) | | 12 | 12 |
| DESIGN VOLUME REQUIRED (FT ³) | | 811 | 160 |
| DESIGN VOLUME PROVIDED (FT ³) | | 1150 | 316 |
| PLANTING SURFACE ELEVATION (FT) | | 308.5 | 310.0 |
| PEAK ATTENUATION OUTLET ELEVATION (FT) | | 310.5 | 310.0 |
| PEAK ATTENUATION VOLUME ELEVATION (FT) | | 311.1 | 311.1 |
| TOP OF BASIN ELEVATION (FT) | | 311.5 | 314.0 |
| MINIMUM MEDIUM DEPTH (IN) | | 30 | 30 |
| OUTLET STRUCTURE | | | |
| TOP OF STRUCTURE ELEVATION (FT) | | 311.0 | 310.0 |
| WEIR INVERT ELEVATION (FT) | | 310.5 | N/A |
| WEIR WIDTH (FT) | | 1.5 | N/A |
| TOP OF INTERNAL WATER STORAGE ELEVATION (FT) | | 308.0 | 310.5 |
| OUTLET PIPE DIMENSIONS | | | |
| DIAMETER (IN) | | 15 | 15 |
| INVERT OUT (FT) | | 308.0 | 308.7 |
| LENGTH (FT) | | 41.5 | 48.3 |
| SLOPE (%) | | 0.50% | 1.40% |
| BOTTOM OF STRUCTURE ELEVATION (FT) | | 305.5 | 308.2 |
| UNDERDRAINS | | | |
| SIZE OF PIPE (IN) | | 6 | 6 |
| MINIMUM SLOPE OF UNDERDRAINS (%) | | 1% | 1% |
| MINIMUM NUMBER OF UNDERDRAIN PIPES REQUIRED | | 2 | 2 |
| INVERT ELEVATION AT OUTLET STRUCTURE (FT) | | 308.0 | 310.5 |



Bioretention Cell Typical Section
Not to Scale



Outlet Control Structure Detail
Not to Scale

SCALE 1\"/>

TRANSPORTATION PLANNING/DESIGN
BRIDGE/STRUCTURE DESIGN - CIVIL/STE DESIGN
GEOTECH - SURVEYING
CONSTRUCTION OBSERVATION

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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. - RALEIGH, NC

WAKE COUNTY, NORTH CAROLINA - 1.17 ACRES

| REVISIONS | |
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BIORETENTION PLAN AND DETAILS

C304

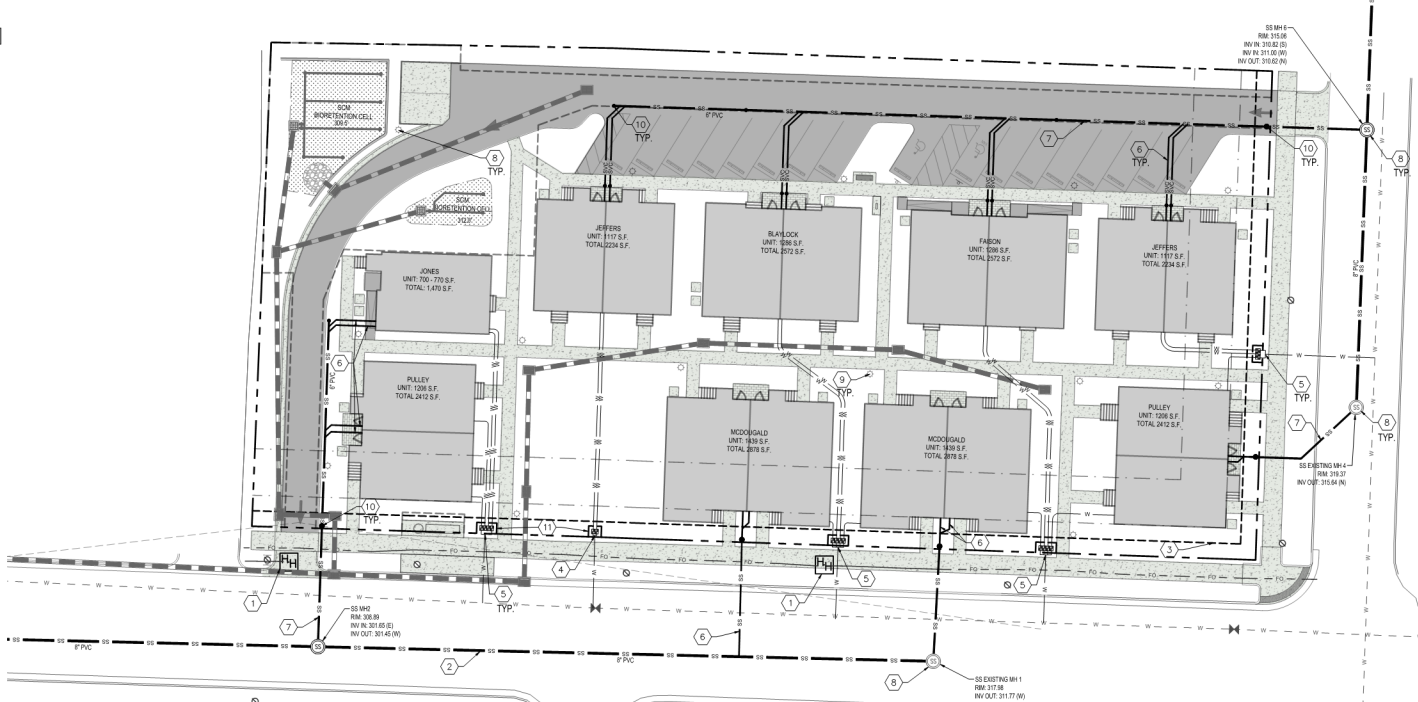
| KEYNOTE LEGEND | |
|----------------|--|
| SYMBOL | NOTES |
| 1 | EXISTING UTILITY HANDHOLE TO BE RELOCATED AND/OR ADJUSTED TO FINISHED GRADE. CONTRACTOR TO COORDINATE WITH UTILITY OWNER. |
| 2 | CITY OF RALEIGH PVC SANITARY SEWER MAIN |
| 3 | CITY OF RALEIGH UTILITY PLACEMENT EASEMENT |
| 4 | WATER METER ASSEMBLY WITH 1" TAP TO MAIN AND 3/4" WATER SERVICES TO EACH UNIT. EACH SERVICE TO BE EQUIPPED WITH CITY OF RALEIGH WATER METER. |
| 5 | WATER METER ASSEMBLY WITH 1" TAP TO MAIN AND 3/4" WATER SERVICES TO EACH UNIT. EACH SERVICE TO BE EQUIPPED WITH CITY OF RALEIGH WATER METER. |
| 6 | 4" SANITARY SEWER SERVICE |
| 7 | 6" SANITARY SEWER SERVICE |
| 8 | SANITARY SEWER MANHOLE |
| 9 | POLE MOUNTED LIGHTING FOR PEDESTRIAN AREAS. LIGHT FIXTURES MAY BE NO HIGHER THAN 15 FEET |
| 10 | SANITARY SEWER CLEANOUT. CLEANOUTS WITHIN PAVED AREAS MUST BE TRAFFIC BEARING. |
| 11 | CITY OF RALEIGH WATER EASEMENT |

UTILITY PLAN NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAIL & SPECIFICATIONS REFERENCE: COMPLETION, CURRENT EDITION.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED FRESHWATER USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FRESHWATER SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO MEET THE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2" FROM A PRIVATE WELL OR 3" FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 1" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE EXTERIOR TO OUTSIDE EXTERIOR.
 - WHEN IT IS IMPROBABLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, OR WATERMAINS ARE STEEL, ENCASEMENT EXTENDED TO ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO MEET THE SPECIFICATIONS.
 - 5.0 MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 1" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & STORM DRAIN CROSSINGS. MAINTAIN 2" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY OF MATERIALS & A CONCRETE CHAMBER WITH 1" MIN. CLEARANCE PER CORPUS DETAILS B-41 & B-42.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 1" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN EXTENDING PLAN WORK PERFORMED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0 MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN DEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 - INSTALL "X" CORPUS WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1/4" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 10' MAXIMUM FEET MINIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES SERVING BUILDING DRAINS LOWER THAN 11' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCWQS, USACE, AOR PERMITS FOR ANY REPARAN BUFFER, WETLAND & AOR REPARAN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
 - NCDOT (PAVED) ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR (OI) WATER SEPARATOR FOR DOMESTIC COLLECTIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEALEY AT 319.96.2534 OR TIMOTHY.BEALEY@RALEIGH.NC.GOV FOR MORE INFORMATION.
 - CROSS CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS SET FORTH IN APPROACH 4 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AS SET FORTH IN THE CITY OF RALEIGH SANITARY ENGINEERING UNIT. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN: ALL NEW AND RELOCATED UTILITIES ON CHIMNEY, WIPING, CONDENSATE, CABLES, AND TUBES, INCLUDING BUT NOT LIMITED TO ELECTRICAL, GAS, TELEPHONE AND TELECOMMUNICATIONS LINES. FIELD OFFICE CABLES AND THE LINE SHALL BE INSTALLED UNDERGROUND. EXCEPT FOR SITUATIONS WHERE SUCH PLACEMENT IS PROHIBITED OR DETERMINED TO BE IMPRACTICAL BY CITY OF RALEIGH STAFF.
 - VERIFY ALL ILLUSTRATED UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.
 - CONTRACTOR SHALL COORDINATE UTILITY RELOCATION OR ABANDONMENT WITH LOCAL UTILITY COMPANIES AS REQUIRED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR THEIR REPRESENTATIVES TO LOCATE AND IDENTIFY ALL EXISTING AND PROPOSED UTILITIES AND TO CLEARLY IDENTIFY THEM ON THE APPROVED PLANS.

SITE LIGHTING NOTES

- ALL LIGHT FIXTURES SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND COMPLY WITH CITY OF RALEIGH SECTION 7.4.
- LIGHTING FIXTURES MAY BE NO HIGHER THAN 15 FEET.
- ALL LIGHTING FIXTURES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE MINIMUM LIGHT LEVEL OF ANY LIGHT FIXTURE CANNOT EXCEED 0.5 FOOT-CANDELES MEASURED AT THE PROPERTY LINE AND 2.0 FOOT-CANDELES MEASURED AT THE ROOF-OF-WAY LINE OF A STREET.
 - LIGHTING MUST NOT BE ORIENTED SO AS TO DIRECT GLARE OR EXCESSIVE ILLUMINATION ONTO ADJACENT PROPERTIES, STREETS OR SIDEWALKS.
 - SHIELDING LAMP GLASS FOR ALL STREET LIGHTING FIXTURES MUST BE INSTALLED UNDERGROUND. THE FOLLOWING LIGHT FIXTURES CANNOT BE USED:
 - CORONA HEAD TYPE FIXTURES HAVING DISHED OR DROP LENSES OR REFLECTORS WHICH CONTAIN SOURCES THAT ARE NOT INCANDESCENT.
 - TEMPORARY SEARCHLIGHTS AND OTHER HIGH-INTENSITY HARBOR-BEAM FIXTURES.
 - LIGHT SOURCES THAT ALSO COLOR CORRECTION DO NOT ALLOW FOR UNIFORM LIGHT DISTRIBUTION.



WETHERILL ENGINEERING

TRANSPORTATION PLANNING/DESIGN
BRIDGE/STRUCTURE DESIGN - CIVIL/STEEL DESIGN
GEOTECHNICAL ENGINEERING
CONSTRUCTION OBSERVATION

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FAX: 919-801-8077
WWW.WETHERILL-ENGINEERING.COM

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COTTAGES OF IDLEWILD

301 IDLEWILD AVE. - RALEIGH, NC
WAKE COUNTY, NORTH CAROLINA - 1.17 ACRES

DATE: 08.24.2023

REVISIONS

| DATE | COMMENT |
|----------|---|
| 04/05/22 | A. City of Raleigh Administrative Site Review |
| 05/09/23 | B. City of Raleigh Administrative Site Review |
| 07/28/23 | C. City of Raleigh Administrative Site Review |
| 08/24/23 | D. City of Raleigh Administrative Site Review |

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Now what's below.
Call before you dig.

