

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan		
Building and Development Type (Check all that apply)		Site Transaction History
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes No		
Property address(es): _____		
Site P.I.N.(s): _____		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). WE ARE PROPOSING TO BUILD AN APARTMENT BUILDING WITH 12 UNITS AND ASSOCIATED INFRASTRUCTURE		
Current Property Owner(s):		
Company: _____	Title: _____	
Address: _____		
Phone #: _____	Email: _____	
Applicant Name (If different from owner. See “who can apply” in instructions):		
Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder		
Company: _____	Address: _____	

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units: 1br <u>12</u> 2br _____ 3br _____ 4br or more _____			
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date:

Printed Name:

304

Sheet Number		Sheet Title
C0.00	COVER SHEET	
C0.20	GENERAL NOTES	
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN	
C3.00	SITE PLAN	
C5.00	GRADING AND DRAINAGE PLAN	
C6.00	UTILITY PLAN	
C9.00	SITE DETAILS	
L5.00	PLANTING PLAN	



VICINITY MAP



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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input checked="" type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: CASITAS AQUI I
 Inside City limits? Yes No
 Property address(es): 1113 BROOKSIDE DR RALEIGH, NC 27604
 Site P.I.N. (s): 1714141150
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
WE ARE PROPOSING TO BUILD AN APARTMENT BUILDING WITH 12 UNITS AND ASSOCIATED INFRASTRUCTURE
 Current Property Owner(s): CASITAS AQUI LLC
 Company: CASITAS AQUI LLC Title: MANAGING MEMBER
 Address: 821 WAKE FOREST RD RALEIGH NC 27604
 Phone #: 919-369-5435 Email: MATT@JAMMYPop.COM
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: CASITAS AQUI LLC Address: 821 WAKE FOREST RD RALEIGH NC 27604

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 0.38 AC	Existing gross floor area to be demolished: 770 SF
# of parking spaces proposed: 15	New gross floor area: 10,140 SF
Max # parking permitted (7.1.2.C): 1.5/UNIT	Total sf gross (to remain and new): 10,140 SF
Overlay District (if applicable): NCOD	Proposed # of buildings: 1
Existing use (UDO 6.1.4): SINGLE FAMILY LIVING	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): MULTI FAMILY LIVING	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	
Existing (sf) 2,940	Proposed total (sf) 10,500
Impervious Area for Compliance (includes ROW):	
Existing (sf) 2,940	Proposed total (sf) 10,600

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 12	Total # of hotel bedrooms: 0
# of bedroom units: 1br 12 2br 3br	4br or more
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

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APPLICANT SIGNATURE BLOCK

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Signature: Date: 4/27/23
 Printed Name: MATT TOMASULO

RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION OF ANY WORK, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND DEBRIS CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

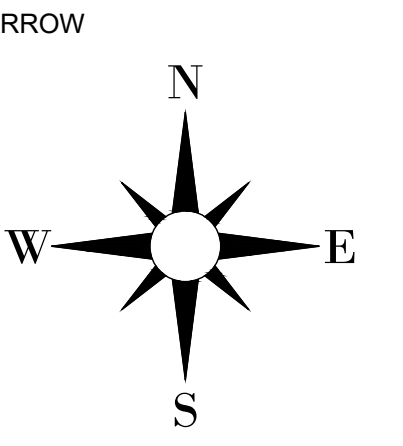
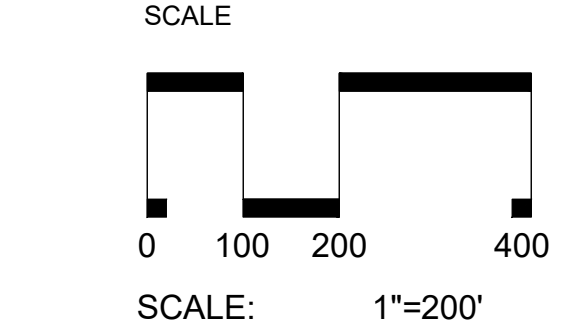
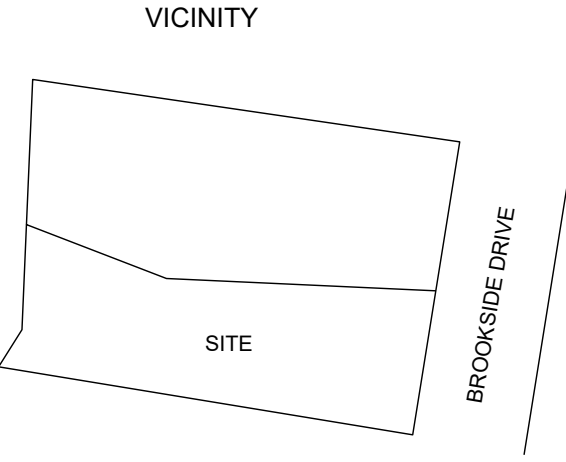
SOLID WASTE:

2 CY TRASH COMPACTOR WITH PLASTIC 2 CY BINS ON CASTERS FOR ROLL OUT TO PRIVATE PICKUP STREETSIDE.

SITE DATA

PROJECT NAME: CASITAS AQUI I
 SITE ADDRESS: 1113 BROOKSIDE DR RALEIGH, NC 27604
 COUNTY: WAKE
 PARCEL PIN #: 1714141150
 PARCEL OWNER: CASITAS AQUI LLC
 PARCEL AREA: 16,705 SF / 0.38 AC
 TOTAL SITE GROSS ACREAGE: 16,705 SF / 0.38 AC
 NET ACREAGE: 16,317 SF / 0.37 AC
 CURRENT ZONING: R-10 NCOD (OAKWOOD PARK)
 PROPOSED ZONING: R-10 NCOD (OAKWOOD PARK)
 EXISTING LAND USE: SINGLE FAMILY LIVING
 PROPOSED LAND USE: MULTI FAMILY LIVING
 FLOOD PLAIN DATA: N/A
 RIVER BASIN: NEUSE
 DEVELOPMENT TYPE: APARTMENT
 MAX BUILDING HEIGHT: 45' / 3 STORIES
 PROPOSED BUILDING HEIGHT: 44' 10 3/8"
 PROPOSED NUMBER OF LOTS: 1
 TREE CONSERVATION AREA: N/A
 TOTAL LIMITS OF DISTURBANCE: 16,068 SF / 0.37 AC
 EXISTING IMPERVIOUS AREA: 6,107 AC AC / 2,940 SF SF
 MAXIMUM ALLOWED IMPERVIOUS AREA: 65% (10,606 ALLOWED)
 PROPOSED IMPERVIOUS AREA: 0.24 AC / 10,500 SF
 AMENITY AREA REQUIRED: 1,621 SF
 AMENITY AREA PROVIDED: 1,880 SF

PARKING DATA:
 REQUIRED PARKING: 1.5 MAX/UNIT
 PROPOSED PARKING: 15
 TOTAL PARKING: 15
 BIKE PARKING REQUIRED: 4 SHORT TERM / 2 LONG TERM
 BIKE PARKING PROVIDED: 4 SHORT TERM / 2 LONG TERM



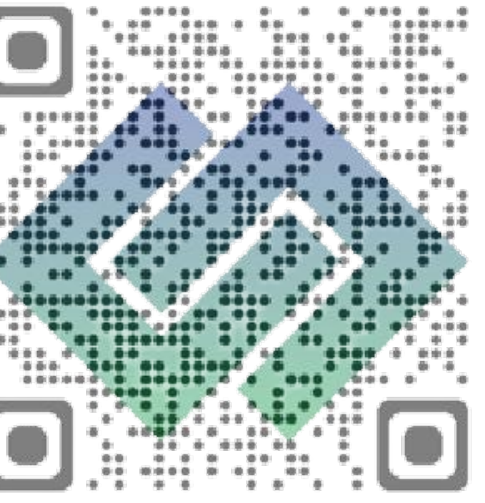
SWIFT PARTNERS PLLC
414 FAYETTEVILLE ST
RALEIGH, NC 27601

LUKE PERKINS
828-735-1862
LUKE.PERKINS@SWIFT-PARTNERS.COM

DATE: 04/28/2023
DRAWN BY: LPP
PROJECT: CASITAS AQUI I
PROJECT #: 202309

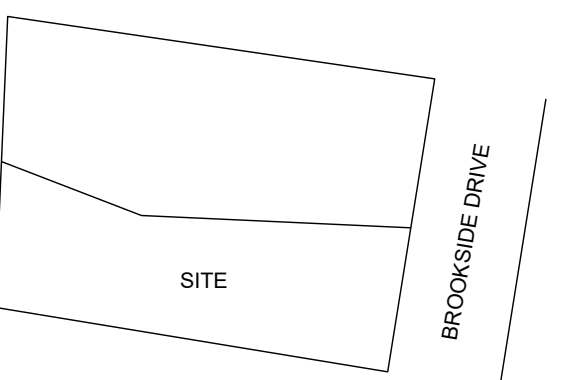
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COVER SHEET

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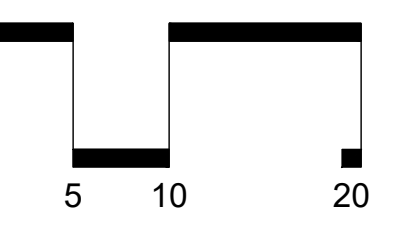


No.	Date	Description

VICINITY

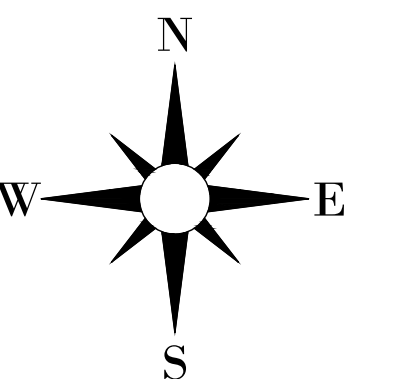


SCALE



SCALE: 1" = 10'

ARROW



SITE LEGEND:

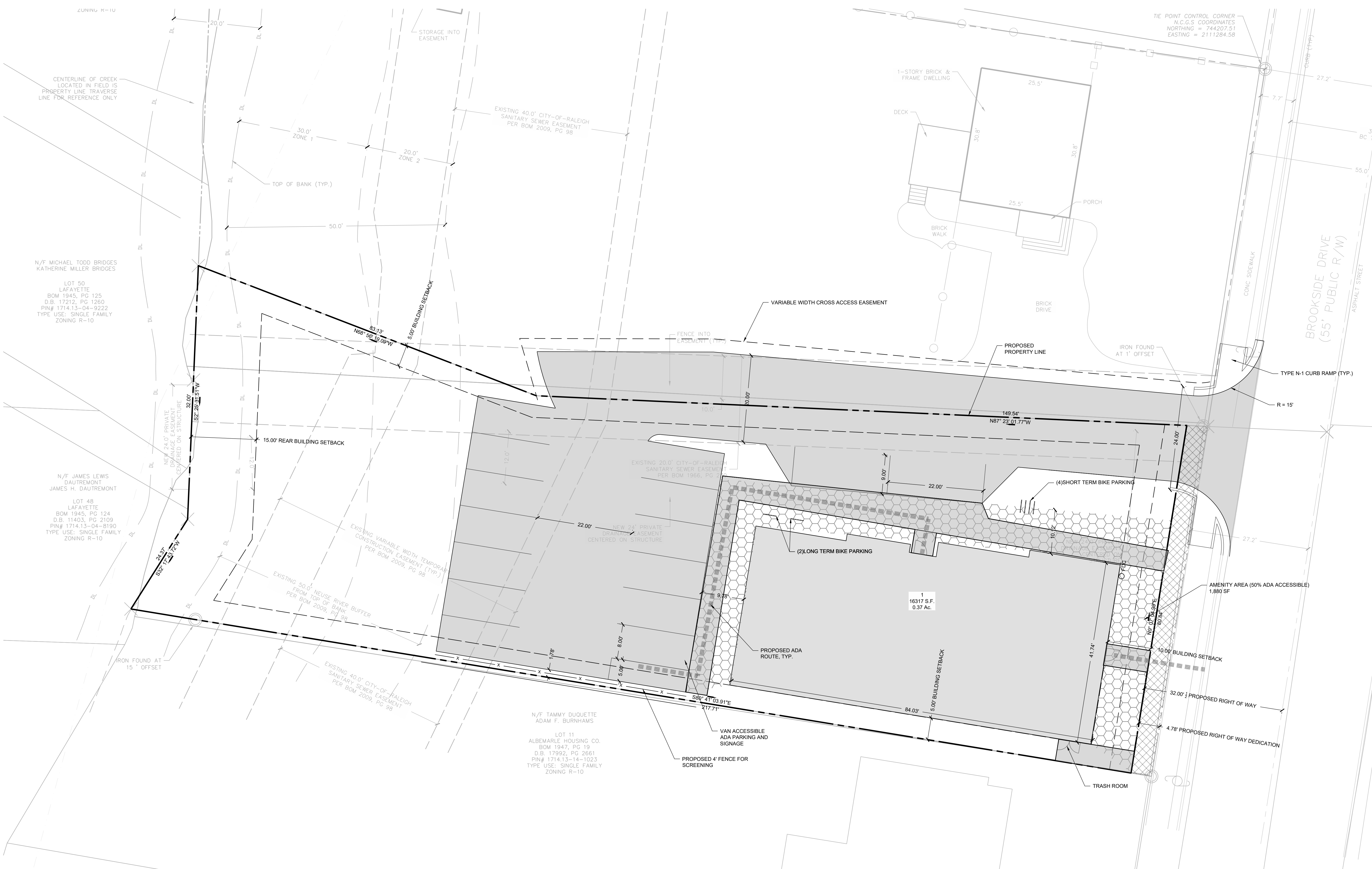
SYMBOL	DESCRIPTION
[Grey Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED CONCRETE SIDEWALK
[Brick Box]	PROPOSED BRICK SIDEWALK
[Dark Grey Box]	PROPOSED HEAVY DUTY PAVEMENT
[Hexagon Box]	PROPOSED CONCRETE PAVERS
[Stippled Box]	PROPOSED GRAVEL
[Line with Dots]	PROPOSED CURB & GUTTER
[Thick Line]	PROPOSED STOP BAR
[Diagonal Lines]	PROPOSED CROSSWALK
[Double Line]	PROPOSED 6' WIDE STANDARD CROSSWALK
[Thick Double Line]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
[Circle]	PROPOSED SIGN
[Circle with X]	PROPOSED ADA PARKING SPACE
[Brick Wall]	PROPOSED KEYSTONE WALL
[Dotted Wall]	PROPOSED CIP WALL
[Square]	PROPOSED WHEEL STOP
[Stippled Trail]	PROPOSED GRAVEL TRAIL
[Dark Grey Trail]	PROPOSED ASPHALT TRAIL
[Wavy Line]	PROPOSED TREELINE
[X Line]	PROPOSED FENCE
[X Gate]	PROPOSED VEHICLE GATE (X' WIDE)
[Circle with X]	PROPOSED LIGHT
[Circle with X]	PROPOSED BIKE RACK
[Square]	PROPOSED BENCH
[Circle]	PROPOSED BOLLARD
[Square]	PROPOSED PEDESTRIAN STEEL PLATE
[Dashed Line]	LIMITS OF DISTURBANCE

NOTES:

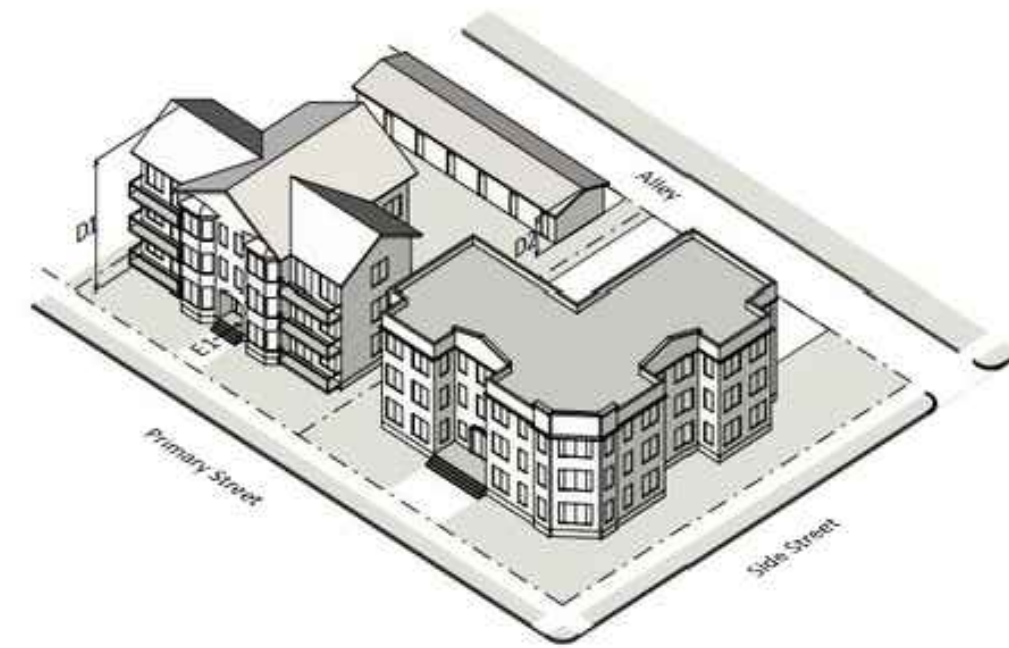
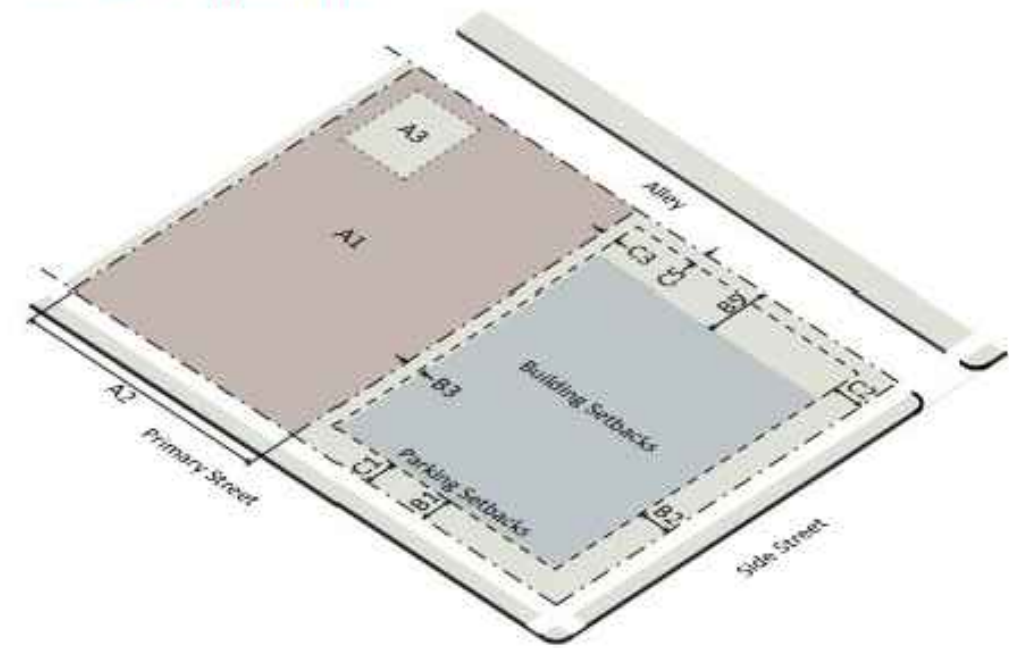
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

