



Administrative Approval Action

Case File / Name: ASR-0028-2024
DSL - CITY GATEWAY SUBDIVISION II

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This vacant 1.63-acre site is located north of Martin Luther King Jr Boulevard, south of West South Street, east of South McDowell Street, and west of South Salisbury Street in Downtown Raleigh. It is zoned DX-20-CU. The site is proposed lot 4 of subdivision case SUB-0001-2023. The current site address is 130 Kindley Street.

REQUEST: The project proposes a structured parking facility with plaza roof deck. The 1-story, 27,060 square feet parking structure houses an automated mechanical parking system and features an improved plaza roof deck. The plaza roof deck provides vehicular access to load bays while providing user amenities and open space. Vehicles are parked in a load bay and mechanically conveyed to the lower-level storage rack. Another building will be added (overnight lodging) but will be reviewed separately.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUB-0001-2023: DSL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 10, 2025 by Urban Design Partners.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Plans shall demonstrate compliance with retaining wall standards, provide detailed plans for all proposed wall, and as applicable, comply with UDO Section 7.2.8. Retaining walls shall be issued either a building permit if it is greater than 5 feet in height, or a zoning permit if less than 5 feet in height. Permits shall be entered prior to plan approval.
2. Provide documentation the subdivision or recombination that created the proposed lot on which this development shall occur has been recorded (provide BM / PG information). A proposed building or structure may not be located across property lines.
3. Submit a full lighting plan for review (per Note 9 on Site Plan, Sheet C-3.0 of ASR). All proposed building and site fixtures shall be shown for review. Cut sheets for each type of fixture shall be provided along with lighting details. Plan shall show compliance with UDO Section 7.4.

Stormwater



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4. If required, a nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A stormwater control plan complying with UDO 9.2 and a stormwater operations and maintenance manual and budget shall be approved.
6. A Sediment and Erosion Surety associated with the land disturbance grading permit shall be paid to the City (UDO 9.4.4).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
-------------------------------------	----------------------------------

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots identified as Lots 3 & 4, and Lots 4 & 5 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A slope easement deed of easement along Kindley Street, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. All required stormwater easements shall be shown on all plats for recording (UDO 9.2 and Stormwater Design Manual Chapter 7).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. The subdivision plat associated with SUB-0001-2023 / SPR-0079-2025 shall be recorded prior to issuance of any building permit.

Stormwater

2. A Private Stormwater Device Surety equal to 125% of the cost of the construction of a stormwater device shall be paid (UDO 9.2.2.D.1.d).
3. All stormwater related easements shall be shown on all plats for recording (UDO 9.2, Stormwater Design Manual Chapter 7).

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 6 street trees along Kindley Street and 6 street trees along S. McDowell Street.

The following are required prior to issuance of building occupancy permit:

General

1. Per BOA-0058-2022, in lieu of compliance with the tree conservation ordinance, the property owner shall pay to the City of Raleigh an amount of \$16,000.00, subject to all the same terms and conditions set forth in the condition imposed in BOA-0048-2021. This condition applies in addition to the existing condition in BOA-0048-2021 and shall be satisfied at the same time, and concurrent with, the satisfaction of the condition set forth in BOA-0048-2021 (specifically, at or before issuance of a certificate of occupancy for a new building on Lot 2 or Lot 3, as shown on Book of Map 2022, Page 01157, Wake County Registry).
2. Final inspection of rights-of-way street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before



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permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 23, 2029

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan.McDonald@raleighnc.gov Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov,
CN=Keegan.McDonald@raleighnc.gov
Date: 2026.01.23 16:54:04-05'00' Date: 01/23/2026
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

City Gateway Parking Facility

130 Kindley St. Raleigh, NC 27601

City of Raleigh Administrative Site Review
ASR Case #: ASR-0028-2024
Submittal: 12/10/2025

 VICINITY MAP

TES:

THE MINIMUM CURB CLEARANCE FROM THE CURB LINE ON INTERSECTING STREETS SHALL BE MAINTAINED TO ALLOW THE POWER OF MANEUVERING FOR RESIDENTIAL DRIVEWAY. AND SIDEWALKS SHALL EXCEEDING ON THIS SIDE OF THE STREET.

17. ALL ERECTION WORK WILL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH SPECIFICATIONS FOR ERECTION OF SIGNAGE. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH SPECIFICATIONS

18. ALL SIGNAGE SHALL BE SECURED TO THE CURB AND TO STANDARDS.

19. ALL ABOVE GROUND UTILITY DEVICES (ON-SITE BUT NOT LIMITED TO) SHALL BE PROTECTED BY A PROTECTIVE DEVICE. ALL PROTECTIVE DEVICES SHALL BE SCREENED FROM PUBLIC VIEW BY ERECTION OF A CURB.

20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LIMITED MOBILITY, OR ARE OTHERWISE HANDICAPPED. ANY SIGNAGE, STRUCTURE, AND ALTERNATE PERSPECTIVES DURING CONSTRUCTION WILL REQUIRE THE CONSTRUCTION OF A SIDEWALK OR RAMP TO MAINTAIN ACCESSIBILITY (INCLUDING, BUT NOT LIMITED TO STANDARDS FOR DEVELOPING THE MARKET AND ACCESSIBILITY STANDARDS FOR THE CITY OF RALEIGH).

21. IF UNFORESEEN CONDITIONS ARISE DURING CONSTRUCTION, REFER TO CITY OF RALEIGH SPECIFICATIONS FOR CONSTRUCTION OF TEMPORARY SIDEWALKS FOR THE CITY OF RALEIGH DEPARTMENT FOR FURTHER GUIDANCE.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT OF ANY CHANGES TO THE CONSTRUCTION. CONTACT ENGINEERING INQUIRIES AT 919.995.4609 TO 919.995.4609.

23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CITY CONTROL AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

25. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE CLOSURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, CONTACTS, AND SEND THE ROAD-TO-ROAD CLOSURE TO THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT.

26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TEMPORARY SIDEWALKS SHALL BE IN PLACE.

CONTACT INFO:

OWNER:
COLD HOLDINGS LLC
CONTACT: ROBERT FERRELL, AS, REPLY, LEED AP
ADDRESS: 333 FAYETTEVILLE ST.
SUITE 225
BALTIMORE, MD 21201
PHONE: 919-780-8926

CIVIL ENGINEER:
URBAN DESIGN PARTNERS PLLC
CONTACT: SALMAN HOSSEINI, PE
ADDRESS: 150 FAYETTEVILLE ST.
SUITE 1310
BALTIMORE, MD 21201
PHONE: 919-275-5502

ARCHITECT:
SL+A
CONTACT: BARRY BUCKMAN, AIA, GCP
ADDRESS: 333 FAYETTEVILLE ST.
SUITE 225
BALTIMORE, MD 21201
PHONE: 919-780-8926

LANDSCAPE ARCHITECT:
SURFACE 678
CONTACT: CHARLIE BRIDLEY, PLA
ADDRESS: 215 MORRIS STREET
SUITE 150
DURHAM, NC 27701
PHONE: 919-282-9127

DEVELOPMENT SUMMARY:

TAIR PCEID ID #:	170058561 / 170057221
ESTIMATING DEDUCT:	DE-60 CU
PROPOSED ZONING:	DE-60 CU
TOTAL SITE AREA:	1.63 AC
LOT AREA (MIN/MAX):	N/A
LOT FRONT (MIN/MAX):	N/A
OUTDOOR AMENITY:	10%
PROPOSED:	SEE C-3.2
PRIMARY STREET:	KINGSLEY STREET
BUILDING-STRUCTURE SETBACKS:	
FRONT STREET:	3'
REAR STREET:	3' OR 3' (KINGSLEY ST.)
LEFT SIDE LINE (MIN):	0' OR 6'
RIGHT SIDE LINE (MIN):	0' OR 6'
REAR LOT LINE (MIN):	0' OR 6' (SEE LOT LINE)
PROPOSED:	SEE C-3.2
HEIGHT:	10 STORIES
MAX. BUILDING HEIGHT:	40 STORIES
PROPOSED:	1 STORY
FLOOR HEIGHT:	
GROUND STORY FLOOR HEIGHT (MIN):	9' FLOOR TO FLOOR
PROPOSED:	SEE ARCH PLANS
TRANSPARENCY:	
GROUND STORY LINE:	50%
PROPOSED:	SEE ARCH PLANS
UPPER STORY LINE:	50%
PROPOSED:	SEE ARCH PLANS
BLANK WINDOW:	50%
PROPOSED:	SEE ARCH PLANS
PROPOSED USE:	PARKING FACILITY
BUILDING GFA:	55,144 SF
VEHICLE PARKING:	
REQUIRED:	N/A
PROPOSED:	228 CARS
BICYCLE PARKING:	
LONG TERM:	NONE
PROPOSED:	SEE LANDSCAPE PLANS
SHORT TERM:	NONE
PROPOSED:	SEE LANDSCAPE PLANS

Sheet Index

Sheet Number	Sheet Title	Original Date	Revision Date
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C-1.1	Reasoning Conditions	8/12/2024	
---	Site Survey - Sheet 1	3/6/2023	
---	Site Survey - Sheet 2	3/6/2023	
---	Site Survey - Sheet 3	3/6/2023	
C-2.0	Existing Conditions	5/8/2024	12/10/2025
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C-2.0	Site Plan	5/8/2024	12/10/2025
C-3.1	Amenity Area & Accessible Route Plan	5/8/2024	12/10/2025
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**BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!**



**URBAN
DESIGN
PARTNERS**

150 fayetteville at ste 1310
raleigh, nc 27601
» 919.275.5002
urbandesignpartners.com

CCUD Holdings LLC

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

Cover Sheet

NO.	DATE:	BY: REVISIONS:
001	06/12/2024	LOP ASR RESUBMIT
002	02/19/2025	LOP ASR RESUBMIT
003	09/12/2025	LOP ASR RESUBMIT
004	12/10/2025	LOP ASR RESUBMIT

Project No: 24-RDU-005

Sheet No:

C-1.0

ORDINANCE NO. (2023) 549 ZC 864

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF RALEIGH WHICH INCLUDES THE ZONING DISTRICT MAP

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RALEIGH:

Section 1. That Part 10 of the City of Raleigh Code, which includes the Zoning District Map, be and the same if hereby amended as follows:

1. **Z-88-22 - 0, 130, 131, Kindley Street**, located northeast of the interchange of South McDowell Street and Martin Luther King Jr. Boulevard, being Wake County PINs 1703557221, 1703559286, 1703558561. Approximately 6.74 acres rezoned to Downtown Mixed Use 40-stories-Conditional Use (DX-40-CU)

Conditions dated: August 9, 2023

1. The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the DX- district shall be prohibited: (i) Adult establishment; (ii) Detention center, jail, prison; (iii) Light Manufacturing; (iv) Vehicle repair (minor); and (v) Vehicle repair (major).

- ASR-0028-2034 Description: No (i) Adult establishment; (ii) Detention center, jail, prison; (iii) Light Manufacturing; (iv) Vehicle repair (minor); and (v) Vehicle repair (major) will be included in the development of the site.

2. The following conditions shall apply only to development qualifying as a Tier 3 site plan:

- a. **Build-To Along Kindley Street:** This condition shall apply to that area measuring fifty (50) feet in depth, as measured from the Kindley Street Right-of-Way, along the rezoning assemblage's common boundary line with the Kindley Street Right-of-Way (the "Build-to Area"). At least fifty percent (50%) of the assemblage's Build-to Area shall be occupied by building facades, including parking structures, and/or amenity areas provided in accordance with UDO section 1.5.6.C.4. Build-to shall not be calculated on a per lot-width basis, but shall be calculated based on the assemblage's frontage along the north side of the Kindley Street Right-of-Way, and shall be separately calculated based on the assemblage's frontage along the south side of the Kindley Street Right-of-Way. For permitted reductions of the build-to percentage set forth in UDO section 1.5.6.C, shall apply to the build-to standards in this condition. Nothing herein shall prevent the development of a lot within the assemblage, even if the development on that lot does not comply with the build-to requirements of this condition, so long as the undeveloped properties within the assemblage could be developed in a way that complies with the build-to.

- ASR-0028-2024 Description: More than 50% (close to 100%) of the build to area, measuring 50' in depth, along Kindley Street is occupied by the parking structure facade, and amenity areas located in front of and on the plaza.

- b. **Primary Street Facing Entrances Along Kindley Street:** For each occupied building (not including parking structures) located within 100 feet of the Kindley Street right-of-way, there shall be at least one (1) building entrance that either (i) faces Kindley Street, or (ii) faces an amenity area that meets the requirements of UDO section 1.5.6.C.4. A building entrance that is located within 100 feet from the Kindley Street right-of-way and on a building facade that is oriented less than 90 degrees relative to the Kindley Street right-of-way shall be considered street-facing for the purpose of this condition.

- ASR-0028-2024 Description: There are no occupied buildings located within 100 feet of the Kindley Street right-of-way on this project.

- c. **Direct Pedestrian Access Along Kindley Street:** Each occupied building (not including parking structures) located within 100 feet of the Kindley Street right-of-way shall have at least one (1) pedestrian connection between the building and the sidewalk within the Kindley Street right-of-way.

- ASR-0028-2024 Description: Although there are no occupied buildings located within 100 feet of the Kindley right of way, pedestrian access to the plaza is provided on both sides of the driveway to the plaza parking loading bays, and connects the entire plaza and the plaza entrance to the hotel.

- d. **Limited Surface Parking Along Kindley Street:** This condition shall apply to that area measuring fifty (50) feet in depth, as measured from the Kindley Street right-of-way, along the property's common boundary line with the Kindley Street right-of-way (the "Limited Surface Parking Area"). Within the Limited Surface Parking Area, no more than fifteen percent (15%) of this area shall be surface parking. Surface parking permitted within the Limited Surface Parking Area shall only be used for the following purposes: handicap, drop-off/pick-up, new resident parking, and ride share parking.

- ASR-0028-2024 Description: There is no surface parking located within 50 feet of the Kindley Street right-of-way, or on the plaza. There is a limited drop-off/pick-up/ride share area for 3-4 cars parallel to the exit road of the plaza driveway which is within the Limited Surface Parking Area, and allowed by the conditional use.

- e. **No Surface Parking Along Martin Luther King Jr. Boulevard:** There shall be no surface parking within fifty (50) feet of the Martin Luther King Jr. Boulevard right-of-way. For purposes of this condition, the fifty (50) feet in depth where surface parking is prohibited shall be measured from the Martin Luther King Jr. Boulevard right-of-way, along the property's common boundary line with the Martin Luther King Jr. Boulevard right-of-way.

- ASR-0028-2024 Description: Not applicable. This project is not located within 50 feet of Martin Luther King Jr. Blvd.

- f. **Bike and Pedestrian Access Easement Extension along the North Carolina Railroad Corridor:** Prior to issuance of a building permit for a Tier 3 site plan for the property at 0 Kindley Street (Deed Book 019128, Page 01248), the property owner shall dedicate a 20-foot bike/ped path access easement along the property's common boundary line with

the North Carolina Railroad Company property (Deed Book 000338, Pages 00407 and 00410) in order to make a connection to Martin Luther King Jr. Boulevard, and such easement shall align with the existing 20-foot bike/pedestrian path access easement located on 121 Kindley Street (New Lot 1 on the Gateway South Subdivision Plat recorded at BM2322, Page 00028).

- ASR-0028-2024 Description: Not Applicable to this project.