811

W N E S

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Private
Sewer Collection/Extension System

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # TBD

Authorization to Construct See digital signature

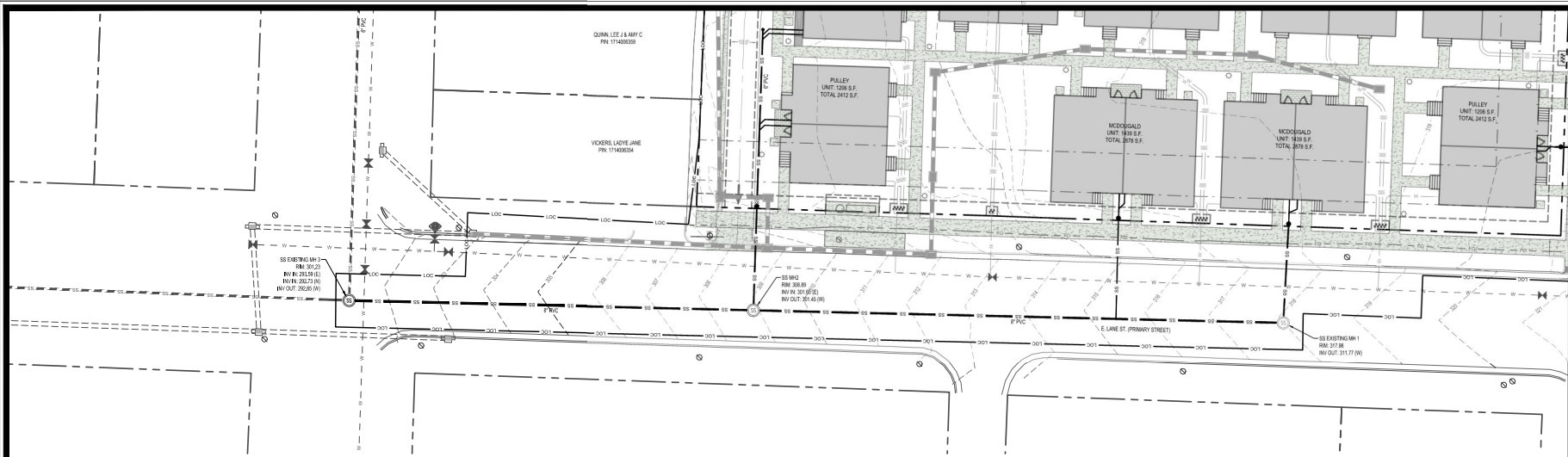
Date

22301.03

UTILITY PLAN

C401

SCALE 1" = 20'



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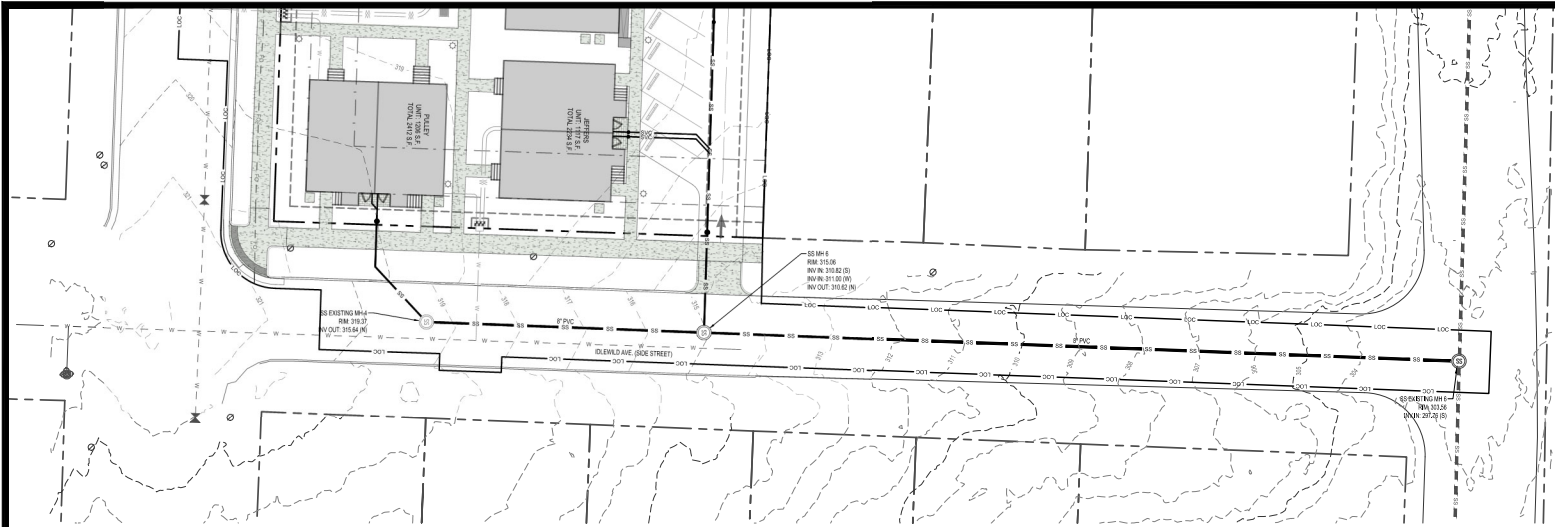
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PLAN
C402





TRANSPORTATION PLANNING/DESIGN -
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GEOTECHNICAL - SURVEYING
CONSTRUCTION OBSERVATION

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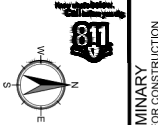
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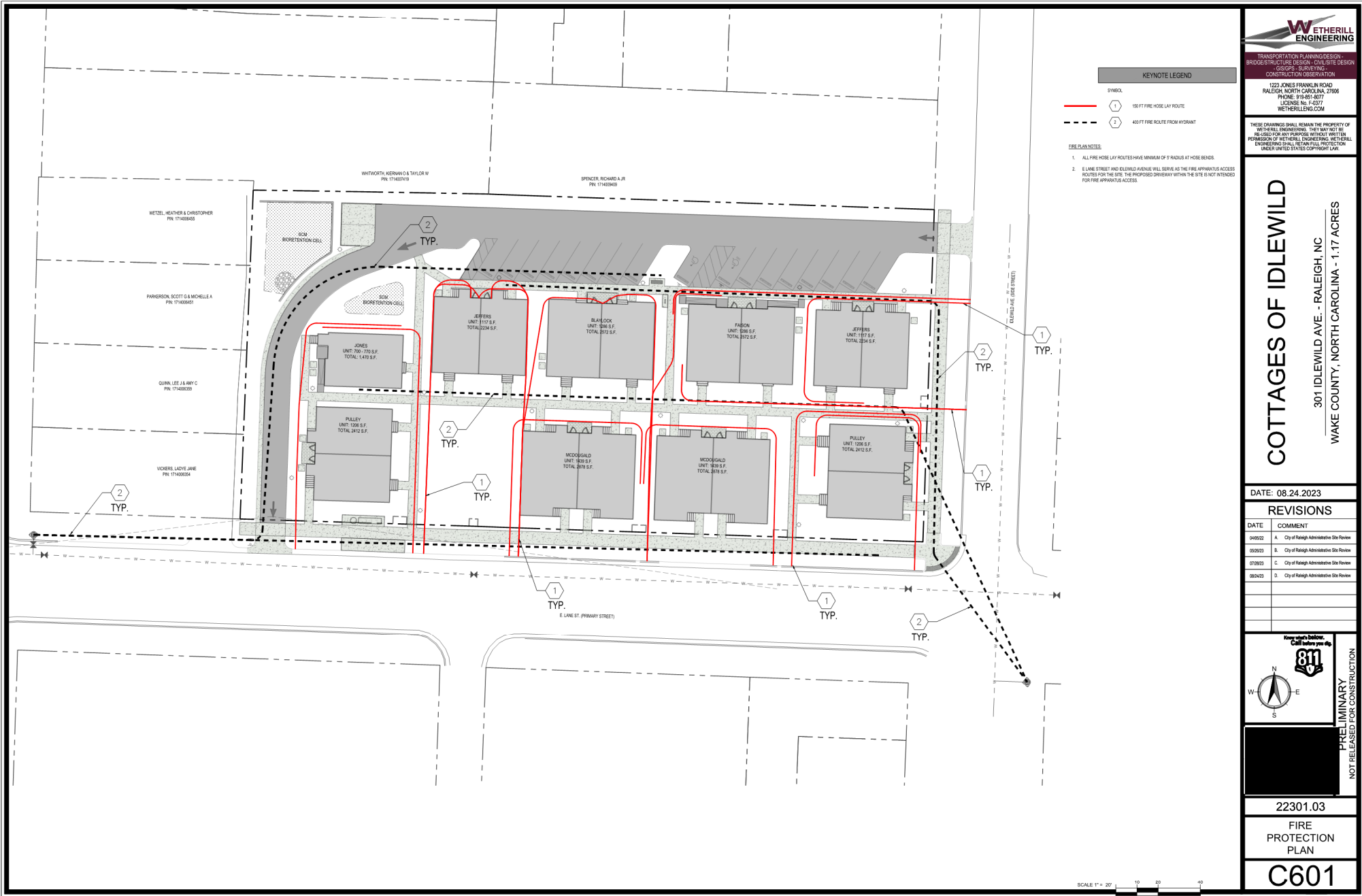


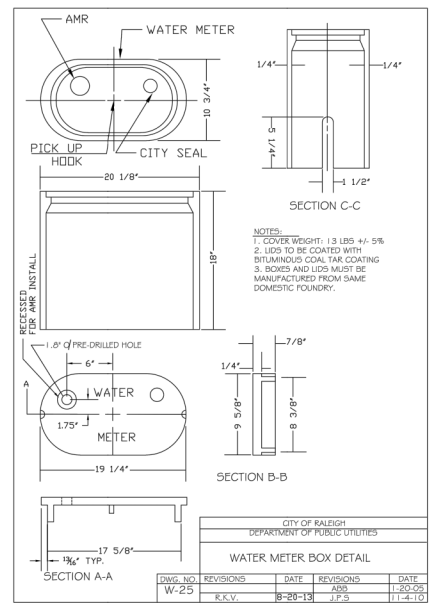
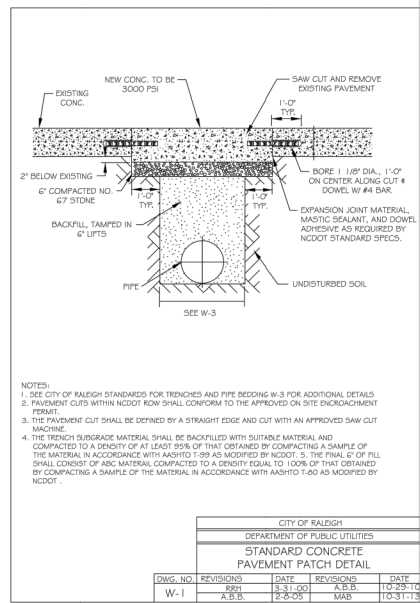
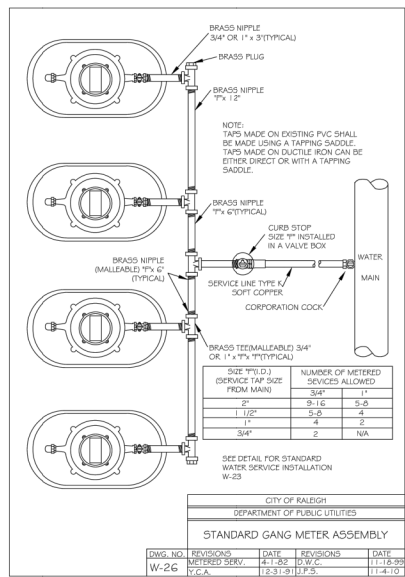
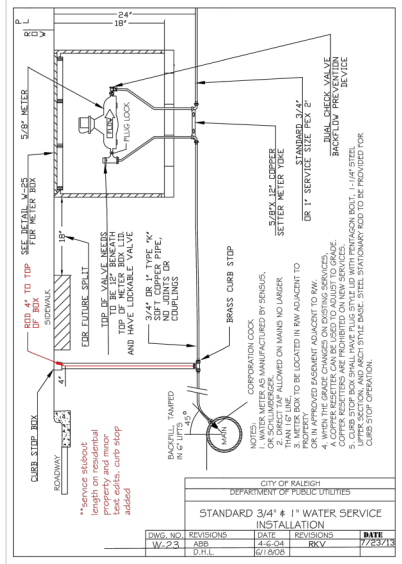
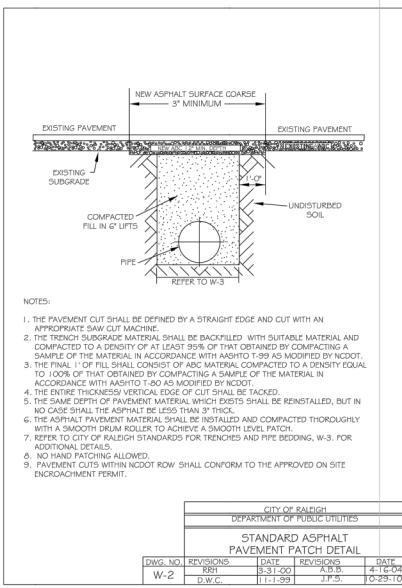
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IDLEWILD AVE
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PLAN



