

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
---------------------------------------	------------------------

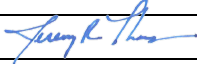
Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan	
	<b>Building Type</b>		<b>Site Transaction History</b>
	Detached	General	Subdivision case #: _____
	Attached	Mixed use	Scoping/sketch plan case #: _____
	Apartment	Open lot	Certificate of Appropriateness #: _____
	Townhouse	Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
<b>GENERAL INFORMATION</b>			
Development name:			
Inside City limits?    Yes    No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company:			Title:
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area?      Yes      No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer      Yes      No	Wetlands      Yes      No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br      2br      3br	4br or more
# of lots:	Is your project a cottage court?      Yes      No

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date:
Printed Name:	

SITE PLANS FOR:

# BAPTIST GROVE CHURCH

## PROPOSED WORSHIP SERVICE ADDITION AND SITE IMPROVEMENTS

7109 LEESVILLE ROAD  
RALEIGH, NORTH CAROLINA

APRIL 11, 2022

### OWNER INFORMATION

BAPTIST GROVE CHURCH  
7109 LEESVILLE ROAD  
RALEIGH, NC 27613  
CONTACT: JOSHUA BIVENS, VICE CHAIR TRUSTEE  
JBIVENS43@GMAIL.COM  
704-771-9197

### CONSULTANTS

#### ARCHITECT

HCO INC.  
3921 NORTH MERIDIAN STREET, STE 100  
INDIANAPOLIS, INDIANA 46208  
CONTACT: MR. DAVID SIMS, RA  
DSIMS@HCOARCHITECTS.COM  
317-923-3737

#### CIVIL ENGINEER

J THOMAS ENGINEERING, INC.  
143 CHARLOTTE AVE, STE 104  
SANFORD, NC 27330  
CONTACT: MR. JEREMY R. THOMAS, PE  
JTHOMAS@JTHOMASENGINEERING.COM  
919-777-6010



#### LANDSCAPE ARCHITECT

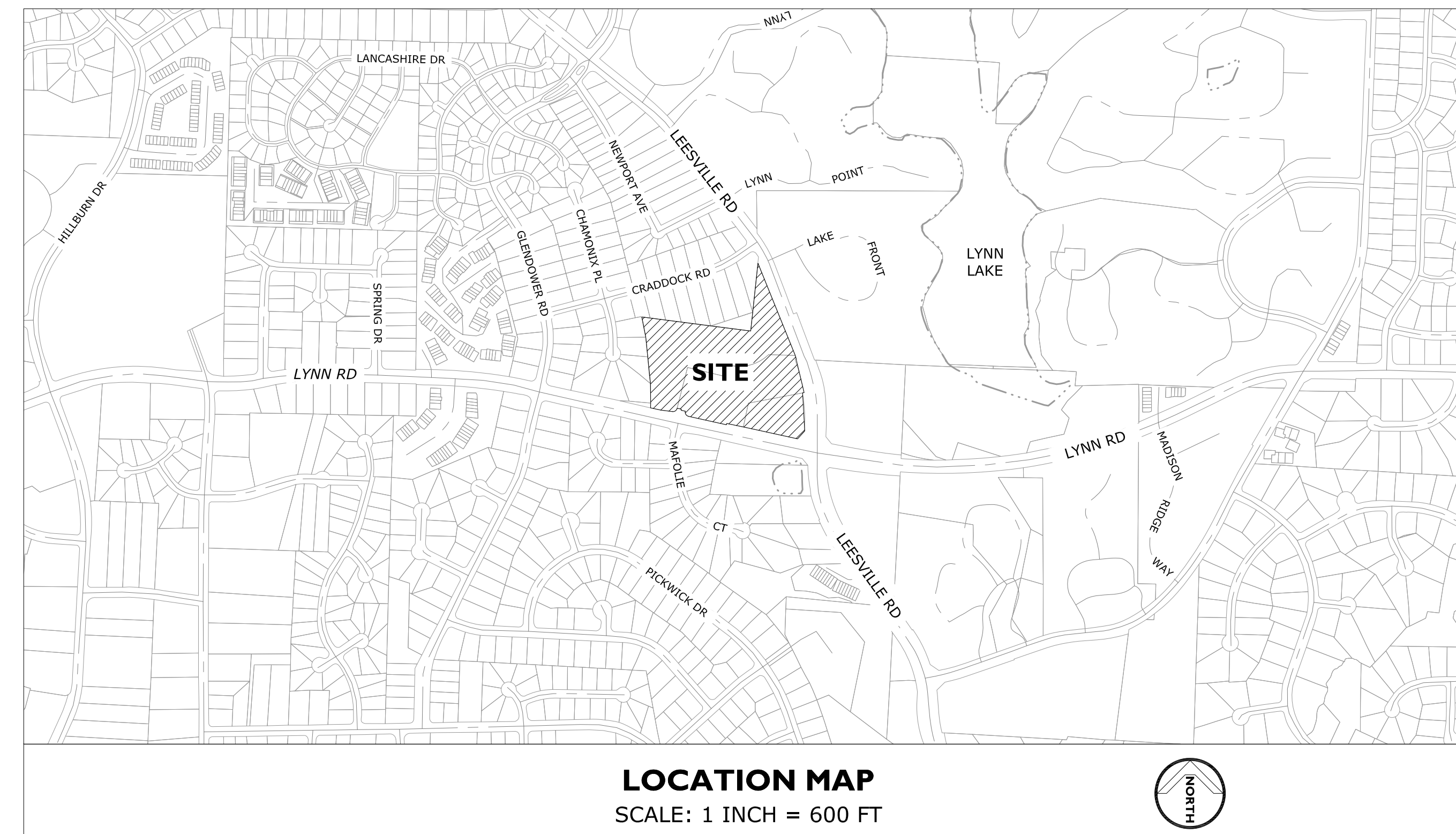
TMTLA ASSOCIATES  
5011 SOUTHPARK DRIVE, STE 200  
DURHAM, NC 27713  
CONTACT: MS. PAMELA PORTER, PLA  
PAM@TMTLA.COM  
919-484-8880

#### SITE LIGHTING DESIGN

PROFESSIONAL LIGHTING SERVICES  
8851 HAGUE ROAD  
INDIANAPOLIS, IN 46256  
CONTACT: MR. TIM O'SULLIVAN, LEED AP BD+C  
TIMO@PROFESSIONALLIGHTINGSERVICES.COM  
317-844-4261

### SHEET INDEX (15 SHEETS)

- C-1 COVER SHEET
- C-2 SITE EXISTING CONDITIONS
- C-3 SITE DEMOLITION
- C-4 SITE LAYOUT
- C-5 SITE GRADING AND STORM DRAINAGE
- C-6 SITE STORMWATER MANAGEMENT
- C-7 SITE UTILITY
- C-E1 SITE LIGHTING PHOTOMETRICS
- C-E2 SITE LIGHTING DETAILS
- C-L1 LANDSCAPE PLAN
- C-T1 TREE CONSERVATION PLAN
- C-T2 TREE CONSERVATION PLAN
- A4.1 ARCHITECTURAL EXTERIOR ELEVATIONS
- A4.2 ARCHITECTURAL EXTERIOR ELEVATIONS
- SL3 RTU SIGHT LINE STUDIES



