



Administrative Approval Action

Case File / Name: ASR-0028-2024

DSLC - CITY GATEWAY SUBDIVISION II

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This vacant 1.63-acre site is located north of Martin Luther King Jr Boulevard, south of West South Street, east of South McDowell Street, and west of South Salisbury Street in Downtown Raleigh. It is zoned DX-20-CU. The site is proposed lot 4 of subdivision case SUB-0001-2023. The current site address is 130 Kindley Street.

REQUEST: The project proposes a structured parking facility with plaza roof deck. The 1-story, 27,060 square feet parking structure houses an automated mechanical parking system and features an improved plaza roof deck. The plaza roof deck provides vehicular access to load bays while providing user amenities and open space. Vehicles are parked in a load bay and mechanically conveyed to the lower-level storage rack. Another building will be added (overnight lodging) but will be reviewed separately.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SUB-0001-2023: DSLC - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 10, 2025 by Urban Design Partners.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Plans shall demonstrate compliance with retaining wall standards, provide detailed plans for all proposed wall, and as applicable, comply with UDO Section 7.2.8. Retaining walls shall be issued either a building permit if it is greater than 5 feet in height, or a zoning permit if less than 5 feet in height. Permits shall be entered prior to plan approval.
2. Provide documentation the subdivision or recombination that created the proposed lot on which this development shall occur has been recorded (provide BM / PG information). A proposed building or structure may not be located across property lines.
3. Submit a full lighting plan for review (per Note 9 on Site Plan, Sheet C-3.0 of ASR). All proposed building and site fixtures shall be shown for review. Cut sheets for each type of fixture shall be provided along with lighting details. Plan shall show compliance with UDO Section 7.4.

Stormwater



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4. If required, a nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A stormwater control plan complying with UDO 9.2 and a stormwater operations and maintenance manual and budget shall be approved.
6. A Sediment and Erosion Surety associated with the land disturbance grading permit shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
-------------------------------------	----------------------------------

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots identified as Lots 3 & 4, and Lots 4 & 5 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A slope easement deed of easement along Kindley Street, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. All required stormwater easements shall be shown on all plats for recording (UDO 9.2 and Stormwater Design Manual Chapter 7).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. The subdivision plat associated with SUB-0001-2023 / SPR-0079-2025 shall be recorded prior to issuance of any building permit.

Stormwater

2. A Private Stormwater Device Surety equal to 125% of the cost of the construction of a stormwater device shall be paid (UDO 9.2.2.D.1.d).
3. All stormwater related easements shall be shown on all plats for recording (UDO 9.2, Stormwater Design Manual Chapter 7).

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 6 street trees along Kindley Street and 6 street trees along S. McDowell Street.

The following are required prior to issuance of building occupancy permit:

General

1. Per BOA-0058-2022, in lieu of compliance with the tree conservation ordinance, the property owner shall pay to the City of Raleigh an amount of \$16,000.00, subject to all the same terms and conditions set forth in the condition imposed in BOA-0048-2021. This condition applies in addition to the existing condition in BOA-0048-2021 and shall be satisfied at the same time, and concurrent with, the satisfaction of the condition set forth in BOA-0048-2021 (specifically, at or before issuance of a certificate of occupancy for a new building on Lot 2 or Lot 3, as shown on Book of Map 2022, Page 01157, Wake County Registry).
2. Final inspection of rights-of-way street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before



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permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 23, 2029

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan.McDonald@raleighnc.gov Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov
CN=Keegan.McDonald@raleighnc.gov
Date: 2026.01.23 16:54:04-05'00' Date: 01/23/2026
Development Services Dir/Designee
Staff Coordinator: **Jessica Gladwin**

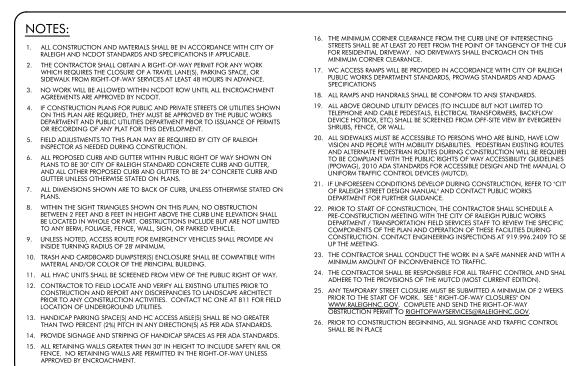
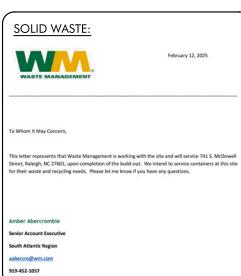
City Gateway Parking Facility

130 Kindley St. Raleigh, NC 27601

City of Raleigh Administrative Site Review

ASR Case #: ASR-0028-2024

Submittal: 12/10/2025



DEVELOPMENT SUMMARY:	
TAX PARCEL ID #:	170355854; 170355721
EXISTING ZONING:	DK-40-CU
PROPOSED ZONING:	DK-40-CU
TOTAL SITE AREA:	1.63 AC
LOT AREA (MIN/MAX):	N/A
LOT WIDTH (MIN/MAX):	N/A
OUTDOOR AMENITY:	10%
PROPOSED:	SEE C-3.2
PRIMARY STREET:	KINDELY STREET
BUILDING/STRUCTURE SETBACKS:	
PRIMARY STREET:	3'
SIDE LOT LINE (MIN):	35.8' (KINDELY ST)
PROPOSED:	0' OR 6'
REAR LOT LINE (MIN):	11.0' (WALL UNIT LINE); 6.1' (SW LOT LINE)
PROPOSED:	0' OR 6'
HEIGHT:	N/A
MAX. BUILDING HEIGHT:	40 STORES
PROPOSED:	1 STORY
FLOOR HEIGHT:	
GROUND FLOOR AND FLOOR HEIGHT (INN):	9' (FLOOR TO FLOOR)
PROPOSED:	SEE ARCH PLANS
TRANSPARENCY:	
GROUND STORY (MIN):	50%
PROPOSED:	SEE ARCH PLANS
UPPER STORY (MIN):	20%
PROPOSED:	SEE ARCH PLANS
BLANK WALL (MIN):	50'
PROPOSED:	SEE ARCH PLANS
PROPOSED USE:	PARKING FACILITY
BUILDING GFA:	55,144 SF
VEHICULAR PARKING:	
REQUIRED:	N/A
PROPOSED:	228 SPACES
BICYCLE PARKING:	
LONG-TERM:	NONE
PROPOSED:	SEE LANDSCAPE PLANS
SHORT-TERM:	NONE
PROPOSED:	SEE LANDSCAPE PLANS

Sheet Index			
Sheet Number	Sheet Title	Original Date	Revision Date
C-1.0	Cover Sheet	5/8/2024	12/10/2025
C-1.1	Rezoning Conditions	8/12/2024	
---	Site Survey - Sheet 1	3/6/2023	
---	Site Survey - Sheet 2	3/6/2023	
---	Site Survey - Sheet 3	3/6/2023	
C-2.0	Existing Conditions	5/8/2024	12/10/2025
C-2.1	Demolition Plan	5/8/2024	12/10/2025
C-3.0	Site Plan	5/8/2024	12/10/2025
C-3.1	Amenity Area & Accessible Route Plan	5/8/2024	12/10/2025
C-4.0	Grading & Storm Drainage Plan	5/8/2024	12/10/2025
C-5.1	Bioswale Plan & Details	5/8/2024	12/10/2025
C-6.0	Utility Plan	5/8/2024	12/10/2025
C-8.0	Site Specifications & Details	5/8/2024	12/10/2025
C-8.1	Water & Sewer Utility Details	5/8/2024	12/10/2025
C-8.2	Stormwater Details	5/8/2024	12/10/2025
C-9.0	Fire Access Exhibit	12/10/2025	
L-160	Landscape Overall Planting Plan	10/29/2025	
A-111	Floor Plan - Level 1	9/12/2025	10/31/2025
A-112	Floor Plan - Roof Deck	9/12/2025	10/31/2025
Z-201	ASR Exterior Elevations	9/12/2025	10/31/2025
Z-202	ASR Exterior Elevations	9/12/2025	10/31/2025