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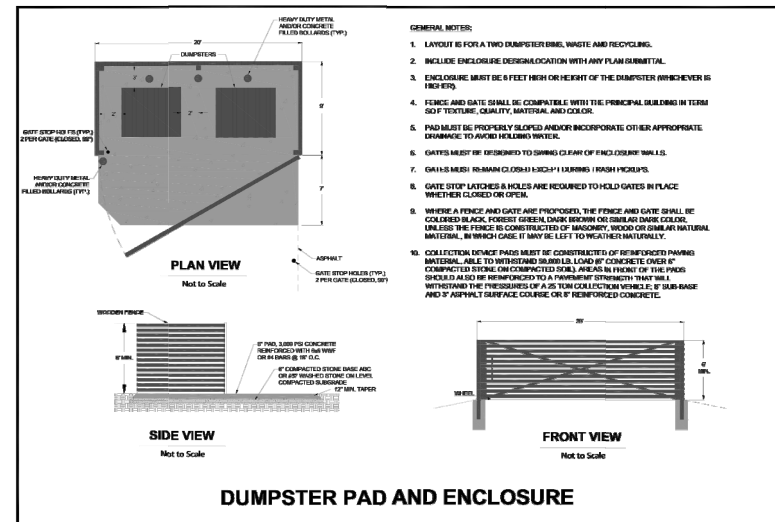
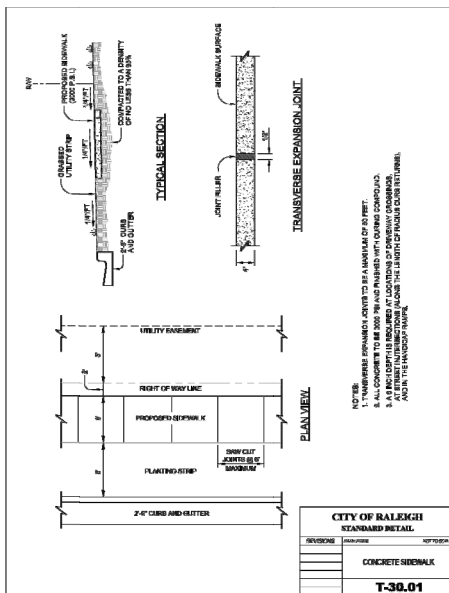
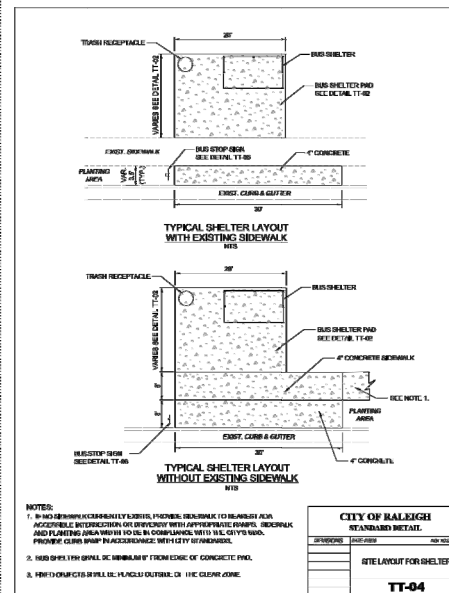
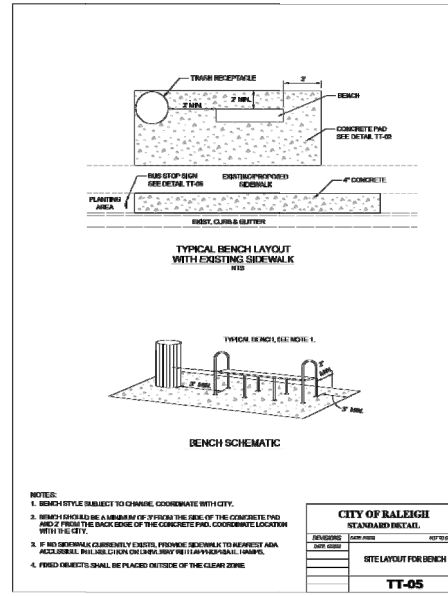
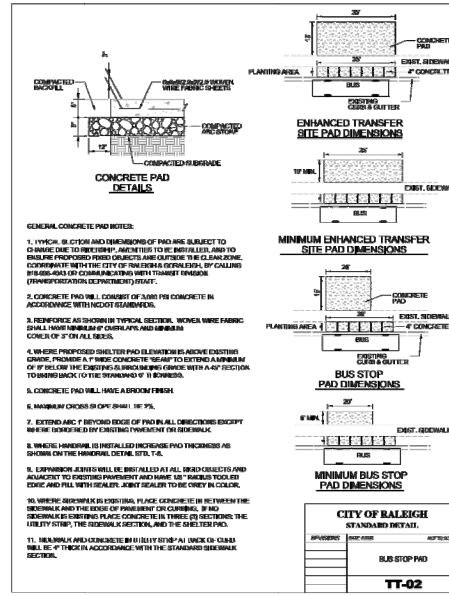
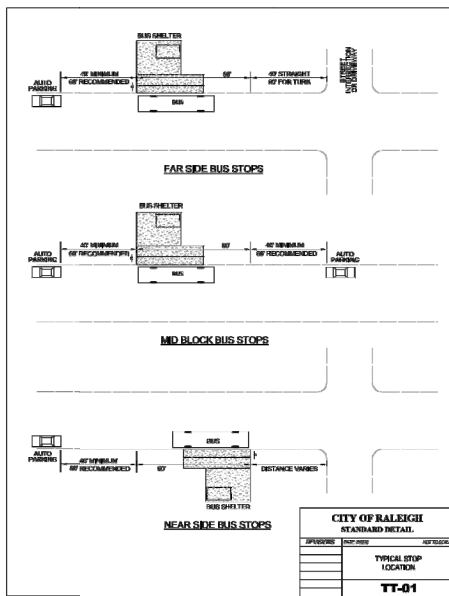
SCALE 1" = 20'





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| DATE | COMMENT |
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| 05/06/21 | C. City of Raleigh Administrative Site Review |
| 07/08/21 | C. City of Raleigh Administrative Site Review |
| 08/24/23 | D. City of Raleigh Administrative Site Review |
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| 22301.03 | |
| DETAILS | |
| C701 | |

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| TRANSPORTATION PLANNING DESIGN BRIDGE/STRUCTURE DESIGN - CIVIL/SE DESIGN GEOTECH SURVEYING CONSTRUCTION OBSERVATION | |
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| 22301.03 | |
| DETAILS | |
| <h1 style="margin: 0;">C702</h1> | |



TRANSPORTATION PLANNING/DESIGN - CIVIL/ITE DESIGN
DESIGN-BUILD/CONSTRUCTION OBSERVATION

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DETAILS

C703

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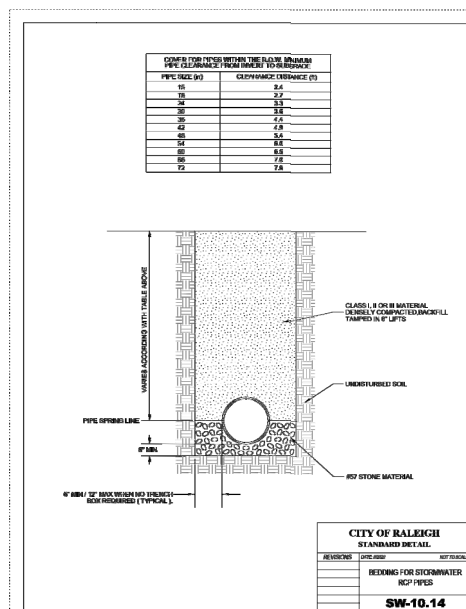
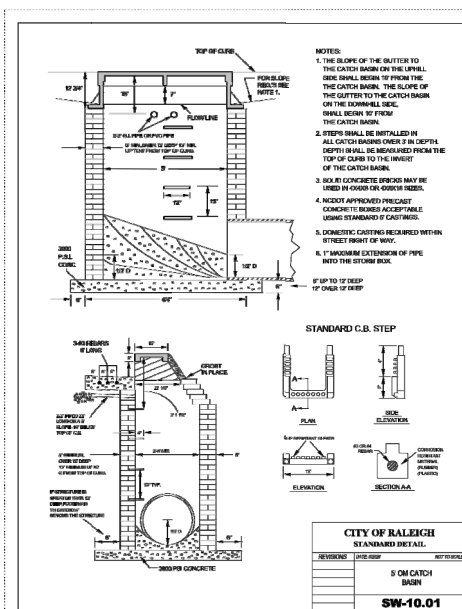
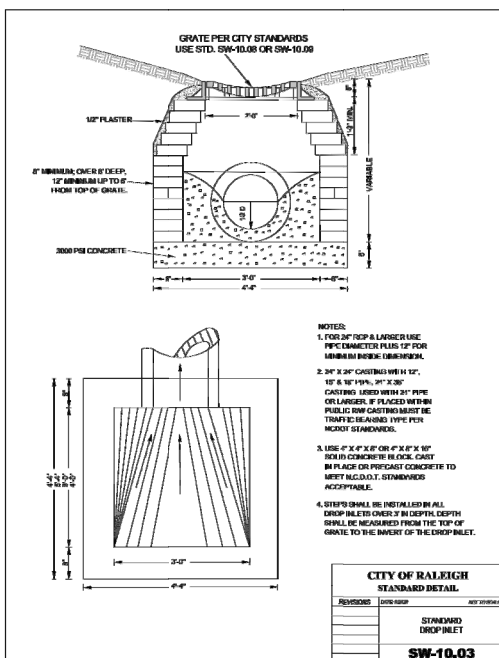


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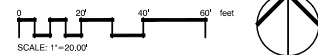
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DETAILS

C704



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PLANTING NOTES

GENERAL

- 1. CONTRACTOR SHALL ISOLATE AND PROTECT EXISTING LAWN AND PLANTED AREAS OUTSIDE OF LIMIT OF WORK
- 2. WHEN MULCHING SLOPE PLANTINGS IN LOW VISIBILITY, FOR OUTLYING AREAS, TRIPLE SHREDDED HARDWOOD MULCH CAN BE USED TO KEEP DOWN COSTS.
- 3. CONTRACTOR SHALL PROVIDE TREE/SHRUB PROTECTION FENCE THAT IS OUT AT THE DRIP LINE OF THE TREE (ANYTHING CLOSER AND THE TREE ROOTS COULD BE DAMAGED).
- 4. CONTRACTOR TO DISCUSS WARRANTIES ON LANDSCAPE MATERIALS AND VEGETATION, AND AGREE ON ANY AFTER-CARE OF THE LANDSCAPE FOLLOWING INSTALLATION.
- 5. PLANTS SHALL BE ACCOMPANIED BY A CERTIFICATE STATING "CERTIFIED UNDER ALL APPLICABLE STATE AND FEDERAL QUARANTINES"