### SITE DATA

PIN NOS: 0787739074; 0787821840; 0787823674  
ZONING: R-4  
USE, EXISTING: CIVIC, WORSHIP  
USE, PROPOSED: CIVIC, WORSHIP  
BUILDING GSF, EXISTING: 16,500 SF (2 EX. BUILDINGS)  
BUILDING GSF, NEW: 27,925 SF  
BUILDING GSF, PROPOSED (EX. TO REMAIN + NEW): 44,425 SF  
PARKING, REQUIRED: 181 (1 PER 4 SEATS IN SANCTUARY, 724 SEATS PRO.)  
PARKING, PROPOSED: 250 (INCLUDES 7 ADA COMPLIANT SPACES)

### SURVEY LEGEND

AG... ABOVE GROUND	APPROX... APPROXIMATE	BL... BELOW GROUND	BL... BOUNDARY LINE	BM... BOOK OF MAPS	BL... BOLLARD	BTM... BOTTOM	C&G... CURB & GUTTER	CB... CATCH BASIN	CGF... COMBINED GRID FACTOR	CP... CORRUGATED PLASTIC PIPE	CONC... CONCRETE	COR... CITY OF RALEIGH	DB... DEED BOOK	DI... DROP INLET	DIP... DUCTILE IRON PIPE	E... EAST	ECM... EXISTING CONCRETE MONUMENT	EP... EXISTING IRON PIPE	ELEV... ELEVATION	EP... EDGE OF PAVEMENT	EX... EXISTING	FES... FLARED END SECTION	FOM... FIBER OPTIC MARKER	GM... GAS METER	GRVL... GRAVEL	H&R... HANDRAIL	HCP... HANDICAP PARKING	HCB... HANDICAP RAMP	INV... INVERT	LSA... LANDSCAPE AREA	MTL... METAL	N... NORTH	NE... NORTH EAST	N/F... NOW OR FORMERLY	N/P... NO PARKING	NW... NORTH WEST	PG... PAGE	PI... PARCEL IDENTIFICATION NUMBER	PVC... POLYVINYL CHLORIDE PIPE	R/W... RIGHT OF WAY	RCF... REINFORCED CONCRETE PIPE	RD... ROOF DRAIN	S... SOUTH	SE... SOUTH EAST	S/F... SQUARE FEET	STMH... STORM MANHOLE	T&S... TRAFFIC SIGNAL BOX	TSP... TRAFFIC SIGNAL POLE	W... WEST	TY... TYPICAL	UNK S/T... UNKNOWN SIZE AND TYPE	W... WEST	W... WITH	YI... YARD INLET	... VRS CONTROL POINT	... EXISTING CONCRETE MONUMENT	... EXISTING IRON PIPE/ REBAR	... COMPUTED POINT	... NRS... NEW 5/8" REBAR SET	... NMS... NEW MAG NAIL SET	... LT... LIGHT POLE	... PP... POWER POLE	... POWER TRANSFORMER	... GUY ANCHOR	... GAS VALVE	... GAS METER	... TELEVISION HANDHOLE	... FIBER OPTIC MARKER	... TELEPHONE PEDESTAL	... TELEPHONE HANDHOLE	... SANITARY SEWER MANHOLE	... SANITARY SEWER CLEAN OUT	... WATER VALVE	... FIRE HYDRANT	... WATER MANHOLE	... WELL	... WATER VAULT	... STORM MANHOLE	... SIGN	... BUSH	... TREE	... AC UNIT	... TREELINE / WOODS	... FENCE	... WATER RECORD LINE	... TELEPHONE CONDUIT FIBER OPTIC RECORD	... TELEPHONE RECORD	... GAS RECORD	... POWER RECORD	... OVERHEAD UTILITY LINE	... STORM PIPE	... SANITARY SEWER LINE	... MAJOR CONTOUR LINE	... MINOR CONTOUR LINE	... EXISTING EASEMENT LINE	... BOUNDARY LINE	... BOUNDARY LINE (NOT SURVEYED)	... TIE LINE
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### LEGEND OF ABBREVIATIONS

BC	BACK OF CURB	LP	LIGHT POLE
CB	CATCH BASIN	N/F	NOW OR FORMERLY
CO	CLEAN OUT	P.E.	PERMANENT EASEMENT
CPP	CORRUGATED PLASTIC PIPE	PVC	POLYVINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
C & G	CURB & GUTTER	RCF	REINFORCED CONCRETE PIPE
DI	DROP INLET	RD	ROOF DRAIN
DIP	DUCTILE IRON PIPE	RRX	RAILROAD CROSSING
EG	EDGE OF GRAVEL	R/W	RIGHT OF WAY
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EB	ELECTRICAL BOX	SS OR SAN	SANITARY SEWER
EV	ELECTRICAL VAULT	SSMH	SANITARY SEWER MANHOLE
EL	ELEVATION	T.C.E.	TEMPORARY CONSTRUCTION EASEMENT
ECM	EXISTING CONCRETE MONUMENT	TMH	TELECOMMUNICATION MANHOLE
EP	EXISTING IRON PIPE	TR	TRANSFORMER
EPK	EXISTING PK NAIL	TP	TELEPHONE PEDESTAL
FO	FIBER OPTIC	TS	TOP OF SIDEWALK
FOM	FIBER OPTIC MARKER	TSP	TRAFFIC SIGNAL POLE
FOB	FIBER OPTIC BOX	TW	TOP OF WALL
FR	FIRE HYDRANT	UE	UNDERGROUND ELECTRICAL
GUY	GUY WIRE	VB	VALVE BOX
HP	HIGH POINT	WM	WATER METER
INV	INVERT	WV	WATER VALVE
JB	JUNCTION BOX (STORM)	WCR	WHEELCHAIR RAMP
IPS	IRON PIN SET	YI	YARD INLET

### LEGEND OF SYMBOLS AND LINES

PROPERTY CORNER	UTILITY POLE	RIGHT OF WAY	PROPERTY LINE
LIGHT POLE	TELEPHONE PEDESTAL	UTILITY EASEMENT	CENTERLINE
TRANSFORMER	GATE VALVE	LIMIT OF DISTURBANCE	UNDERGROUND ELECTRIC LINE
WATER METER	FIRE HYDRANT	OVERHEAD ELECTRIC LINE	ONE
SEWER MANHOLE	SEWER CLEANOUT	SANITARY SEWER (GRAVITY)	SAN
CATCH BASIN	YARD INLET / DROP INLET	SANITARY SEWER (FORCEMAIN)	FM
STORM JUNCTION BOX / MH	HANDICAP	STORM DRAIN PIPE	SD
SPOT ELEVATION	SIGN	WATER LINE	W
ALIGNMENT CHANGE	PHI	GAS LINE	G
DELTA		COMMUNICATIONS LINE	C
		FIBER OPTIC LINE	FO
		FENCE LINE	F
		TREE LINE	T
		CONCRETE PAVEMENT	CP
		ASPHALT PAVEMENT	AP
		GRAVEL SURFACE	GS

### Administrative Site Review Application

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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, as amended by text change case [C-14-1] to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>	Site Transaction History
Building Type	General	Subdivision case #: _____
<input type="checkbox"/> Detached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: 0119-2021
<input type="checkbox"/> Attached	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____

#### GENERAL INFORMATION

Development name: Baptist Grove Church  
 Inside City limits? Yes  No   
 Property address(es): 7011, 7101, 7109 Leesville Rd  
 Site P.I.N.(s): 0787823674; 0787821840; 0787739074  
 Please describe the scope of work. Include any additions, expansions, and change of use.  
 Proposed building addition of 27,925 SF. Proposed site improvements for accessibility and parking.