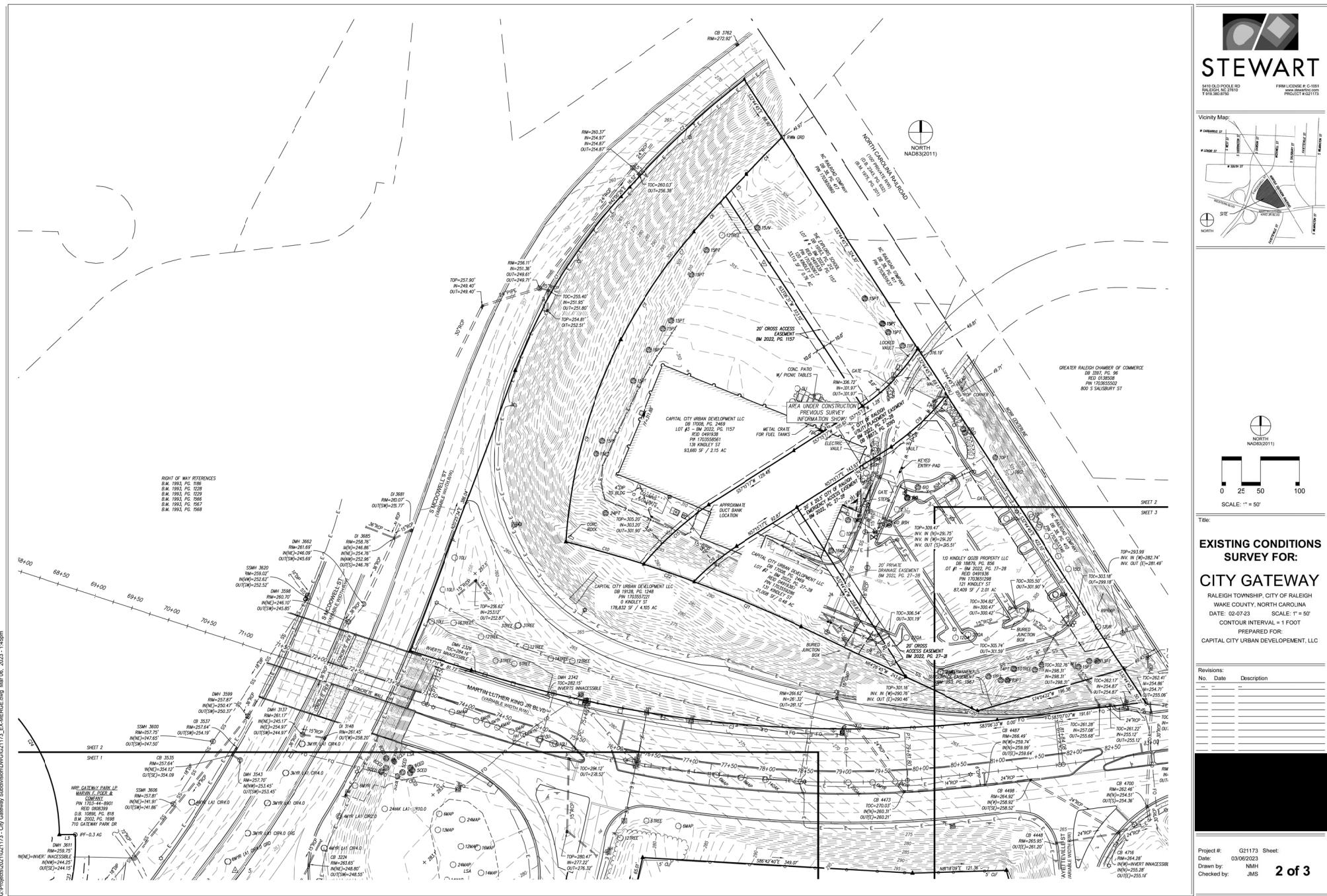


BEFORE YOU DIG!
CALL 811 OR 1-800-632-4999
N.C. ONE-CALL CENTER
FOR THE LAWS

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

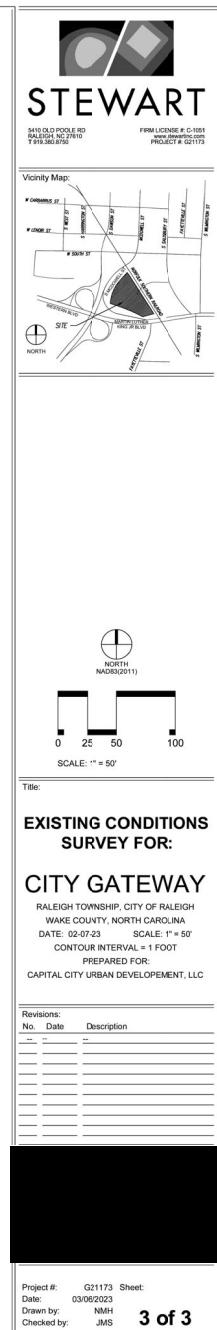
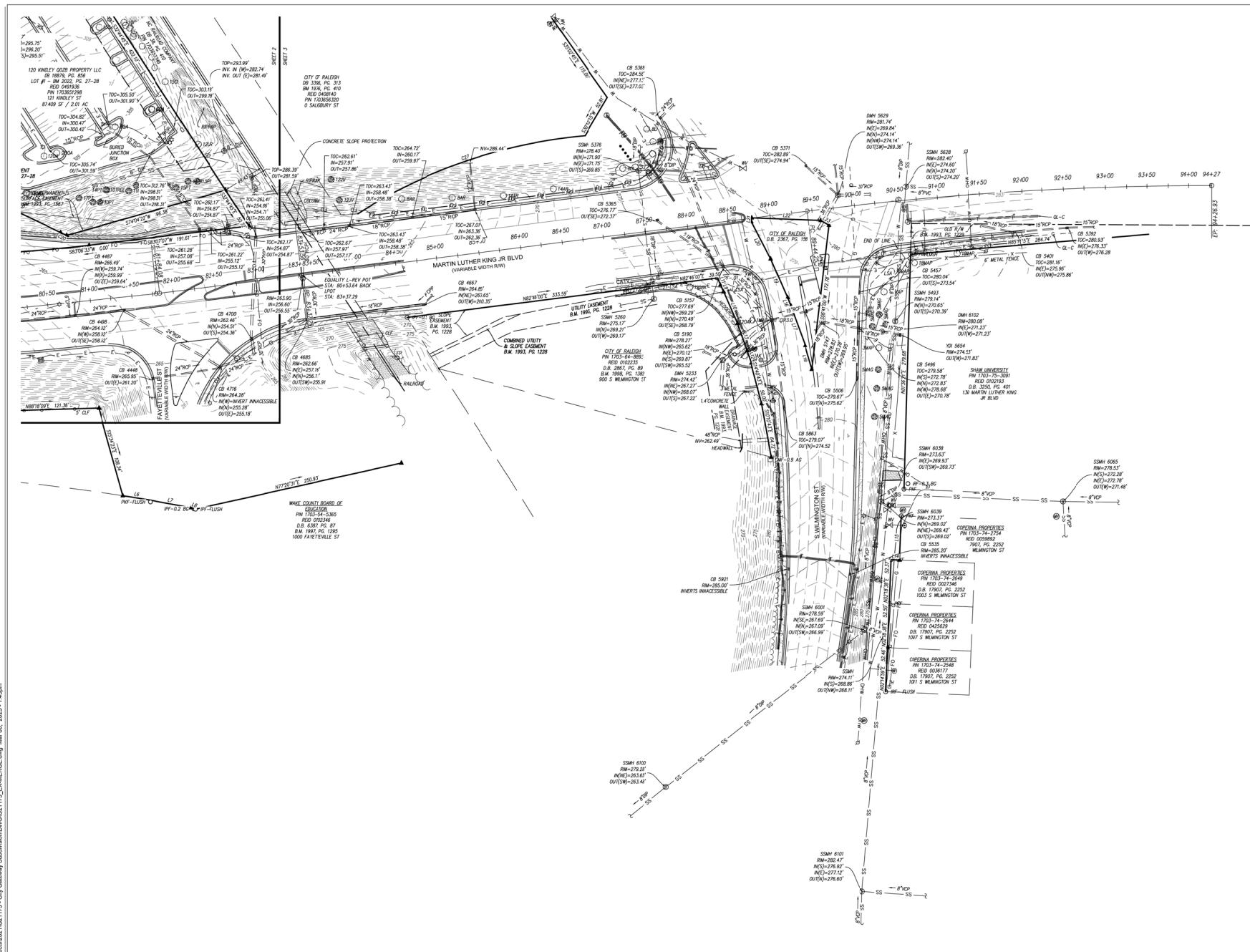
Cover Sheet

Cover Sheet



Project #: G21173 Sheet
Date: 03/06/2023

2 of 3





URBAN
DESIGN
PARTNERS

130 Foyerville St. #1210
Raleigh, NC 27601
(919) 250-5300
urbanpartners.com

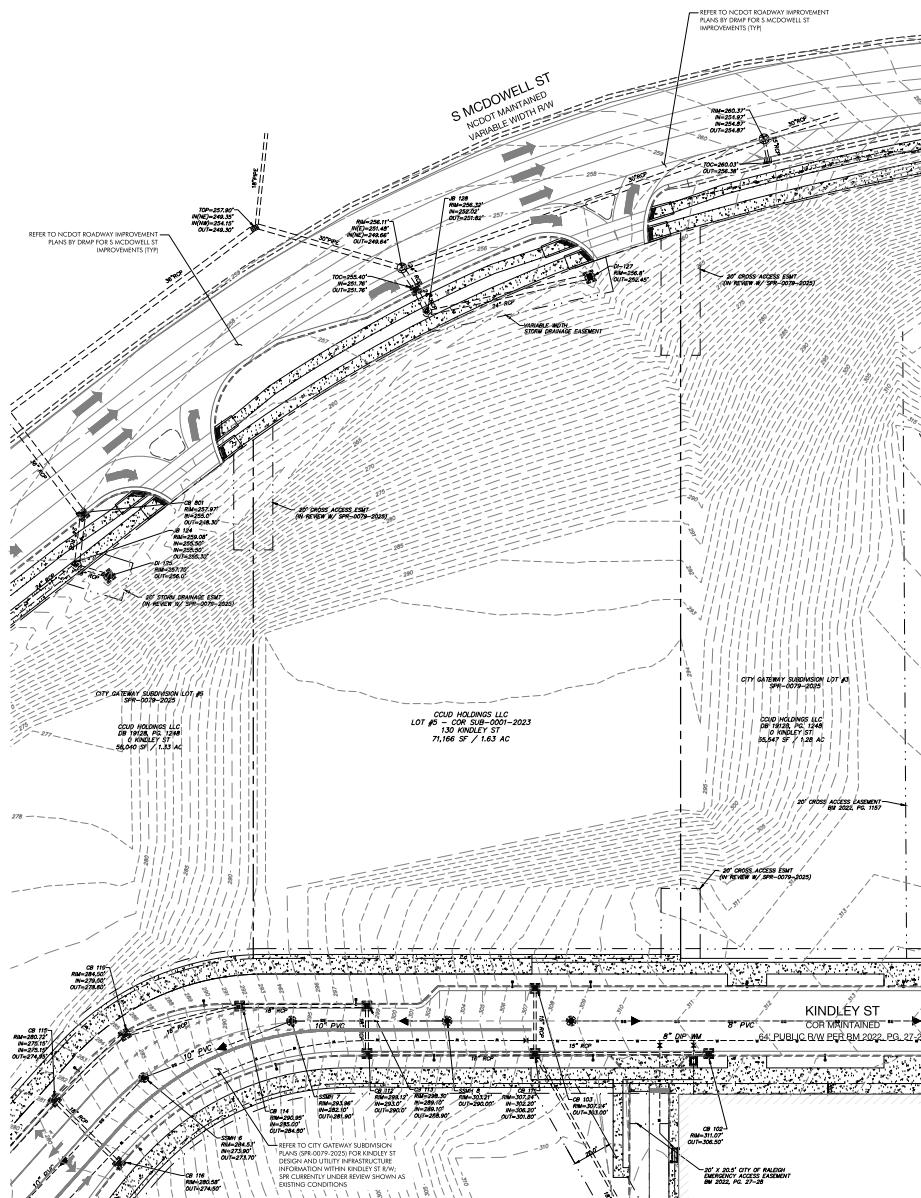
nc firm no: P-2671 sc cco no: C-03044

EXISTING CONDITIONS NOTES:

1. EXISTING CONDITIONS SURVEY PROVIDED BY:
SPRINGFIELD SURVEYING
5410 OLD POOLE RD
MURFREESBORO, NC 27960
(919) 587-7750
2. S MCDOWELL STREET IMPROVEMENTS ARE SHOWN AS
DESIGNED BY DRAP PLANS DATED 02/02/2024.
3. ADDITIONAL DATA USED FROM CITY GATEWAY SUBDIVISION
TRANSITION PLAN BY URBAN DESIGN PARTNERS DATED
08/22/2023 CURRENTLY UNDER REVIEW BY CITY OF RALEIGH
COR # 596-0079-2023