SOIL

- 6. LANDSCAPE ARCHITECT TO APPROVE THE METHOD BY WHICH VEGETATION IS REMOVED FROM PLANTING AREAS AS WELL AS THE CONDITIONS OF SUBGRADE AND SUBSURFACE DRAINAGE MATERIALS PRIOR TO PLANTING SOIL INSTALLATION.
- 7. LANDSCAPE ARCHITECT TO APPROVE PLANTING SOIL AND AMENDMENTS.
- 8. SOIL SHALL BE INSTALLED, GRADED OR COMPACTED ONLY WHEN THE SOIL IS IN A FRIABLE STATE, NO MANIPULATION OF PLANTING SOIL TO OCCUR IF WET OR FROZEN, THE SOIL MOISTURE SHALL BE SUFFICIENTLY LESS THAN FIELD CAPACITY.
- 9. REMOVE STONES LARGER THAN 1/2 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATTER FROM PLANTING BEDS AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- 10. THE PH RANGE OF PLANTING SOIL TO BE 5-7
- 11. SOIL SHALL BE A SANDY LOAM WITH FRIABLE, FERTILE, AND DARK CHARACTERISTICS, SOIL WILL BE FREE OF CLAY LUMPS, SUBSOIL, STONES, AND OTHER EXTRANEIOUS MATERIAL AND WEED-FREE.
- 12. SOIL SHALL BE 7-27% CLAY, 28-50% SILT, AND LESS THAN 52% SAND.
- 13. PLANTING SOIL FOR LAWNS TO BE MINIMUM 2" DEPTH, UNLESS SPECIFIED BY LANDSCAPE DESIGNER.
- 14. PLANTING SOIL FOR PLANTING BEDS TO BE MINIMUM 4" DEPTH, UNLESS SPECIFIED BY LANDSCAPE DESIGNER.
- 15. CONTRACTOR TO ADD PLANTING SOIL IN A WAY AS TO NOT CREATE COMPACTION, LANDSCAPE DESIGNER TO REJECT PLANTING SOIL THAT HAS BEEN COMPACTED BY FOOT TRAFFIC OR MACHINERY AFTER INSTALLATION OF PLANTING SOIL, AREAS THAT BECOME COMPACTED SHALL BE TILLED TO A DEPTH ESTABLISHED BY LANDSCAPE DESIGNER, ANY UNEVEN OR SETTLED AREAS SHALL BE FILLED AND REGRADED, SOIL THAT BECOMES CONTAMINATED SHALL BE REMOVED AND REPLACED WITH SPECIFIED SOIL MATERIAL.
- 16. PLANTING SOIL AREAS SHOULD BE SMOOTH, WITH AN EVEN SURFACE, AND DRAIN PROPERLY.
- 17. PLANTING SOIL INSTALLATION SHALL CONFORM TO THE LINES, GRADES AND ELEVATIONS INDICATED ON DRAWINGS.
- 18. CONTRACTOR TO SUBMIT 10T SAMPLES OF THE FOLLOWING MATERIALS IF REQUESTED BY LANDSCAPE ARCHITECT:
 - A. PLANTING SOIL
 - B. AMENDMENTS
 - C. MULCH
- 19. CONTRACTOR TO FILE CERTIFICATE OF INSPECTION OF PLANTS AND MATERIALS BY STATE AND FEDERAL AUTHORITIES WITH LANDSCAPE ARCHITECT, IF REQUIRED BY STATE.

MULCH AND SOIL CONDITIONER

- 20. UNLESS SPECIFIED IN PLAN, MULCH TO BE TRIPLE-SHREDDED HARDWOOD MULCH AS SPECIFIED BY THE MULCH AND SOIL COUNCIL (WWW.MULCHANDSOILCOUNCIL.ORG), AGED 6 MONTHS OR MORE, ARRIVE ON SITE AT AMBIENT AIR TEMPERATURE, AND APPROVED BY LANDSCAPE DESIGNER BEFORE INSTALLATION IF REQUESTED.
- 21. MULCH SHALL BE APPLIED TO MINIMUM 2" DEPTH IN ALL AREAS.
- 22. PLANTING BEDS TO BE MULCHED, UNLESS SPECIFIED BY LANDSCAPE DESIGNER.
- 23. PLANT BEDS NOT PLANTED THE SAME DAY SOIL IS INSTALLED TO BE MULCHED TO PREVENT EROSION.
- 24. MULCH TO REMAIN MINIMUM 4" FROM ANY TREE OR SHRUB TRUNK AND ANY STRUCTURE.
- 25. MULCH FOR TREES AND SHRUBS IS SPECIFIED AS FOLLOWS:
 - A) RAW MATERIAL: MULCH MATERIAL SHOULD BE COMPRISED OF AT LEAST 80% HARDWOODS (PALLET MULCH OR CYPRESS PREFERRED), WITH MOISTURE CONTENT OF 30% OR LESS, AND PASS THROUGH A MAXIMUM SCREEN SIZE OF 1 5/8". RAW MATERIAL SHOULD CONTAIN NO YARD WASTE, CONSTRUCTION DEBRIS, OR ANY OTHER EXTRANEIOUS MATERIAL.
 - B) MULCH COLORANT: SHOULD BE AN IRON OXIDE BASED COLORANT, AND MUST BE APPLIED WITH "FOGGING" OR SPRAY TECHNOLOGY (BECKER UNDERWOOD SAHARA SYSTEM OR EQUIVALENT) AS OPPOSED TO AN "IMMERSION" OR BATH SYSTEM.
 - C) PRODUCT PERFORMANCE: MULCH SUPPLIER MUST PRESENT DOCUMENTATION SHOWING COLORFASTNESS OF FINISHED MATERIAL OF AT LEAST 2 YEARS WITHOUT SIGNIFICANT FADING.

PROCUREMENT

- 26. ALL SUBSTITUTIONS TO BE APPROVED BY LANDSCAPE ARCHITECT. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- 27. CONTRACTOR TO VERIFY GRADE ELEVATIONS, UTILITIES, IRRIGATION SYSTEMS, AND DIMENSIONS OF EXISTING PLANTINGS WITH NEW PLANTINGS BY FIELD

MEASUREMENTS BEFORE PROCEEDING WITH PLANTING WORK.

- 28. PLANTS TO CONFORM TO STANDARDS SET BY ANSI Z60.1 (AMERICAN STANDARD FOR NURSERY STOCK, PER AMERICAN NURSERY AND LANDSCAPE ASSOCIATION)
- 29. PLANTS SHALL BE CONSISTENT PER SPECIES.
- 30. THE LANDSCAPE ARCHITECT IS THE FINAL ARBITER OF ACCEPTABILITY OF PLANT FORM, PLANTS DEEMED UNACCEPTABLE BY LANDSCAPE ARCHITECT EITHER BEFORE OR AFTER PLANTING SHALL BE REMOVED AT THE EXPENSE OF THE CONTRACTOR AND REPLACED WITH APPROVED PLANTS.
- 31. TREES WITH EVIDENCE OF ROOT-GIRDLING WILL BE REJECTED.
- 32. PLANTS WITH PRUNING WOUNDS LARGER THAN 1" THAT HAVE NOT SCARRED OVER WILL BE REJECTED
- 33. BALLED AND BURLAP PLANTS MUST BE TRANSPORTED WITH SOLID, UN-DAMAGED ROOT SYSTEMS WITH EARTH FIRMLY WRAPPED WITH BURLAP AND FIRMLY HELD IN PLACE BY A STOUT CORD OR WIRE, THE BASE OF TREE TRUNKS SHALL BE WRAPPED WITH A PROTECTIVE LAYER SUCH AS CORRUGATED CARDBOARD SLEEVES, ALL BALLED AND BURLAPPED TREES SHALL EXHIBIT THE FLARE OF THE TRUNK AT SOIL LINE, BALLED PLANTS SHALL NOT BE BOUND WITH PLASTIC, NYLON, CARPET BACKING AND OTHER NON-BIO-DEGRADABLE MATERIALS.
- 34. THE ROOT SYSTEM OF CONTAINER-GROWN PLANTS SHALL NOT BE ROOT-BOUND AND SHALL BE
- 35. WELL-DEVELOPED, HEALTHY, AND WELL-DISTRIBUTED THROUGHOUT THE CONTAINER, NO PRUNING TO OCCUR AFTER PURCHASE OF PLANTS AT NURSERY.
- 36. HANDLING OF ALL PLANTS TO BE DONE AT ROOT BALL.
- 37. ALL STEMS OF WOODY PLANTS SHALL BE ALIVE AND WITH GREEN CAMBIUM.
- 38. TREES AND SHRUBS TO BE MEASURED FROM ROOT FLARE TO TIP OF LEADER, FOLIAGE NOT INCLUDED, CALIPER MEASUREMENTS TO BE TAKEN 6" ABOVE HIGHEST ROOT ON ROOT FLARE.
- 39. PLANTS THAT REMAIN UNPLANTED AFTER 4 HOURS FROM DELIVERY TO PROJECT SITE TO BE STORED IN THEIR APPROPRIATE ASPECT, PROTECTED FROM DAMAGE BY WEATHER OR WORK ON PROJECT, AND WATERED AS NECESSARY TO REMAIN IN THE SAME CONDITION AS THEY ARRIVED ON SITE.
- 40. BALLED AND BURLAP PLANTS THAT CANNOT BE INSTALLED WITHIN 24HRS TO BE "HEELED IN" BY BURYING HALFWAY INTO SOIL OR ROOT BALL BURIED IN MULCH OR SAWDUST OR OTHER MATERIAL APPROVED BY LANDSCAPE ARCHITECT.
- 41. NOTIFY LANDSCAPE ARCHITECT WITHIN 48HRS OF DELIVERY OF PLANTS TO ALLOW FOR INSPECTION AT ARRIVAL.
- 42. PESTICIDES AND HERBICIDES SHALL NOT BE USED ON PROJECT WITHOUT APPROVAL OF LANDSCAPE DESIGNER.
- 43. FERTILIZERS USED ON PROJECT TO BE ORGANIC AND ONLY TO CORRECT SOIL CONDITIONS AS DESCRIBED IN PLAN NOTES.
- 44. CONTRACTOR TO RECEIVE APPROVAL TO DRIVE EQUIPMENT ON SURFACES INTERCEPTING PROJECT SITE.
- 45. CONTRACTOR TO PROVIDE BOARDING OR SHEETING TO COVER SOFT AND HARD SURFACES SO AS NOT TO DAMAGE THOSE SURFACES.
- 46. NO PLANTING AREA INSTALLED SHALL OBSTRUCT DRAINAGE FROM BUILDING TO LANDSCAPE.

EXECUTION

- 47. LAYOUT OF PLANTING BEDS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANTS.
- 48. EXCAVATE EXISTING SOIL FROM PLANTING BEDS TO A DEPTH THAT ALLOWS FOR THE SPECIFIED SOIL AND MULCH VOLUME. MULCH TO BE THE TOP LAYER AND FLUSH WITH SURROUNDING ADJACENT MATERIAL.
- 49. SCARIFY BED AREA SUBGRADE WHERE EXCESSIVE COMPACTION IS GREATER THAN 85% STANDARD PROCTOR TO A DEPTH OF 6" BY DISCING OR ROTOTILLING, REPEAT CULTIVATION AS REQUIRED TO THOROUGHLY LOOSEN SOIL.
- 50. DO NOT EXCAVATE PLANTING AREAS UNDER THE DRIP LINE OF EXISTING TREES USING HEAVY EQUIPMENT, PLANTING AREAS INSTALLED UNDER THE DRIP LINE OF EXISTING TREES TO BE DONE SO BY HAND UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- 51. RAKE SOIL IN PLANTING BEDS AFTER INSTALLATION AND REMOVE CLAY CLUMPS, STONES, AND DEBRIS BEFORE LAYING DOWN MULCH, CONTRACTOR SHALL NOT LEAVE COMPACTED SOIL IN PLANTING BEDS AFTER DEBRIS REMOVAL THROUGH FOOT TRAFFIC.
- 52. IN THE EVENT ROCK OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION THEN ALTERNATE PIT LOCATIONS WILL BE ESTABLISHED BETWEEN LANDSCAPE ARCHITECT AND CONTRACTOR, WHERE LOCATIONS CANNOT BE CHANGED THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN SIX (6) INCHES BELOW BOTTOM OF ROOT BALL WHEN PLANT IS PROPERLY PLACED, ANY REMOVAL OF OBSTRUCTIONS TO BE DONE AT THE COST OF THE CONTRACTOR.
- 53. PLANTS SHALL BE WATERED IN NO LONGER THAN 4 HOURS AFTER PLANTING IF WEATHER IS ABOVE 90 DEGREES F, OR AT THE END OF EACH DAY WHEN PLANTING.