- g. **Affordable Housing:** For any approved site plan containing residential units on the subject property, the property owner shall pay to the City a total of \$40,000.00 per unit for one percent (1%) of all site plan approved dwelling units. Total site plan approved dwelling units multiplied by 1% shall be measured to the hundredth decimal point. The payment shall be placed in the fund designated for the City's Affordable Housing Program. Upon determination of the payment amount, the amount may be payable in five annual installments, with the first payment being due prior to the issuance of the first certificate of occupancy and with each other annual installment due on or before the same day of the successive years, although the property owner has a right to prepay any amounts due. Prior to the issuance of any building permit, this payment obligation shall be evidenced by a promissory note to the City. If a sale of the project or the property (or a portion thereof), including a sale of controlling interests of an ownership entity within the project, occurs subsequent to the issuance of the first building permit and prior to the payment in full of the sum described within this condition, any outstanding amount shall be paid prior to the change of ownership.

- ASR-0028-2024 Description: Not Applicable, this project does not contain residential units.

- h. **Outdoor Amenity Area:** The development shall provide one (1) contiguous outdoor amenity area of at least 5,000 square feet in size. The outdoor amenity area is eligible to be counted toward the development's fifty percent (50%) ground-level outdoor amenity requirement if code requirements for such amenity area are met. The outdoor amenity area must provide the following:

- (i) in addition to any trees required by UDO Sec. 1.5.3.C.3, five (5) trees that are at least 6 feet in height or have a minimum caliper of 2 inches at time of planting; and
- (ii) a commemorative plaque related to the City of Raleigh's Southside Urban Renewal Project.

The outdoor amenity area must receive permitting prior to the issuance of a certificate of occupancy for the building located closest to the proposed outdoor amenity area.

- ASR-0028-2024 Description: This project provides over 18,000 square feet of contiguous outdoor amenity area on the plaza as shown on C-3.1 as Amenity Area 2. UDO Sect. 1.5.3.C.3 requires this project to provide (6) trees. This project is providing (21) trees, (13) more than required. Fourteen are located on the plaza, (7) are located at grade on the McDowell side of the property, as shown on L-1.1. A commemorative plaque will be provided, see L-1.1.



150 Fayetteville St. # 1310
Raleigh, NC 27601
P: 919.275.5000
u@urbandesignpartners.com

NC Form no. P-2671 JC Code no. C-03044

PRELIMINARY DRAWING
FOR INFORMATION PURPOSES ONLY

12/18/2023

CCUD Holdings LLC

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

Rezoning Conditions
1.40 Kindley, St., Raleigh, NC 27601

NO.	DATE	BY	REVISIONS
001	08/10/2024	ESF	ASR REQUEST
002	02/12/2025	USP	ASR REQUEST
003	06/12/2025	USP	ASR REQUEST
004	12/18/2025	USP	ASR REQUEST

Project No: 24-RDU-005

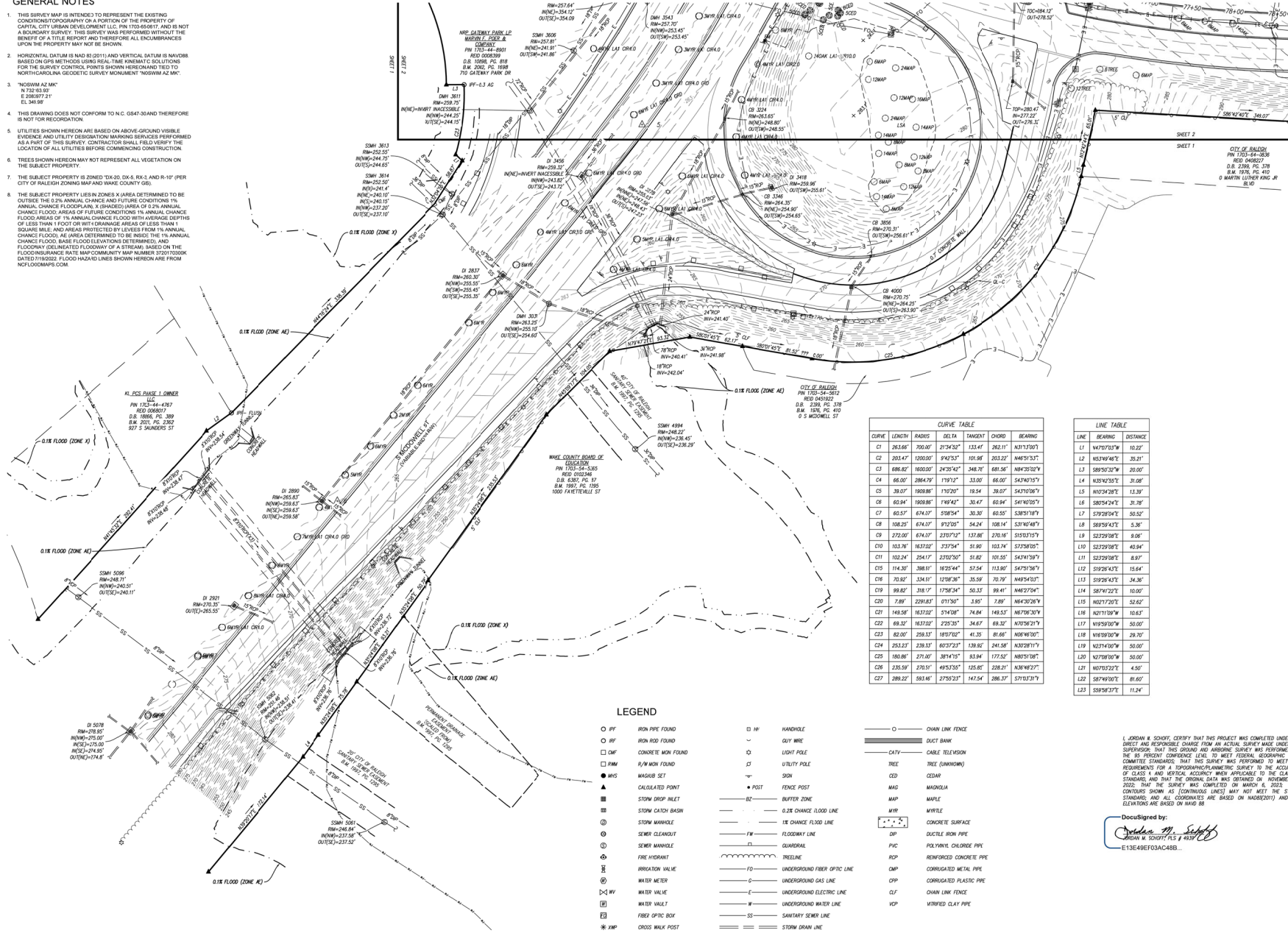
Date: 04/16/2025

Sheet No:

C-1.1

GENERAL NOTES

1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS TOPOGRAPHY ON A PORTION OF THE PROPERTY OF CAPITAL CITY URBAN DEVELOPMENT LLC, PM 1703-04-308, AND IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD83. BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON. TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENT 7650NM VZ MC.
3. "NORMAN AZ MC" N 73.00 S E 208.97' 7.149 98
4. THIS DRAWING DOES NOT CONFORM TO N.C. 6647-30 AND THEREFORE IS NOT FOR RECORDATION.
5. UTILITIES SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE EVIDENCE AND UTILITY DEFORMATION MARKING SERVICES PERFORMED AS A PART OF THIS SURVEY. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
7. THE SUBJECT PROPERTY IS ZONED TOX-20, OR-A, R-X-3 AND R-10' (PER CITY OF RALEIGH ZONING MAP AND WAKE COUNTY GIS).
8. THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) AND FLOOD ZONE X (AREA DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOOD). AREAS OF FUTURE CONDITIONS 1% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, ARE AREA DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOOD. BASED ON FLOOD ELEVATIONS DETERMINED AND FLOODWAY DELINEATED FLOODWAY OF A STREAM, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 1700170000 DATED 7/18/2022. FLOOD HAZARD LINES SHOWN HEREON ARE FROM NCELOCATIONS.COM



LEGEND

- FF IRON PIPE FOUND
- RF IRON ROD FOUND
- CMF CONCRETE MON FOUND
- RM R/W MON FOUND
- MVS MAGNET SET
- ▲ CALCULATED POINT
- STORM DRAIN INLET
- STORM CATCH BASIN
- STORM MANHOLE
- SEWER CLEANOUT
- SEWER MANHOLE
- FIRE HYDRANT
- IRRIGATION VALVE
- WATER METER
- WATER VALVE
- WATER VAULT
- FIBER OPTIC BOX
- CROSS WALK POST
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POLE
- POWER BOX/METER
- HF HANDHOLE
- DUCT WIRE
- LIGHT POLE
- UTILITY POLE
- SIGN
- POST
- BZ BUFFER ZONE
- 0.2% CHANCE FLOOD LINE
- 1% CHANCE FLOOD LINE
- FM FLOODWAY LINE
- GUARDRAIL
- TRELLE
- FG UNDERGROUND FIBER OPTIC LINE
- G UNDERGROUND GAS LINE
- E UNDERGROUND ELECTRIC LINE
- W UNDERGROUND WATER LINE
- SS SANITARY SEWER LINE
- DWH OVERHEAD WIRE
- U UNIDENTIFIED LINE
- UNKNOWN DESTINATION

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING
C1	263.66'	700.00'	2134.52'	133.41'	262.11'	N31°17'00"
C2	203.47'	1200.00'	1423.53'	101.88'	203.22'	N45°31'30"
C3	686.47'	1800.00'	2435.42'	346.78'	681.56'	N47°30'10"
C4	66.00'	2864.79'	1791.24'	33.00'	66.00'	S43°40'10"
C5	39.07'	1809.88'	1702.07'	19.34'	39.07'	S43°40'10"
C6	46.94'	1809.88'	1749.27'	30.17'	46.94'	S47°40'10"
C7	60.67'	1714.37'	1598.54'	36.30'	60.65'	S38°51'00"
C8	108.28'	1714.37'	1732.05'	54.24'	108.14'	S31°46'00"
C9	272.08'	1714.37'	2370.12'	137.86'	270.98'	S31°46'00"
C10	103.78'	1637.02'	2373.54'	51.90'	103.74'	S37°58'00"
C11	102.24'	2541.7'	2370.70'	51.82'	101.55'	S47°41'30"
C12	114.30'	288.11'	1625.44'	57.54'	113.80'	S47°41'30"
C13	70.92'	334.11'	1298.36'	35.59'	70.79'	N45°43'00"
C14	99.82'	318.17'	1758.34'	50.33'	99.41'	N45°43'00"
C15	7.89'	2291.83'	0713.01'	3.95'	7.89'	N45°43'00"
C16	149.58'	1637.02'	2143.08'	74.84'	149.53'	N47°40'10"
C17	69.32'	1637.02'	225.35'	34.67'	69.32'	N07°36'21"
C18	82.00'	258.33'	1870.02'	41.35'	81.66'	N08°16'00"
C19	253.23'	238.33'	6037.23'	136.92'	241.58'	N30°28'11"
C20	180.88'	271.00'	3614.15'	83.94'	177.52'	N45°43'00"
C21	235.58'	270.51'	4953.55'	125.85'	228.21'	N08°40'10"
C22	289.22'	393.48'	2750.23'	147.54'	286.37'	S71°03'21"

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N47°40'10"	10.22'
L2	N53°49'46"	35.21'
L3	S89°03'30"	20.00'
L4	N35°42'55"	31.08'
L5	N03°34'28"	13.59'
L6	S40°54'24"	31.78'
L7	S79°59'47"	50.50'
L8	S69°59'47"	5.36'
L9	S27°59'47"	8.90'
L10	S27°59'47"	49.84'
L11	S27°59'47"	8.90'
L12	S19°28'43"	15.64'
L13	S19°28'43"	34.38'
L14	S87°41'22"	10.00'
L15	N02°17'20"	52.62'
L16	N01°11'09"	10.63'
L17	N19°59'00"	50.00'
L18	N19°59'00"	29.70'
L19	N23°41'00"	50.00'
L20	N27°08'00"	5.00'
L21	N07°03'22"	4.50'
L22	S87°40'10"	81.60'
L23	S59°59'37"	11.24'

DocuSigned by:

 JORDAN M. SCHOFF PL 1 4537
 E13E40F03AC4B...



STEWART
 5415 OLD POOL RD
 RALEIGH, NC 27607
 T 919.380.8710
 FROM LICENSE # C-1081
 PROJECT # 2



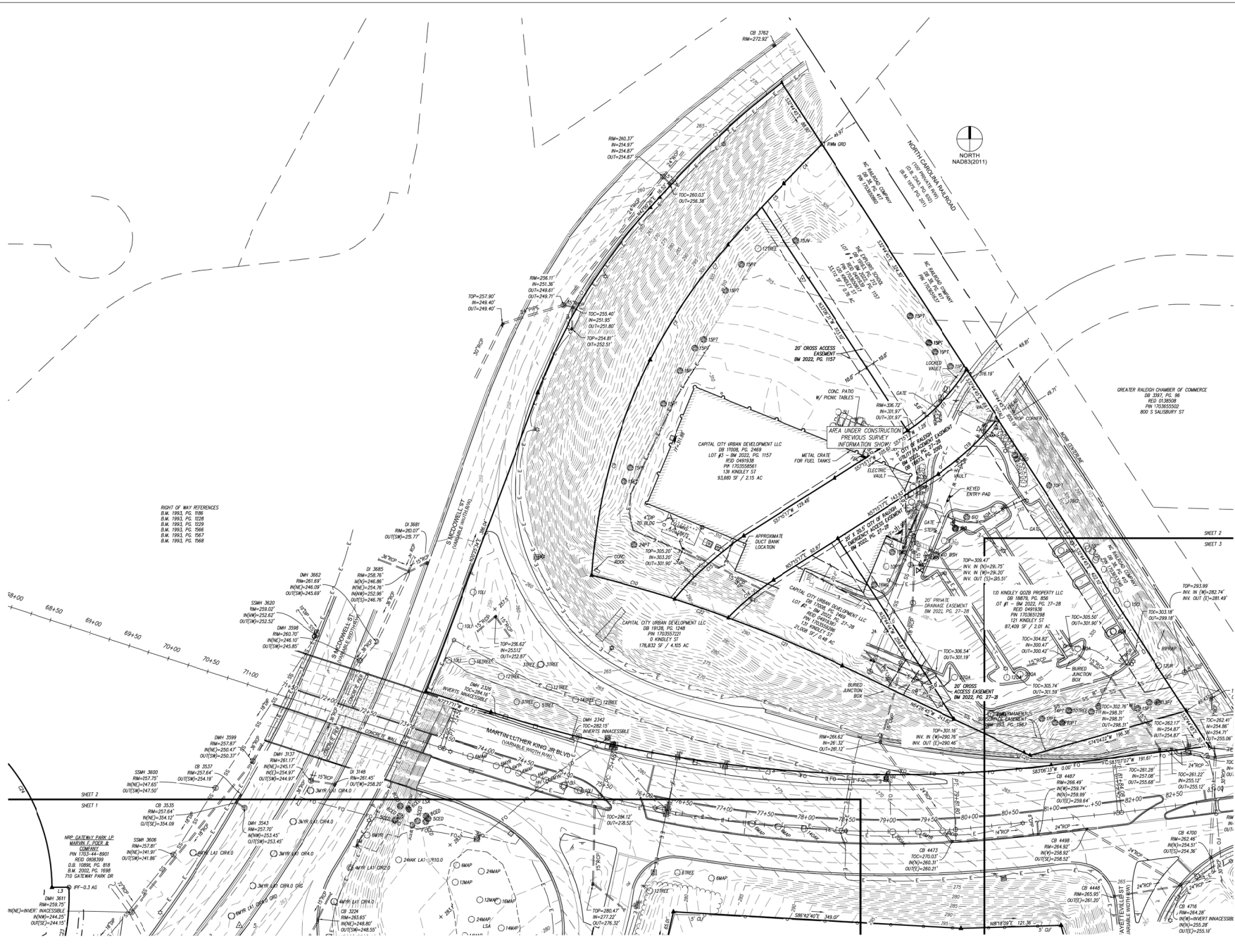
Title:
EXISTING CONDITIONS SURVEY FOR:

CITY GATEWAY

RALEIGH TOWNSHIP, CITY OF RALEIGH
 WAKE COUNTY, NORTH CAROLINA
 DATE: 02-07-23 SCALE: 1" = 50'
 CONTOUR INTERVAL = 1 FOOT
 PREPARED FOR:
 CAPITAL CITY URBAN DEVELOPMENT, LLC

Revisions:		
No.	Date	Description

Project #: G21173 Sheet:
 Date: 03/06/2023
 Drawn by: NMH
 Checked by: JMS

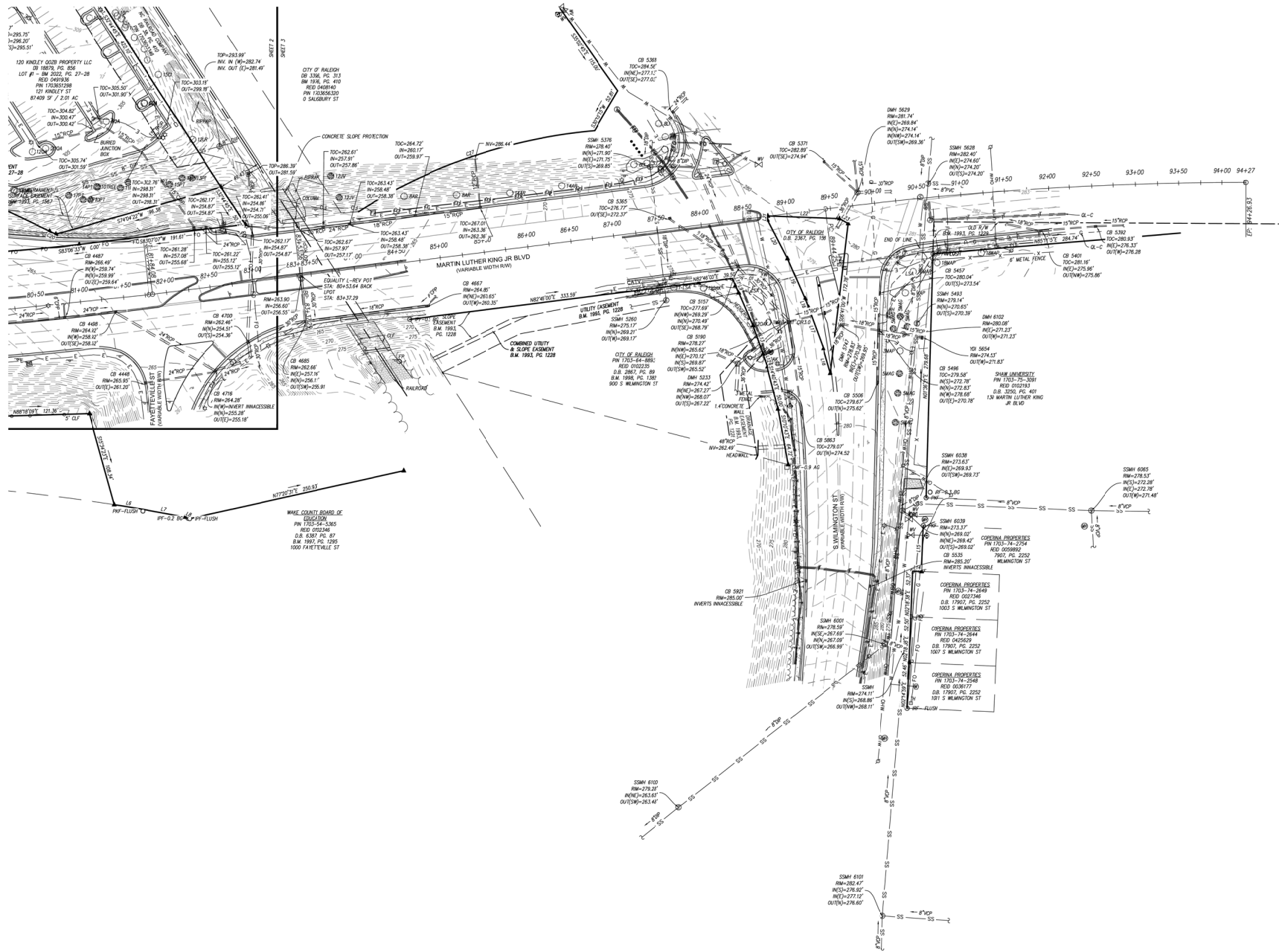


STEWART
5415 OLD POOLE RD
RALEIGH, NC 27610
T 919.380.8754
FIRM LICENSE # C-1084
NORTH CAROLINA
PROJECT # 021173



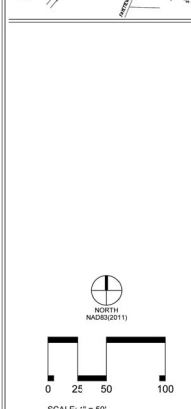
Revisions:
No. Date Description
1. 02/07/23 Initial Survey
2. 02/07/23 Final Survey
3. 02/07/23 Final Survey
4. 02/07/23 Final Survey
5. 02/07/23 Final Survey
6. 02/07/23 Final Survey
7. 02/07/23 Final Survey
8. 02/07/23 Final Survey
9. 02/07/23 Final Survey
10. 02/07/23 Final Survey

Project #: G21173 Sheet:
Date: 03/08/2023
Drawn by: NMH
Checked by: JMS
2 of 3



STEWART

5415 OLD POOL ROAD
RALEIGH, NC 27603
P.O. BOX 380
PROJECT # G21173



Title:

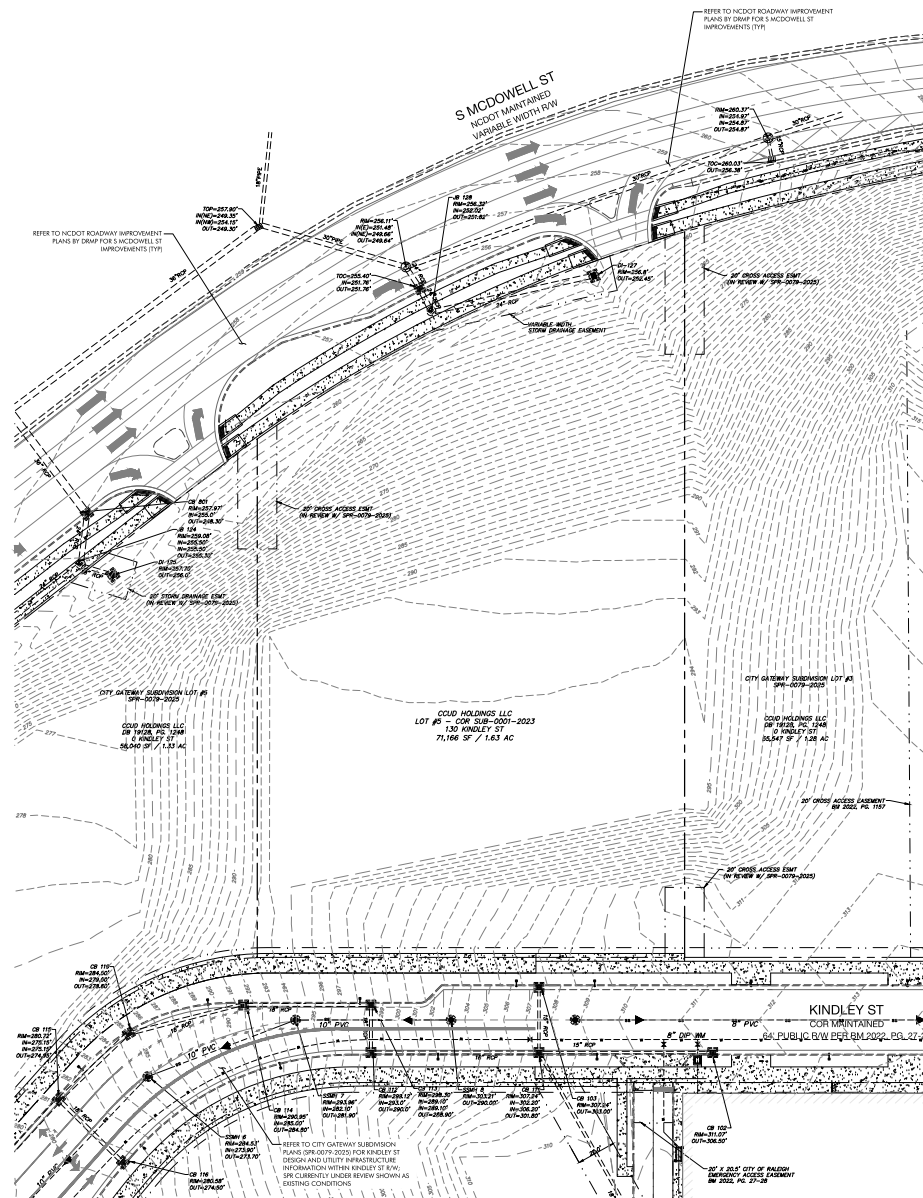
**EXISTING CONDITIONS
SURVEY FOR:**

CITY GATEWAY

RALEIGH TOWNSHIP, CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA
DATE: 02-07-23 SCALE: 1" = 50'
CONTOUR INTERVAL = 1 FOOT
PREPARED FOR:
CAPITAL CITY URBAN DEVELOPMENT, LLC

Revisions:		
No.	Date	Description

Project #: G21173 Sheet:
Date: 03/08/2023
Drawn by: NMH
Checked by: JMS



EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS SURVEY PROVIDED BY: STEWART, 3410 OLD POOLE RD, RALEIGH, NC 27610, (919) 381-8750.
- 5 MCDOWELL STREET IMPROVEMENTS ARE SHOWN AS DESIGNED BY DRWP PLANS DATED 02/02/2024.
- ADDITIONAL DATA USED FROM CITY GATEWAY SUBDIVISION PLANS DESIGNED BY URBAN DESIGN PARTNERS DATED 06/22/2023 CURRENTLY IN REVIEW BY CITY OF RALEIGH, CORP. # 19R-0019-2023.



150 Fayetteville St. # 1310
Raleigh, NC 27601
P: 919-375-5000
info@urbandesignpartners.com

NC Form no. F-2671 NC case no. C-03044

FOR
REFERENCE
ONLY

12/18/2023

CCUD Holdings LLC

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

Existing Conditions
140 Kindley St., Raleigh, NC 27601

NO DATE BY: REVISIONS

Project No: 24-RDU-005

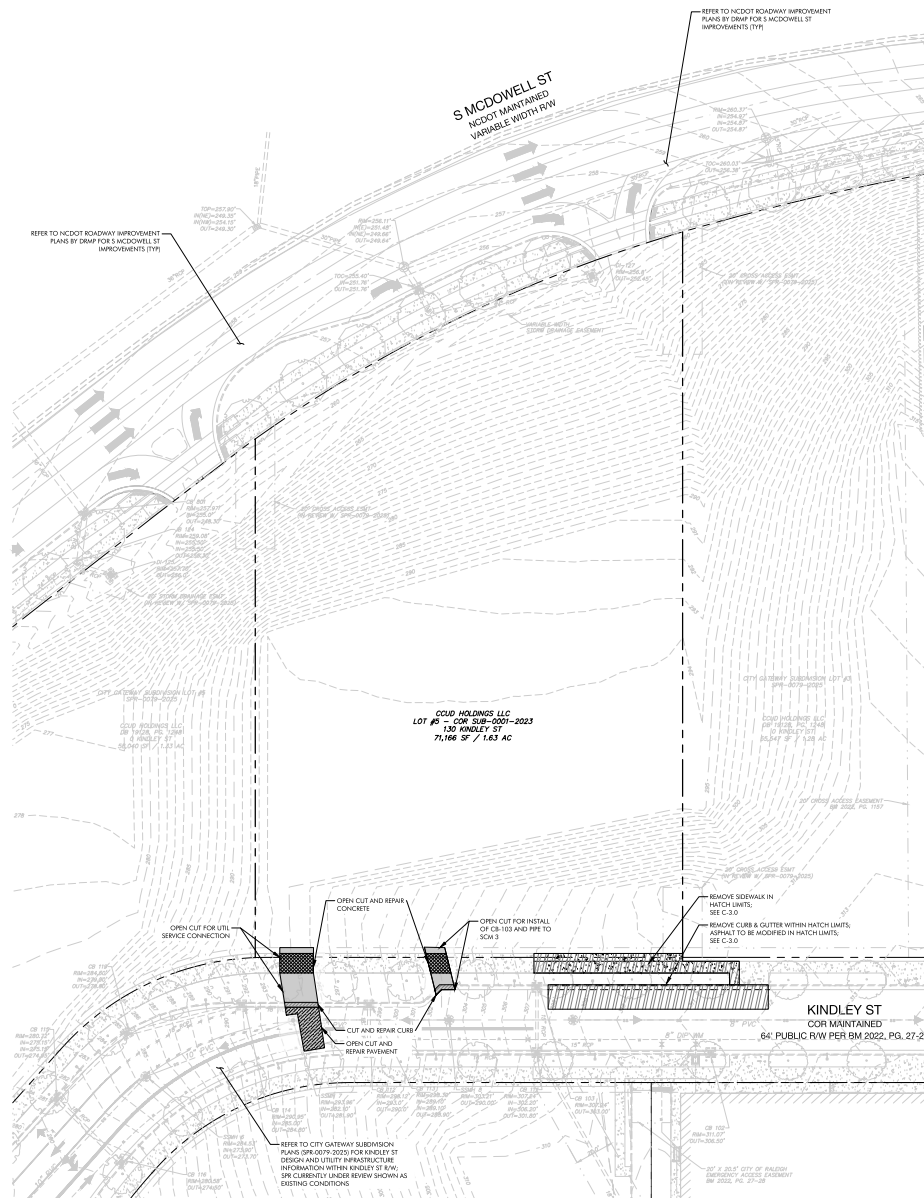
Date: 04/16/2025

Sheet No:

C-2.0



0 15 30 60 120
[IN FEET]
1 inch = 30 ft

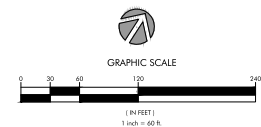


DEMOLITION NOTES:

- EXISTING INFORMATION ON THIS PLAN WAS TAKEN FROM A SURVEY PREPARED BY:
STEWART
5416 OLD POOLE RD
RALEIGH, NC 27610
(919) 886-8755
- CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND SEQUENCING OF DEMOLITION OR RELOCATION OF UTILITIES WITH APPLICABLE UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY NORTH CAROLINA ONE CALL: (800) 332-4949 AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTRACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL.
- CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SURFACE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO START OF DEMOLITION.
- EROSION CONTROL PERMIT SHALL BE OBTAINED AND ON-SITE PRIOR TO START OF DEMOLITION.
- IF ANY ITEMS ARE DESIGNATED TO BE SALVAGED AND/OR RE-USED, THEY SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
- WHERE UTILITIES TO BE REMOVED IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXCISE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PERMITS AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC.) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PERMITS AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, SIDEWALK, AND CURB AND GUTTER TO REMAIN AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION PHOTO DOCUMENTATION TO SHOW THAT NO DAMAGES OCCURRED.
- ALL MATERIALS, UTILITIES, AND PERMITS THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- WHERE UTILITIES ARE SHOWN TO BE REMOVED, CONTRACTOR SHALL INCLUDE NECESSARY PLUGS OR VALVES TO ENSURE UTILITY LINES TO REMAIN WILL CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.
- CONTRACTOR TO HAVE ALL PHASE 1 EROSION CONTROL IN PLACE BEFORE SITE DEMOLITION OCCURS.