FOR
REFERENCE
ONLY

2/10/2024

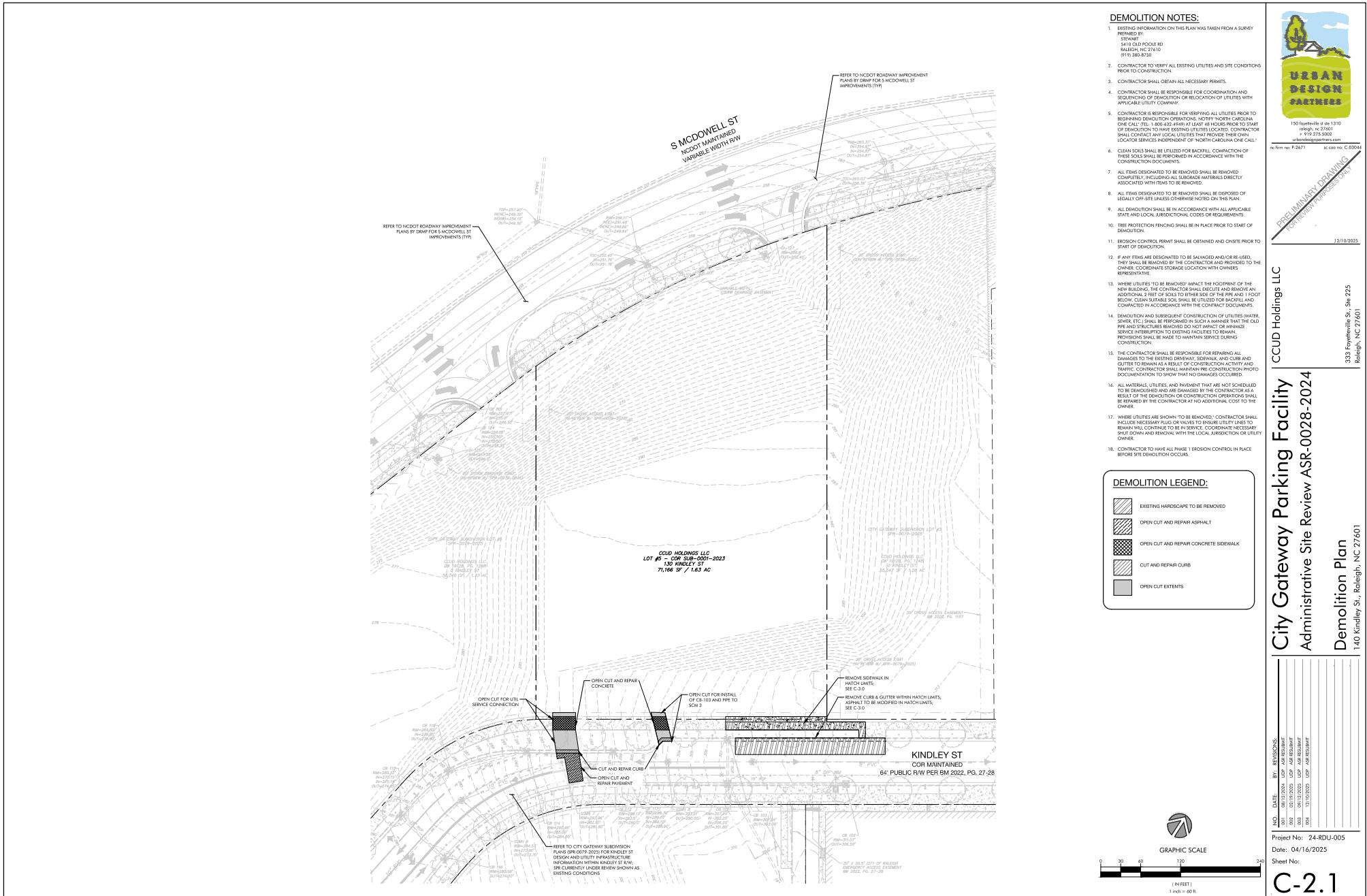


City Gateway Parking Facility | CCUD Holdings LLC
Administrative Site Review ASR-0028-2024

Existing Conditions
140 Kindley St, Raleigh, NC 27601

333 Foyerville St, Site 225
Raleigh, NC 27601

333 Foyerville St, Site 225
Raleigh, NC 27601



130 Foyerville St #1210
Raleigh, NC 27601
(919) 776-2225
urbandesignpartners.com

nc firm no: P-2671

sc co no: C-03644

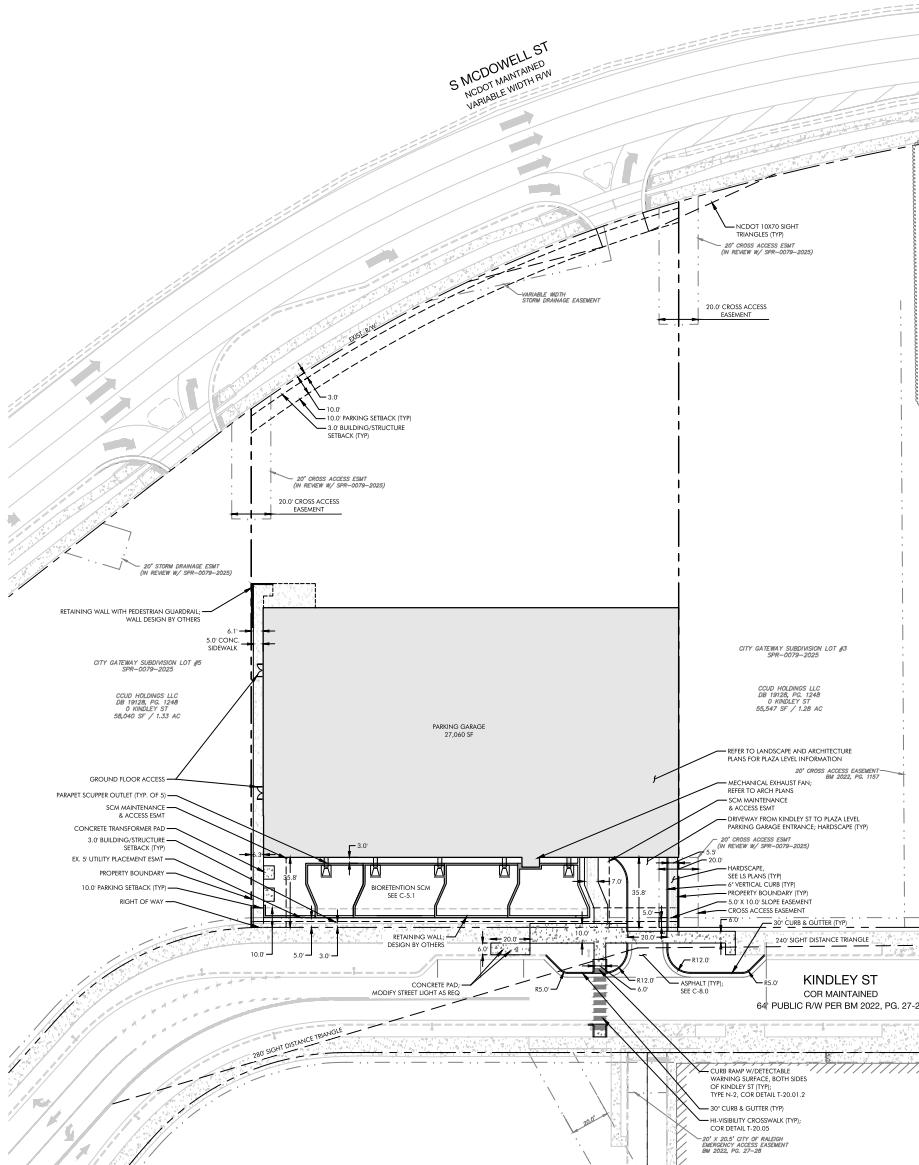
2/10/2023

Preliminary Drawing
For Review Purposes Only

333 Foyerville St, Site 225

Raleigh, NC 27601

333 Foyerville St, Site 225



City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

Site Plan

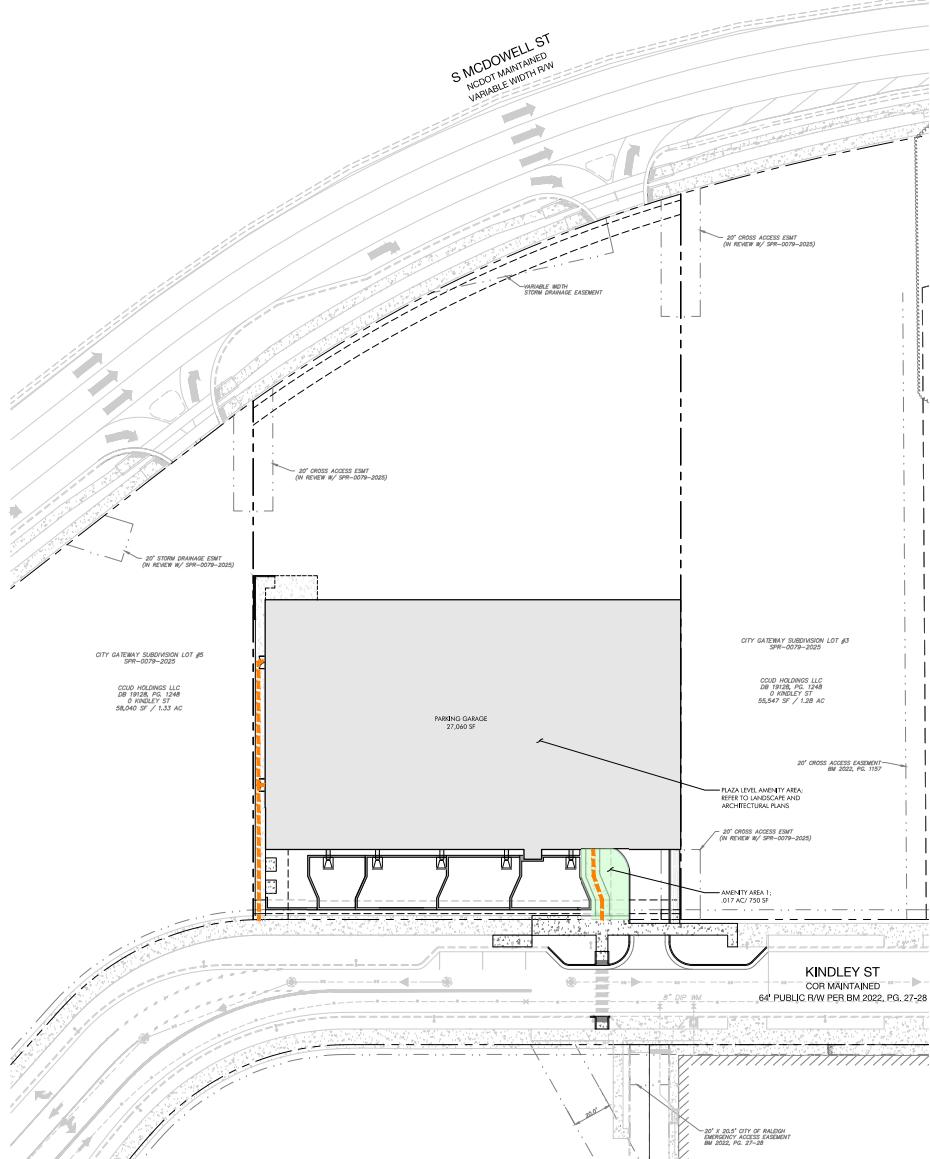


sc firm no: P-2671

sc coco no: C-0394

rc firm no: P-2671

rc coco no: C-039



AMENITY SPACE SUMMARY

OUTDOOR AMENITY AREA:
 MINIMUM: 10% OF LOT AREA
 10% (1.63 AC) = 0.16 AC / 7,100 SF
 PROVIDED:
 AREA 1: 20' AC / 8,355 SF
 0.017 AC / 790 SF
 SEE LANDSCAPE PLANS
 AREA 2:

ACCESSIBILITY LEGEND

ACCESIBLE ROUTE
 1. 5.0% MAX SLOPE IN DIRECTION OF TRAVEL, 2.0% MAX CROSS SLOPE ON ACCESSIBLE ROUTE
 2. 2.0% MAX SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING.