SITE DATA

PROJECT NAME:	CASITAS AQU I
SITE ADDRESS:	1113 BROOKSIDE DR RALEIGH, NC 27604
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PROPOSED ZONING:	R-10 NCOD (OAKWOOD PARK)
EXISTING LAND USE:	SINGLE FAMILY LIVING
PROPOSED LAND USE:	MULTI FAMILY LIVING
FLOOD PLAIN DATA:	N/A
RIVER BASIN:	NEUSE
DEVELOPMENT TYPE:	APARTMENT
MAX BUILDING HEIGHT:	45 / 3 STORIES
PROPOSED BUILDING HEIGHT:	44' 10 3/8"
PROPOSED NUMBER OF LOTS:	1
TREE CONSERVATION AREA:	N/A
TOTAL LIMITS OF DISTURBANCE:	16,064 SF / 0.37 AC
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Sec. 2.2.4. Apartment

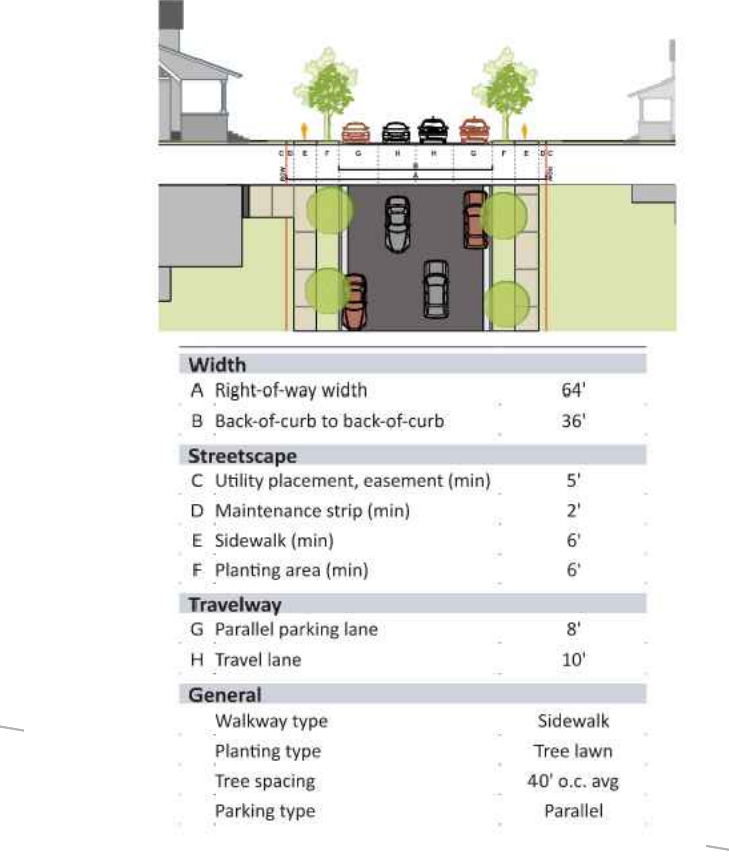


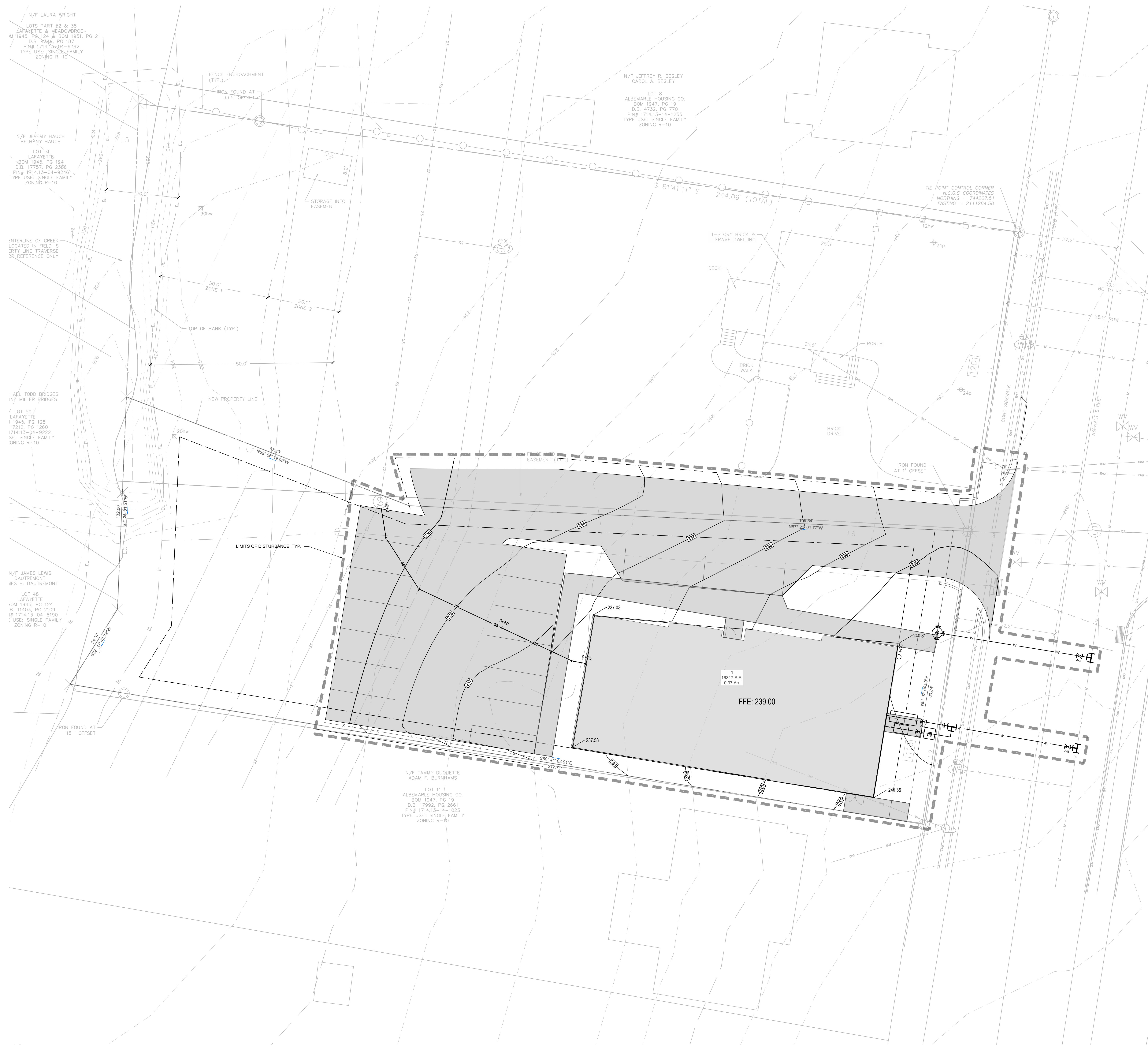
R-10	
A. Lot Dimensions	
A1 Area (min)	7,500 sf
A2 Lot Width (min)	45'
A3 Outdoor amenity area (min)	10%
A4 Lot area per unit (min)	2,500 sf
B. Building/Structure Setbacks	
B1 From primary street	10'
B2 From side street (min)	10'
B3 From side lot line (min)	5'
B4 From rear lot line (min)	20'
B5 From alley	4' or 20' min
B6 Residential infill rules may apply (see Sec. 2.2.7.)	yes
C. Parking Setbacks	
C1 From primary street (min)	10'
C2 From side street (min)	10'
C3 From side/rear lot line (min)	0'
C4 From rear lot line (min)	3'
C5 From alley, garage only (min)	4'

R-10	
D. Height	
D1 Principal building (max)	45/3 stories
D2 Accessory structure (max)	26'
D3 Residential infill rules may apply (see Sec. 2.2.7.)	yes
E. Pedestrian Access	
E1 Street facing entrance required (min 1 per building)	yes

*Garages (or a portion thereof) must either be located 4 feet from the travel lane of alley or rear access drive or be a minimum of 20 feet from the alley or rear access drive. Where parking spaces are located between the garage and the alley or rear access drive, the garage must be located at least 20 feet from the travel lane of alley or rear access drive.

C. Neighborhood Street





GRADING LEGEND:

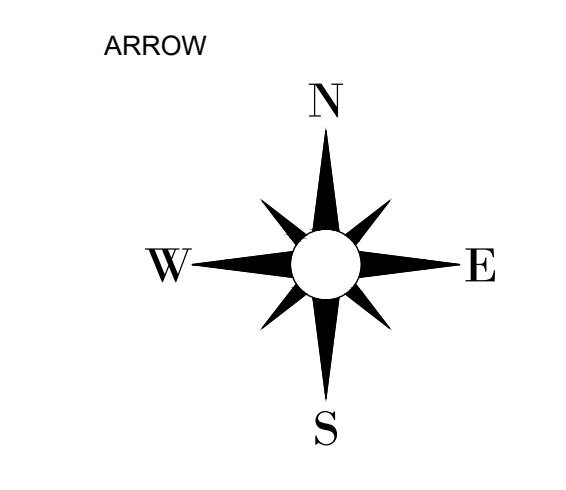
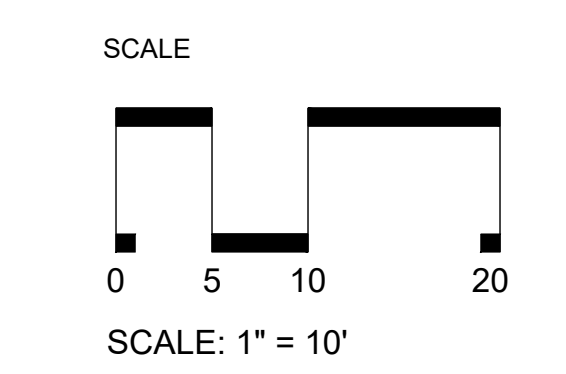
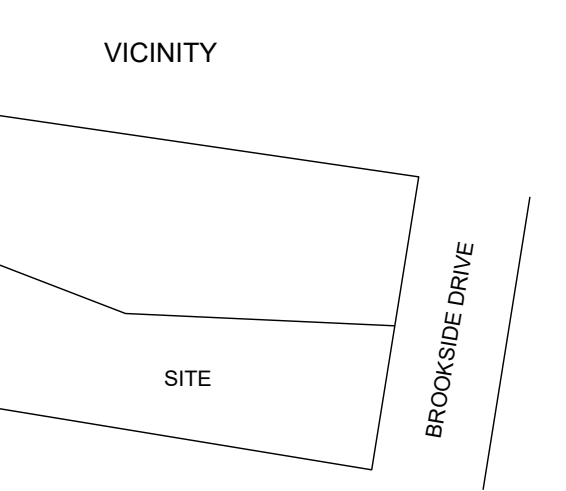
SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED STORM DRAINAGE
	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	RIPRAP DISSIPATOR
	FLOW DIRECTION
	PROPOSED ELEVATION
	TOP/BOTTOM OF CURB
	TOP/BOTTOM OF WALL