DEMOLITION LEGEND:

- EXISTING HARDSCAPE TO BE REMOVED
- OPEN CUT AND REPAIR ASPHALT
- OPEN CUT AND REPAIR CONCRETE SIDEWALK
- CUT AND REPAIR CURB
- OPEN CUT EXTENTS



150 Fayetteville St., Suite 1310
Raleigh, NC 27601
P: 919.375.5000
info@urbandesignpartners.com

NC Form No. F-2671 SC Case No. C-03044

PRELIMINARY DRAWING
Contract Documents Govern

12/18/2025

CCUD Holdings LLC

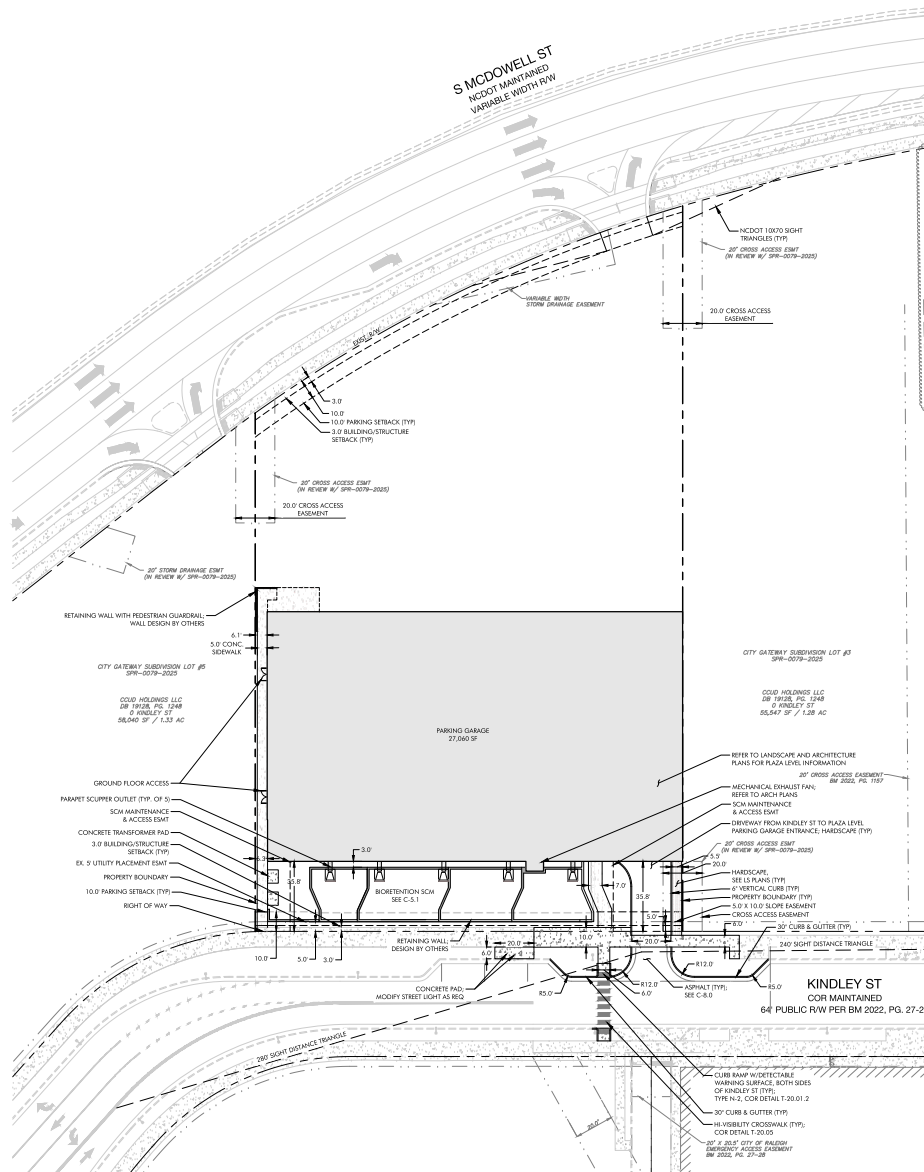
City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

Demolition Plan
140 Kindley St., Raleigh, NC 27601

NO.	DATE	REV.	DESCRIPTION
0001	08/15/2024	001	ASR PRELIMINARY
0002	02/10/2025	002	ASR REVISION
0003	09/12/2025	003	ASR REVISION
0004	12/18/2025	004	ASR REVISION

Project No: 24-RDU-005
Date: 04/16/2025
Sheet No:

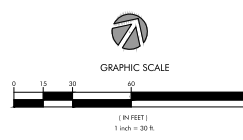
C-2.1



DEVELOPMENT SUMMARY:	
TAX PARCEL ID #	1703557221
EXISTING ZONING	DX-40 CU
PROPOSED ZONING	DX-40 CU
TOTAL SITE AREA	1.63 AC
LOT AREA (MIN/MAJ)	N/A
LOT WIDTH	N/A
OUTDOOR AMENITY	10%
PROPOSED:	SEE C-3.3
PRIMARY STREET	KINDLEY STREET
BUILDING/STRUCTURE SETBACKS:	
PRIMARY STREET	3'
PROPOSED:	35'-8" (KINDLEY ST)
SIDE LOT LINE (MIN)	0' OR 6'
PROPOSED:	0' (N.E. LOT LINE); 6'-1" (SW LOT LINE)
REAR LOT LINE (MIN)	0' OR 6'
PROPOSED:	N/A
HEIGHT:	
MAX. BUILDING HEIGHT:	40 STORIES
PROPOSED:	1 STORY
FLOOR HEIGHT:	
GROUND STORY FLOOR HEIGHT (MIN):	9' (FLOOR TO FLOOR)
PROPOSED:	SEE ARCH PLANS
TRANSPARENCY:	
GROUND STORY (MIN):	50%
PROPOSED:	SEE ARCH PLANS
UPPER STORY (MIN):	20%
PROPOSED:	SEE ARCH PLANS
BLANK WALL (MAX):	30%
PROPOSED:	SEE ARCH PLANS
PROPOSED USE:	PARKING FACILITY
BUILDING GFA:	55,144 SF
VEHICULAR PARKING:	
REQUIRED:	N/A
PROPOSED:	228 SPACES
BICYCLE PARKING:	
REQUIRED:	4 MIN. OR 1 PER 20 ROOMS
PROPOSED:	4
SHORT TERM:	NONE
PROPOSED:	SEE LANDSCAPE PLANS

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
STEWART
5416 OLD POOL RD
RALEIGH, NC 27610
(919) 386-8750
 - SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS
PREPARED BY:
SELVA
333 FAYETTEVILLE ST.
STE 225
RALEIGH, NC 27601
919-573-6350
 - S MCDOWELL STREET IMPROVEMENTS DESIGNED BY DRMP DATED 10/01/2023.
 - ADDITIONAL DATA USED FROM CITY GATEWAY PRELIMINARY SUBDIVISION PLANS DESIGNED BY URBAN DESIGN PARTNERS DATED 02/19/2024. CURRENTLY IN REVIEW BY CITY OF RALEIGH. COR # 508-001-2023.
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW.
 - TRAFFIC SERVICE FOR THE SITE WILL BE CONTRACTED THROUGH A PRIVATE CONSTRUCTION COMPANY. COORDINATION FOR SERVICE IS THE RESPONSIBILITY OF THE APPLICANT.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. CURB RADIUS SHALL MEASURE 5.0' AT FACE OF CURB UNLESS OTHERWISE NOTED.
 - LOCATIONS OF SITE LIGHTING ARE APPROXIMATE. THE FINAL NUMBER AND LOCATIONS OF LIGHTS SHALL BE DETERMINED BY THE OWNER AND DUNE ENERGY.
 - ALL UTILITIES WILL BE UNDERGROUND.

LEGEND:	
	PROP. STD. 30' C&G
	PROPERTY BOUNDARY
	RIGHT OF WAY LINE
	SETBACK LINE
	EASEMENT LINE
	BUILDING FOOTPRINT



150 Fayetteville St. Ste. 1310
Raleigh, NC 27601
P: 919.375.5000
urban@urbandesignpartners.com

NC Form No. F-2671 NC Case No. C-0304

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

12/18/2023

CCUD Holdings LLC

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

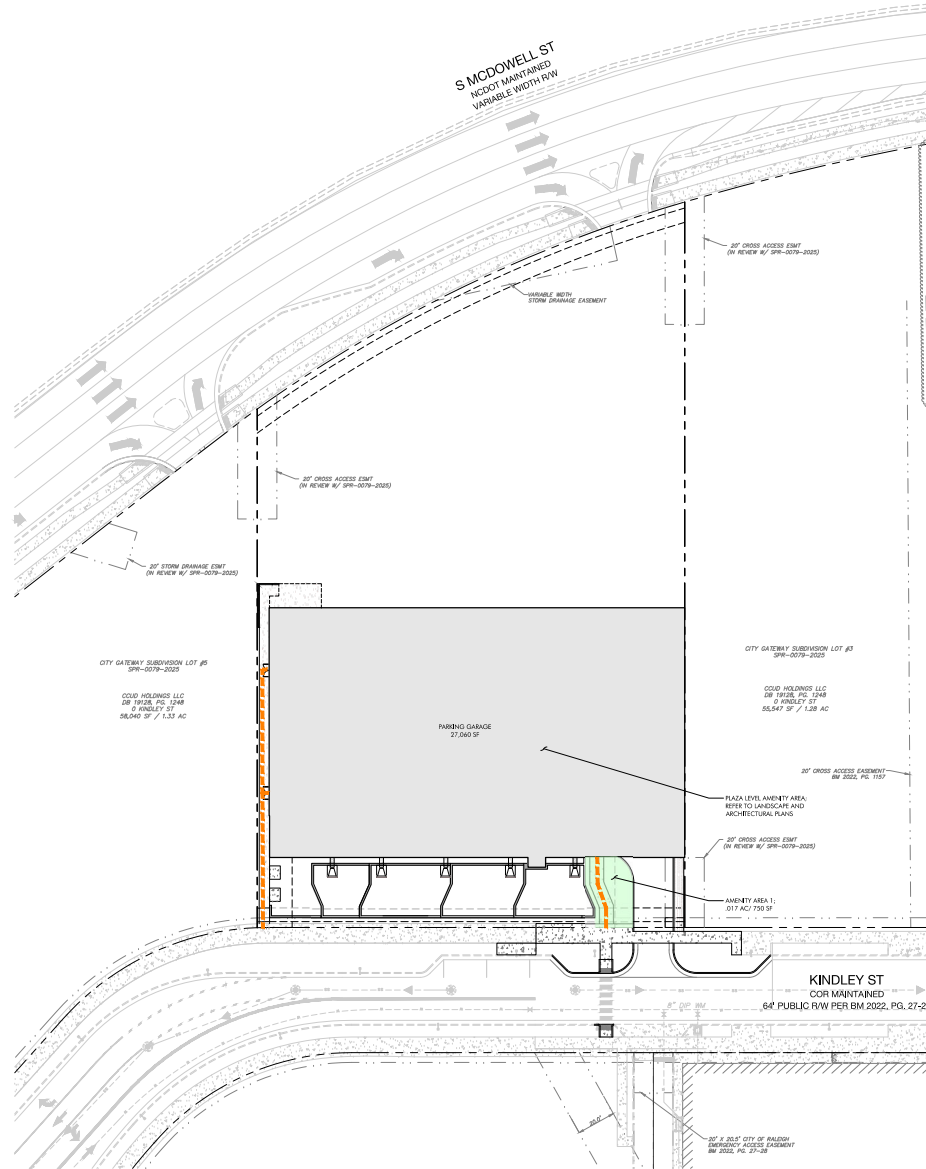
Site Plan
140 Kindley St., Raleigh, NC 27601

333 Fayetteville St., Ste 225
Raleigh, NC 27601

NO.	DATE	REV.	DESCRIPTION
0001	08/07/2024	001	ASB PRELIM
0002	02/19/2025	002	ASB PRELIM
0003	09/12/2025	003	ASB PRELIM
0004	12/18/2025	004	ASB PRELIM

Project No: 24-RDU-005
Date: 04/16/2025
Sheet No:

C-3.0

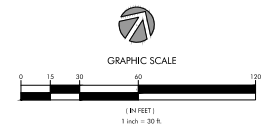


AMENITY SPACE SUMMARY

OUTDOOR AMENITY AREA:	
MINIMUM:	10% OF LOT AREA 10% (1.03 AC) = 0.16 AC / 7,100 SF
PROVIDED:	.30 AC / 8,352 SF 0.017 AC / 750 SF SEE LANDSCAPE PLANS

ACCESSIBILITY LEGEND

- ACCESSIBLE ROUTE
- 5.0% MAX SLOPE IN DIRECTION OF TRAVEL, 2.0% MAX CROSS SLOPE ON ACCESSIBLE ROUTE
- 2.0% MAX SLOPE IN ANY DIRECTION AT ACCESSIBLE PARKING.



150 Fayetteville Rd. # 1310
Raleigh, NC 27601
P: 919.375.5000
info@urbandesignpartners.com

no firm no: P-2871 ac case no: C-03044

PRELIMINARY DRAWING
FOR PRELIMINARY DISCUSSION ONLY
12/18/2025

CCUD Holdings LLC

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024
Amenity Area & Accessible Route Plan
140 Kindley St., Raleigh, NC 27601

NO.	DATE	BY	REVISIONS
001	08/12/2024	ESP	ASR PRELIM
002	02/19/2025	ESP	ASR REVISION
003	06/12/2025	ESP	ASR REVISION
004	12/18/2025	ESP	ASR REVISION

Project No: 24-RDU-005
Date: 04/16/2025
Sheet No:

C-3.1

IF ANY DISCREPANCY IN ELEVATION, AS NOTED ON THE GRADING PLAN, OCCURS ON SITE DURING CONSTRUCTION THE GENERAL CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY.