130 Southgate St, Ste 1710
 Raleigh, NC 27601
 919.872.1200
 urban@urban.com
 nc eco no: P-2671

PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY

12/10/2023

CCUD Holdings LLC
 CITY Gateway Parking Facility

Administrative Site Review ASR-0028-2024

333 Fayetteville St, Site 225

Raleigh, NC 27601

Amenity Area & Accessible Route Plan
 140 Kindley St, Raleigh, NC 27601

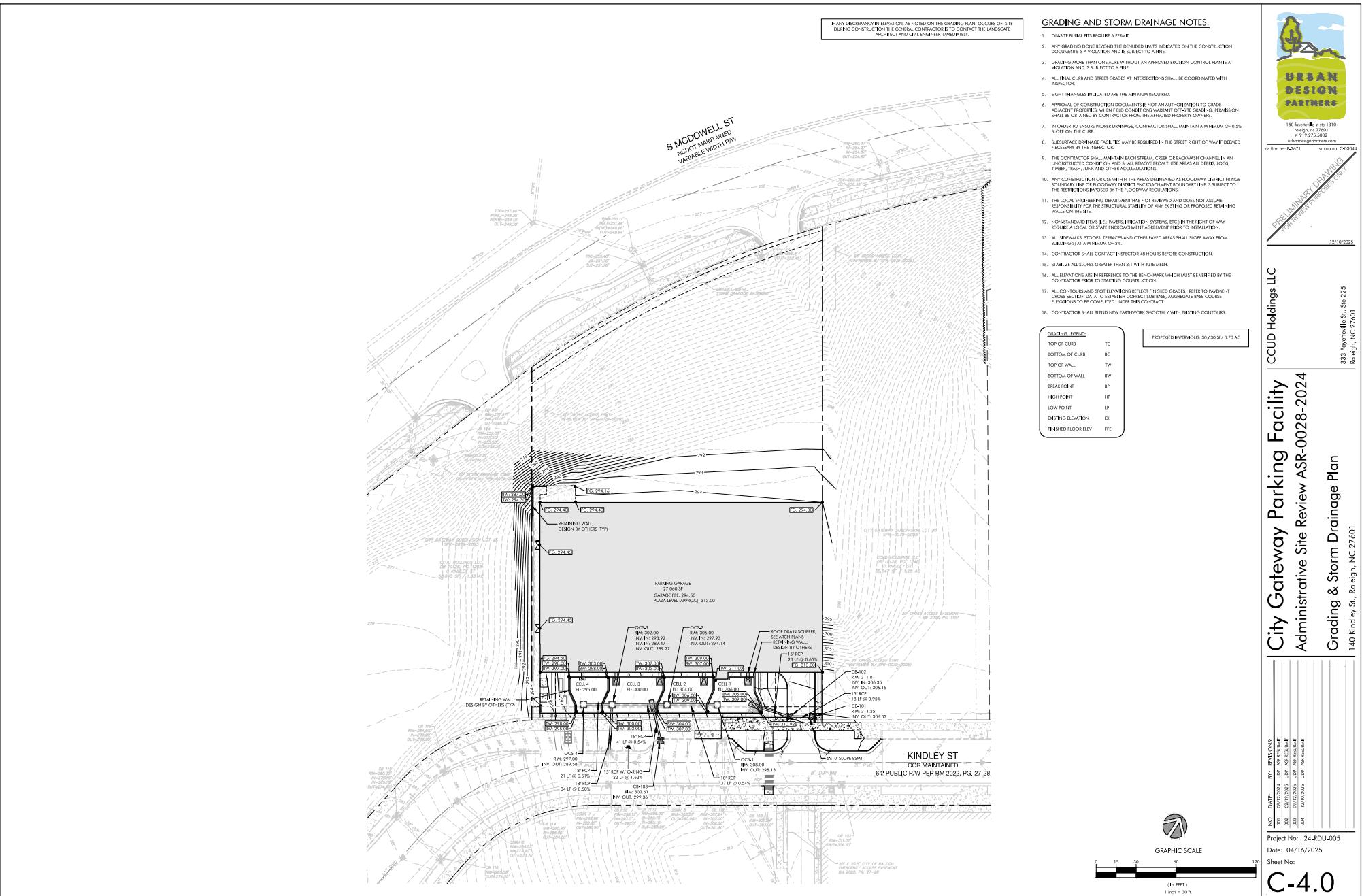
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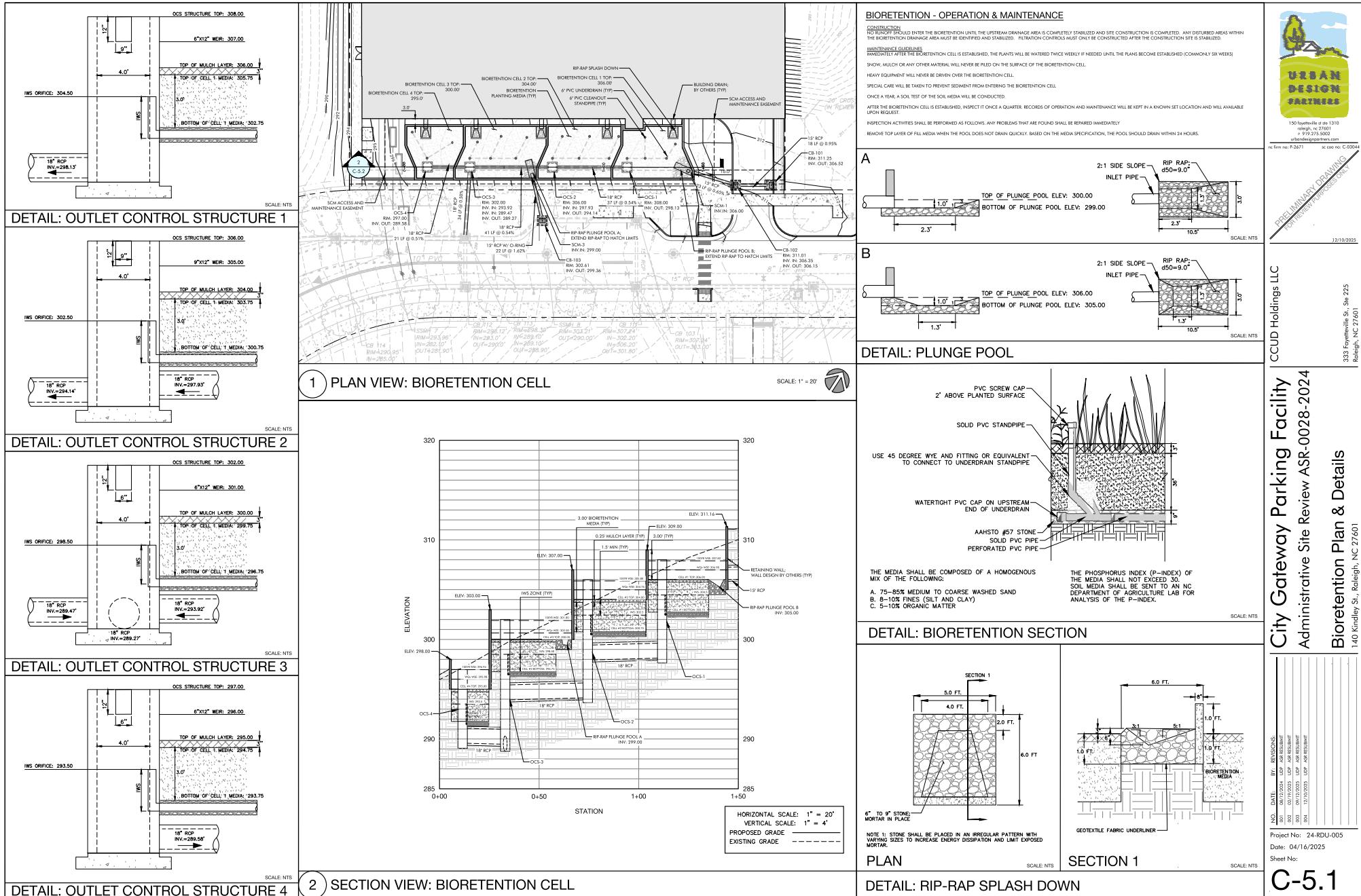
Raleigh, NC 27601

NO.	DATE	BY:	REVISIONS:
501	08/12/2020	USP	ASSESSMENT
502	09/19/2020	USP	ASSESSMENT
503	09/17/2020	USP	ASSESSMENT
504	10/10/2020	USP	ASSESSMENT

Project No.: 24-RDU-005
 Date: 04/16/2025
 Sheet No.:

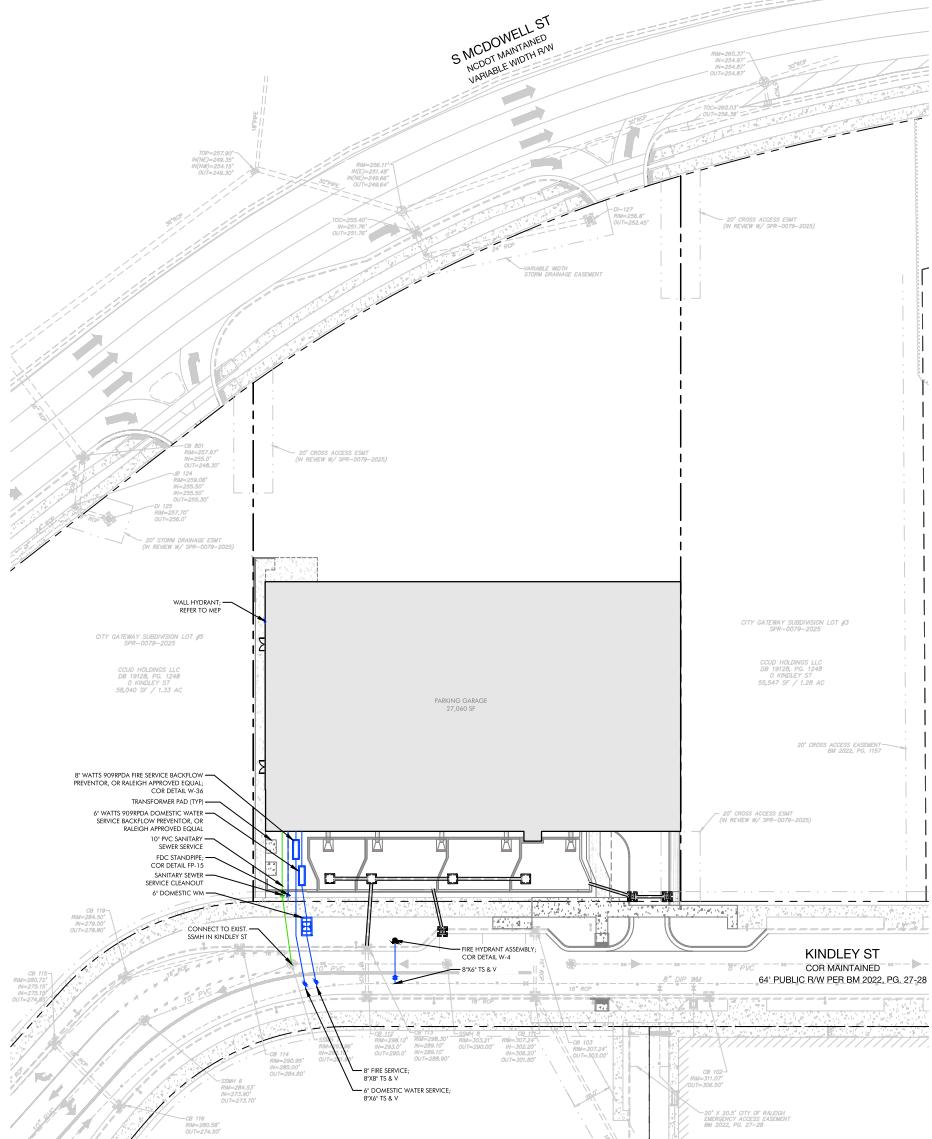
C-3.1





C-5.1

ITEM	IDENTIFIER	SYMBOL
WATER LINE		
WATER METER	WM	
BACKFLOW PREVENTOR	BFP	
GATE VALVE	GV	
REDUCER		
BLOW OFF ASSEMBLY	BO	
HYDRANT ASSEMBLY	HYD	
WALL HYDRANT	W/HYD	
PIPE DEF. CONNECTION	FDC	
SEWER LINE	SS	
MANHOLE	MH	
SANITARY SEWER CLEAN OUT	SSCO	
GAS LINE	GAS	
OVERHEAD ELECTRIC LINE	OVE	
UNDERGROUND ELECTRIC LINE	UE	
UTILITY POLE		
TELECOM LINE	TEL	
STORM DRAINAGE		
EX. STORM DRAINAGE		
EX. OVERHEAD ELECTRIC	oe	
EX. TELEPHONE	t	
EX. UNDERGROUND ELECTRIC	ue	
EX. UNDERGROUND TELEPHONE	ut	
EX. WATER LINE	w	
EX. GAS LINE	g	
EX. UTILITY POLE		
PHASE LINE		



STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CUPUD HANDBOOK, CURRENT EDITION).

2. 10' MINIMUM SEPARATION REQUIREMENTS:

a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC UTILITY THAT SOURCE WATER FROM THE SAME SANITARY SEWER OR FROM THE SAME PUBLIC WATER. IF A SOURCE OF WATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION DISTANCE SHALL BE 10' FROM THE CENTERLINE OF THE PUBLIC UTILITY.

b) WHERE INSTALLING WATER & SEWER LINES, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE WATERLINE SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE SEWERLINE. THE TOP OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANTI-THE SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING.

d) 0.5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & IC/P STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & IC/P STORM DRAIN CROSSINGS. WHERE IT IS IMPOSSIBLE TO MAINTAIN 18" MIN. VERTICAL SEPARATION, USE CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CUPUD DETAILS W-41 & S-49).

f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDMENT PLAN & PRE-CONSTRUCTION DRAWINGS BY THE PUBLIC UTILITIES DIRECTOR.

4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRaversing PRIVATE PROPERTY.

5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & UNDERRUNNING UTILITIES. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING UTILITIES. CONTRACTOR SHALL BE PRECeded BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DIRECTOR.

6. SEWER BYPASS PLANNING - A BYPASS PLANNED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER & SEWER TO PLANNING OPERATIONS FOR APPROVAL. THE OPERATIONS AND PLANNING DIVISION OF RALEIGH WATER & SEWER SHALL APPROVE THE BYPASS.

7. 3' MINIMUM CROWN REQUIRED ON ALL WATER MAINS & SEWER PIPEWORK. 4' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.

8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE SPECIFIED BY THE CITY OF RALEIGH PUBLIC UTILITIES DIRECTOR. THE ABANDONMENT OR REMOVAL SHALL BE PERFORMED AT A MINIMUM OF 10' ABOVE THE NEXT UPSTREAM MANHOLE.

9. INSTALL 6" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'2" WATERLINE ELEVATION. THE METER SHALL BE LOCATED IN A CONVENIENT LOCATION TO EASILY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.

10. INSTALL 8" PVC SEWER SERVICES @ 10' MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 100' LINEAR FEET MAXIMUM.

11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL WATER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.

12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDEQ, USEPA, AND STATE AND LOCAL AGENCIES, WITNDAR AND/or FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

13. NCDOF / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

14. GREASE INTERCEPTOR / CH. WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RWY PROG. COORDINATOR PRIOR TO ISSUANCE OF BUILDING PERMIT. CONTACT (919) 996-4516 OR FOOG@RALEIGH.GOV FOR MORE INFORMATION.

15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS.

16. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.

17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.

18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PROOF TESTING THEREAFTER) IN ACCORDANCE WITH THE ASSE STANDARDS AND THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.

19. NOTICE FOR PROJECTS THAT INVOLVE AN DIVIDED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REMOVAL/RELOCATE OR USE OF MUD UNDERHANDS: THE PUBLIC BIDDING PROCESS.

City Gateway Parking Facility | CCUD Holdings LLC | Administrative Site Review ASR-0028-2024

Utility Plan | 140 Kindley St, Raleigh, NC 27601

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

2/10/2023

rc doc no: C-0364

rc firm no: P-2671

rc co no: 0364

rc file no: 130 foyerville st site 1210 roxb, nc 27601

rc vrs: 1.0

rc deta: urban design partners

rc deta: 130 foyerville st site 1210 roxb, nc 27601

rc deta: urban design partners.com

rc deta: nc doc no: C-0364

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rc deta: rc file no: 130 foyerville st site 1210 roxb, nc 27601