SITE CONDITIONS

- 54. CONTRACTOR TO ACQUAINT THEMSELVES WITH PROJECT SITE BEFORE BEGINNING WORK.
- 55. CONTRACTOR SHALL NOT DUMP OR STORE BULK MATERIALS NEAR STRUCTURES, UTILITIES, PAVED SURFACES, TURF OR PLANTING AREAS.
- 56. CONTRACTOR TO PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF BULK MATERIALS BY STORMWATER OR WIND.
- 57. DELIVERY OF BULK FERTILIZERS AND SOIL AMENDMENTS TO BE ACCOMPANIED WITH APPROPRIATE CERTIFICATES.
- 58. MATERIALS DAMAGED IN HANDLING OR TRANSPORTATION WILL BE REJECTED.
- 59. DURING THE PROGRESS OF PLANTING, KEEP WALLS, SURFACES, CURBS, AND STRUCTURES CLEAN, AND MAINTAIN AN ORDERLY WORK AREA, USE PLANKING AS REQUIRED FOR PROTECTION OF PAVING AND CURBS.
- 60. PLANTING SHALL NOT OCCUR IF GROUND IS FROZEN.

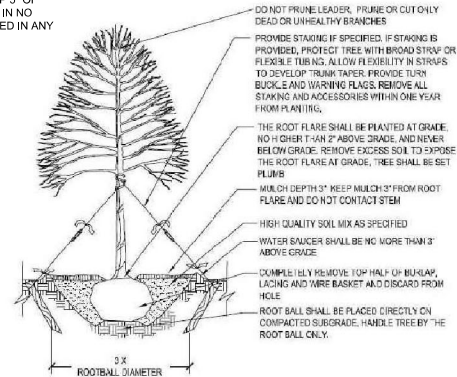
- 61. TIMING OF PLANTING TO BE COORDINATED WITH LANDSCAPE ARCHITECT AND AS DEFINED APPROPRIATE BY LOCAL COOPERATIVE EXTENSION SERVICE.
- 62. PLANTS AND MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR WHILE BEING STORED, APPLY PRODUCTS DURING CONDITIONS INDICATED BY WRITTEN INSTRUCTION OR WARRANTY OF PRODUCT.
- 63. CONTRACTOR TO CARRY INSURANCE ON MATERIALS, INSURANCE SHALL COVER FIRE, THEFT AND VANDALISM. SHOULD THE CONTRACTOR NOT PROVIDE INSURANCE, HE WILL IN NO WAY HOLD THE OWNER RESPONSIBLE FOR ANY LOSSES INCURRED, THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS INCURRED IN REPLACING DAMAGED OR STOLEN MATERIALS PRIOR TO PROVISIONAL ACCEPTANCE OF THE WORK.
- 64. EXISTING PLANTS TO BE PROTECTED DURING WORK THROUGH MEANS AGREED UPON BY OWNER AND LANDSCAPE DESIGNER, TURF TO BE PROTECTED FROM VEHICLES WITH PLYWOOD AND SHALL NOT BE TREAD UPON IF FROZEN.
- 65. LANDSCAPE DESIGNER TO APPROVE LAYOUT OF PLANTS IN THE FIELD BEFORE BEING PLANTED INTO PLANTING SOIL, LANDSCAPE DESIGNER RESERVES THE RIGHT TO MAKE FIELD ADJUSTMENTS WITHOUT ANY ADDITIONAL COST TO THE OWNER.

TREE AND SHRUB PLANTING

- 66. BEFORE PLANTING VERIFY THAT ROOT FLARE IS NOT BURIED, AND THAT PLANT WAS FREE OF GIRDLING ROOTS AND LARGE WOUNDS BEFORE LEAVING NURSERY.
- 67. BACKFILL HOLE WITH PLANTING SOIL AFTER PLANT IS INSTALLED, FOR LARGE TREES AND SHRUBS BACKFILL HALFWAY, TAMP LIGHTLY TO REMOVE AIR POCKETS, AND WATER BEFORE CONTINUING BACKFILL.
- 68. ROOT FLARE OF PLANTS MUST BE POINTED STRAIGHT UP.
- 69. PLANTS PLANTED ON SLOPES MUST HAVE PLANTING SOIL HEAPED ON THE DOWNHILL SIDE SO AS TO SECURE PLANT ON SLOPE.
- 70. DO NOT PRUNE PLANTS UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- 71. TREES AND SHRUBS 8" TO 12" TO BE STAKED WITH A MINIMUM OF TWO STAKES, TREES AND SHRUBS LARGER THAN 12" TO BE STAKED WITH A MINIMUM OF THREE STAKES.
- 72. STAKES TO BE REMOVED ONE YEAR AFTER INSTALLATION.
- 73. REMOVE PACKAGING MATERIALS, CONTAINERS, LABELS, AND OTHER DEBRIS FROM PLANTING SITE AND DISPOSE OF LEGALLY.
- 74. APPLICATION OF PRE-EMERGENT "HERBICIDE" MUST BE WITNESSED IN PERSON BY A REPRESENTATIVE OF THE OWNER.
- 75. ALL TREES AND SHRUBS SHALL BE MULCHED AS SPECIFIED IN MULCH SECTION UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECT.
- 76. BEFORE PLANTING VERIFY THAT PLANT IS ALIVE, HEALTHY, AND HAS EVEN AND VIGOROUS ROOT GROWTH IN CONTAINER.
- 77. PLANT WITH TRIANGLE SPACING.
- 78. BACKFILL HOLE WITH PLANTING SOIL AFTER PLANT IS IN S
- 79. REMOVE PACKAGING MATERIALS, CONTAINERS, LABELS, & OTHER DEBRIS FROM PLANTING SITE AND DISPOSE OF LEGALLY.

LAWN

- 80. ANY SODDED AREAS TO HAVE 3" OF CLEAN, SCREENED TC THE SURFACE PRIOR TO APPLICATION AND TILLED INTO TOP 5"
- 81. IN ANY SEEDED AREAS, 2" TOPSOIL SHALL BE TILLED INTO GROUND PRIOR TO SEEDING, NETTING UNDER SOD MUST BE RE INSTANCE WILL ANYTHING EXTENDING ABOVE THE SURFACE BE SOD AREAS.



NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- 2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- 3. EXISTING TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 9" MINIMUM FIRST BRANCH HEIGHT.
- 4. PLANTING SEASON OCTOBER-APRIL. A TREE IMPACT PERMIT IS REQUIRED.
- 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTRY
TREES@RALEIGH.NC.GOV
WWW.RA.SIDING.NC.GOV

| CITY OF RALEIGH | | |
|---|------|----|
| PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT | | |
| REVISIONS | DATE | BY |
| | | |
| THREE PLANTING DETAIL | | |
| PROJECT | | |

IDLEWILD
PLANTING
NOTES
RALEIGH, NORTH CAROLINA

| DRAWN | |
|-----------|---------|
| PM | 5.23.23 |
| REVISIONS | |
| | |
| | |
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| | |

212 WEST DEER STREET
UNIT B
DURHAM, NC 27701
(336) 559-6137
PRESTON@PRESTONMONTAGUE.COM

PRESTON MONTAGUE
LANDSCAPE ARCHITECTURE AND FINE ARTS STUDIO

L-1.1

THE BLAYLOCK - 4 TOTAL UNITS



HAVEN DESIGN BUILD
721A HUNNERY, STE 200
DURHAM, NC 27711
919.486.1000
HVNDRBLD.COM

Cottages of Idlewild || The Blaylock
Raleigh, North Carolina

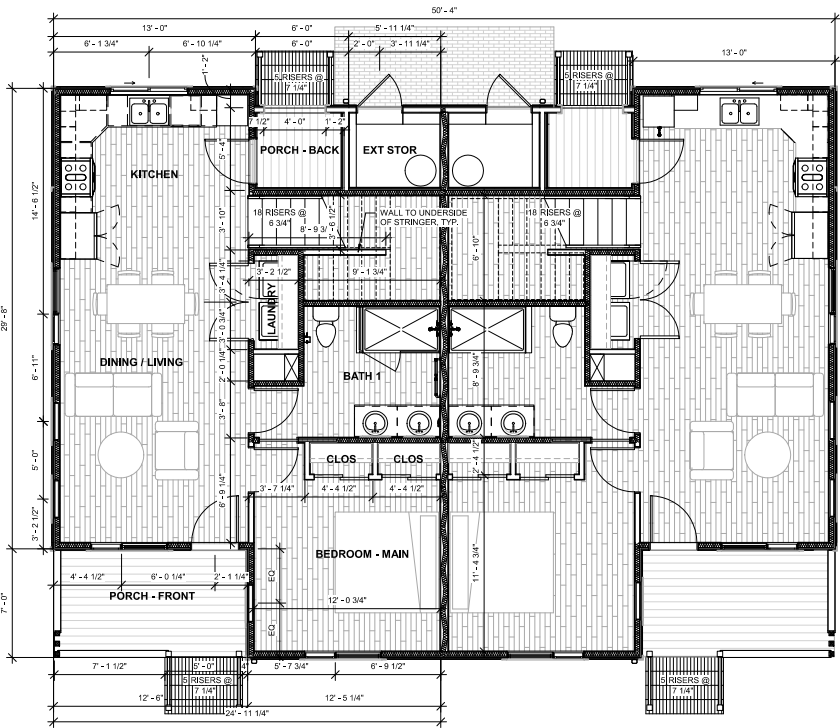
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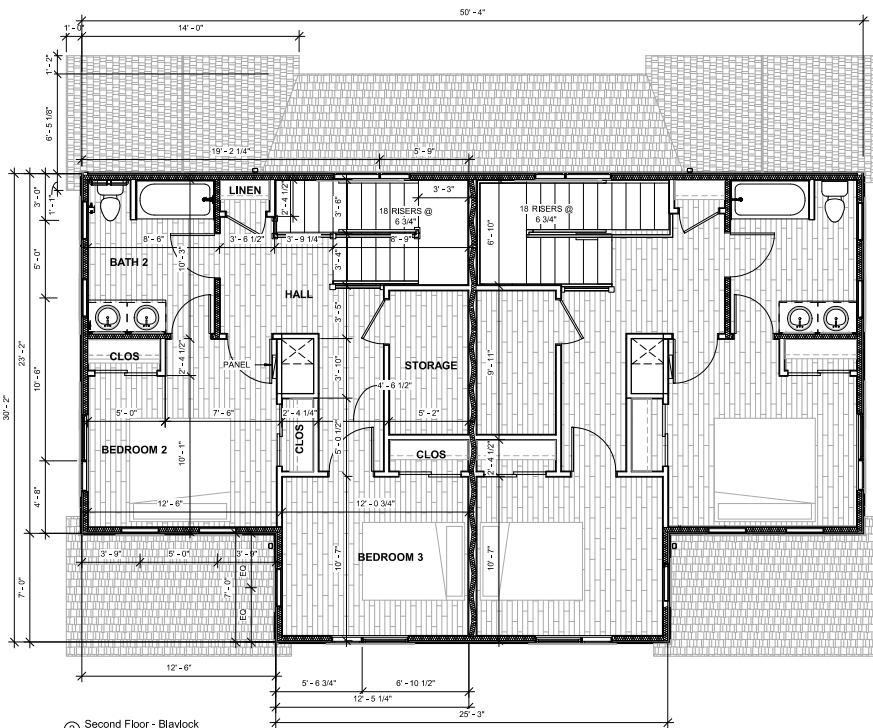
DATE 10/06/22

Blaylock - Floor Plans

B-A1.10



1 First Floor - Blaylock
1/4" = 1'-0"



2 Second Floor - Blaylock
1/4" = 1'-0"

FLOOR PLAN NOTES:

- INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE LEVEL FIVE FINISH.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, CABINETS, SHELVES, AND OTHER ITEMS.
- FURNITURE SHOWN IN PLAN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED. ALL FURNITURE TO BE FURNISHED BY OWNER.