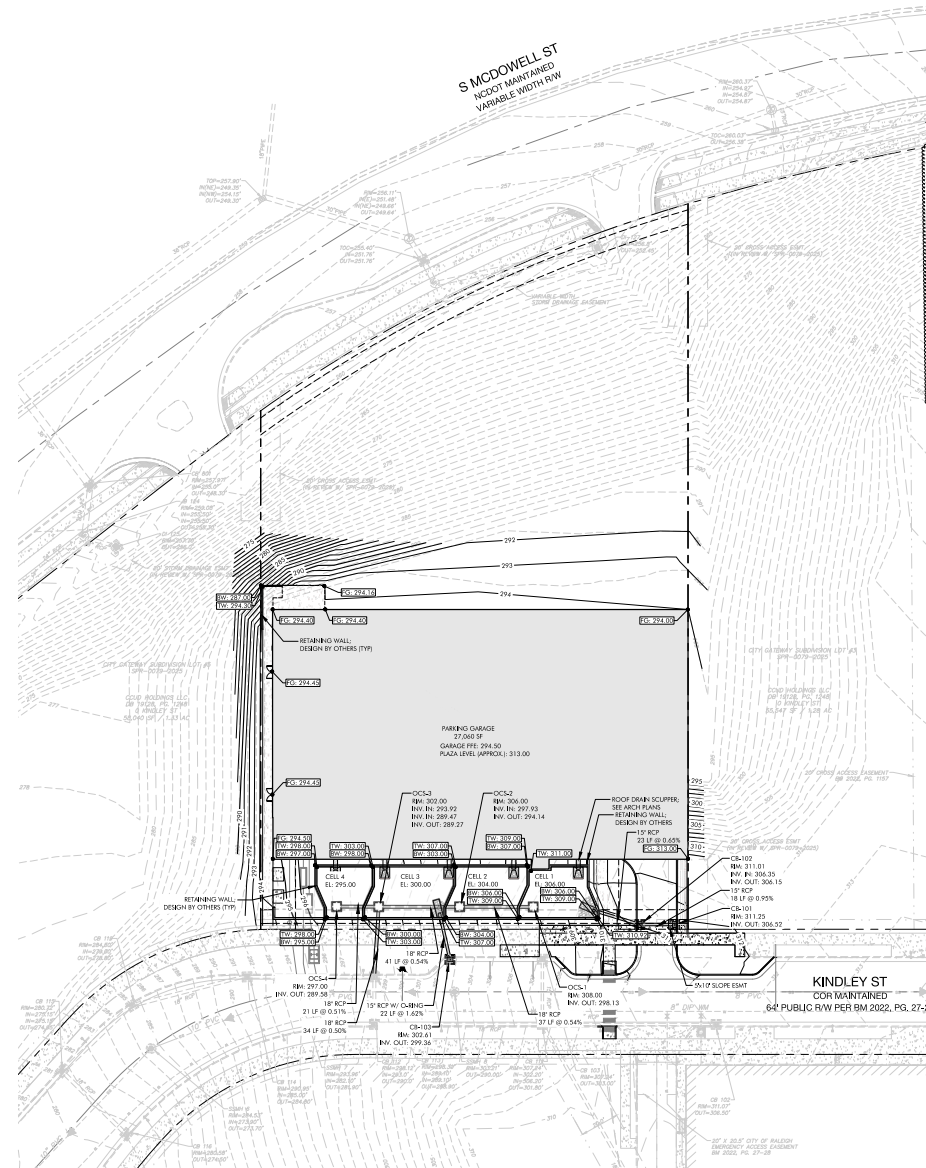
GRADING AND STORM DRAINAGE NOTES:

1. ON-SITE BURNING REQUIRES A PERMIT.
2. ANY GRADING DONE BEYOND THE DEDICATED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
4. ALL FINAL CURB AND STREET GRADES AT INTERSECTIONS SHALL BE COORDINATED WITH THE INSPECTOR.
5. RIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.
6. APPROVAL OF CONSTRUCTION DOCUMENTS DOES NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION SHALL BE OBTAINED BY CONTRACTOR FROM THE AFFECTED PROPERTY OWNERS.
7. IN ORDER TO INSURE PROPER DRAINAGE, CONTRACTOR SHALL MAINTAIN A MINIMUM OF 0.5% SLOPE ON THE CURB.
8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
9. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNRESTRICTED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TRUNKS, TRASH, LIMB AND OTHER ACCUMULATIONS.
10. ANY CONSTRUCTION OR USE WITHIN THE AREAS DESIGNATED AS FLOODWAY DISTRICT FENCE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS.
11. THE LOCAL ENGINEERING DEPARTMENT HAS NOT REVIEWED AND DOES NOT ASSUME RESPONSIBILITY FOR THE STRUCTURAL STABILITY OF ANY EXISTING OR PROPOSED RETAINING WALLS ON THE SITE.
12. NONSTANDARD ITEMS (I.E., PAVES, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A LOCAL OR STATE ENCROACHMENT AGREEMENT PRIOR TO INSTALLATION.
13. ALL SIDEWALKS, STOPS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDINGS AT A MINIMUM OF 2%.
14. CONTRACTOR SHALL CONTACT INSPECTOR 48 HOURS BEFORE CONSTRUCTION.
15. STABLED ALL SLOPES GREATER THAN 3:1 WITH AUTE MESH.
16. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK WHICH MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
17. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. REFER TO PLUMBING CONNECTION DATA TO ESTABLISH CORRECT SURFACE, AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
18. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.

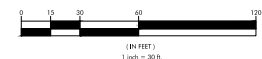
GRADING LEGEND:

TOP OF CURB	TC
BOTTOM OF CURB	BC
TOP OF WALL	TW
BOTTOM OF WALL	BW
BREAK POINT	BP
HIGH POINT	HP
LOW POINT	LP
FINISHING ELEVATION	EX
FINISHED FLOOR ELEV	FEE

PROPOSED IMPERVIOUS: 30,630 SF @ 0.70 AC



GRAPHIC SCALE



131 Southville, Suite 1310
Raleigh, NC 27601
P: 919.273.5802
urban@designpartners.com

no firm no: P-2671 sc doc no: C-2044

PRELIMINARY DRAWING
FOR PRELIMINARY PURPOSES ONLY
12/16/2025

CCUD Holdings LLC

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024

Grading & Storm Drainage Plan

140 Kindley St., Raleigh, NC 27601

NO. DATE BY: REVISIONS:

0001 04/16/2025 JAP ASB RES/DAW

0002 04/16/2025 JAP ASB RES/DAW

0003 04/16/2025 JAP ASB RES/DAW

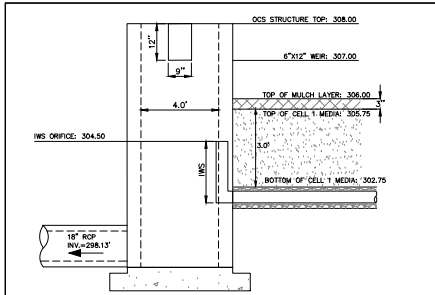
0004 12/16/2025 JAP ASB RES/DAW

Project No: 24-RDU-005

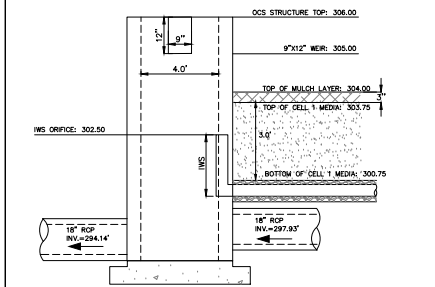
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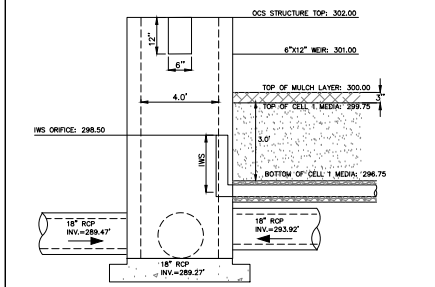
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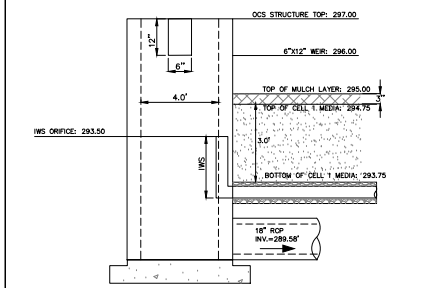
DETAIL: OUTLET CONTROL STRUCTURE 1



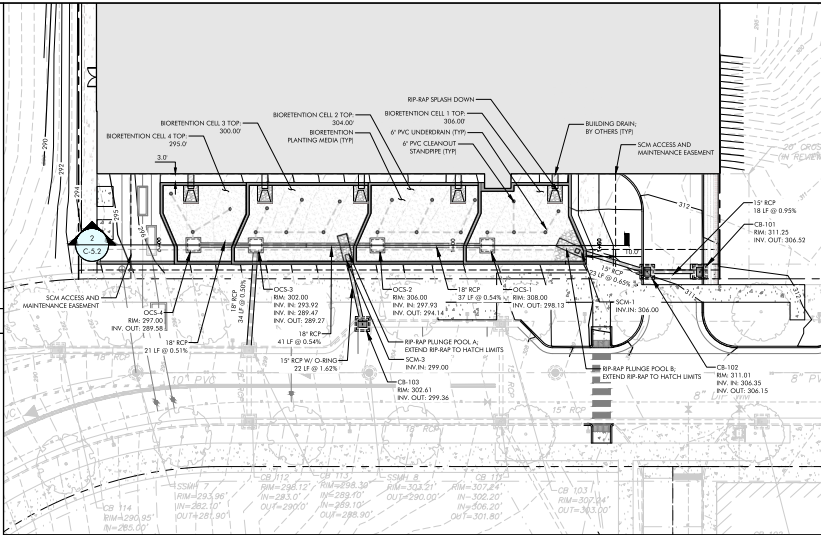
DETAIL: OUTLET CONTROL STRUCTURE 2



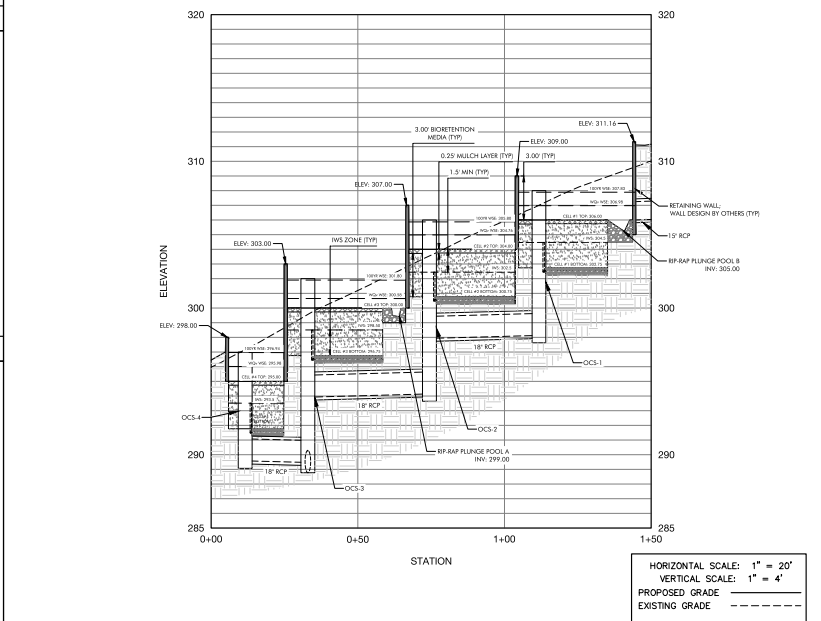
DETAIL: OUTLET CONTROL STRUCTURE 3



DETAIL: OUTLET CONTROL STRUCTURE 4



1 PLAN VIEW: BIORETENTION CELL

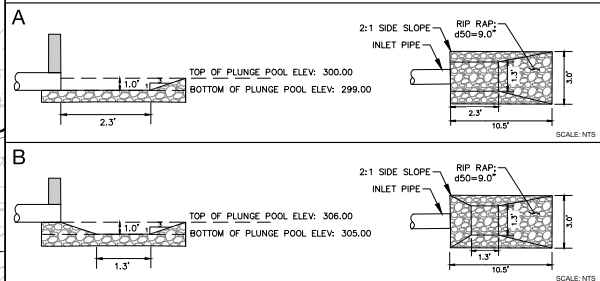


2 SECTION VIEW: BIORETENTION CELL

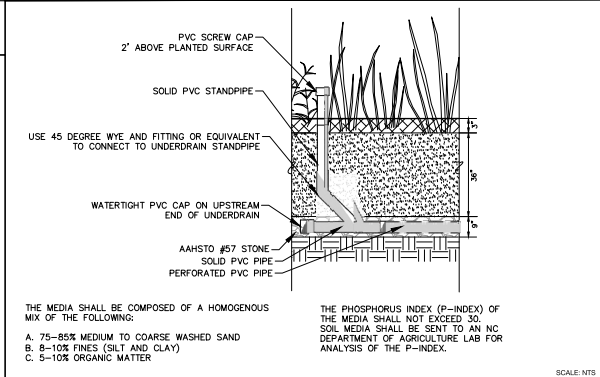
BIORETENTION - OPERATION & MAINTENANCE

CONSTRUCTION
NO RUNOFF SHOULD ENTER THE BIORETENTION UNTIL THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETED. ANY DISTURBED AREAS WITHIN THE BIORETENTION DRAINAGE AREA MUST BE IDENTIFIED AND STABILIZED. FILTRATION CONTROLS MUST ONLY BE CONSTRUCTED AFTER THE CONSTRUCTION SITE IS STABILIZED.

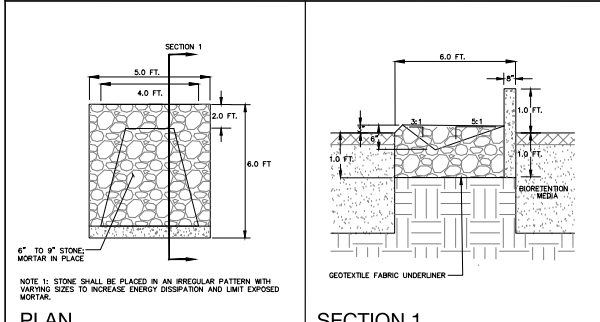
MAINTENANCE GUIDELINES
IMMEDIATELY AFTER THE BIORETENTION CELL IS ESTABLISHED, THE PLANTS WILL BE WATERED TWICE WEEKLY IF NEEDED UNTIL THE PLANTS BECOME ESTABLISHED (COMMONLY 60 WEEKS).
SHOW, MULCH OR ANY OTHER MATERIAL WILL NEVER BE PLED ON THE SURFACE OF THE BIORETENTION CELL.
HEAVY EQUIPMENT WILL NEVER BE DRIVEN OVER THE BIORETENTION CELL.
SPECIAL CARE WILL BE TAKEN TO PREVENT SEEDMENT FROM ENTERING THE BIORETENTION CELL.
ONCE A YEAR, A SOIL TEST OF THE SOIL MEDIA WILL BE CONDUCTED.
AFTER THE BIORETENTION CELL IS ESTABLISHED, INSPECT IT ONCE A QUARTER. RECORDS OF OPERATION AND MAINTENANCE WILL BE KEPT IN A KNOWN SET LOCATION AND WILL AVAILABLE UPON REQUEST.
INSPECTION ACTIVITIES SHALL BE PERFORMED AS FOLLOWS, ANY PROBLEMS THAT ARE FOUND SHALL BE REPAIRED IMMEDIATELY.
REMOVE TOP LAYER OF FILL MEDIA WHEN THE POOL DOES NOT DRAIN QUICKLY. BASED ON THE MEDIA SPECIFICATION, THE POOL SHOULD DRAIN WITHIN 24 HOURS.