Current Property Owner/Developer Contact Name: Joshua Bivens  
 NOTE: please attach purchase agreement when submitting this form.  
 Company: Baptist Grove Church Title: Vice Chair of Trustee Ministry  
 Address: 7109 Leesville Road, Raleigh, NC 27613  
 Phone #: 704-771-9197 Email: jbivens43@gmail.com  
 Applicant Name: Jeremy R. Thomas, PE  
 Company: J Thomas Engineering, Inc. Address: 143 Charlotte Ave, Ste 104  
 Phone #: 919-777-6010 Email: jthomas@jthomaseengineering.com

Page 1 of 2

#### DEVELOPMENT TYPE + SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 16,500 SF +/-
Gross site acreage: 12.38 AC	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 250	New gross floor area: 27,925 SF
Proposed # of buildings: 2	Total of gross (to remain and new): 44,425 SF
Proposed # of stories for each: 2	

#### STORMWATER INFORMATION

Existing Impervious Surface:  
 Acres: 2.2 Square Feet: 191,060  
 Proposed Impervious Surface:  
 Acres: 4.2 Square Feet: 363,256

Is this a flood hazard area? Yes  No

If yes, please provide:  
 Alluvial soils: \_\_\_\_\_  
 Flood study: \_\_\_\_\_  
 FEMA Map Panel #: 3720X078702 (effective 5/22/2006)

Neuse River Buffer Yes  No  Wetlands Yes  No

#### RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: N/A Total # of hotel units: \_\_\_\_\_  
 # of bedroom units: 1br 2br 3br 4br or more  
 # of lots: \_\_\_\_\_ Is your project a cottage court? Yes  No

#### SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jeremy R. Thomas, PE will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

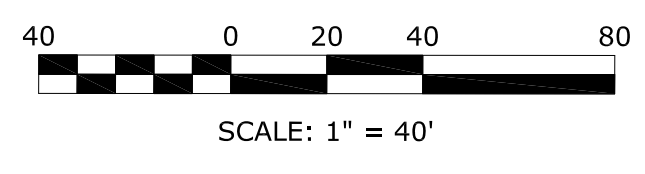
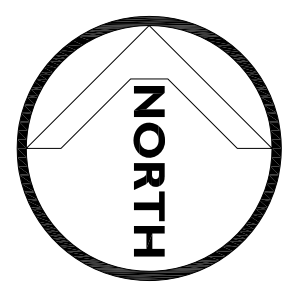
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Jeremy R. Thomas Date: 4-11-2022  
 Printed Name: Jeremy R. Thomas PE

Page 2 of 2

AGENCY REVIEW ONLY

JTE Project No. 21-011



**NOTES**

- REVIEW AND APPROVAL OF THE PLANS DOES NOT RELIEVE THE OWNER OR CONTRACTOR FROM MEETING ALL THE REQUIREMENTS OF THE CITY OF RALEIGH CODE OF ORDINANCES AND ANY OTHER LOCAL, STATE, AND FEDERAL REGULATIONS AND APPROVALS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THIS SITE IS NOT LOCATED IN A FEMA DESIGNATED FLOOD HAZARD AREA PER DFORM MAP NUMBER 37200787003 DATED 5/02/2006.
- OWNER HAS NOT IDENTIFIED ANY JURISDICTIONAL WATERS WITHIN THE PROJECT SITE (LIMITS OF DISTURBANCE).
- ALL HANDICAP ACCESSIBLE AREAS ON THE SITE SHALL CONFORM TO THE REQUIREMENTS OF VOLUME 1-C OF THE NC STATE BUILDING CODE.
- DIMENSIONS AT THE C & G ARE TO EDGE OF GUTTER (AT PAVEMENT INTERFACE) UNLESS OTHERWISE NOTED. RADIUS ON GUTTER EDGE IS 7' UNLESS SHOWN OTHERWISE.
- DETAILED DESIGN OF THE RETAINING WALLS SHOWN SHALL BE BY OTHERS AND SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL. THE FINAL LAYOUT, LENGTH, AND ELEVATIONS MAY NEED TO BE ADJUSTED PER THE FINAL DESIGN AND ACTUAL FIELD CONDITIONS.
- PUBLIC (CITY OF RALEIGH) WATER AND SANITARY SEWER IS AVAILABLE AT THE SITE. NEW SERVICES ARE PROPOSED TO THE PROPOSED BUILDING AND EXISTING SANCTUARY (CURRENTLY ON WELL AND SEPTIC, SEE SHEET C-7).
- A CONCRETE PAD AND SCREENING IS REQUIRED FOR TRASH DUMPSTER AND SHALL BE CONSTRUCTED TO CITY OF RALEIGH STANDARDS.
- PERMANENT SIGNAGE MUST BE APPROVED BY THE CITY OF RALEIGH PLANNING AND ZONING PRIOR TO INSTALLATION (SEPARATE PERMIT).
- THE PROJECT AREA COMPRISES OF THREE SEPARATE LOTS OWNED BY BAPTIST GROVE CHURCH. THESE LOTS ARE TO BE COMBINED AS PART OF THIS PROJECT (SEE SHEET C-2).

**SITE DATA**

**PROPERTY ID'S:**

- LOT 1**  
WAKE COUNTY PIN NO.: 0787-73-9074  
OWNER: BAPTIST GROVE CHURCH  
ACREAGE: 6.484 AC
- LOT 2**  
WAKE COUNTY PIN NO.: 0787-82-1840  
OWNER: BAPTIST GROVE CHURCH  
ACREAGE: 4.286 AC
- LOT 3**  
WAKE COUNTY PIN NO.: 0787-82-3674  
OWNER: BAPTIST GROVE CHURCH  
ACREAGE: 1.610 AC