rc deta: rc vrs: 1.0

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rc deta: rc firm no: P-2671

rc deta: rc co no: 0364

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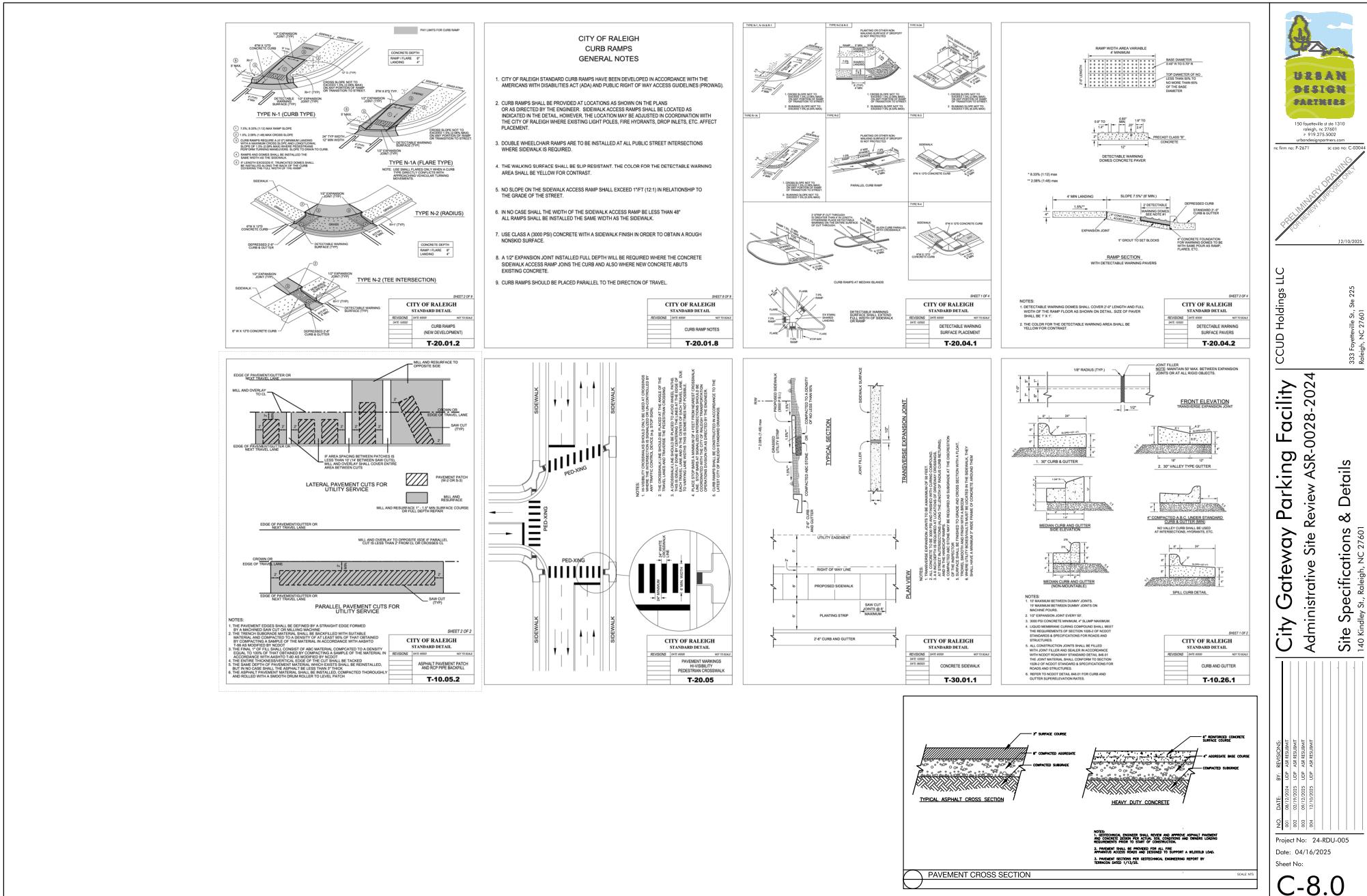
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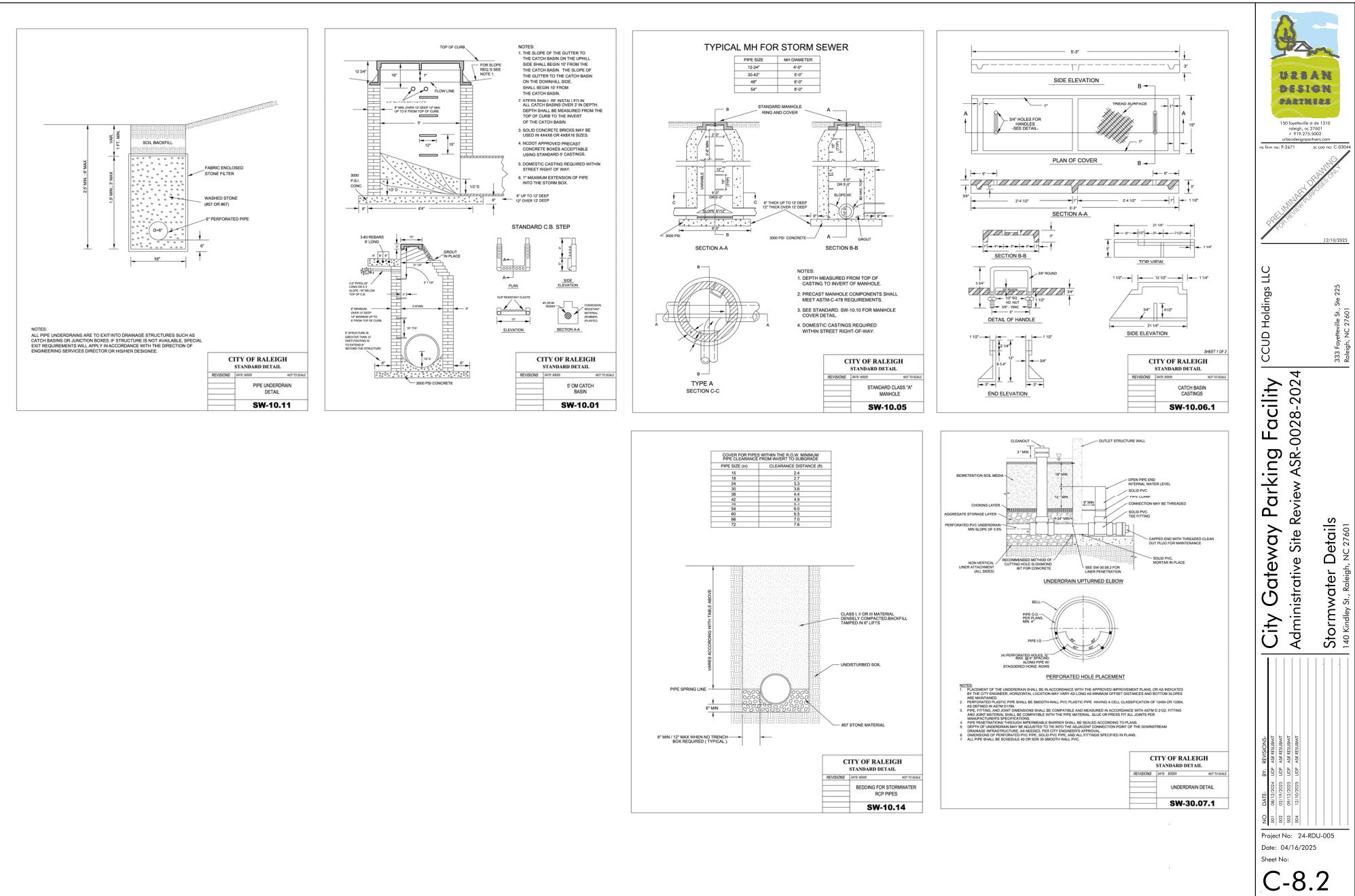
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Project No: 24-RDU-005
Date: 04/16/2025

(C-82)



Raleigh Fire Department
Office of the Fire Marshal
310 W. Martin St., Suite 200
Raleigh, NC 27602
Office: (919) 898-4882



Alternate Material, Design or Methods Application

Transaction No. _____
Design Professional: Chuck White Phone #: 919-806-2200
Signature:

Building Address: 140 Kindley St, Raleigh, NC 27601

Alternate Material, Design or Methods Application require 10 business days for review. In accordance with 2018 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES
Section 105 Alternate Material, Design or Methods

I am requesting review of an alternate application to the provisions of Section
503.1.1, Buildings and Facilities, of the 2015 International Fire Code - CFCNC.

This code section requires: Approved fire apparatus access roads shall be provided for every facility, building or portion of a building therefor constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the exterior walls of the first story.

Proposed Alternative: (Include drawings to clearly illustrate request, before and
after if appropriate)
Provide building mounted wall hydrant in location specified on plans

Reason for Request:
Section 503.1.1 - Exception 1.2 - Fire apparatus roads cannot be installed because of location, property, topography, waterways, nonresidential grades or other similar conditions, and an approved alternate means of fire protection is provided

Request For Alternate Material, Design or Methods
Staff Use Only

Page 2 of 2

Date Received: 11/19/2025

Evaluation of Proposal by: RPD Office of the Fire Marshal

Suitability:

Strength:

Effectiveness:

Fire Resistance:

Durability:

Safety:

Sanitation:

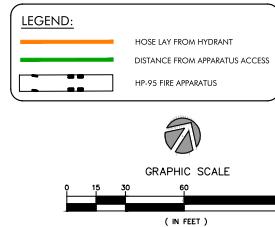
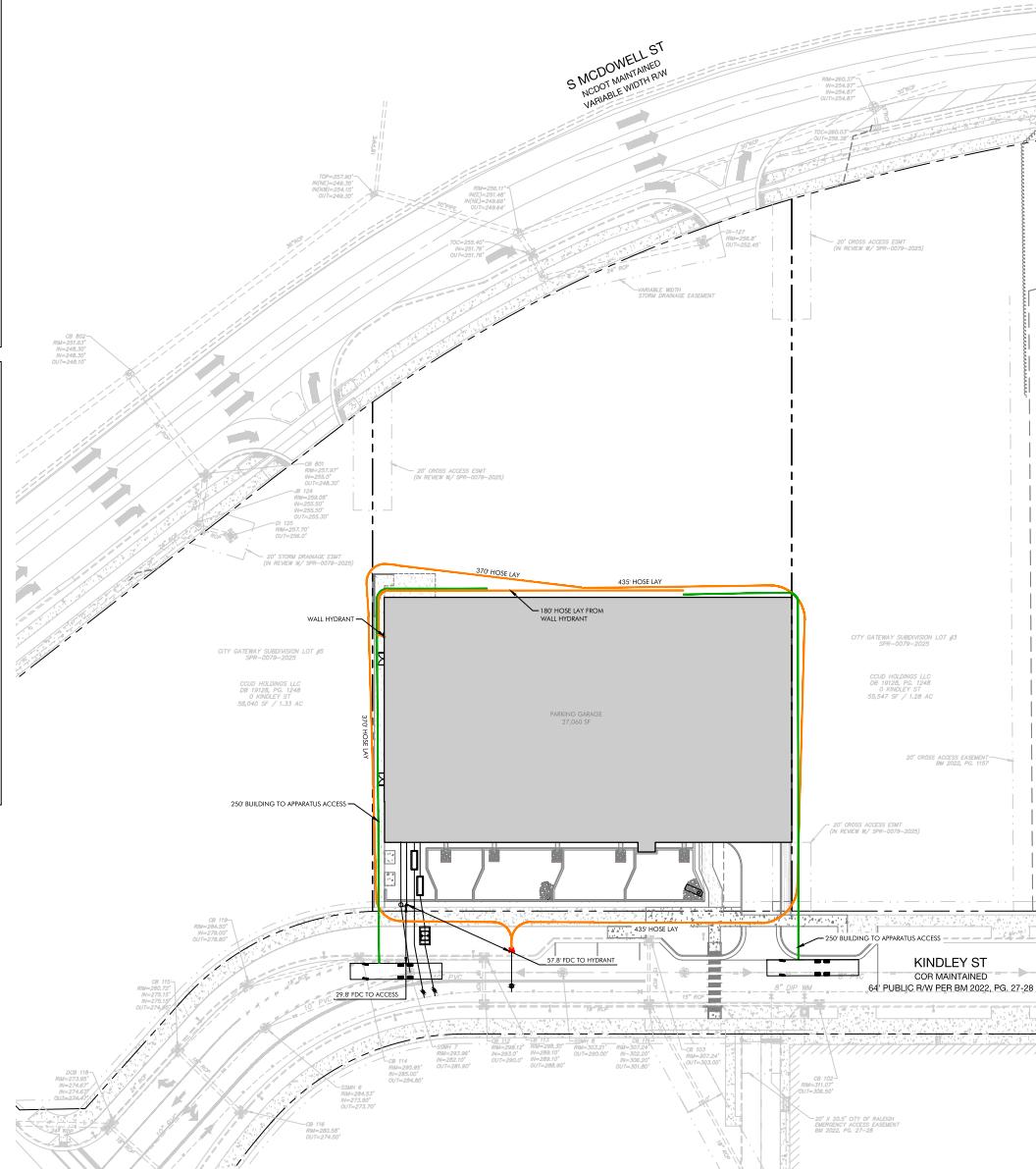
Recommended Action: APPROVE XXX DENY By: HT Bailey - Assistant Fire Marshal

Conditions:

Install Wall Hydrant - Backside of the building

Additional Information on Proposed Alternative:

Approved by: Kevin T. Bailey Assistant Fire Marshal Date: 11/25/2025



nc firm no: P-2671
ic coo no: C-03644

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

12/10/2025

CCUD Holdings LLC | 333 Fayetteville St, Raleigh, NC 27601
Administrative Site Review ASR-0028-2024 | 333 Fayetteville St, Raleigh, NC 27601

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024
Fire Access Exhibit
140 Kindley St, Raleigh, NC 27601

140 Kindley St, Raleigh, NC 27601

NO. DATE: BY: REVISIONS:
881 08/12/2025 USP AS REQUESTED
882 09/19/2025 USP AS REQUESTED
883 09/19/2025 USP AS REQUESTED
884 10/10/2025 USP AS REQUESTED

Project No.: 24-RDU-005

Date: 04/16/2025

Sheet No.:

C-9.0

...Becoming the
Leading Designer of
High Performance Facilities
in the Nation with a
Specialty in Alternative
Delivery Methods

The logo for SFL+A Architects. It features a stylized lowercase 's' and 'f' stacked vertically, followed by a plus sign, and a lowercase 'l' and 'a' stacked vertically to the right. Below the letters, the word 'ARCHITECTS' is written in a smaller, all-caps, sans-serif font.