DETAIL: PLUNGE POOL



DETAIL: BIORETENTION SECTION



DETAIL: RIP-RAP SPLASH DOWN



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NC Form No. F-2671 SC Code No. C-03044

PRELIMINARY DRAWING
FOR INFORMATION PURPOSES ONLY
12/19/2023

CCUD Holdings LLC
333 Fayetteville St., Ste 225
Raleigh, NC 27601

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024
Bioretention Plan & Details
140 Kinley St., Raleigh, NC 27601

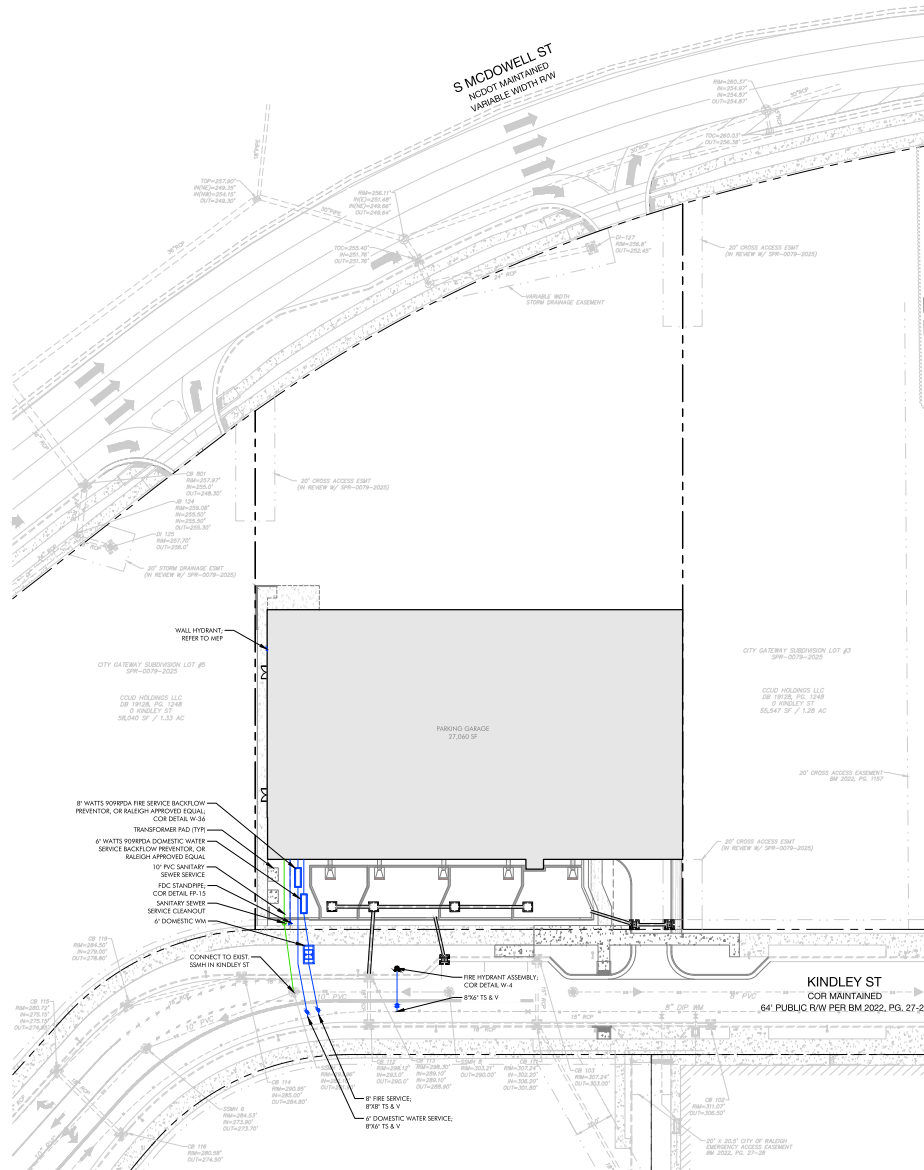
NO.	DATE	BY	REVISIONS
0001	08/15/2024	ASR	ASR REVISION
0002	02/12/2025	USP	ASR REVISION
0003	06/12/2025	USP	ASR REVISION
0004	12/19/2025	USP	ASR REVISION

Project No: 24-RDU-005
Date: 04/16/2025
Sheet No:

C-5.1

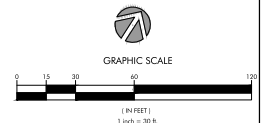
LEGEND:

ITEM	SYMBOL
WATER LINE	—
WATER METER	—
BACKFLOW PREVENTOR	BFP
GATE VALVE	GV
REDUCER	—
BLOW OFF ASSEMBLY	BO
HYDRANT ASSEMBLY	HYD
WALL HYDRANT	W-HYD
FIRE DEP. CONNECTION	FDC
SEWER LINE	SS
MANHOLE	MH
SANITARY SEWER CLEAN OUT	SSCO
GAS LINE	—
OVERHEAD ELECTRIC LINE	OHE
UNDERGROUND ELECTRIC LINE	UGE
UTILITY POLE	—
TELECOM LINE	TEL
STORM DRAINAGE	—
EX. STORM DRAINAGE	—
EX. OVERHEAD ELECTRIC	—
EX. TELEPHONE	—
EX. UNDERGROUND ELECTRIC	—
EX. UNDERGROUND TELEPHONE	—
EX. WATER LINE	—
EX. GAS LINE	—
EX. UTILITY POLE	—
PHASE LINE	—



STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE: CORP. HANDBOOK, CURRENT EDITION.
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY TO PREVENT A SANITARY SEWER FROM BEING USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER PUMP SHALL BE PROVIDED & INSTALLED TO MAINTAIN SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER & SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' MIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO THE EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO MEET SPECIFICATIONS.
 - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 12" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CIRCLE RAVING 4" MIN. CLEARANCE PER CORP. DETAILS W-41 & S-49.
 - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROPOSED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. SEWER BYPASS PUMPING: A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS, 4.0' MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING 10" AT MAIN & BRANCH OF SERVICE FROM ROW OR EASEMENT PER CORP. HANDBOOK PROCEDURE.
9. INSTALL 4" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' SETBACK EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
10. INSTALL 8" P&S SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEAROUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 100 LINEAR FEET MAXIMUM.
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAIN LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOQ, USACE & OR FISH FOR AND BARRIAR BUREAU, WETLAND & RCP FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
13. NCDOQ / RAUCAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAUCAD ROW PRIOR TO CONSTRUCTION.
14. GRADE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FLOOD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF UIC AND/OR BUILDING PERMIT. CONTACT (919) 998-4516 OR FLOOD@RALEIGH.GOV FOR MORE INFORMATION.
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
16. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH SERVICE AREA. IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
18. NOTICE FOR PROJECTS THAT INVOLVE AN OVERHEAD MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REVENUE GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.



PRELIMINARY DRAWING
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12/18/2025

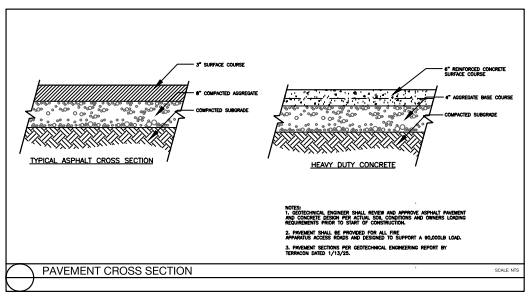
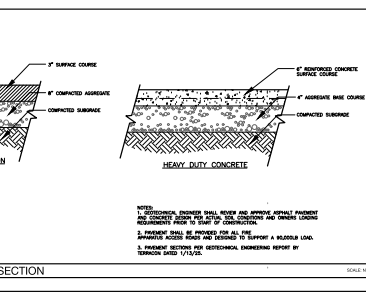
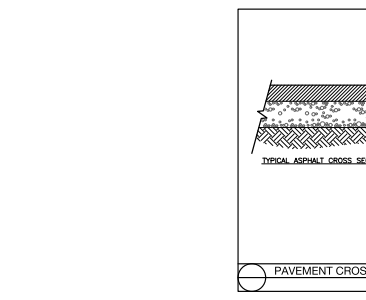
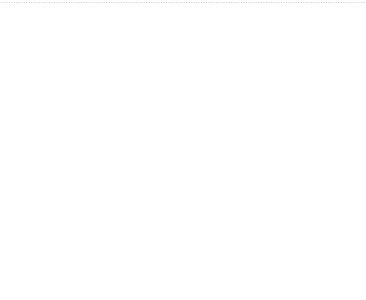
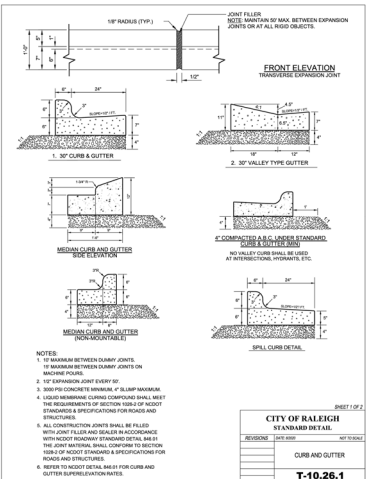
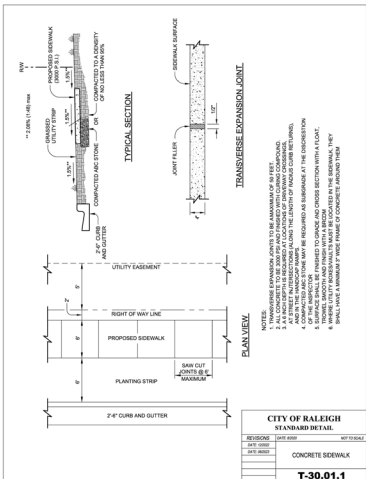
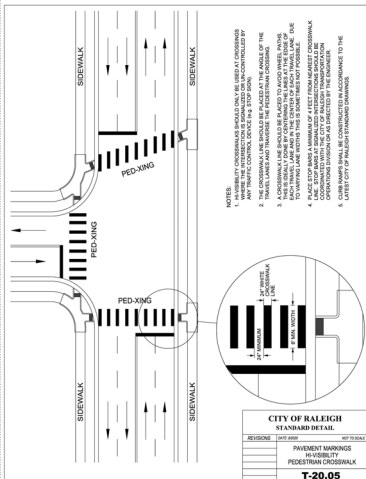
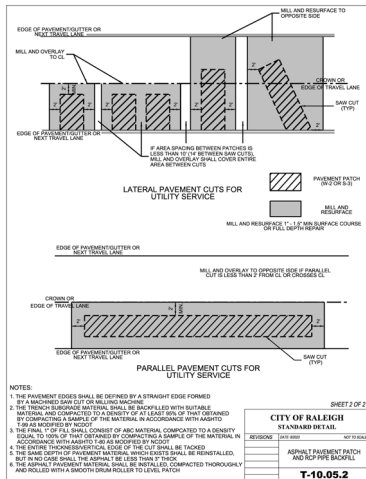
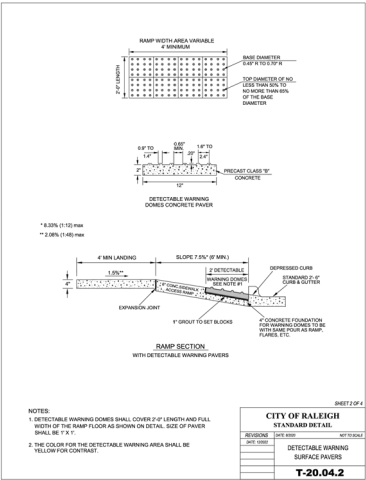
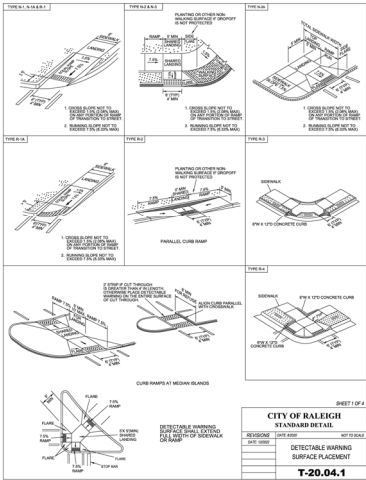
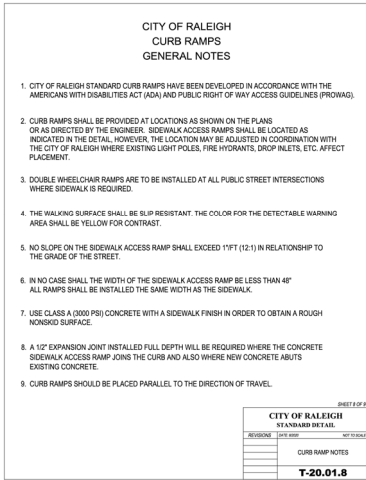
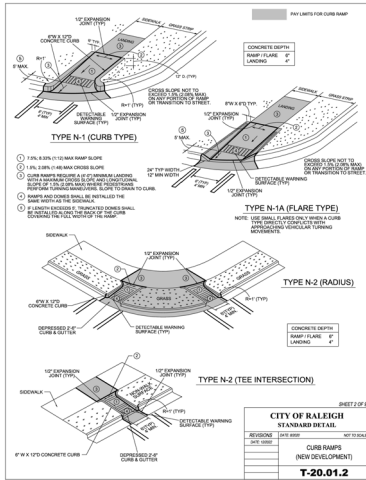
CCUD Holdings LLC
333 Fayetteville St., Ste 225
Raleigh, NC 27601

City Gateway Parking Facility
Administrative Site Review ASR-0028-2024
Utility Plan
140 Kindley, St., Raleigh, NC 27601

NO.	DATE	BY	REVISIONS
0001	08/12/2024	ASR	ASR PRELIMINARY
0002	02/11/2025	USP	ASR PRELIMINARY
0003	09/12/2025	USP	ASR PRELIMINARY
0004	12/18/2025	USP	ASR PRELIMINARY

Project No: 24-RDU-005
Date: 04/16/2025
Sheet No:

C-6.0





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tel: 919.235.5000
info@urbandesignpartners.com

cc Form no: F-2671 IC doc no: C-03044

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12/19/2023

CCUD Holdings LLC

City Gateway Parking Facility

Administrative Site Review ASR-0028-2024

Site Specifications & Details

140 Kindley St., Raleigh, NC 27601

333 Fayetteville St., Suite 225
Raleigh, NC 27601

NO DATE BY REVISIONS

0001 02/10/2023 ASR ASR REVISION

0002 02/10/2023 ASR ASR REVISION

0003 02/10/2023 ASR ASR REVISION

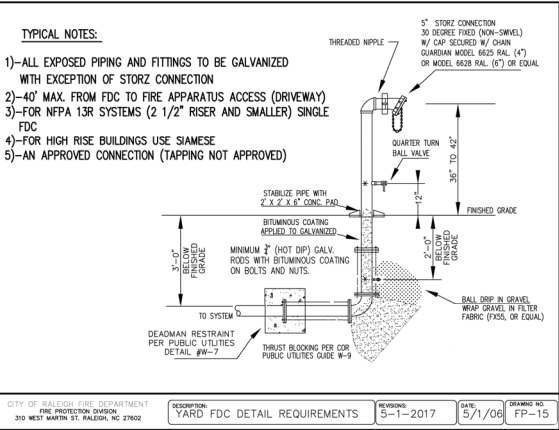
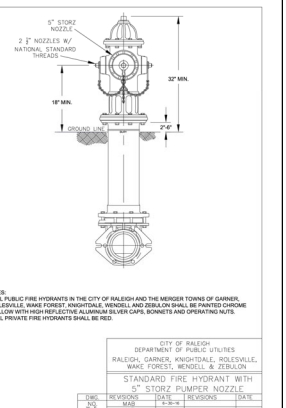
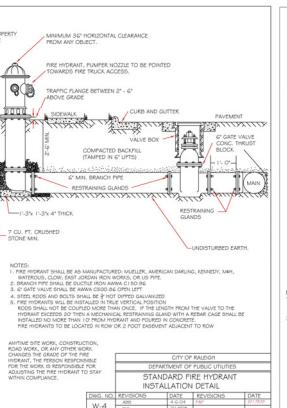
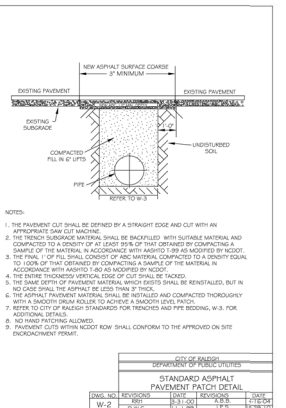
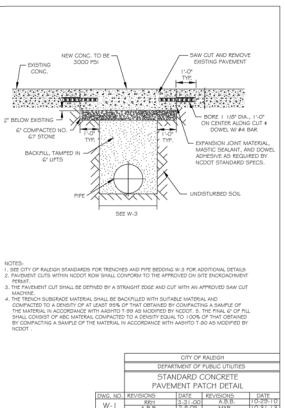
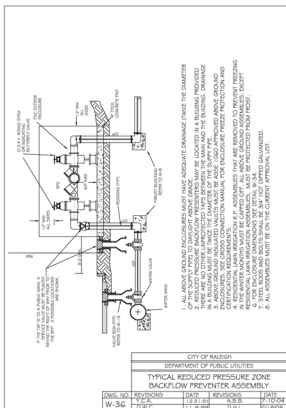
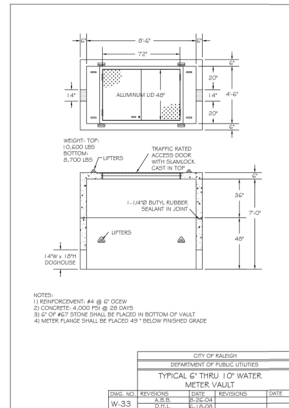
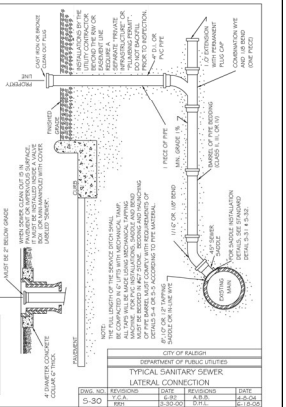
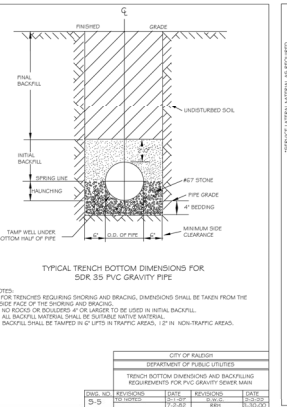
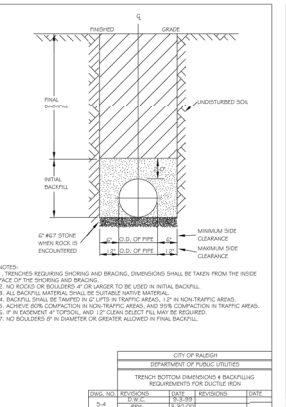
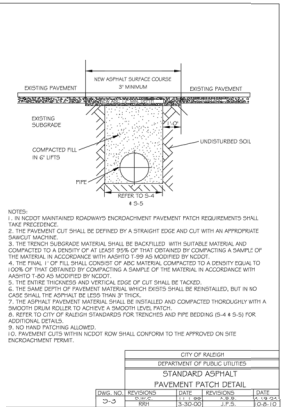
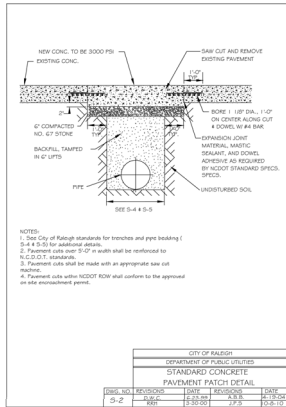
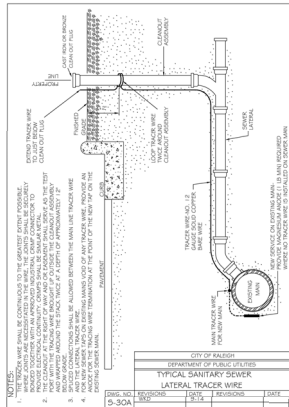
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Project No: 24-RDU-005