NOTES:
 1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

SWIFT PARTNERS

414 FAYETTEVILLE ST
 RALEIGH NC 27601
 FIRM LICENSE: P-2187

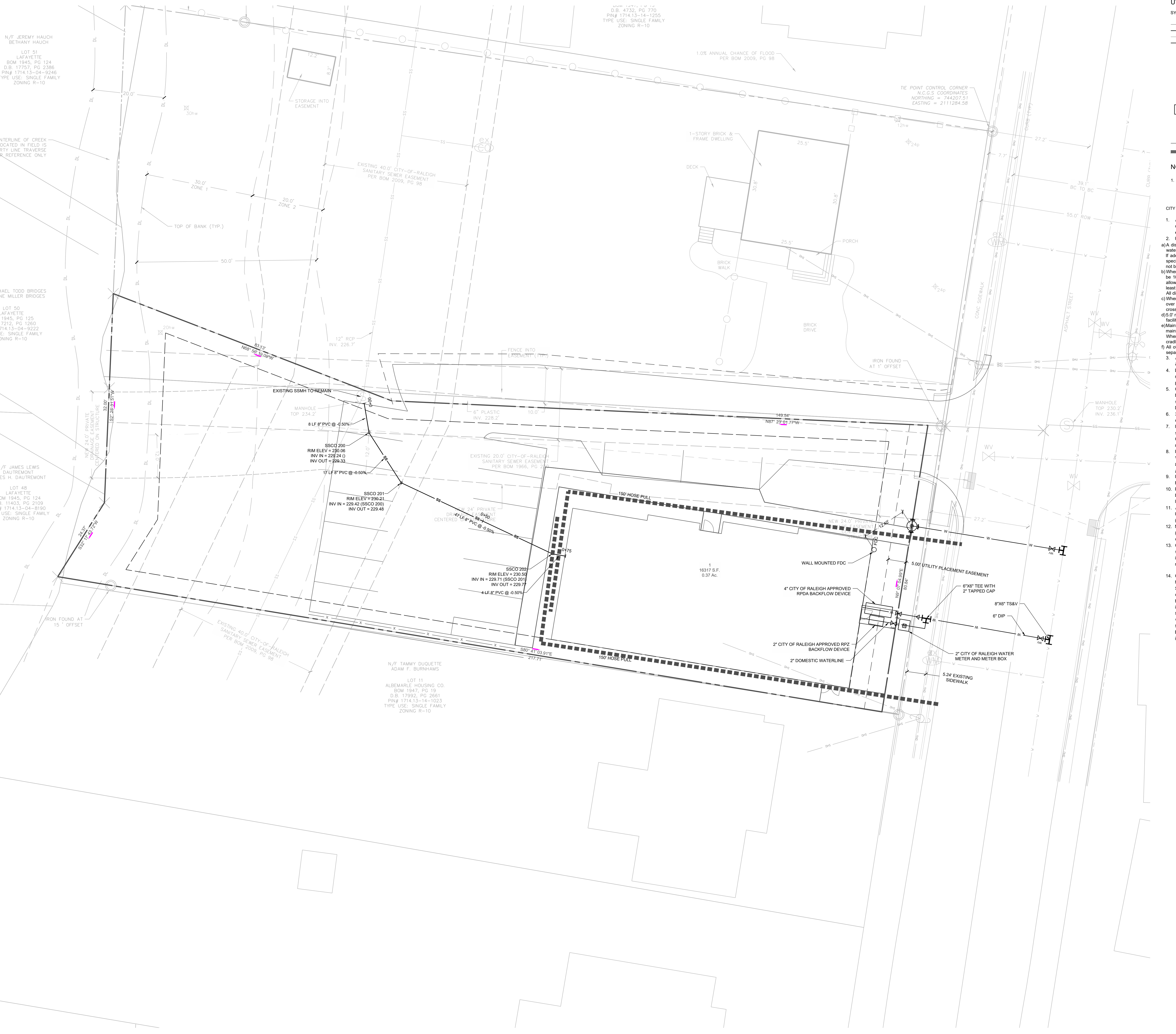
No.	Date	Description



DATE: 04/28/2023
 DRAWN BY: [redacted]
 PROJECT: CASTAS AQUIL
 PROJECT #: 202309

SHEET TITLE
GRADING AND DRAINAGE PLAN

SHEET NO.
C5.00



UTILITY LEGEND:

SYMBOL	DESCRIPTION
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED FDC
	PROPOSED BACKFLOW METER
	PROPOSED POST INDICATOR VALVE (PIV)
	GREASE INTERCEPTOR
	300' HYDRANT COVERAGE CIRCLE
	LIMITS OF DISTURBANCE

NOTES:

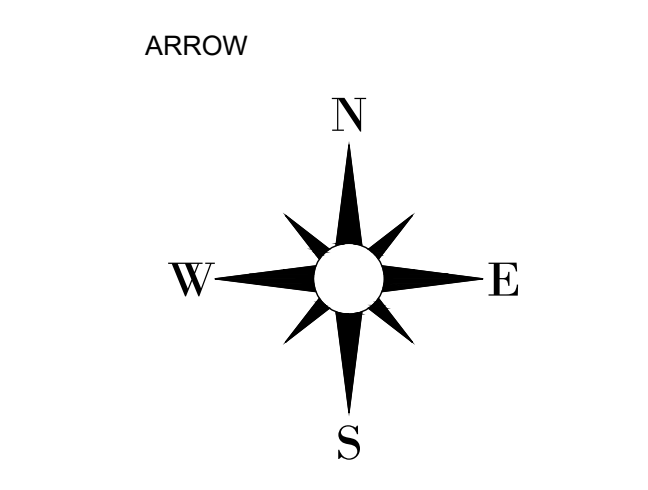
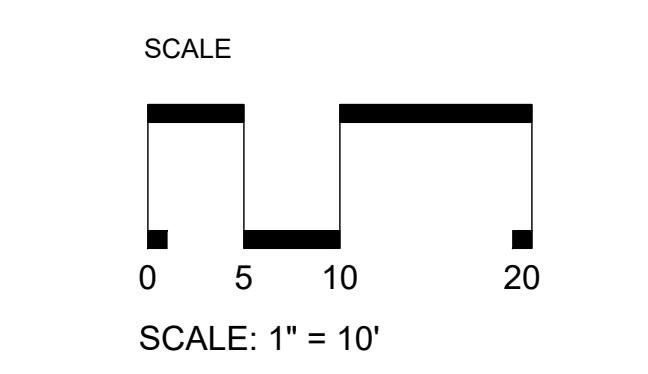
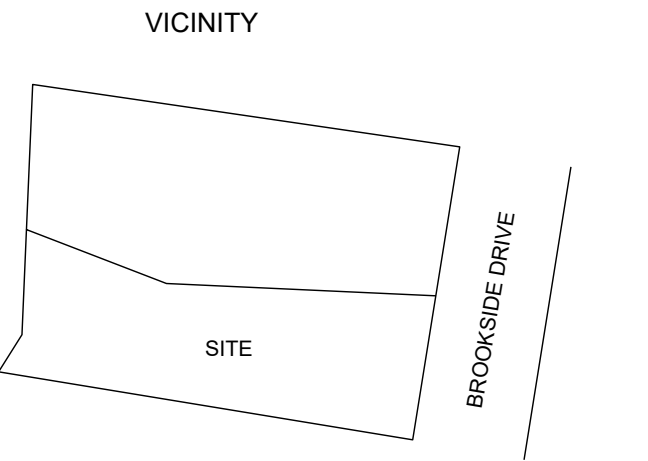
1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

CITY OF RALEIGH STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP materials is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper water services with meters located at ROW or within a 2'± Waterline Easement immediately adjacent. **NOTE:** it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC / Bldg Permit. Contact (919) 996-4516 or fsg@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained from the RW Cross-Connection Coordinator for each device prior to issuance of a UC / Bldg Permit. Contact (919) 996-5923 or cross.connection@raleighnc.gov for more information.