Surface
Surface 678, P.A.
215 Morris Street, Suite 150
Durham, NC 27701
www.surface678.com
p: 919-419-1999
f: 919-419-1622

95% CD Progress Set

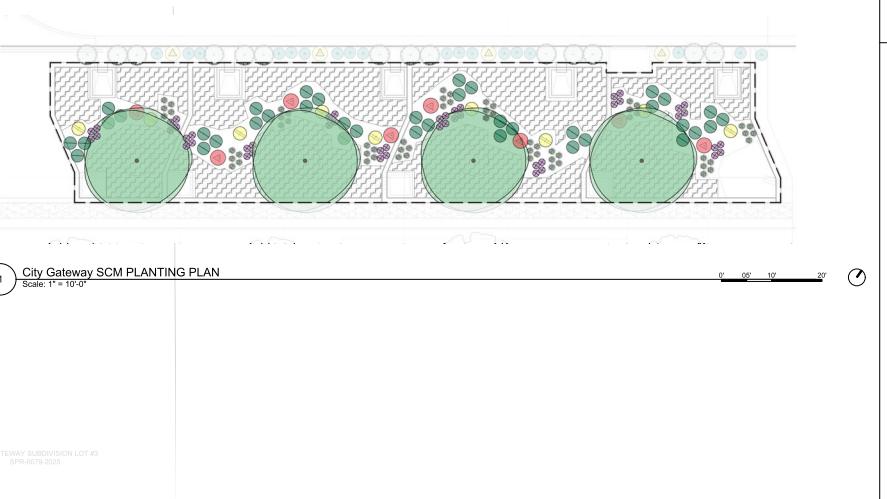
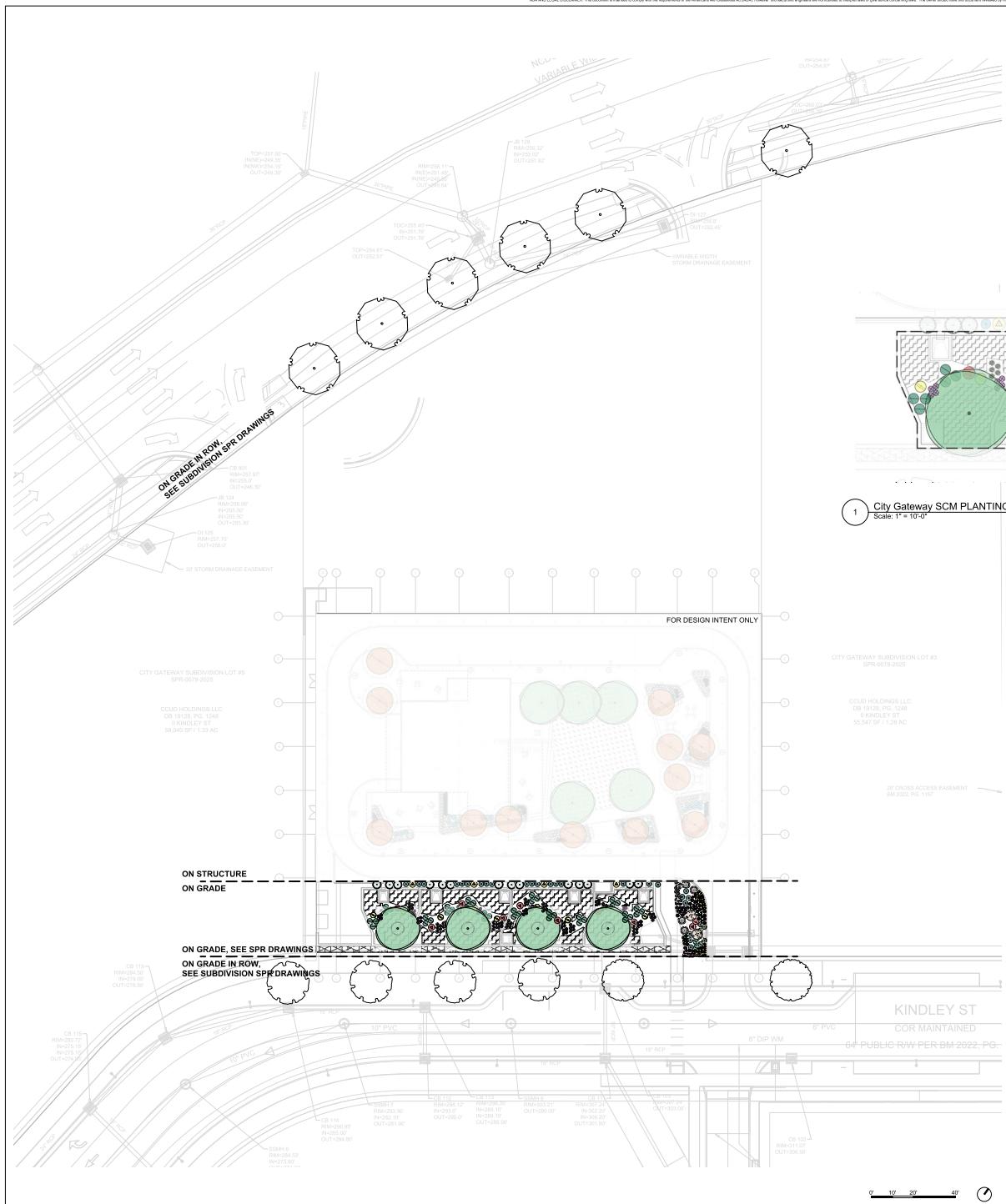
**Parking Facility with Plaza Roof Deck
City Gateway Subdivision - Lot 4**
104 Kindley Street, Raleigh, NC 27601

ISSUE DATE: 06/29/2025

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OVERALL PLANTING PLAN ASB

L-160



PLANT LEGEND	
	QL QUERICUS LYRATA / OVERCUP OAK (6) B&B, 3" CAL, 10'-12' HT REFER TO SUBDIVISION PLANS
	QN QUERICUS NUTTALLII / NUTTALL OAK (6) B&B, 3" CAL, 10'-12' HT REFER TO SUBDIVISION PLANS
	BETULA NIGRA / RIVER BIRCH (4) B&B, 10'-12' HT
	ILEX VERTICILLATA / WINTERBERRY (8) CONT: 18" HT
	ITEA VIRGINICA/ VIRGINIA SWEETSPIRE (60) CONT: 18" HT
	ILEX GLABRA / INKBERRY (6) CONT: 18" HT
	BAPTISIA ALBA / WHITE WILD INDIGO (9) CONT: 1 GA
	ECHINACEA PURPUREA / PURPLE CONEFLOWER (48) CONT: 1 GA
	PANICUM VIRGATUM AND CULTIVARS / SWITCHGRASS (324) CONT: 1 GA



FLOOR PLAN LEGEND

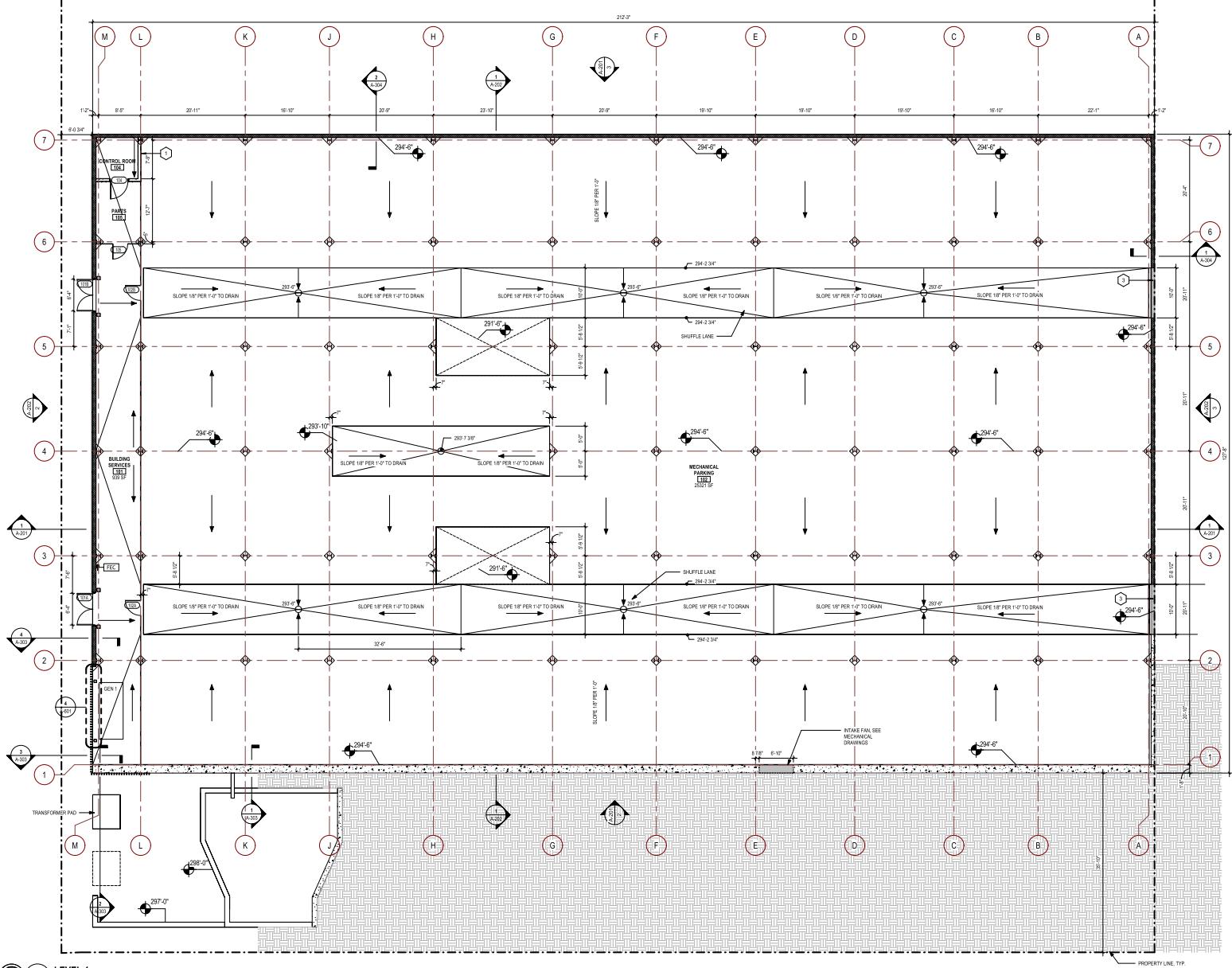
SYMBOL	DESCRIPTION
	STOREFRONT (CURTAIN WALL) TAG - SEE SHEET A-607 AND FLOOR PLANS
	WINDOW TAG - SEE SHEET A-601 AND FLOOR PLANS
	DOOR TAG - SEE SHEET A-401 AND FLOOR PLANS

GENERAL NOTES:

1. DIMENSIONS ARE TO FACE OF STUD OR CMU UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS IN ROOFTOP LOADING BAY SHALL HAVE SOUND ATTENUATION BATTs.