Date: 04/16/2025

Sheet No:

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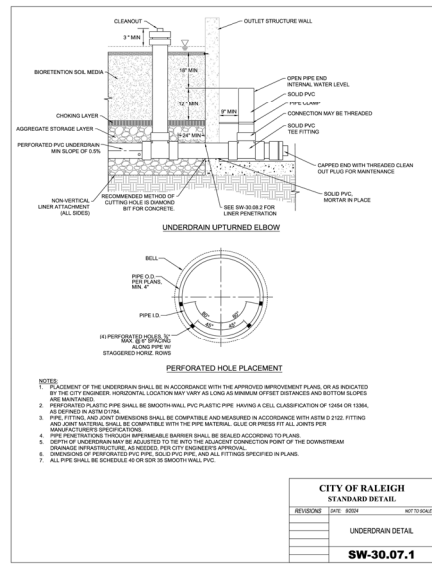
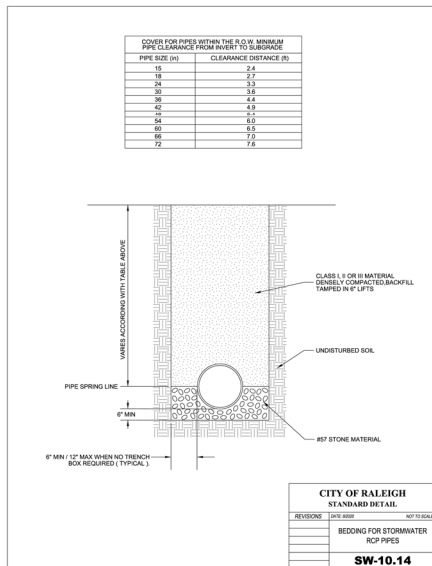
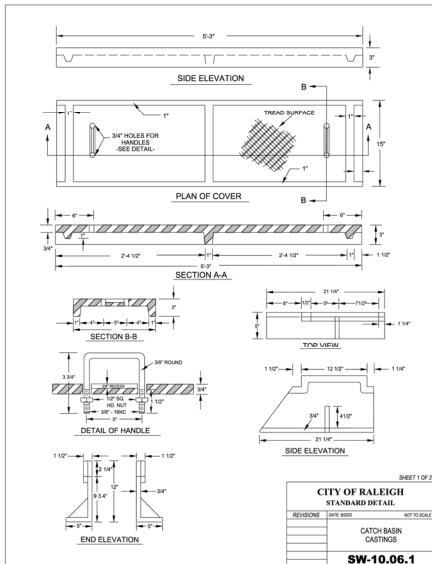
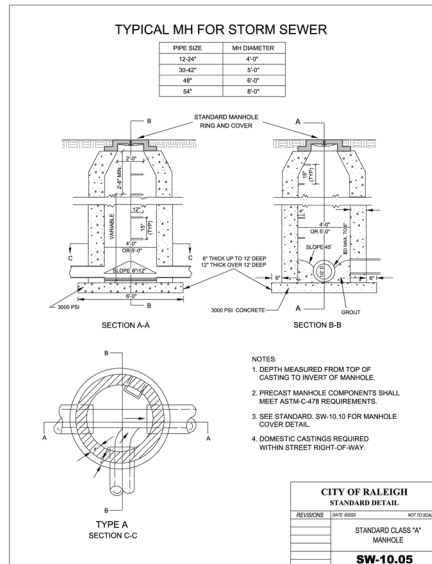
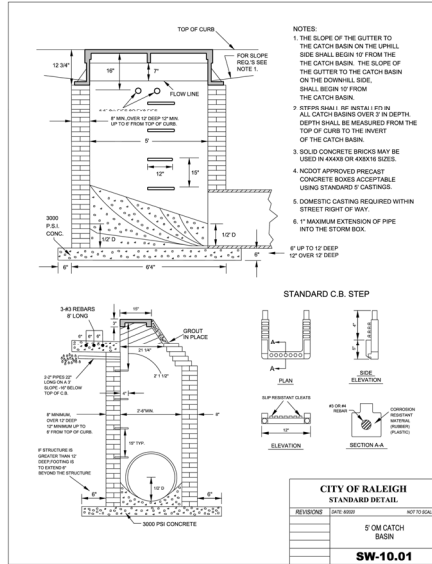
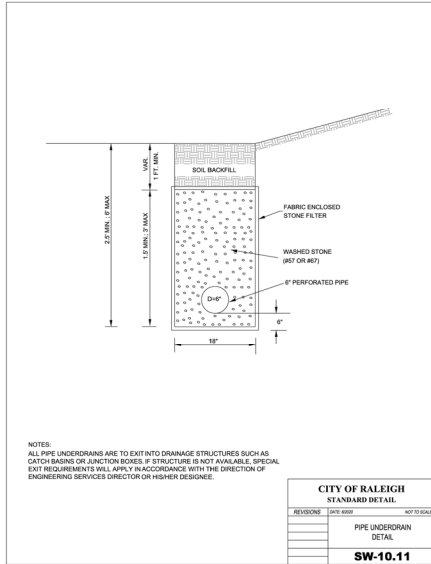
CCUD Holdings LLC
City Gateway Parking Facility
Administrative Site Review ASR-0028-2024
Water & Sewer Utility Details
140 Kirdley St., Raleigh, NC 27601

City Gateway Parking Facility
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NO.	DATE	BY	REVISIONS
001	08/01/2024	ASR	ASR REVISION
002	02/10/2025	LOP	ASR REVISION
003	09/12/2025	LOP	ASR REVISION
004	12/16/2025	LOP	ASR REVISION

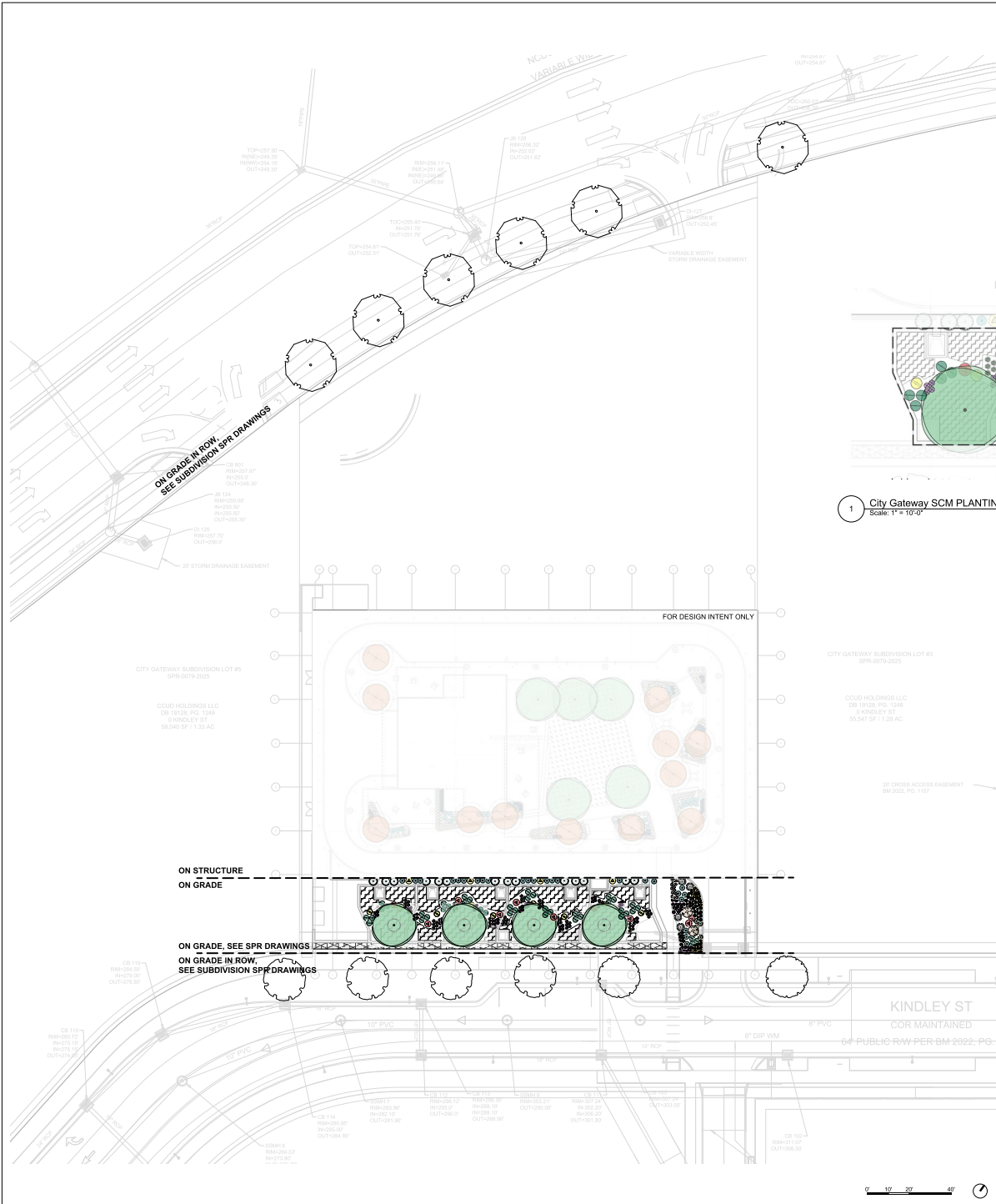
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Date: 04/16/2025
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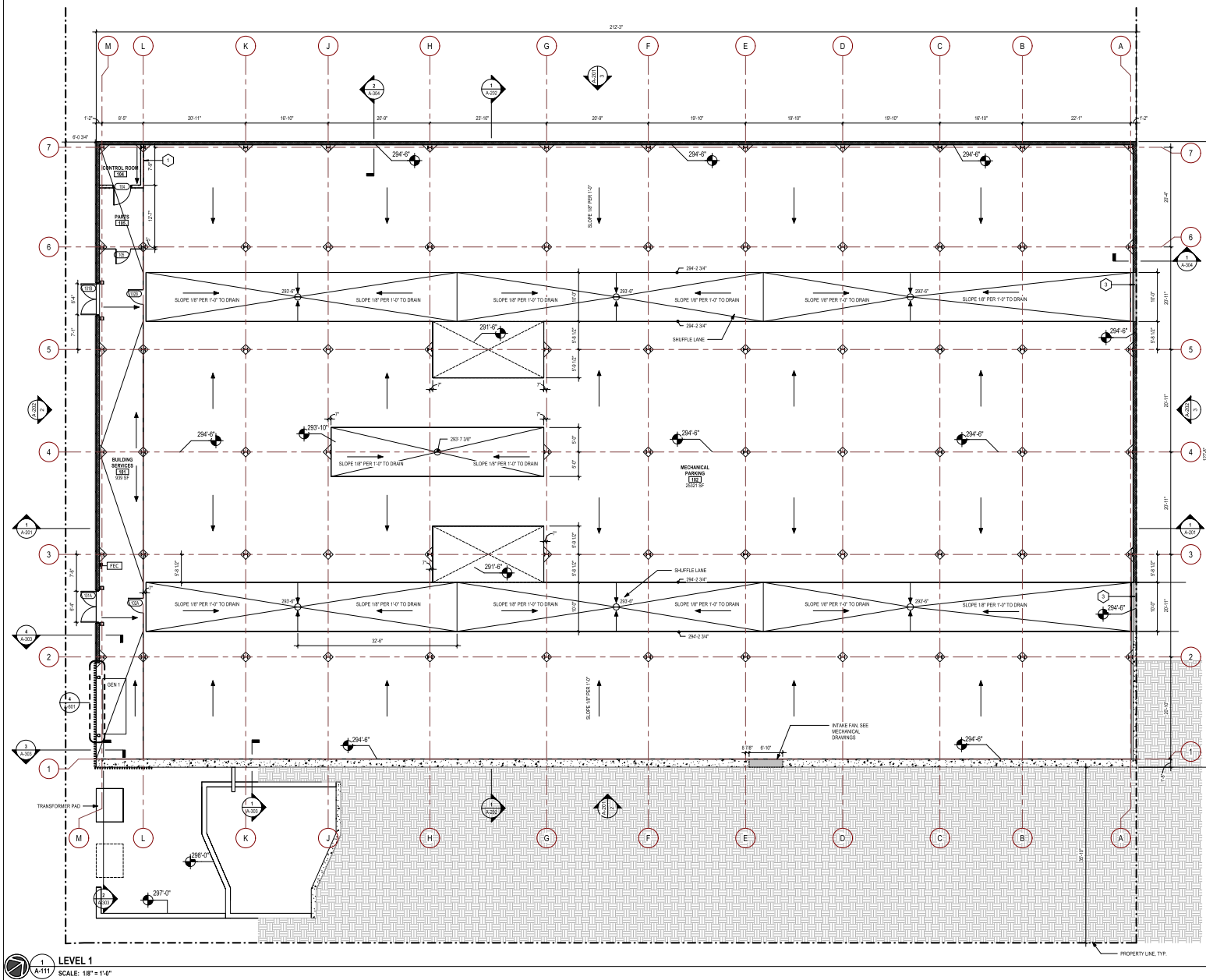
1 City Gateway SCM PLANTING PLAN
Scale: 1" = 10'-0"

PLANT LEGEND	
	QL QUERCUS LYRATA / OVERCUP OAK (6) SAB: 5' CAL: 10'-12' HT REFER TO SUBDIVISION PLANS
	QN QUERCUS NUTTALLII / NUTTALL OAK (6) SAB: 5' CAL: 10'-12' HT REFER TO SUBDIVISION PLANS
	BT BETULA NIGRA / RIVER BIRCH (4) RAB: 10'-12' HT
	IL ILEX VERTICILLATA / WINTERBERRY (8) CONT: 18' HT
	IV ITEA VIRGINICA / VIRGINIA SWEETSPIRE (60) CONT: 18' HT
	IG ILEX GLABRA / INKBERRY (6) CONT: 18' HT
	BA BAPTISIA ALBA / WHITE WILD INDIGO (9) CONT: 1 GAL
	EC ECHINACEA PURPUREA / PURPLE CONEFLOWER (48) CONT: 1 GAL
	PV PANICUM VIRGATUM AND CULTIVARS / SWITCHGRASS (224) CONT: 1 GAL

No.	Date	Description

FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	STOREFRONT (CURTAIN WALL) TAG - SEE SHEET A-807 AND FLOOR PLANS
	WINDOW TAG - SEE SHEET A-803 AND FLOOR PLANS
	DOOR TAG - SEE SHEET A-801 AND FLOOR PLANS
GENERAL NOTES:	
1. DIMENSIONS ARE TO FACE OF STUD OR CMU UNLESS OTHERWISE NOTED.	
2. ALL INTERIOR WALLS IN ROOFTOP LOADING BAY SHALL HAVE SOUND ATTENUATION BATTS.	