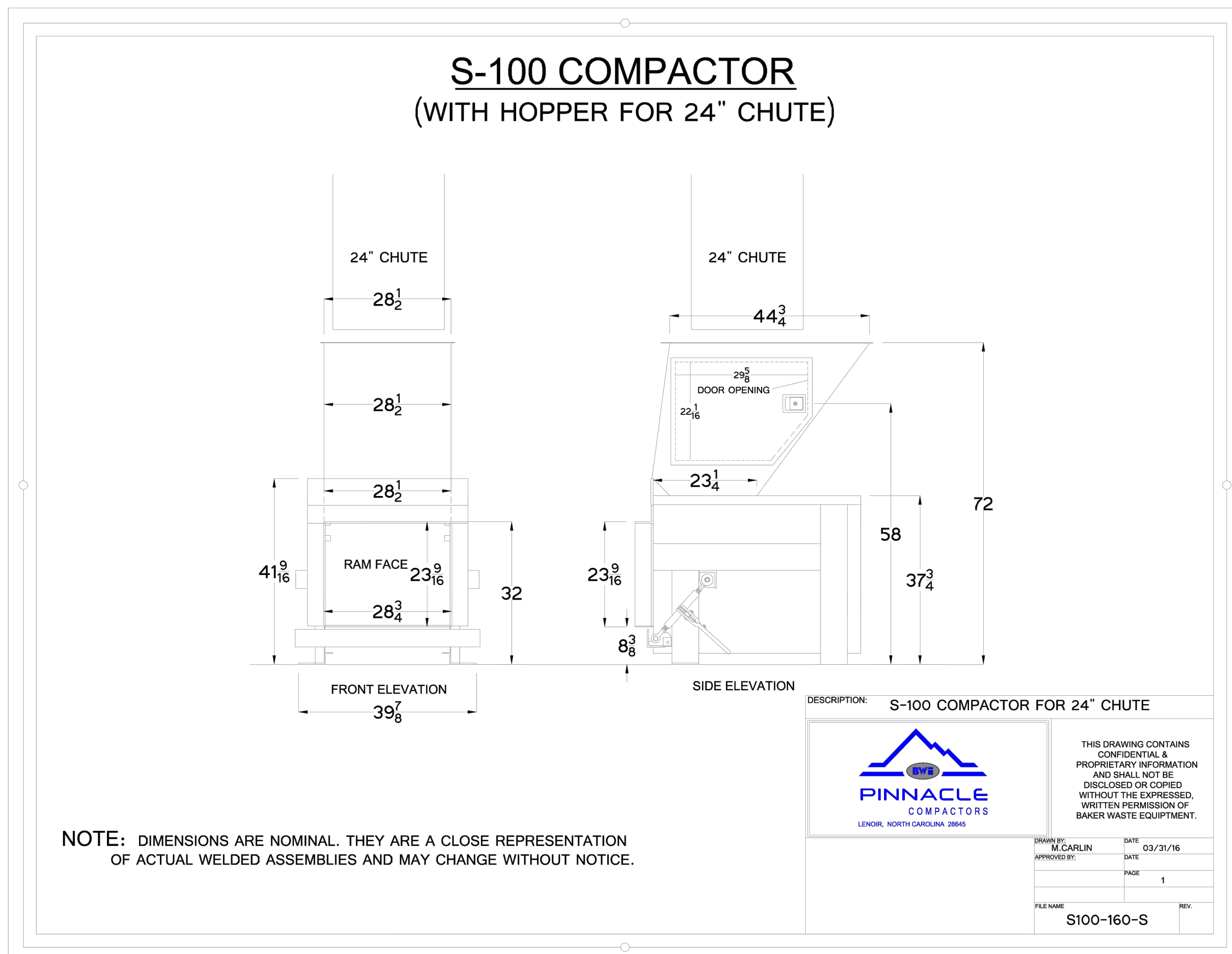
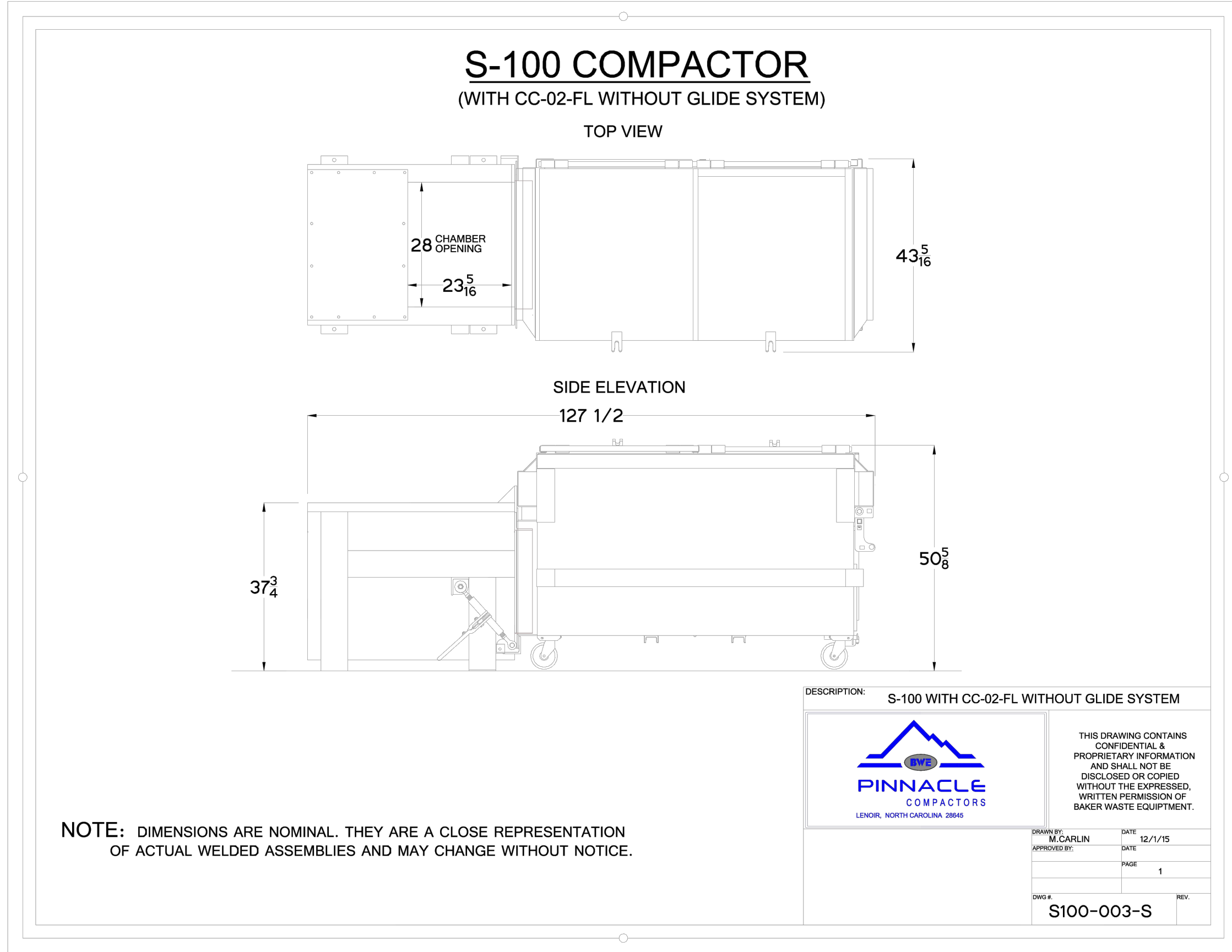
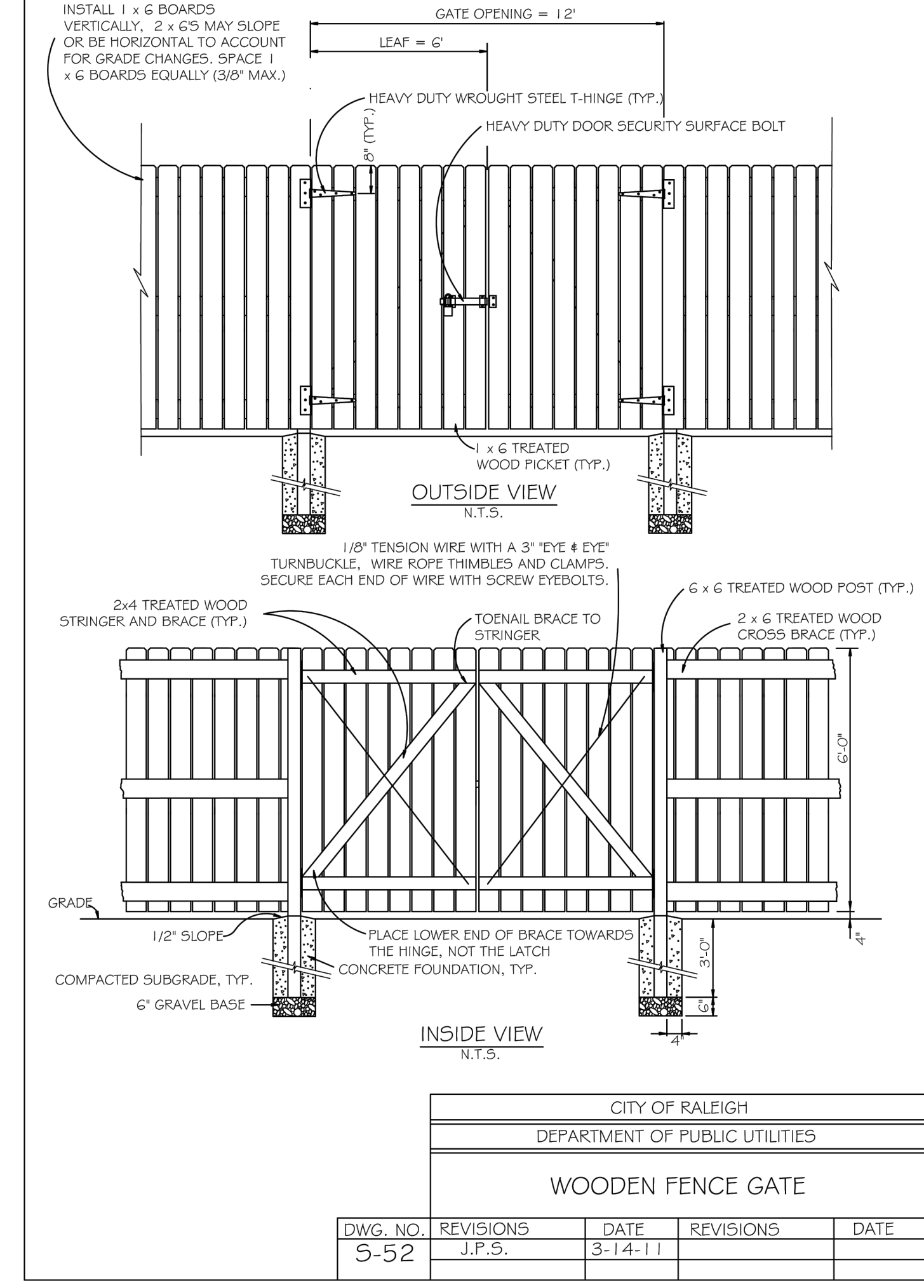