BLAYLOCK STAIRS:
• 2/3 BED / 2 BATH
• UNIT SF: 1286
• DUPLEX SF: 2572

W-1. EXTERIOR LAP

6" FIBER CEMENT LAP SIDING ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD GWB.

W-2. EXTERIOR BOARD & BATTEN

FIBER CEMENT BOARD & BATTEN STRIPS W/ 3/8" X 1 1/2" FURRING STRIPS, PER SIDING MANF. ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD GWB.

W-3. U-1/2/40 - J-HR BEARING WALL

STANDARD 2X4 WOOD STUDS ALTERNATING ON 2X6 BOTTOM PLATE, W/ INSULATION AND S/S' GWB EACH SIDE. SEE UL DETAIL ____ FOR RESTRICTIONS.

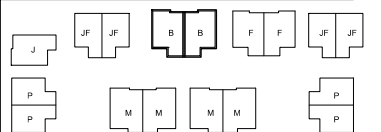
W-4. INTERIOR PARTITION

2X4 WOOD STUDS W/ 1/2" GWB EACH SIDE. PROVIDE SOUND BATT INSULATION AT ALL BEDROOM & BATHROOM FULL HEIGHT WALLS. ALL INTERIOR WALLS TO BE W-4, AND EXTEND TO FRAMING ABOVE U-4/0.

W-5. INTERIOR SHAFT WALL

2X4 WOOD STUDS W/ 1/2" GWB ON ONE SIDE.

Key Plan
6" = 1'-0"



3 Blaylock - Front Perspective



4 Blaylock - Back Perspective

THE BLAYLOCK - 4 TOTAL UNITS



① Blaylock - Elevation - Front
1/4" = 1'-0"



③ Blaylock - Elevation - Side
1/4" = 1'-0"



② Blaylock - Elevation - Back
1/4" = 1'-0"

Cottages of Idlewild || The Blaylock
Raleigh, North Carolina

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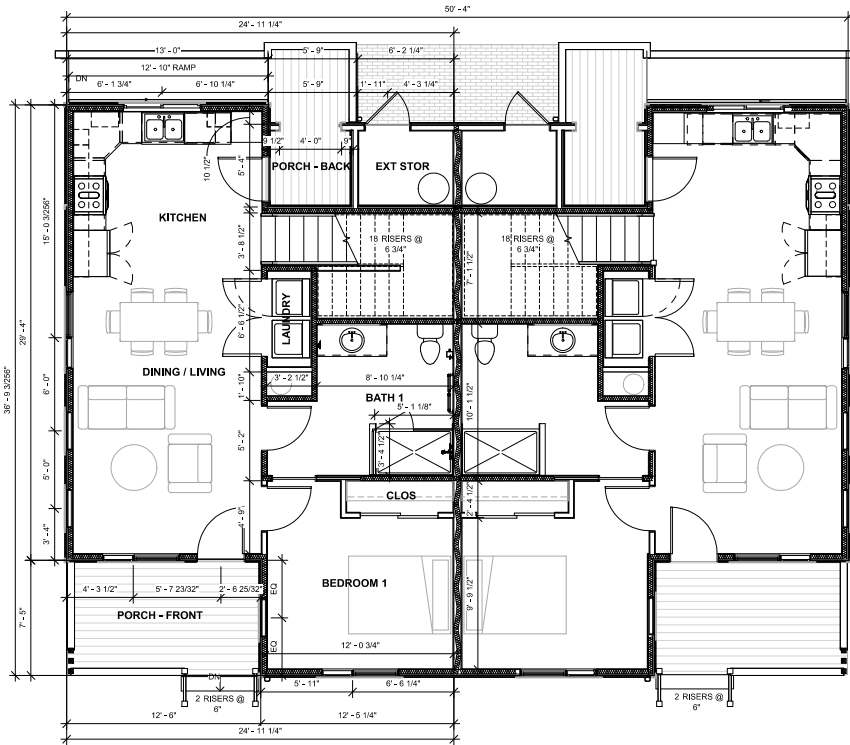
Blaylock -
Elevations

B-A3.00

THE FAISON - 2 TOTAL UNITS



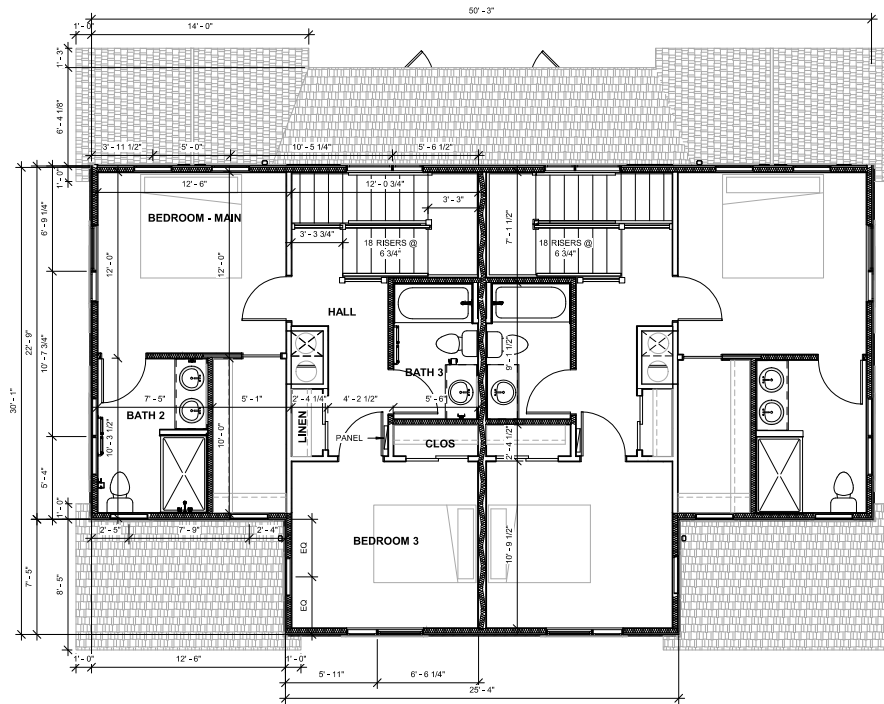
HAVEN DESIGN/BUILD
723 N. HANCOCK ST., STE. 200
DURHAM, NC 27701
919.486.1800
HVD@HAVENDS.BUILD



1 First Floor - Faison
1/4" = 1'-0"



3 Faison - Front Perspective



2 Second Floor - Faison
1/4" = 1'-0"



4 Faison - Back Perspective

FLOOR PLAN NOTES:

- INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE LEVEL FIVE FINISH.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, CABINETS, SHELVES, AND OTHER ITEMS.
- FURNITURE SHOWN IN PLAN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED. ALL FURNITURE TO BE FURNISHED BY OWNER.

FAISON STATS:
• 123 BED / 2 BATH
• UNIT SF: 1286
• DUPLEX SF: 2572

WALL LEGEND



W1: EXTERIOR LAP
6" FIBER CEMENT LAP SIDING ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD. GWB.



W2: EXTERIOR BOARD & BATTEN
FIBER CEMENT BOARD & BATTEN STRIPS W/ 3/8" X 1 1/2" FLURRING STRIPS, PER SIDING MANF. ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD. GWB.



W3: UL-1340, 1-HR BEARING WALL
STAGGERED 2X4 WOOD STUDS ALTERNATING ON 2X6 BOTTOM PLATE, W/ INSULATION AND 5/8" GWB EACH SIDE. SEE UL DETAIL FOR RESTRICTIONS.

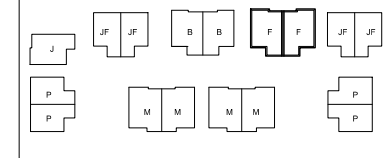


W4: INTERIOR PARTITION
2X4 WOOD STUDS W/ 1/2" GWB EACH SIDE. PROVIDE SOUND BATT INSULATION AT ALL BEDROOM & BATHROOM FULL HEIGHT WALLS. ALL INTERIOR WALLS TO BE W-4, AND EXTEND TO FRAMING ABOVE UNLGO.



W5: INTERIOR SHEET WALL
2X4 WOOD STUDS W/ 1/2" GWB ON ONE SIDE.

Key Plan
6" = 1'-0"



Cottages of Idlewild || The Faison
Raleigh, North Carolina

REVISION SCHEDULE

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Faison - Floor Plans

F-A1.10

THE FAISON - 2 TOTAL UNITS



HAVEN DESIGN/BUILD
7221 N. HANCOCK ST., STE. 200
DURHAM, NC 27715
919.495.1500
HAVENDESIGNBUILD.COM

Cottages of Idlewild || The Faison
Raleigh, North Carolina

REVISION SCHEDULE

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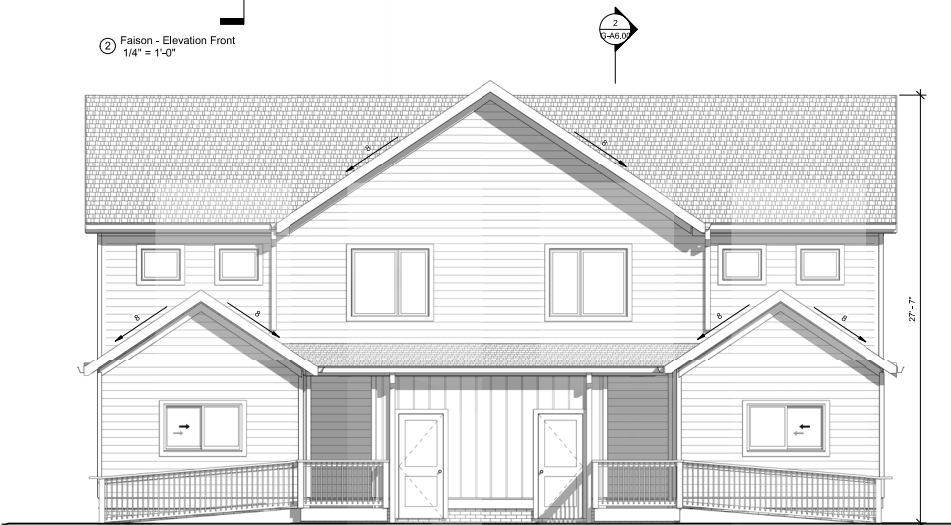
DATE 10/06/22

Faison - Elevations

F-A3.00



② Faison - Elevation Front
1/4" = 1'-0"

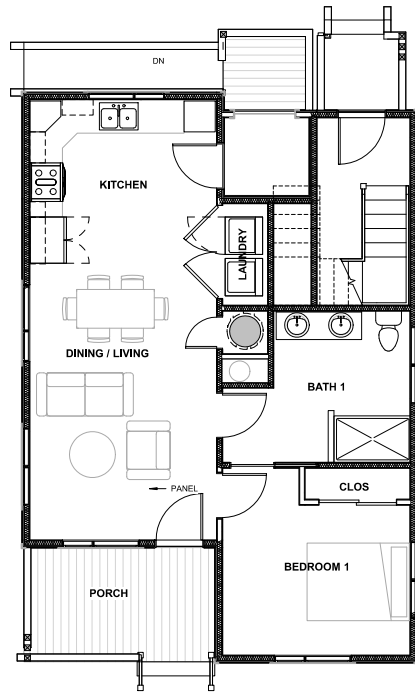


① Faison - Elevation - Back
1/4" = 1'-0"

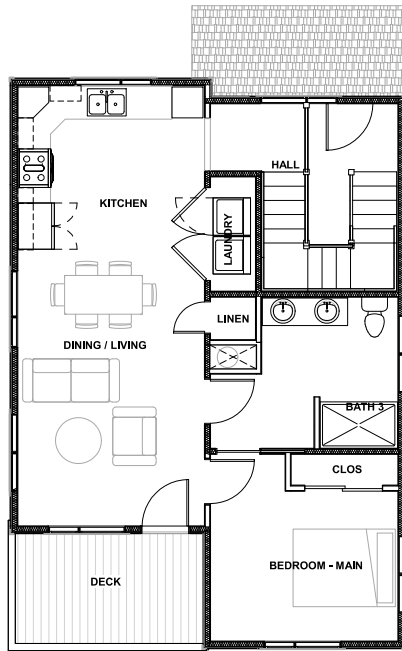


③ Faison - Elevation - Side
1/4" = 1'-0"

THE JONES - 2 TOTAL UNITS



① First Floor - Jones
1/4" = 1'-0"



② Second Floor - Jones
1/4" = 1'-0"



③ Jones - Front Perspective



④ Jones Back Perspective

WALL LEGEND



W-1. EXTERIOR LAP
6" FIBER CEMENT LAP SIDING ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD. GWB.