**SITE INFO:**

JURISDICTION: CITY OF RALEIGH  
ZONING CLASSIFICATION: R-4  
NONE DESIGNATED  
WATER SUPPLY WATERSHED: 12.380 AC (+/-) (TOTAL OF 3 LOTS)  
PROPERTY ACREAGE: 12.380 AC (+/-) (TOTAL OF 3 LOTS)  
USE, EXISTING: CIVIC, WORSHIP  
USE, PROPOSED: CIVIC, WORSHIP  
BUILDING GSF, EXISTING: 16,500 SF +/- (TWO BUILDINGS)  
BUILDING GSF, PROPOSED NEW: 27,925 SF +/-  
BUILDING GSF, PROPOSED (NEW + EX.): 44,425 SF +/-  
PARKING SPACES EXISTING: 155  
PARKING SPACES PROPOSED (EX. TO REMAIN + NEW): 270 (150% OF MIN.)  
PARKING SPACES REQUIRED (MIN PER IUDO): 250 (INCLUDES 7 ADA SPACES)  
PARKING SPACES REQUIRED (MAX PER IUDO): 270 (150% OF MIN.)  
IMPERVIOUS AREA, EXISTING: 2.99 AC +/- (24.2%)  
IMPERVIOUS AREA, PROPOSED (EX. TO REMAIN + NEW): 4.51 AC +/- (36.4%)  
DISTURBED AREA PROPOSED: 5.9 AC +/-  
TREE CONSERVATION AREA REQUIRED: 1.24 AC (10% OF PROPERTY)  
TREE CONSERVATION AREA PROPOSED: 1.25 AC (10.1% OF PROPERTY)  
PROTECTIVE YARDS REQUIRED: A-2 AND C-2  
BUILDING SETBACK REQUIRED: 10 FT  
PARKING SETBACK REQUIRED: 10 FT  
WATER SUPPLY: PUBLIC (CITY OF RALEIGH)  
WATERLINE PROPOSED (PUBLIC): 0 LF (NEW PRIVATE SERVICE LINES ONLY)  
SANITARY SEWER: PUBLIC (CITY OF RALEIGH)  
SANITARY SEWER PROPOSED (PUBLIC): 0 LF (NEW PRIVATE SERVICE LINE ONLY)  
STREETS: PUBLIC NCDOT  
STREETS PROPOSED (PUBLIC): 0 LF (NEW PRIVATE DRIVE ONLY)

ARCHITECT

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN  
ENGINEERING

LANDSCAPE ARCHITECT

TMTLA Associates  
Tony Tate, PLA, ASLA  
Principal  
5011 Southpark Drive, Suite 200  
Durham, NC 27713  
T (919) 484-8880 www.tmtla.com

A CERTIFIED WOMAN-OWNED BUSINESS

CIVIL

J THOMAS ENGINEERING, INC.

CIVIL ENGINEERING & PLANNING

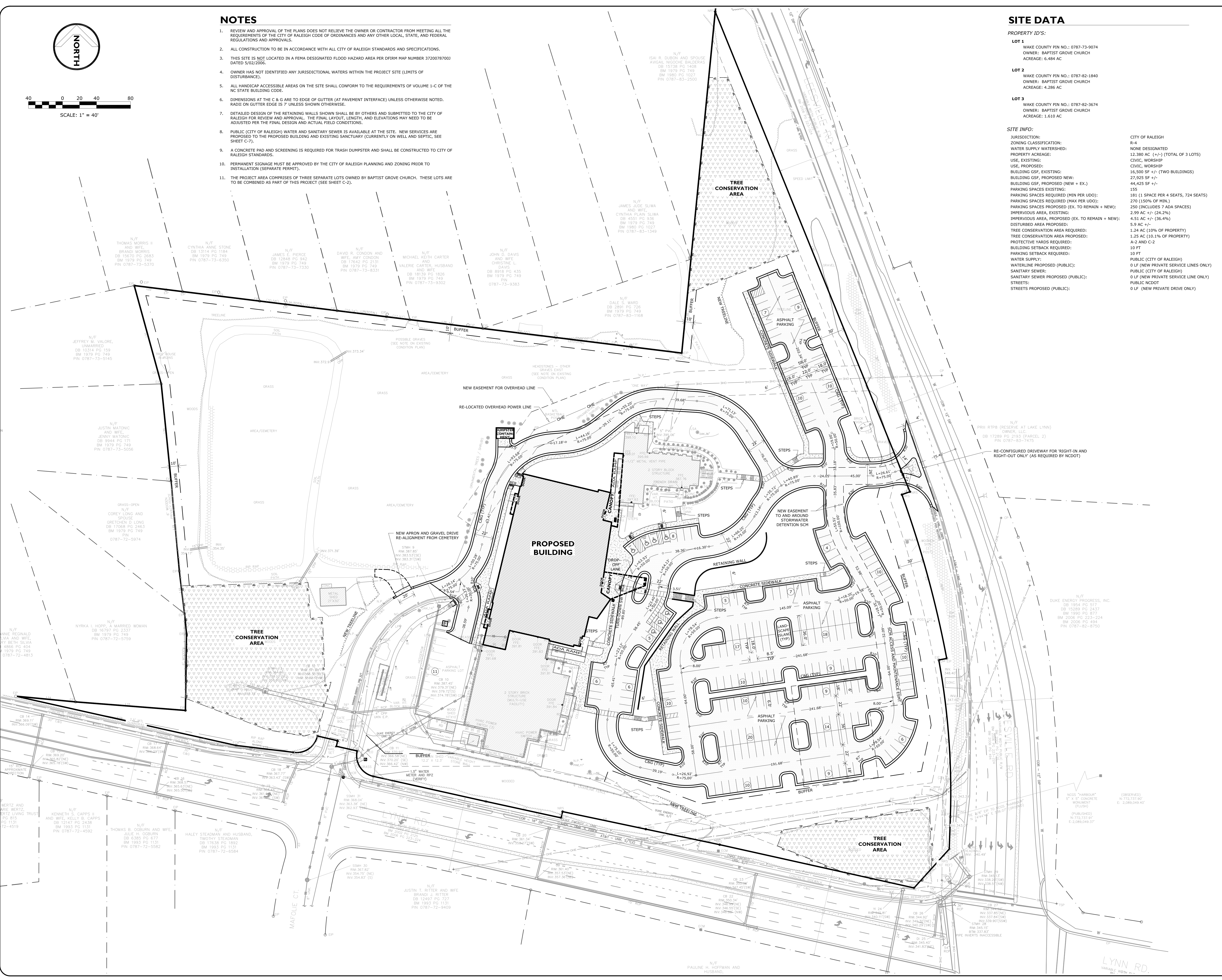
143 Charlotte Avenue, Suite 104  
Sanford, North Carolina 27330  
(919) 777-6010 phone  
www.jthomasengineering.com  
license no. C-3389

PROFESSIONAL'S SEAL

**BAPTIST GROVE CHURCH  
PROPOSED WORSHIP SERVICE ADDITION AND  
SITE IMPROVEMENTS**

7109 LEESVILLE ROAD  
RALEIGH, NORTH CAROLINA

SITE LAYOUT



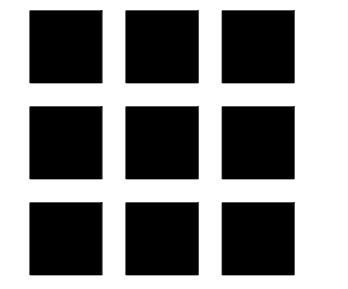
REVISIONS

NO.	DATE	DESCRIPTION

AGENCY REVIEW ONLY

Scale:	SEE SCALE BAR	Drawn by:	JRT
Sheet:	C-4 of 15	Designed by:	JRT
Project Number:	21-011	Reviewed by:	JRT
Date:	11 APR 2022		