FLOOR PLAN KEY NOTES

- ① TERMINATE STUD WALL AT 9' AFF, CAP WITH GYPSUM CEILING
- ② CAST IN PLACE CONCRETE INFILL WALL TO BE REMOVED IN FUTURE PHASE
- ③ CMU INFILL WALL TO BE REMOVED IN FUTURE PHASE
- ④ PRIMARY SITE MONUMENT SIGN
- ⑤ GENERATOR EXHAUST, SEE STRUCTURAL FOR FLOOR PENETRATION DETAILS, SEE MECHANICAL FOR DUCTING DETAILS
- ⑥ SECONDARY SITE MONUMENT SIGN



Parking Facility with Plaza Roof Deck
CITY GATEWAY SUBDIVISION - LOT 4
140 KENDALY STREET



ISSUE DATE: 10/31/20

© 2025 S|L+a Architects, PA

**FLOOR PLAN -
LEVEL 1**

A-111

No.	Date	Description

ISSUE DATE: 10/31/2025

PROJECT #: 01605.630

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FLOOR PLAN - ROOF
DECK

A-112

ADA AND LEGAL DISCLAIMER: This document is intended to comply with the requirements of the Americans with Disabilities Act (ADA). However, architects and engineers do not attest to the accuracy of any text or graphics contained herein. The owner should have this document reviewed by the attorney to determine if it complies with ADA and other laws.

FLOOR PLAN LEGEND

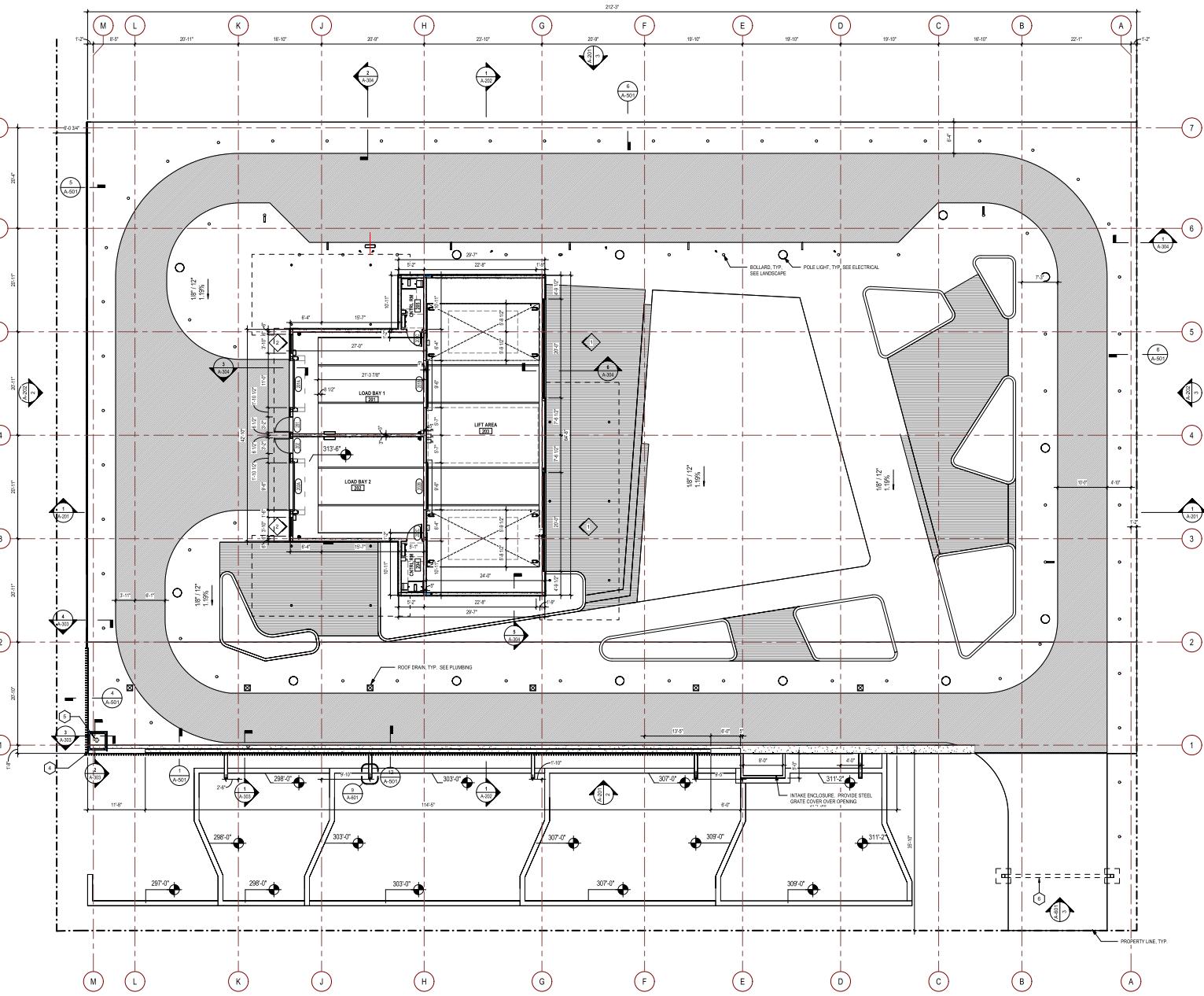
SYMBOL	DESCRIPTION
W2	STOREFRONT (CURTAIN WALL) TAG - SEE SHEET A-607 AND FLOOR PLANS
W3	WINDOW TAG - SEE SHEET A-607 AND FLOOR PLANS
DOOR	DOOR TAG - SEE SHEET A-601 AND FLOOR PLANS

GENERAL NOTES:

1. DIMENSIONS ARE TO FACE OF STUD OR CMU UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS IN ROOFTOP LOADING BAY SHALL HAVE SOUND ATTENUATION BATTING.

FLOOR PLAN KEY NOTES:

- 1. TERMINATE STUD WALL AT 9' AFF. CAP WITH GYPSUM CEILING
- 2. CAST IN PLACE CONCRETE INFILL WALL TO BE REMOVED IN FUTURE PHASE
- 3. CMU INFILL WALL TO BE REMOVED IN FUTURE PHASE
- 4. PRIMARY SITE MONUMENT SIGN
- 5. GENERATOR EXHAUST SEE STRUCTURAL FOR FLOOR PENETRATION DETAILS; SEE MECHANICAL FOR DUCTING DETAILS
- 6. SECONDARY SITE MONUMENT SIGN



CITY GATEWAY SUBDIVISION - LOT 4

Parking Facility with Plaza Roof Deck

The logo consists of a stylized sunburst icon with the word "energy" written in a cursive script across it, followed by the "ENERGY STAR PARTNER" text.

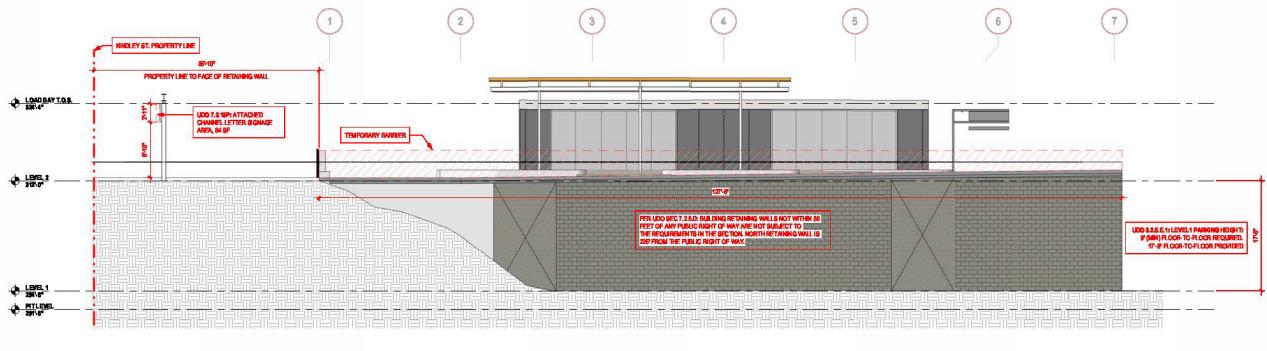
ISSUE DATE: 10/31/2025

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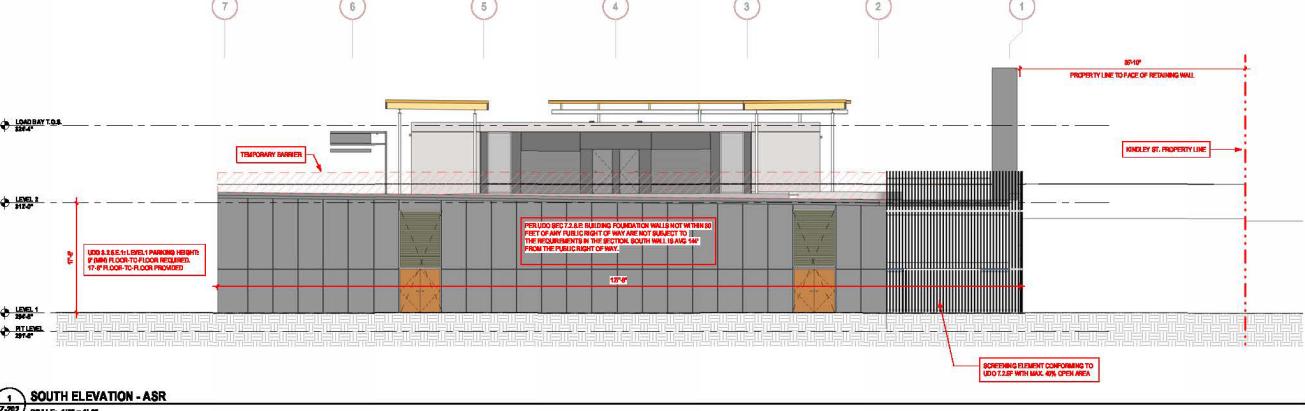
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ASR EXTERIOR ELEVATIONS

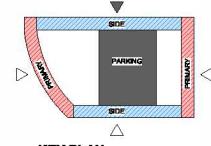
Z-202



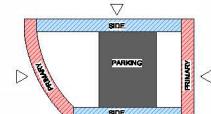
2
Z-202 NORTH ELEVATION - ASR
SCALE: 1/8" = 1'-0"



1 **SOUTH ELEVATION - ASR**
Z-202 **SCALE: 1/8" = 1'-0"**



KEY PLAN
NO SCALE



KEY PLAN