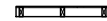
W-2. EXTERIOR BOARD & BATTEN
FIBER CEMENT BOARD & BATTEN STRIPS W/ 3/8" X 1 1/2" FURRING STRIPS, PER SIDING MANF. ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD. GWB.



W-3. 1X4 @ 12" - 1 HR BEARING WALL
STAGGERED 2X4 WOOD STUDS ALTERNATING ON 2X6 BOTTOM PLATE, W/ INSULATION AND 5/8" GWB EACH SIDE. SEE UL DETAIL ___ FOR RESTRICTIONS



W-4. INTERIOR PARTITION
2X4 WOOD STUDS W/ 1/2" GWB EACH SIDE. PROVIDE SOUND BATT INSULATION AT ALL BEDROOM & BATHROOM FULL HEIGHT WALLS. ALL INTERIOR WALLS TO BE W-4, AND EXTEND TO FRAMING ABOVE U.N.O.



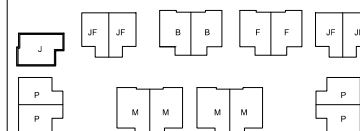
W-5. INTERIOR SHAFT WALL
2X4 WOOD STUDS W/ 1/2" GWB ON ONE SIDE.

FLOOR PLAN NOTES:

- INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE LEVEL FIVE FINISH.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, CABINETS, SHELVES, AND OTHER ITEMS.
- FURNITURE SHOWN IN PLAN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED. ALL FURNITURE TO BE FURNISHED BY OWNER.

JONES STATS:
• 1201 BED / 1 BATH
• UNIT SF: 700-770

Key Plan
6" = 1'-0"



Cottages of Idlewild || The Jones
Raleigh, North Carolina

REVISION SCHEDULE

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DATE: 10/06/22

Jones- Floor Plans

J-A1.10

THE JONES - 2 TOTAL UNITS



③ Jones - Elevation - Side 1
1/4" = 1'-0"



④ Jones - Elevation - Side 2
1/4" = 1'-0"



② Jones - Elevation - Back
1/4" = 1'-0"



① Jones - Elevation - Front
1/4" = 1'-0"

Cottages of Idlewild || The Jones
Raleigh, North Carolina

REVISION SCHEDULE

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DATE 10/06/22

Jones - Elevations

J-A3.00

THE JEFFERS - 4 TOTAL UNITS



HAVEN DESIGN/BUILD
722 N. HANCOCK ST., STE. 200
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Cottages of Idlewild || The Jeffers
Raleigh, North Carolina

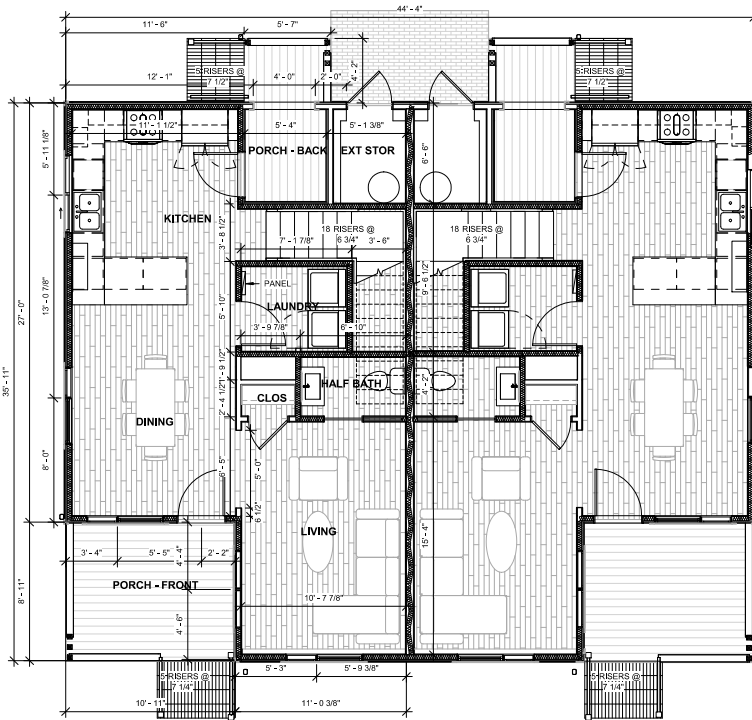
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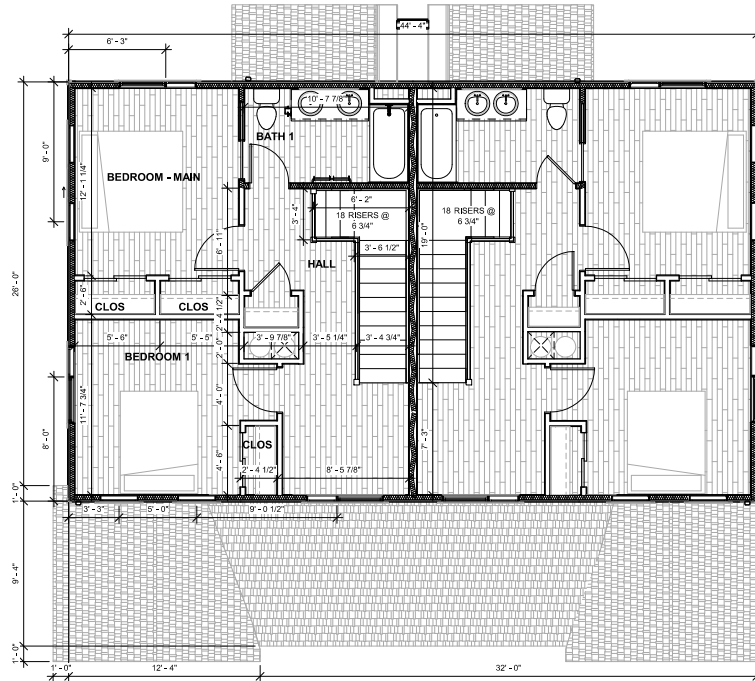
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Jeffers - Floor Plans

JF-A1.10



① First Floor - Jeffers
1/4" = 1'-0"



② Second Floor - Jeffers
1/4" = 1'-0"

FLOOR PLAN NOTES:

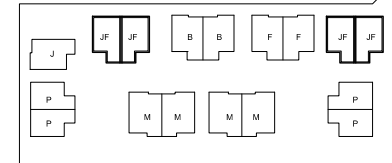
- INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE LEVEL FIVE FINISH.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, CABINETS, SHELVES, AND OTHER ITEMS.
- FURNITURE SHOWN IN PLAN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED. ALL FURNITURE TO BE FURNISHED BY OWNER.

JEFFERS STATS:
• (4) 2 BED / 1.5 BATH
• UNIT SF: 1117
• DUPLEX SF: 2234

WALL LEGEND

- W-1: EXTERIOR LAP**
5" FIBER CEMENT LAP SIDING ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UNFACED BATT INSULATION AND 1/2" PTD. GWB.
- W-2: EXTERIOR BOARD & BATTEN**
FIBER CEMENT BOARD & BATTEN STRIPS W/ 3/8" X 1 1/2" FURNISHING STRIPS, PER SIDING MANF. ON R-3 INSULATED ZIP BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UNFACED BATT INSULATION AND 1/2" PTD. GWB.
- W-3: IS-1340 - LHR BEARING WALL**
STAGGERED 2X4 WOOD STUDS ALTERNATING ON 2X6 BOTTOM PLATE, W/ INSULATION AND 5/8" GWB EACH SIDE, SEE ILL. DETAIL ___ FOR RESTRICTIONS
- W-4: INTERIOR PARTITION**
2X4 WOOD STUDS W/ 1/2" GWB EACH SIDE, PROVIDE SOUND BATT INSULATION AT ALL BEDROOM & BATHROOM FULL HEIGHT WALLS, ALL INTERIOR WALLS TO BE W-4, AND EXTEND TO FRAMING ABOVE U/L.O.
- W-5: INTERIOR SHAFT WALL**
2X4 WOOD STUDS W/ 1/2" GWB ON ONE SIDE.

○ Key Plan
6" = 1'-0"



③ Jeffers - Front Perspective



④ Jeffers - Back Perspective

THE JEFFERS - 4 TOTAL UNITS



Cottages of Idlewild || The Jeffers
Raleigh, North Carolina

REVISION SCHEDULE

REV NO REV DATE

DATE 10/06/22

Jeffers - Elevations

JF-A3.00



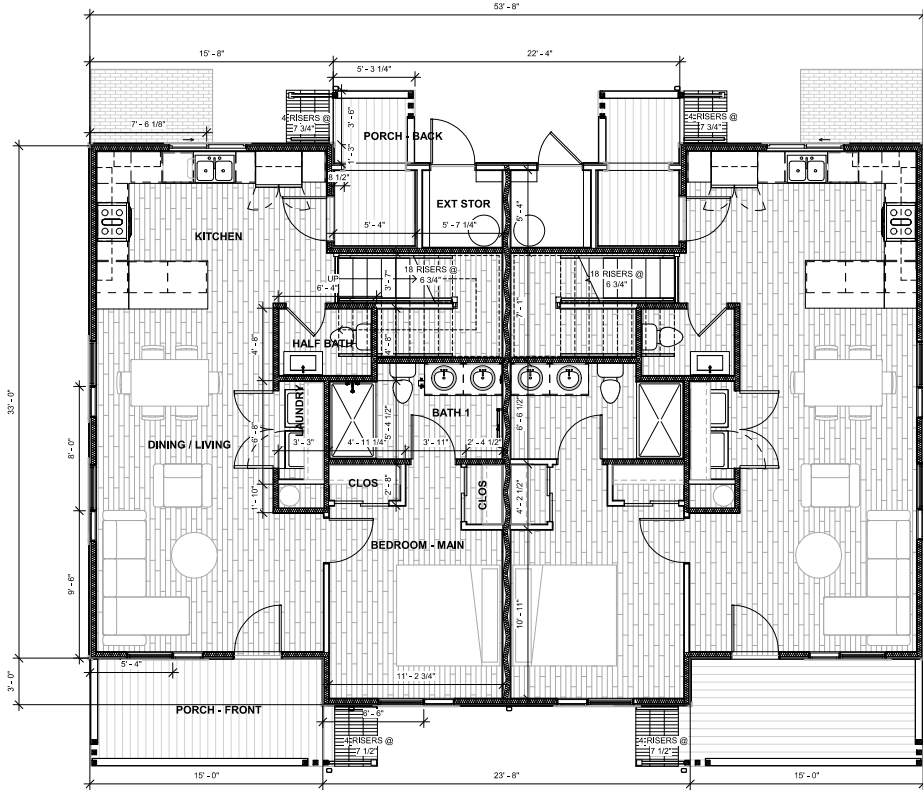
① Jeffers - Elevation - Front
1/4" = 1'-0"



③ Jeffers - Elevation - Side
1/4" = 1'-0"