FILE: C:\PROJECTS\21-011 BAPTIST GROVE CHURCH\DWG\SSITE - BAPTIST GROVE CHURCH.dwg Print Date: 4/02/2022



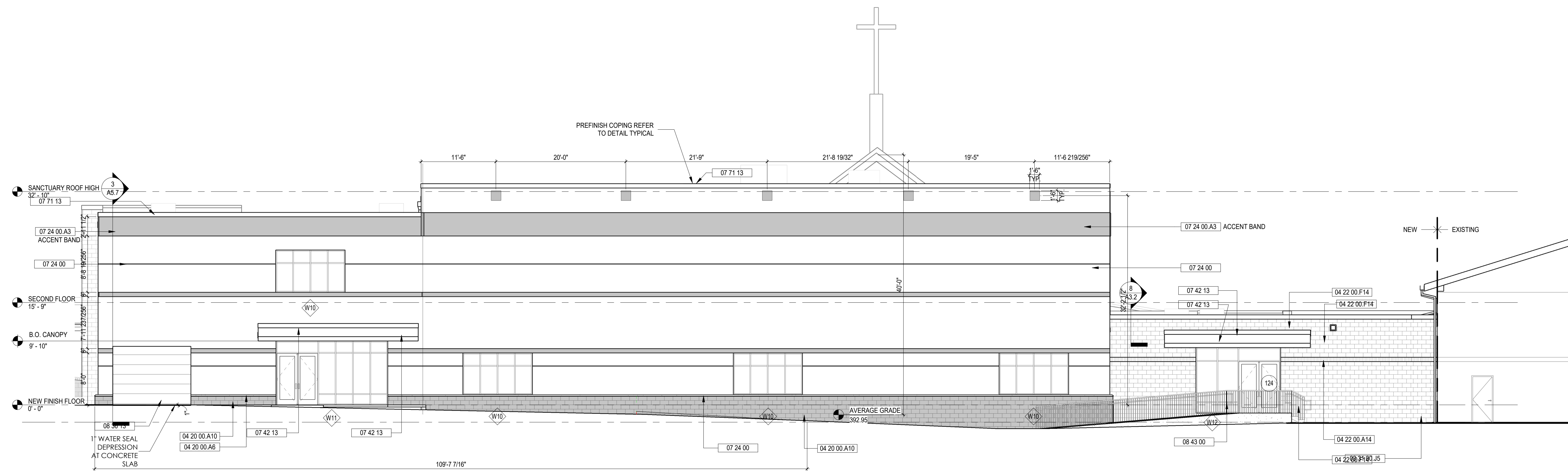
CONSTRUCTION DOCUMENTS

BAPTIST GROVE CHURCH  
NEW WORSHIP SPACE ADDITION

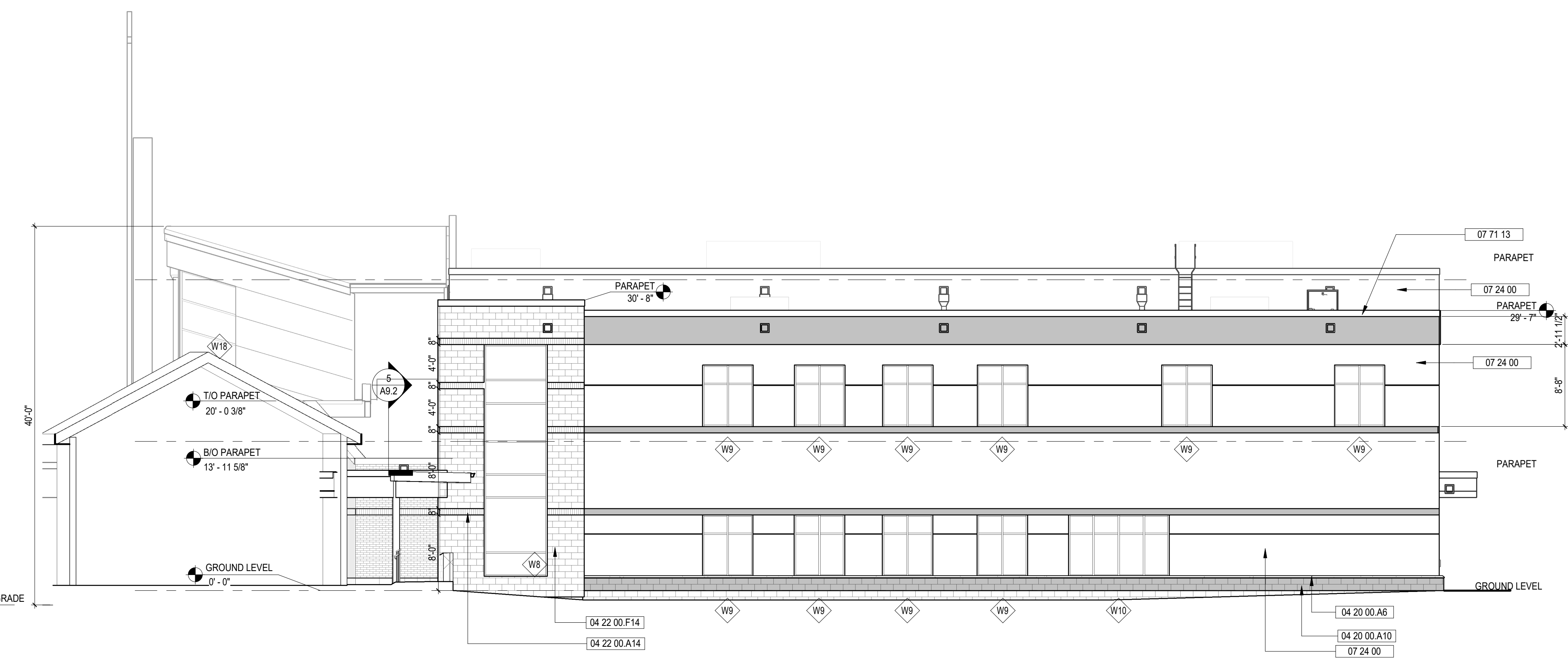
7109 Leesville Road Raleigh, NC

EXTERIOR ELEVATIONS

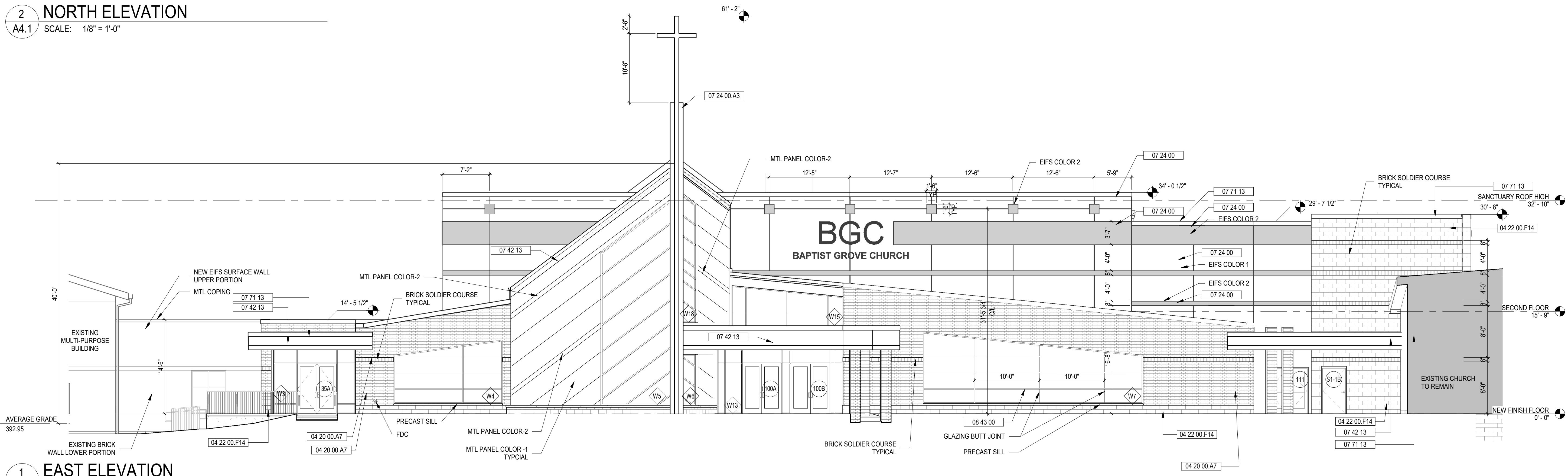
Key Value	Keynote Text
03 31 00 J5	4" Cast-in-Place Concrete Slab
04 20 00 A6	Cast Stone Watertable
04 20 00 A7	Brick - Clay Unit Masonry
04 20 00 A10	SF CMU - Split Face CMU
04 22 00 A14	4" x 8" x 16" CMU - 2 Core
04 22 00 F14	4" x 8" x 16" Split Face CMU