FLOOR PLAN KEY NOTES	
	TERMINATE STUD WALL AT 9' AFF. CAP WITH GYPSUM CEILING
	CAST IN PLACE CONCRETE INFILL WALL TO BE REMOVED IN FUTURE PHASE
	CMU INFILL WALL TO BE REMOVED IN FUTURE PHASE
	PRIMARY SITE MONUMENT SIGN
	GENERATOR EXHAUST, SEE STRUCTURAL FOR FLOOR PENETRATION DETAILS, SEE MECHANICAL FOR DUCTING DETAILS
	SECONDARY SITE MONUMENT SIGN



WALL TYPE LEGEND	
SYMBOL	DESCRIPTION
	3.5\"/>
	8\"/>
	CAST IN PLACE CONCRETE WALL
	WIRE MESH PARTITION

CITY GATEWAY SUBDIVISION - LOT 4

Parking Facility with Plaza Roof Deck

440 KINDLEY STREET
SALEIGH, NORTH CAROLINA
27591

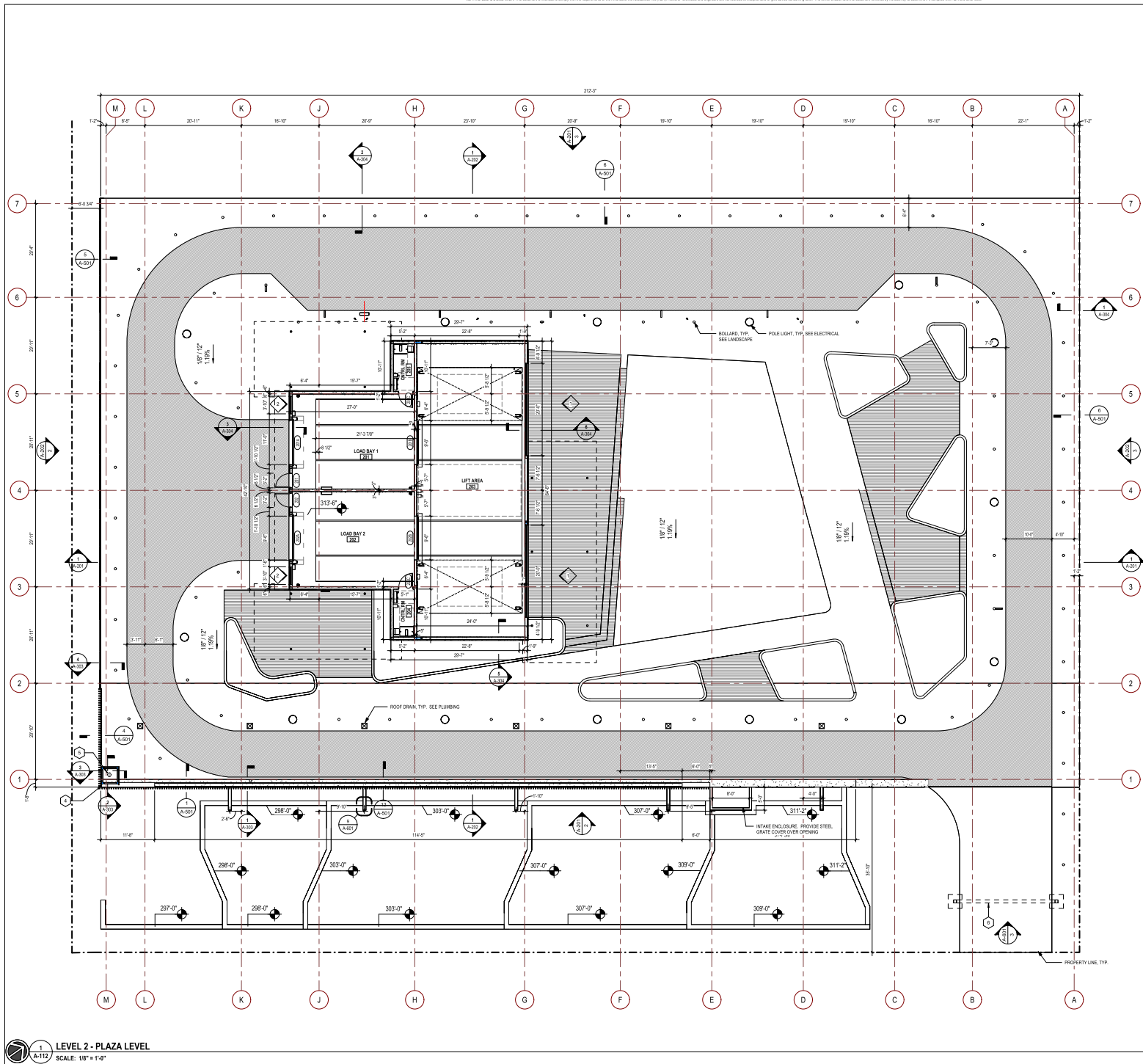
ENERGY STAR PARTNER

No.	Date	Description

ISSUE DATE: 10/31/2025
PROJECT #: 016055.630
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FLOOR PLAN -
LEVEL 1

A-111



LEVEL 2 - PLAZA LEVEL
SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	STOREFRONT (CURTAIN WALL) TAG - SEE SHEET A-807 AND FLOOR PLANS
	WINDOW TAG - SEE SHEET A-803 AND FLOOR PLANS
	DOOR TAG - SEE SHEET A-801 AND FLOOR PLANS

GENERAL NOTES:

- DIMENSIONS ARE TO FACE OF STUD OR CMU UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALLS IN ROOFTOP LOADING BAY SHALL HAVE SOUND ATTENUATION BATTS.

FLOOR PLAN KEY NOTES

- TERMINATE STUD WALL AT 9' AFF. CAP WITH GYPSUM CEILING
- CAST IN PLACE CONCRETE INFILL WALL TO BE REMOVED IN FUTURE PHASE
- CMU/INFILL WALL TO BE REMOVED IN FUTURE PHASE
- PRIMARY SITE MONUMENT SIGN
- GENERATOR EXHAUST - SEE STRUCTURAL FOR FLOOR PENETRATION DETAILS, SEE MECHANICAL FOR DUCTING DETAILS
- SECONDARY SITE MONUMENT SIGN

WALL TYPE LEGEND

SYMBOL	DESCRIPTION

Continuing the
Leading Developer of
High Performance Facilities
in the Nation with a
Specialty in Alternative
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CITY GATEWAY SUBDIVISION - LOT 4

Parking Facility with Plaza Roof Deck

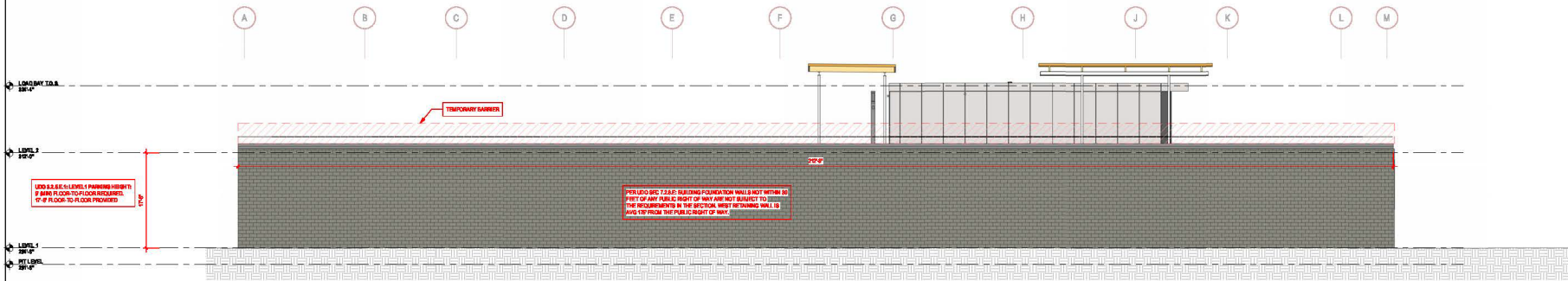
440 KINDELVEY STREET
SALEIGH, NORTH CAROLINA
27681

**ENERGY
STAR
PARTNER**

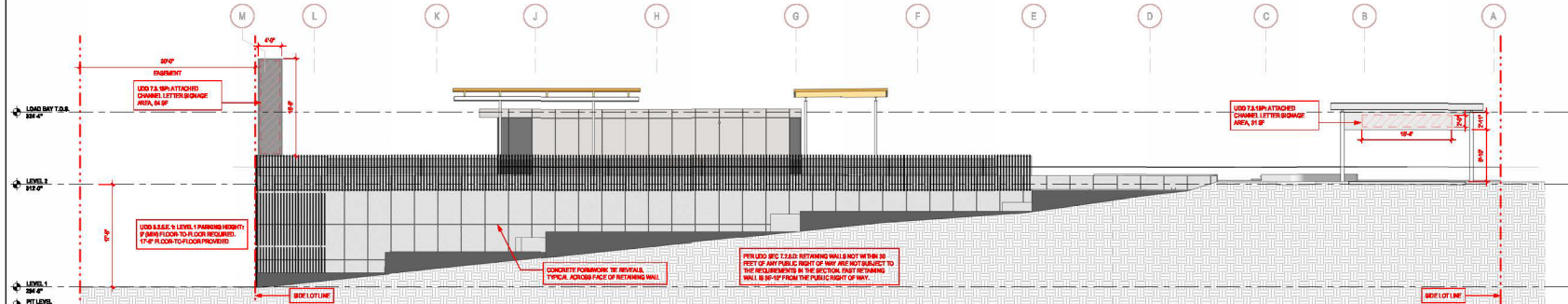
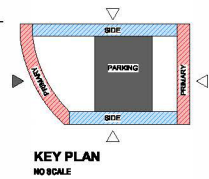
ISSUE DATE: 10/31/2025
PROJECT #: 01605.630
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FLOOR PLAN - ROOF
DECK

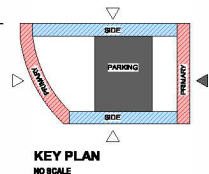
A-112



2 WEST ELEVATION - ASR
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION - ASR
SCALE: 1/8" = 1'-0"

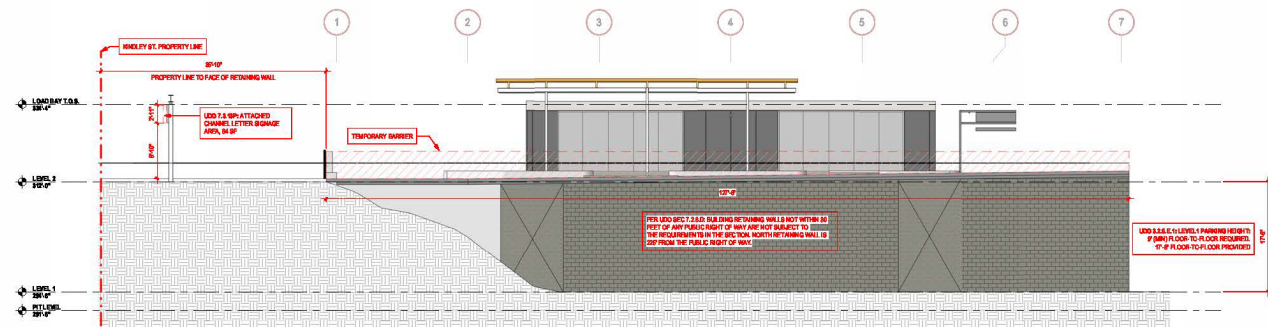


CITY GATEWAY SUBDIVISION - LOT 4
Parking Facility with Plaza Roof Deck
440 KIMBLEY STREET
SALEIGH, NORTH CAROLINA
27891

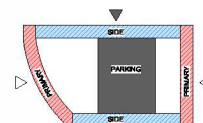


No.	Date	Description

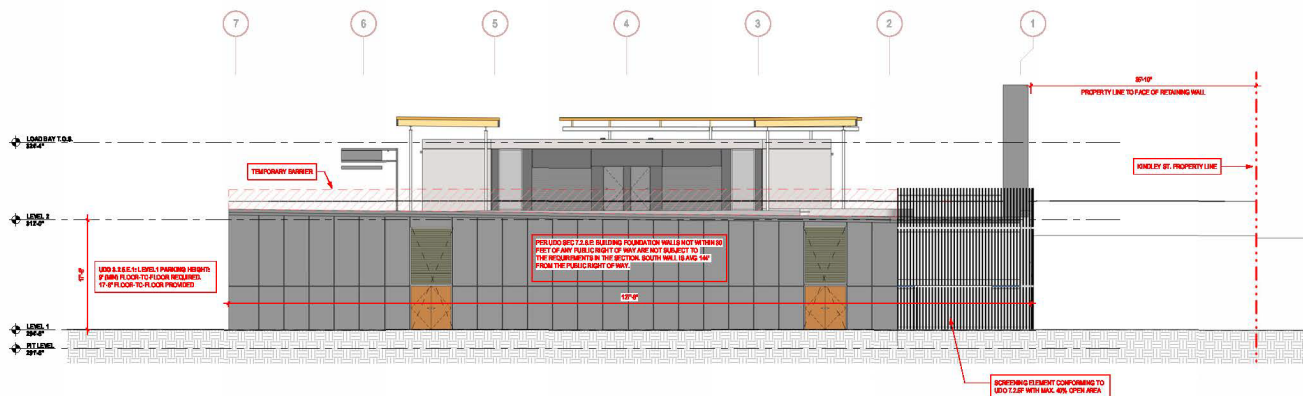
ISSUE DATE: 10/12/2025
PROJECT #: 01605.630
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ASR EXTERIOR
ELEVATIONS



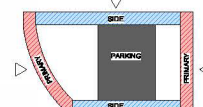
2 NORTH ELEVATION - ASR
Z-202 SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE



1 SOUTH ELEVATION - ASR
Z-202 SCALE: 1/8" = 1'-0"



KEY PLAN
NO SCALE