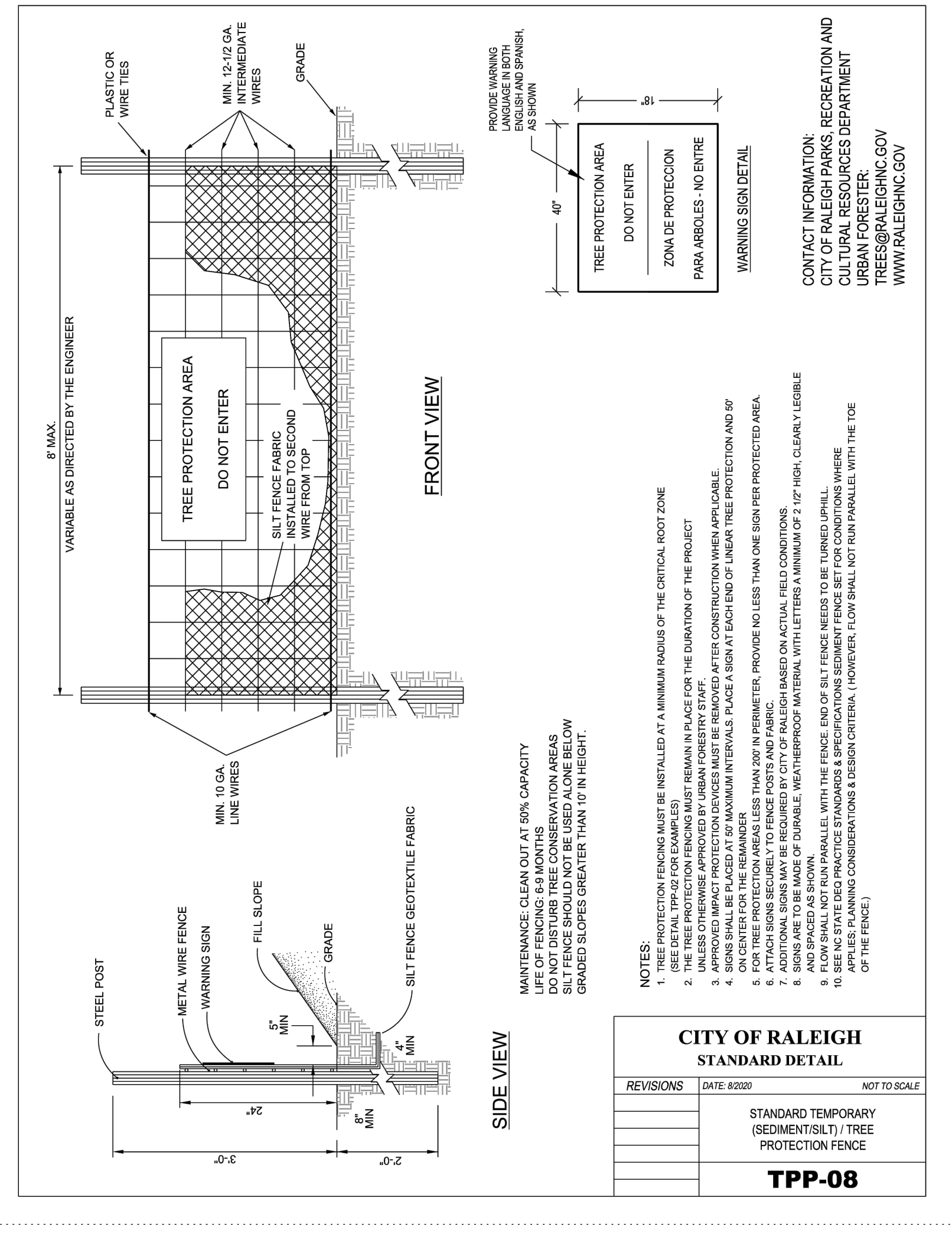
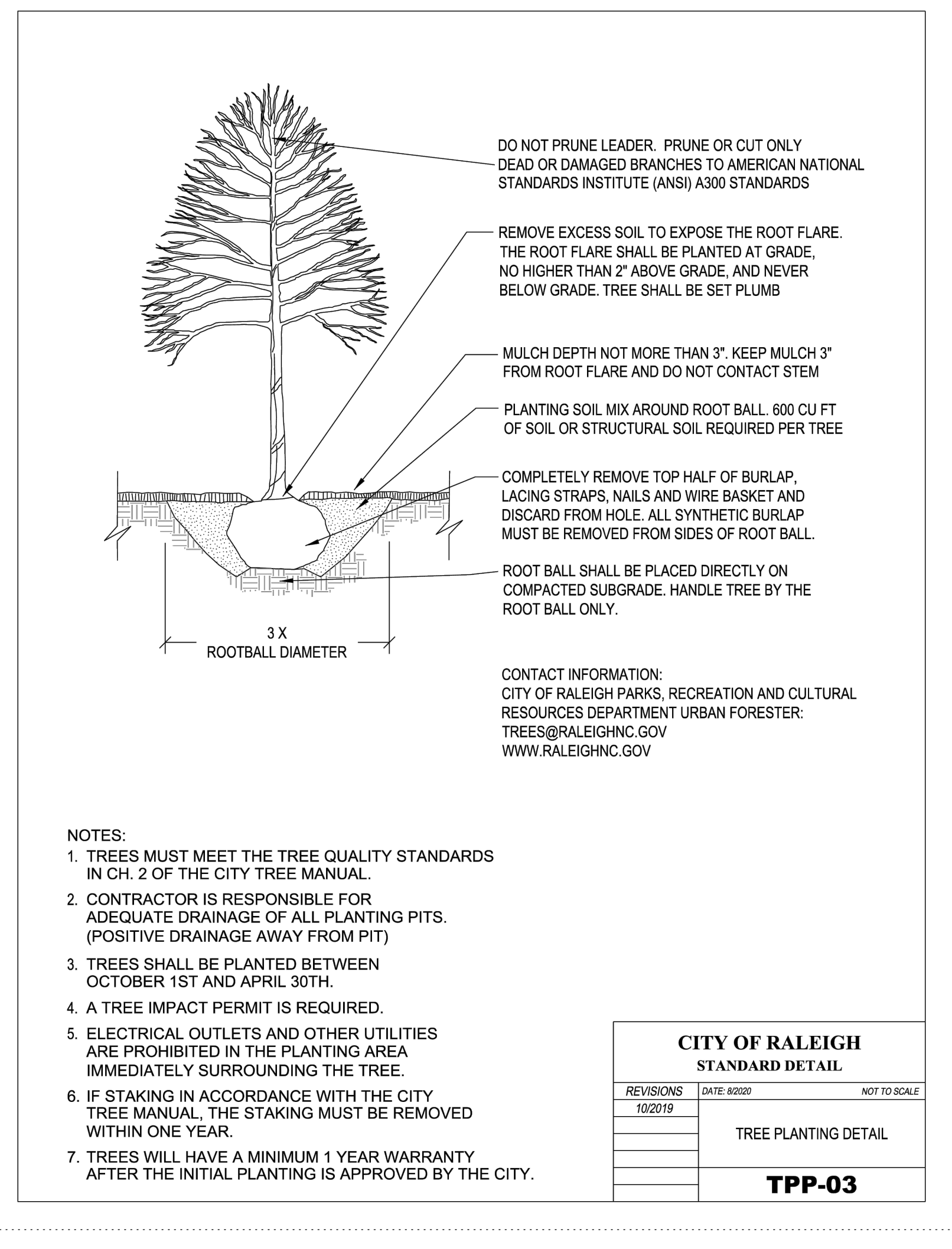
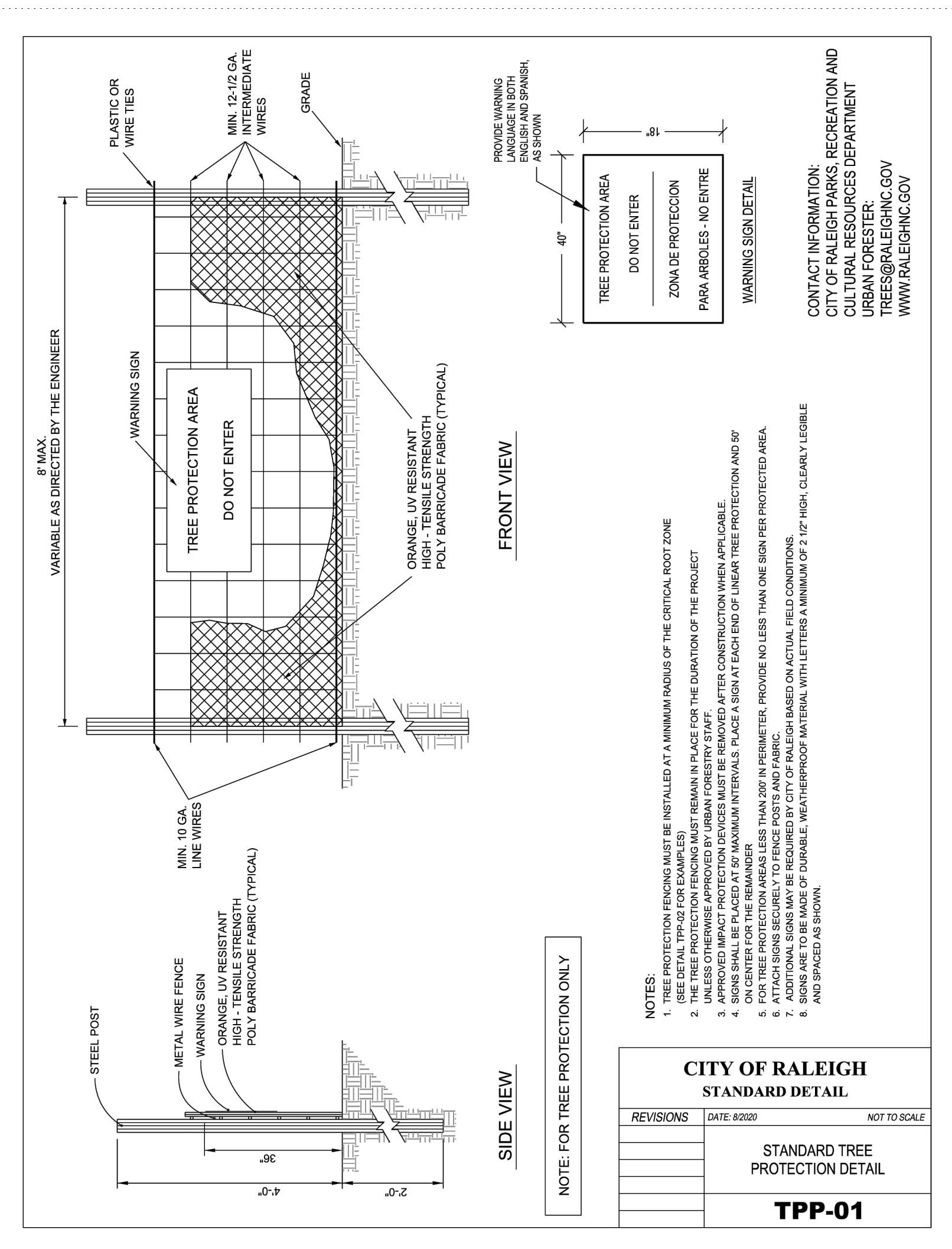
No.	Date	Description