07 24 00	Exterior Insulation and Finish Systems
07 24 00 A3	EIFS On 2" Insulation Board
07 42 13	Metal Wall Siding Panel
07 71 13	Manufactured Copings
08 36 13	Sectional Doors
08 43 00	Storefronts



**3 WEST ELEVATION**  
A4.1 SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
A4.1 SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION**  
A4.1 SCALE: 1/8" = 1'-0"

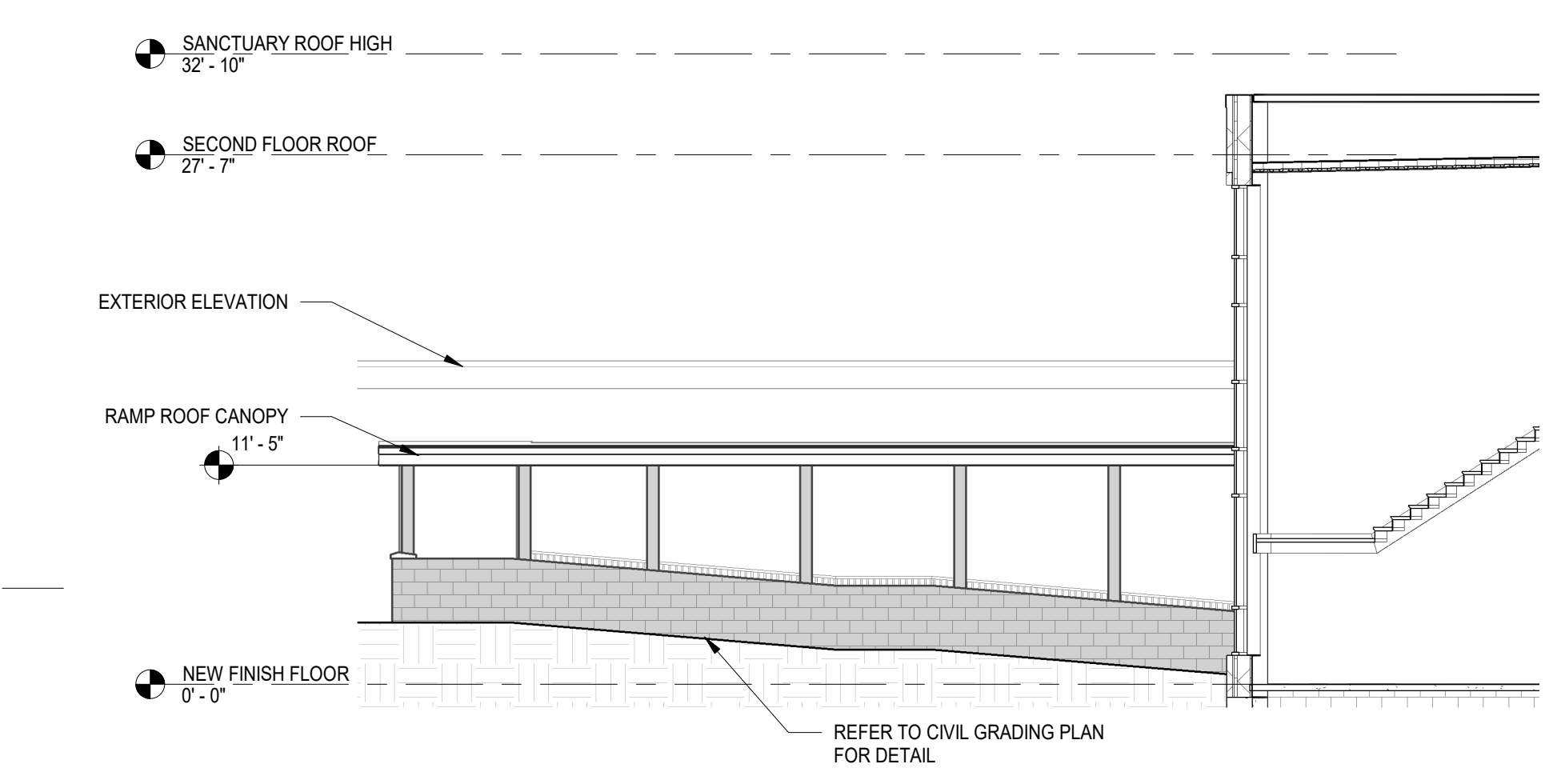
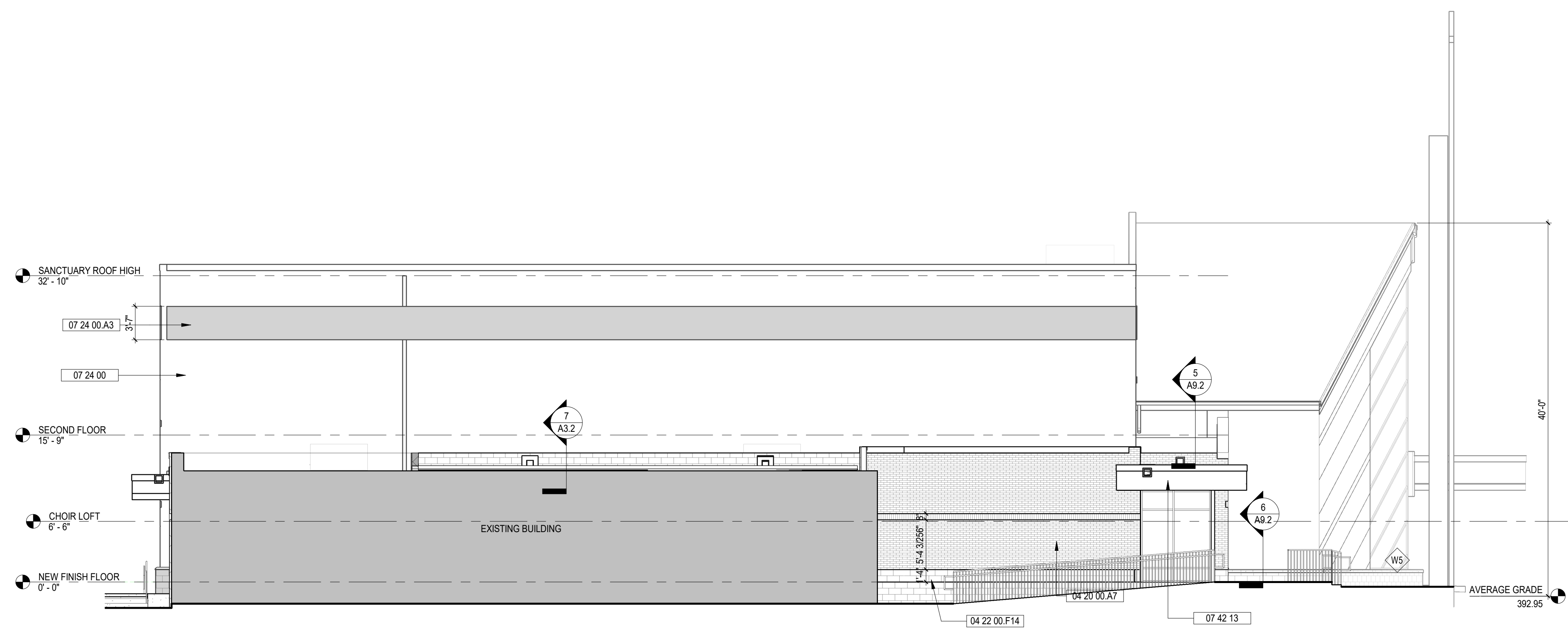
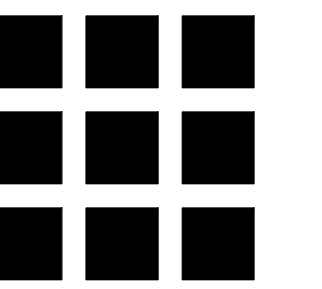
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REVISIONS		
Date	Description	#