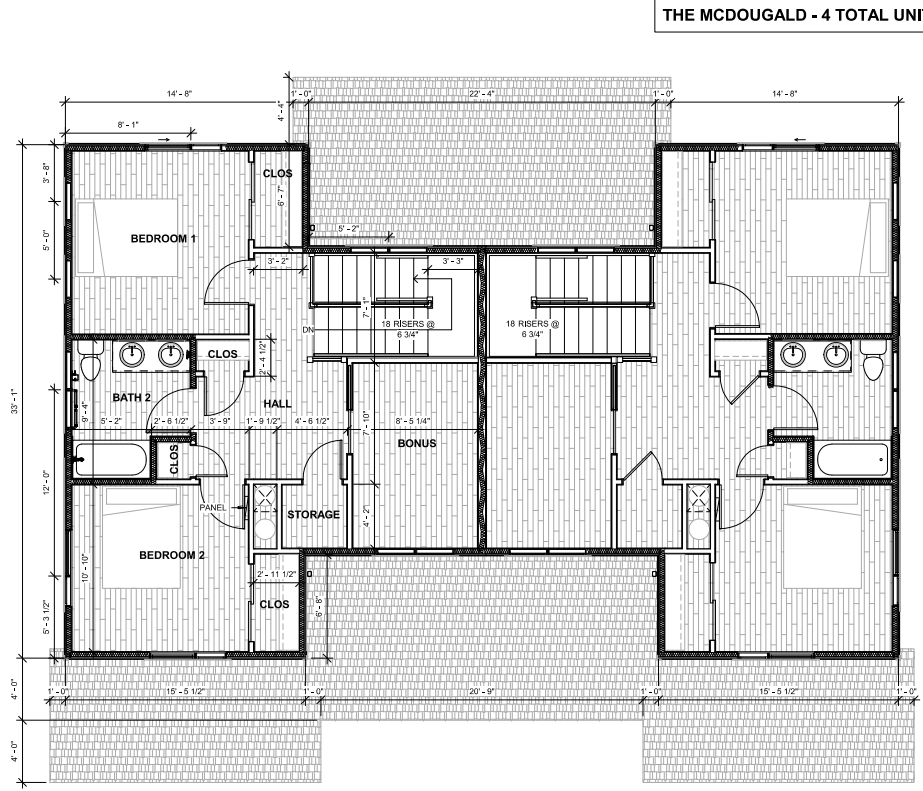
② Jeffers - Elevation - Back
1/4" = 1'-0"



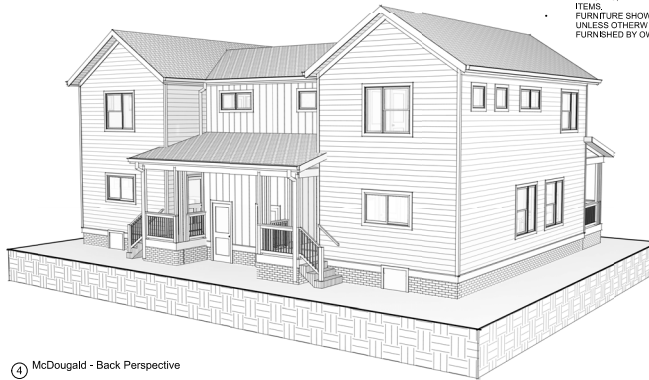
① First Floor - McDougald
1/4" = 1'-0"



③ McDougald - Front Perspective



② Second Floor - McDougald
1/4" = 1'-0"



④ McDougald - Back Perspective

FLOOR PLAN NOTES.

- INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE LEVEL FIVE FINISH.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, CABINETS, SHELVES, AND OTHER ITEMS.
- FURNITURE SHOWN IN PLAN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED. ALL FURNITURE TO BE FURNISHED BY OWNER.

MCDUGALD STATS
• (4) BED / 2.5 BATH
• UNIT SF: 1439
• DUPLEX SF: 2878

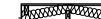
WALL LEGEND



W-1: EXTERIOR LAP
6" FIBER CEMENT LAP SIDING ON R-3 INSULATED 2" BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD. GWB.



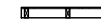
W-2: EXTERIOR BOARD & BATTEN
FIBER CEMENT BOARD & BATTEN STRIPS W/ 3/8" X 1 1/2" FURRING STRIPS, PER SIDING MANF. ON R-3 INSULATED 2" BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD. GWB.



W-3: 11/16" x 1/2" BEARING WALL
STAGGERED 2X4 WOOD STUDS ALTERNATING ON 2X8 BOTTOM PLATE, W/ INSULATION AND 5/8" GWB EACH SIDE. SEE UL DETAIL ___ FOR RESTRICTIONS.

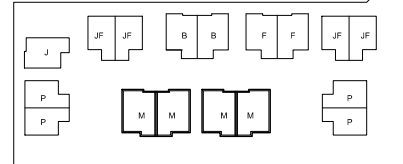


W-4: INTERIOR PARTITION
2X4 WOOD STUDS W/ 1/2" GWB EACH SIDE. PROVIDE SOUND BATT INSULATION AT ALL BEDROOM & BATHROOM FULL HEIGHT WALLS. ALL INTERIOR WALLS TO BE W-4, AND EXTEND TO FRAMING ABOVE UNLO.



W-5: INTERIOR SHAFT WALL
2X4 WOOD STUDS W/ 1/2" GWB ON ONE SIDE.

Key Plan
6" = 1'-0"



THE MCDUGALD - 4 TOTAL UNITS



① McDougald - Elevation - Front
1/4" = 1'-0"



③ McDougald - Elevation - side
1/4" = 1'-0"



② McDougald - Elevation - Back
1/4" = 1'-0"

Cottages of Idlewild || The McDougald
Raleigh, North Carolina

REVISION SCHEDULE

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McDougald -
Elevations

M-A3.00

THE PULLEY - 4 TOTAL UNITS



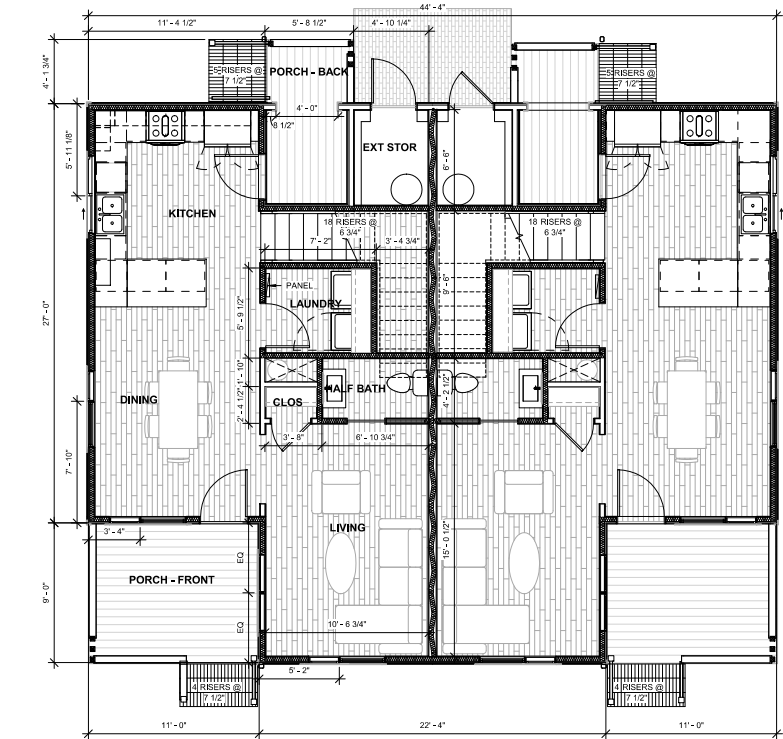
Cottages of Idlewild || The Pulley
Raleigh, North Carolina

| REVISION SCHEDULE | |
|-------------------|----------|
| REV NO | REV DATE |

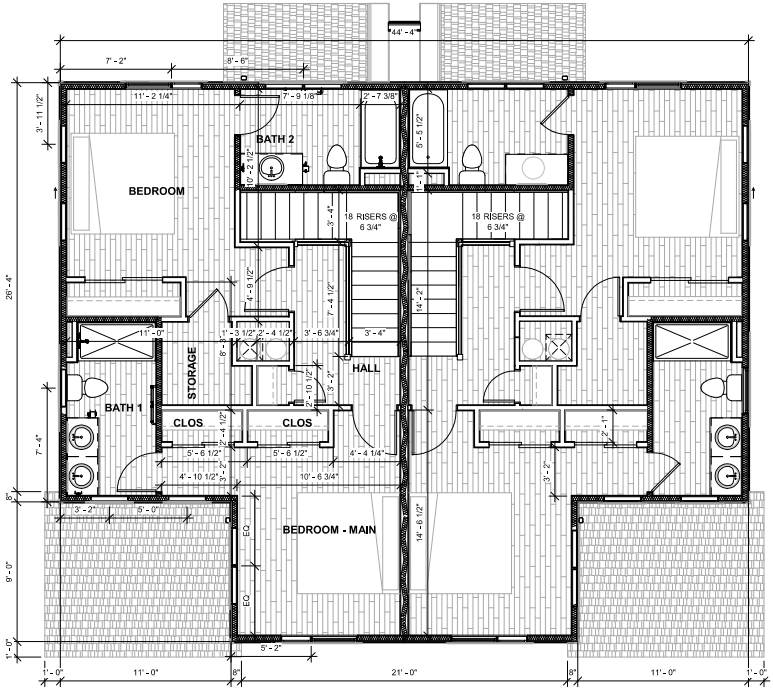
DATE: 10/06/22

Pulley - Floor Plans

P-A1.10



① First Floor - Pulley
1/4" = 1'-0"



② Second Floor - Pulley
1/4" = 1'-0"

FLOOR PLAN NOTES:

- INTERIOR DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- ALL NEW WALLS TO BE LEVEL FIVE FINISH.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, CABINETS, SHELVES, AND OTHER ITEMS.
- FURNITURE SHOWN IN PLAN FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED. ALL FURNITURE TO BE FURNISHED BY OWNER.

- PULLEY STATS:
- (4)2 BED / 2.5 BATH
 - UNIT SF: 1206
 - DUPLEX SF: 2412

WALL LEGEND



W1: EXTERIOR LAP
6" FIBER CEMENT LAP SIDING ON R-3 INSULATED 2P BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD GWB.



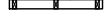
W2: EXTERIOR BOARD & BATTEN
FIBER CEMENT BOARD & BATTEN STRIPS W/ 3/8" X 1 1/2" FURRING STRIPS, PER SIDING MANF. ON R-3 INSULATED 2P BOARD SHEATHING, 2X4 WOOD STUDS @ 16" O.C. W/ R-15 FIBERGLASS UN-FACED BATT INSULATION AND 1/2" PTD GWB.



W3: UL-J360 - LHS BEARING WALL
STAGGERED 2X4 WOOD STUDS ALTERNATING ON 2X6 BOTTOM PLATE. W/ INSULATION AND 5/8" GWB EACH SIDE. SEE UL DETAIL ____ FOR RESTRICTIONS.

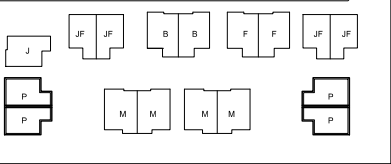


W4: INTERIOR PARTITION
2X4 WOOD STUDS W/ 1/2" GWB EACH SIDE. PROVIDE SOUND BATT INSULATION AT ALL BEDROOM & BATHROOM FULL HEIGHT WALLS. ALL INTERIOR WALLS TO BE W4, AND EXTEND TO FRAMING ABOVE U/LCO.



W5: INTERIOR SHAFT WALL
2X4 WOOD STUDS W/ 1/2" GWB ON ONE SIDE.

○ Key Plan
6" = 1'-0"



③ Pulley - Front Perspective



④ Pulley - Back Perspective

THE PULLEY - 4 TOTAL UNITS



① Pulley - Elevation - Front
1/4" = 1'-0"



③ Pulley - Elevation - Side
1/4" = 1'-0"



② Pulley - Elevation - Back
1/4" = 1'-0"

Cottages of Idlewild || The Pulley
Raleigh, North Carolina

REVISION SCHEDULE

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Pulley - Elevations

P-A3.00