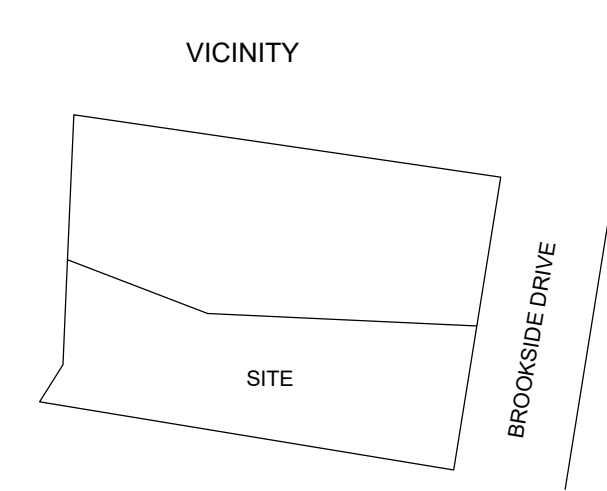
UTILITY & FIRE ACCESS PLAN

DATE: 04/28/2023
 PROJECT: #202309
 DRAWN BY: CAS/TAS/AQU/I
 PROJECT: CAS/TAS/AQU/I
 PROJECT #: 202309

SHEET TITLE: UTILITY & FIRE ACCESS PLAN

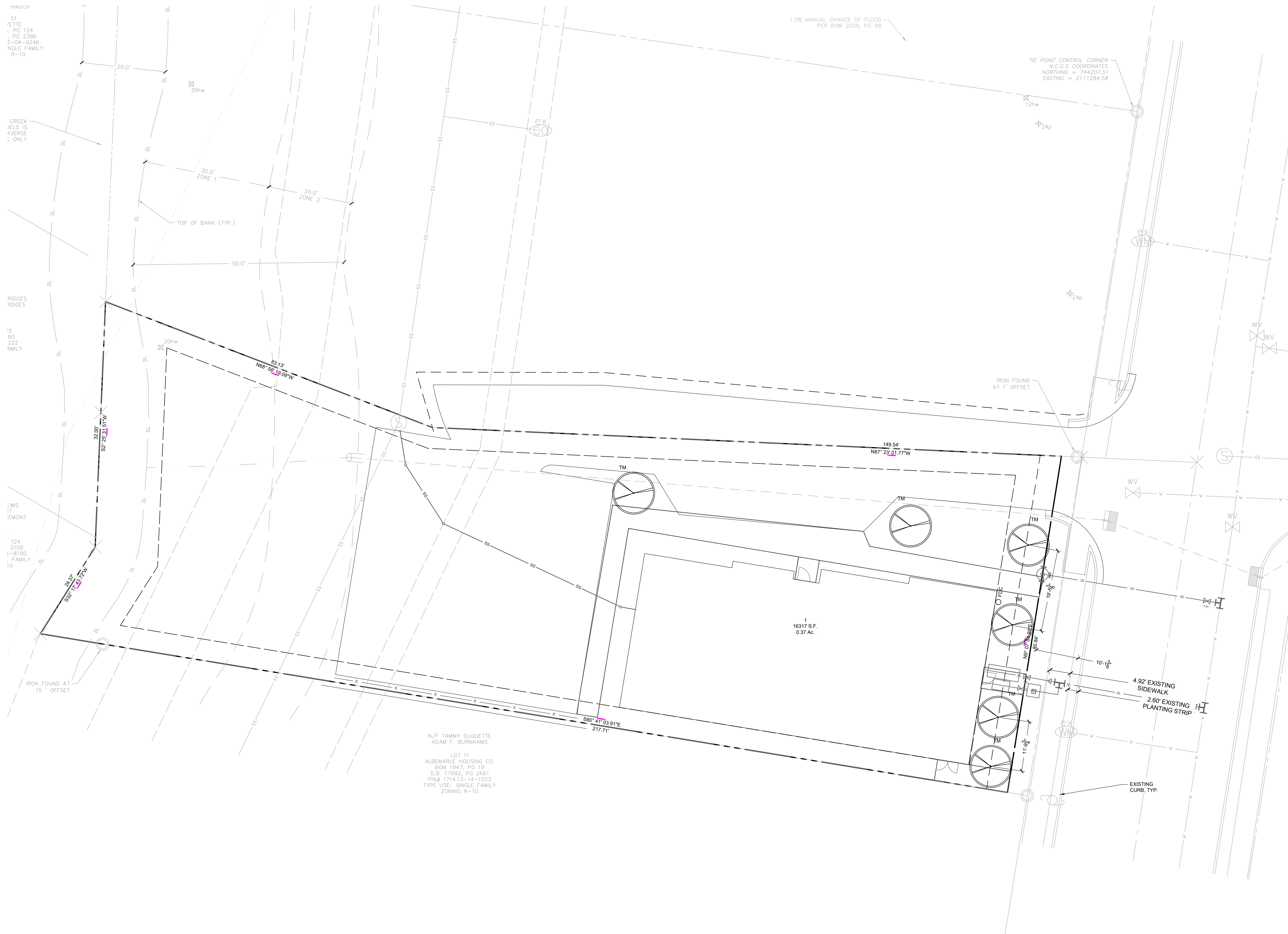


No.	Date	Description



SCALE

ARROW



SITE LEGEND:

SYMBOL	DESCRIPTION
[Grey rectangle]	PROPOSED BUILDING
[Stippled rectangle]	PROPOSED CONCRETE SIDEWALK
[Brick pattern rectangle]	PROPOSED BRICK SIDEWALK
[Dark grey rectangle]	PROPOSED HEAVY DUTY PAVEMENT
[Light grey rectangle]	PROPOSED CONCRETE PAVERS
[Dotted rectangle]	PROPOSED GRAVEL
[Line with dashes]	PROPOSED CURB & GUTTER
[Thick black line]	PROPOSED STOP BAR
[Diagonal lines]	PROPOSED CROSSWALK
[Thin solid line]	PROPOSED 6' WIDE STANDARD CROSSWALK
[Thick dashed line]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
[Circle with T]	PROPOSED SIGN
[Circle with H/C]	PROPOSED ADA PARKING SPACE
[Circle with K/W]	PROPOSED KEYSTONE WALL
[Circle with C/W]	PROPOSED CIP WALL
[Circle with W/S]	PROPOSED WHEEL STOP
[Circle with G/T]	PROPOSED GRAVEL TRAIL
[Circle with A/T]	PROPOSED ASPHALT TRAIL
[Line with X]	PROPOSED FENCE
[Line with V]	PROPOSED VEHICLE GATE (X' WIDE)
[Circle with L]	PROPOSED LIGHT
[Circle with B/R]	PROPOSED BIKE RACK
[Thick dashed line]	LIMITS OF DISTURBANCE

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

LANDSCAPING REQUIREMENTS:
BROOKSIDE DRIVE (NEIGHBORHOOD YIELD)
REQUIREMENT: 1 UNDERSTORY TREE PER 20 LF = 81 LF / 20 LF = 4 TREES
PROVIDED: 4 STREET TREES & 2 SHADE TREES

TREE CONSERVATION AND LANDSCAPING NOTES:

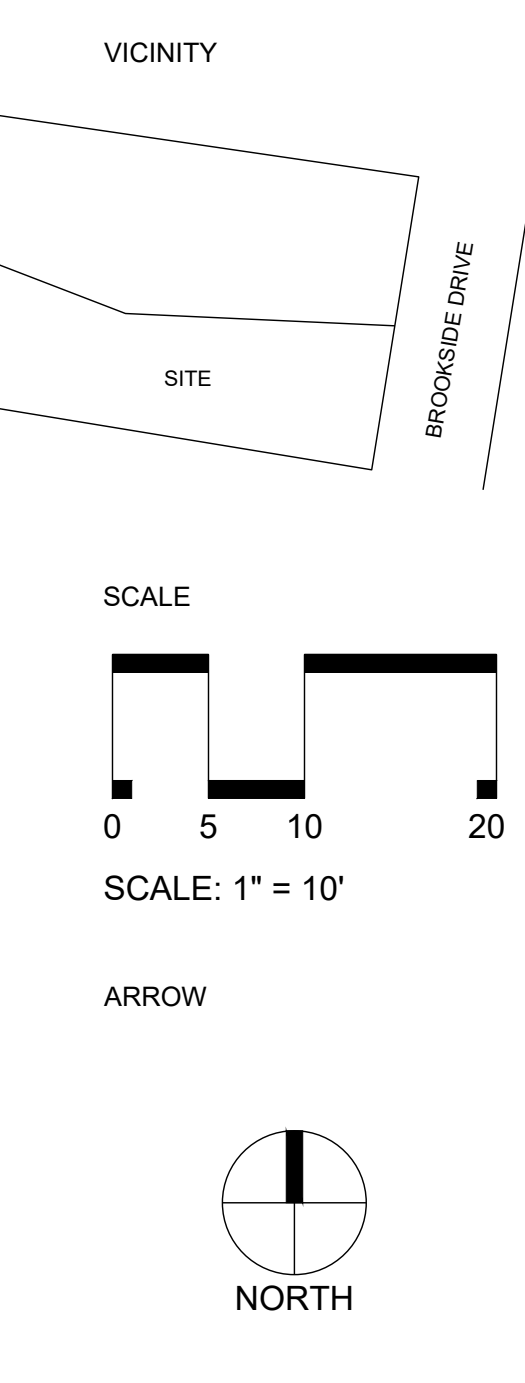
- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2 TREE CONSERVATION APPLICABILITY.
- THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPING NOTES:

- A TREE NLEU WILL BE REQUIRED FOR STREET TREES THAT ARE NOT PLANTED ON THE LANDSCAPING PLAN.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-003.
- STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.



No.	Date	Description



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
		UNDERSTORY TREES				
TM	6	ACER BUERGERIANUM	TRIDENT MAPLE	10'-0"	0-3.00"	B&B 40'-0" 50'-0"

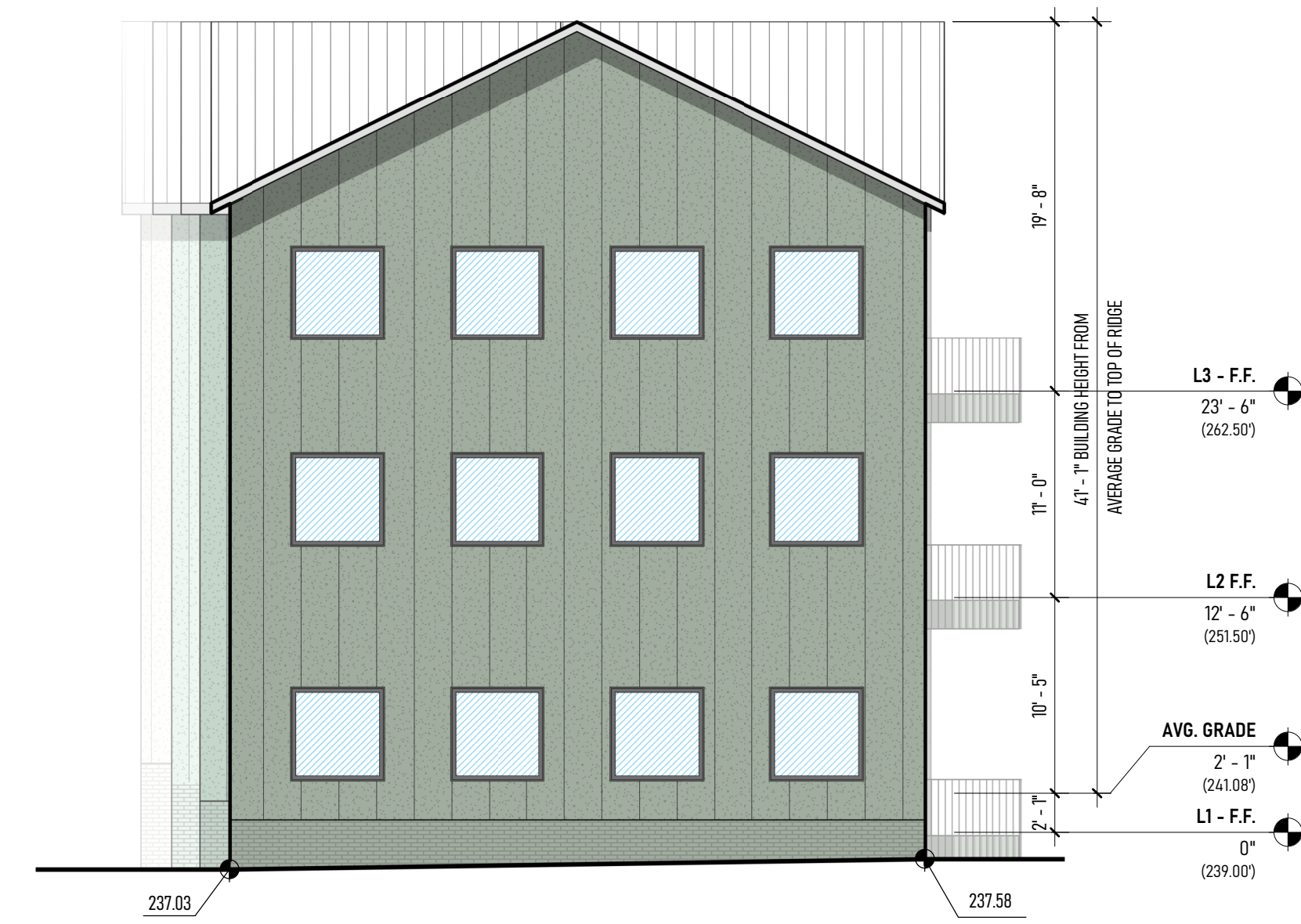
CONSULTANTS

SURVEYOR:
 TURNING POINT SURVEYING PLLC
 4113 JOHN S. RABOTEAU WYND
 RALEIGH, NC 27601
 919.781.0234

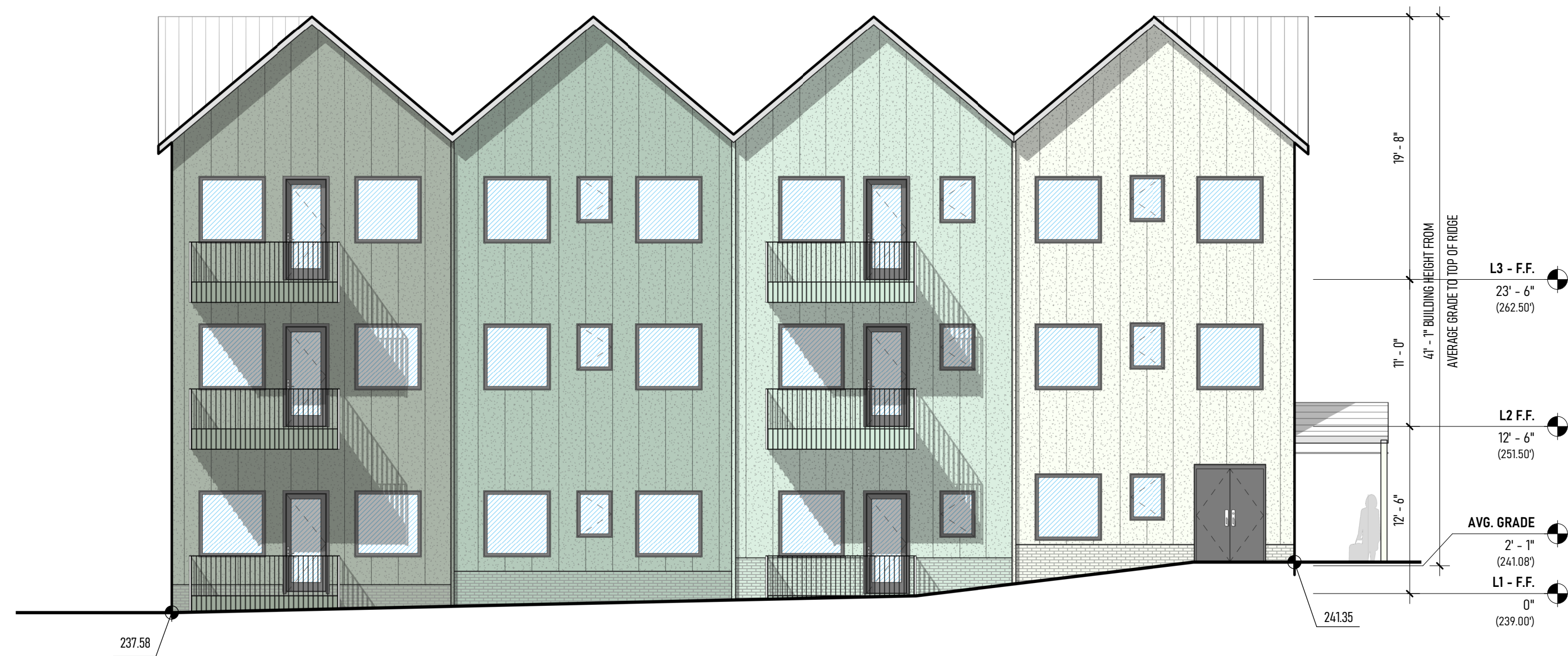
CIVIL ENGINEER:
 SWIFT PARTNERS



4 1113 BROOKSIDE - NORTH ELEVATION
 1/8" = 1'-0"



3 1113 BROOKSIDE - WEST ELEVATION
 1/8" = 1'-0"



2 1113 BROOKSIDE - SOUTH ELEVATION
 1/8" = 1'-0"



1 1113 BROOKSIDE - EAST ENTRANCE ELEVATION
 1/8" = 1'-0"

SEAL

NOT FOR CONSTRUCTION

ISSUES & REVISIONS

#	ISSUE	DATE
1	ADMINISTRATIVE SITE REVIEW	4/28/2023

PROJECT
1113 BROOKSIDE DR

NORTH	PROJECT # 2301
	1113 BROOKSIDE DRIVE
	RALEIGH, NC 27604

SHEET

EXTERIOR ELEVATIONS

A200