DRAWN BY: ACB DAS	CHECKED BY: Checker
PROJECT NO. 0890121	DATE: 04-08-22
CERTIFIED BY:	SHEET NO.

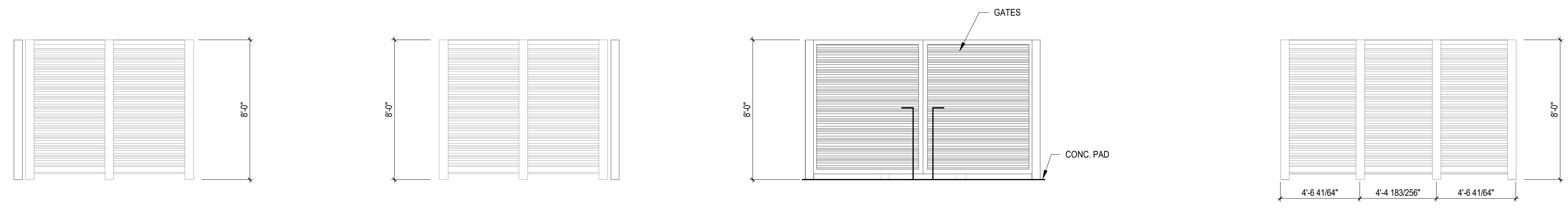
**A4.1**

Keynote - Legend	
Key Value	Keynote Text
04 20 00 A7	Brick - Clay Unit Masonry
04 22 00 F14	4" x 8" x 16" Split Face CMU
07 24 00	Exterior Insulation and Finish Systems
07 24 00 A3	EIFS On 2" Insulation Board
07 42 13	Metal Wall Siding Panel



**1 SOUTH ELEVATION**  
A4.2 SCALE: 1/8" = 1'-0"

**6 PARTIAL EXTERIOR ELEVATION**  
A4.2 SCALE: 1/8" = 1'-0"



**2 DUMPSTER ENCLOSURE - NORTH**  
A4.2 SCALE: 1/4" = 1'-0"

**3 DUMPSTER ENCLOSURE - SOUTH**  
A4.2 SCALE: 1/4" = 1'-0"

**4 DUMPSTER ENCLOSURE - EAST**  
A4.2 SCALE: 1/4" = 1'-0"

**5 DUMPSTER ENCLOSURE - WEST**  
A4.2 SCALE: 1/4" = 1'-0"

**DUMPSTER ENCLOSURE ELEVATIONS** (REFER TO CIVIL LAYOUT SHEET FOR DUMPSTER LOCATION ON THE SITE)

CONSTRUCTION DOCUMENTS

**BAPTIST GROVE CHURCH  
NEW WORSHIP SPACE ADDITION**

7109 Leesville Road Raleigh, NC

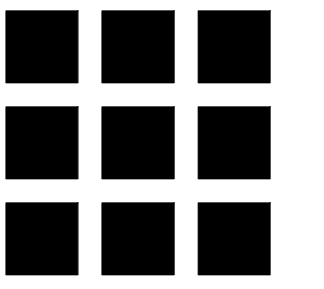
EXTERIOR ELEVATIONS

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REVISIONS		
Date	Description	#

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**A4.2**



CONSTRUCTION DOCUMENTS  
**BAPTIST GROVE CHURCH  
NEW WORSHIP SPACE  
ADDITION**  
7109 Leesville Road Raleigh, NC  
RTU SIGHT LINE STUDIES

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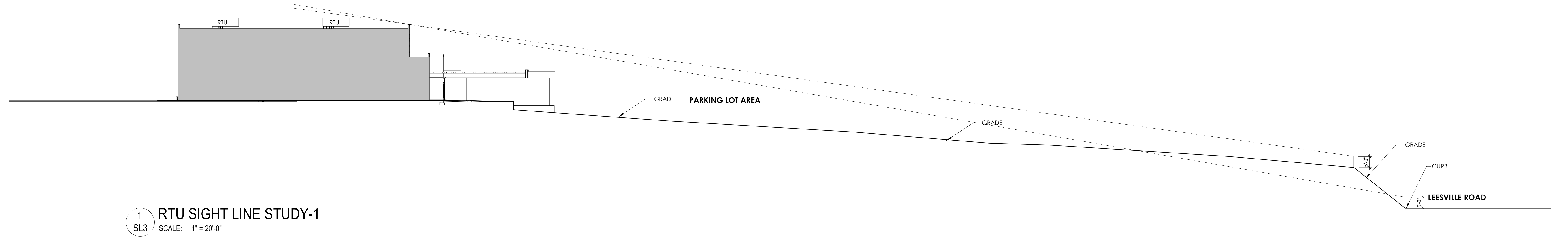
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02-03-21

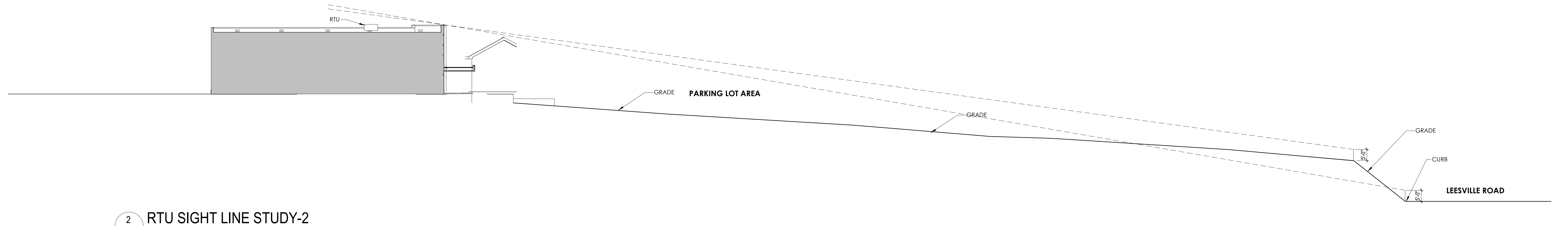
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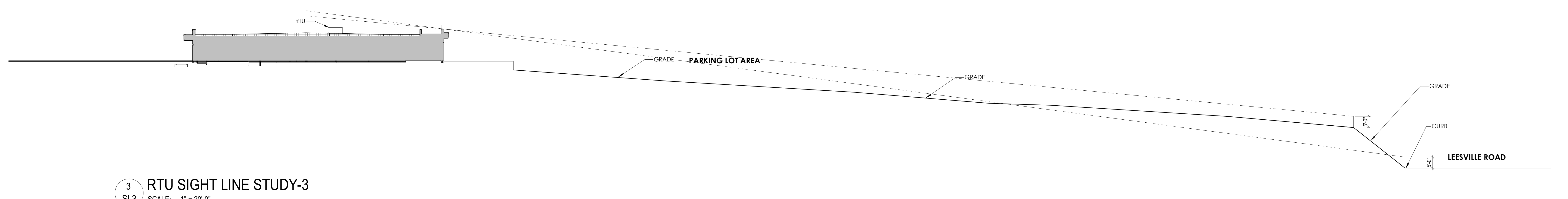
**SL3**



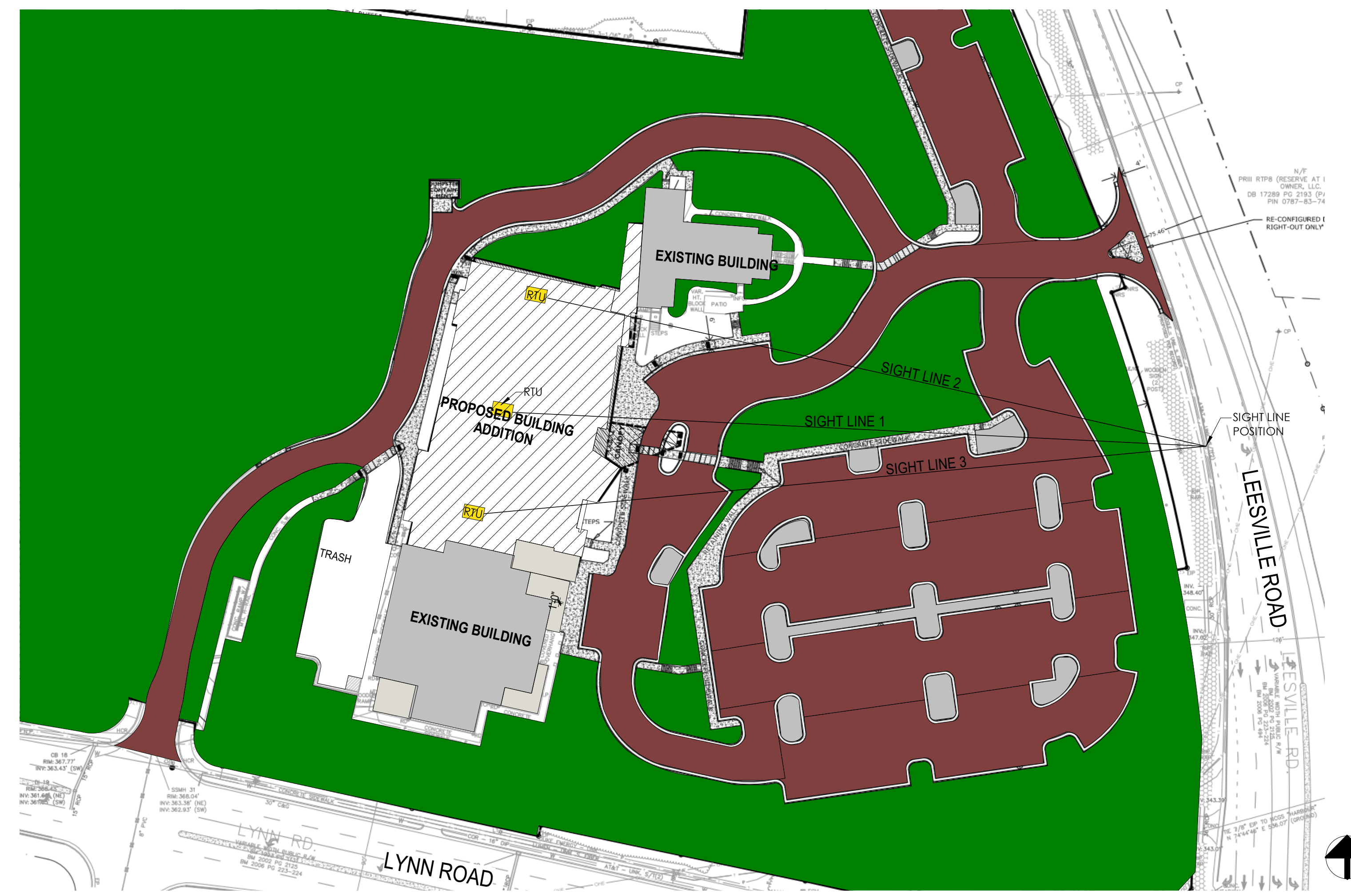
1 RTU SIGHT LINE STUDY-1  
SL3 SCALE: 1" = 20'-0"



2 RTU SIGHT LINE STUDY-2  
SL3 SCALE: 1" = 20'-0"



3 RTU SIGHT LINE STUDY-3  
SL3 SCALE: 1" = 20'-0"



4 ARCHITECTURAL SITE PLAN  
SL3 SCALE: 1" = 60'-0"