



Administrative Approval Action

Case File / Name: ASR-0029-2023

AFFORDABLE HOUSING - CASITAS AQUI I APARTMENTS

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 0.38 acre site, identified as 1113 Brookside Drive, is located on Brookside Drive, north of Glascock Street, south of Frank Street, east of Norris Street, and west of Edmund Street. The property is zoned R-10 and located southeast of Conn Elementary School within the Oakwood Park Neighborhood Conservation Overlay District (NCOD - Oakwood Park).
- REQUEST:** This project, known as Casitas Aqui I, includes development of multi-unit living, parking, infrastructure, and amenity areas. The existing detached house and accessory structures will be demolished to construct a 3-story, 10,140 square foot building with 12 apartment units. The development will utilize the Frequent Transit Development Option. The site will also include 12 parking spaces.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 27, 2023 by Swift Partners PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with UDO Section 7.4 (Site Lighting) by providing a Lighting Plan for the development.

Engineering

2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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- This lots are exempt per UDO Section 9.2.2.A.1 as a commercial lot of one-half acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Engineering

- A cross access agreement among the lots as shown on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
- A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

5. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
6. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.

Urban Forestry

2. A public infrastructure surety for 2 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Brookside Drive.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.



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Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 11, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 10/11/2023
Development Services Dir/Designee

Staff Coordinator: Jessica Gladwin

CASITAS AQU I

1113 BROOKSIDE DR RALEIGH, NC 27604

CITY OF RALEIGH SUBMITTAL ASR-0029-2023

SUBMITTED ON 04.28.2023
REVISION 1 ON: 07.14.2023
REVISION 2 ON: 09.13.2023
REVISION 3 ON: 09.27.2023

Sheet List Table	
Sheet Number	Sheet Title
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CL05	UTILITY & FIRE ACCESS PLAN
CL06	SITE DETAILS
CL07	TRAFFIC CONTROL
CL08	BIKE PARKING DETAILS
LS00	PLANTING PLAN
ASR-02	ARCHITECTURAL ELEVATIONS SHEET

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NOEDR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL ORDINANCES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS PER NC STATUTE NO. 85C-11 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONFLICTS.
5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL UTILITIES PRIOR TO CONSTRUCTION.
8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAIL OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL RUBBISH SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
11. THE ENGINEER AND/OR OWNER DECLINE ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (6,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

SOLID WASTE

THIS SITE WILL HAVE ONE 4-WAY DUMPSTER ON CARTERS TO BE STORED IN THE TRASH ROOM ON PULPUL DAY THE DUMPSTER WILL BE ROLLED OUT TO THE CONCRETE PAD FOR OPL PICKUP ON BROOKSIDE DRIVE. WE HAVE PROVIDED OUR WASTE LETTER FROM OPL BELOW.



VICINITY MAP

SITE DATA

PROJECT NAME:	CASITAS AQU I
SITE ADDRESS:	1113 & 1011 BROOKSIDE DR RALEIGH, NC 27604
COUNTY:	9442
PARCEL PIN #:	174414110, 174414186
PARCEL OWNER:	CASITAS AQU LLC
PARCEL AREA:	16,705 SF / 0.38 AC
TOTAL SITE GROSS ACREAGE:	16,705 SF / 0.38 AC
NET ACREAGE:	16,317 SF / 0.37 AC
CURRENT ZONING:	R-16 NCDD (DANWOOD PARK)
PROPOSED ZONING:	R-16 NCDD (DANWOOD PARK)
EXISTING LAND USE:	SINGLE FAMILY LIVING
PROPOSED LAND USE:	MULTI-FAMILY LIVING
FLOOD PLAIN DATA:	N/A
REAR BACK:	NEUSE
DEVELOPMENT TYPE:	40' x 3' 8" OVER
MAX BUILDING HEIGHT:	32' 11"
PROPOSED BUILDING HEIGHT:	1
PROPOSED NUMBER OF LOTS:	N/A
TREE CONSERVATION AREA:	N/A
TOTAL LIMITS OF DISTURBANCE:	16,014 SF / 0.37 AC
EXISTING IMPERVIOUS AREA:	5,111 AC / 2,940 SF
MAXIMUM ALLOWED IMPERVIOUS AREA:	691 (15,000 MAXIMUM)
PROPOSED IMPERVIOUS AREA:	5,220 AC / 2,940 SF
ADJUTMENT AREA REQUIRED:	1,021 SF
ADJUTMENT AREA PROVIDED:	1,702 SF
PARKING DATA:	
REQUIRED PARKING:	13 MAXIMUM
PROPOSED PARKING:	12
TOTAL PARKING:	12
BIKE PARKING REQUIRED:	4 SHORT TERM / 2 LONG TERM
BIKE PARKING PROVIDED:	4 SHORT TERM / 2 LONG TERM

RIGHT-OF-WAY OBSTRUCTION NOTES:

1. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHT-OF-WAY SERVICES@RALEIGHNC.GOV.
2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDD STREETS WITH RALEIGH'S JURISDICTION.
3. A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND ENSURE ALL PERMITS ARE ISSUED.
5. ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - 5.2. PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - 5.3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - 5.4. RALEIGH STREET DESIGN MANUAL (RSDM)
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

OAKWOOD PARK NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT / NCDD:

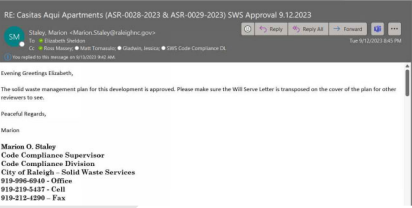
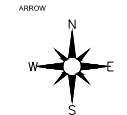
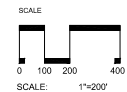
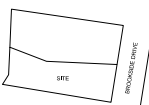
- a. Minimum lot size (residential): 6,000 square feet.
- b. Minimum lot width (residential): 35 feet.
- c. Maximum lot width (residential): 80 feet.



414 FAYETTEVILLE ST
RALEIGH NC 27601

No.	Date	Description
1	04/28/2023	CL00 COVER SHEET
2	07/14/2023	CL01 GENERAL NOTES
3	09/13/2023	CL02 EXISTING CONDITIONS AND DEMOLITION PLAN
4	09/27/2023	CL03 SITE PLAN
5	09/27/2023	CL04 GRADING AND DRAINAGE PLAN
6	09/27/2023	CL05 UTILITY & FIRE ACCESS PLAN
7	09/27/2023	CL06 SITE DETAILS
8	09/27/2023	CL07 TRAFFIC CONTROL
9	09/27/2023	CL08 BIKE PARKING DETAILS
10	09/27/2023	LS00 PLANTING PLAN
11	09/27/2023	ASR-02 ARCHITECTURAL ELEVATIONS SHEET

VICINITY



SWIFT PARTNERS PLLC
414 FAYETTEVILLE ST
RALEIGH, NC 27601

LUKE PERKINS
828-735-1862
LUKE.PERKINS@SWIFT-PARTNERS.COM

DATE: 09.27.2023
DRAWN BY: MHP
CHECKED BY: MHP
PROJECT: CASITAS AQU I

SHEET TITLE
COVER SHEET

SHEET NO.
C0.00

2. **EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY SMFT PARTNERS**, UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

- EXISTING CONDITION NOTES:

1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. HORIZONTAL DATUM IS NAD 83(01) AND VERTICAL DATUM IS NAVD83.
3. THIS DRAWING DOES NOT CONFORM TO N.C. 6654-20.01 AND THEREFORE IS NOT FOR RECORDATION.
4. UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION / MARKINGS SURVEYED BY STEWART K. AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
5. SURVEY INFORMATION COLLECTED BY TURNING POINT LAND SURVEYORS
6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
7. NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.

1. REFER TO SHEET C3.00 FOR GENERAL NOTES

3. THE CONTRACTOR SHALL MAINTAIN EXISTING ADJACENT PROPERTIES TO THE FIRST CLOSURE ON OR BEFORE THE END OF A CLEAN-UP.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING ADJACENT PROPERTIES (WHERE REQUIRED) TO REMAIN A CLEAN EASE.
5. CLEANUP AND WATER WASHES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE PROPERTY OWNER'S REQUEST AND AT HIS OWNERS RISK.
6. ANY UTILITY SERVICES THAT NEED TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SCHEDULING OF UTILITY COMPLETION WITHIN THE PROJECT TIME FRAME.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS NORTH "NORTH CAROLINA CITY CENTER TELEPHONE ROOMS"SHALL AT LEAST 14 HOURS PRIOR TO START OF WORK BE NOTIFIED BY THE CONTRACTOR TO THE CITY ENGINEERING DEPARTMENT OF NORTH CAROLINA CITY THAT THEY HAVE BEEN OBTAINED FROM THE CITY ENGINEERING DEPARTMENT.
8. CLEARANCE OF UTILITIES FOR PROPOSED CONSTRUCTION OF THESE SITES SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
9. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SURFACING MATERIALS. REMOVE ITEMS IDENTIFIED TO BE REMOVED SHALL BE REMOVED TO THE STREET OR OTHER OFF-SITE LOCATION.
10. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSING OF THEM AS SPECIFICALLY DETERMINED NOTED ON THIS PLAN.
11. REFER TO LANDSCAPE AND GEOTECHNICAL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
12. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL ADMINISTRATIVE CODES OR REGULATIONS.
13. TREE PROTECTION FENCING SHALL BE PLACED PRIOR TO BEGINNING DEMOLITION.
14. EROSION CONTROL FENCE SHALL BE INSTALLED AND CHANGES PRIOR TO BEGINNING DEMOLITION.
15. FEMA PREPARED TO BE SALVAGED AND/OR REUSED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
16. WHERE UTILITIES CANNOT BE REMOVED IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF SUCH UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURFACE SOIL TO BE USED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.
17. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE BENCHES SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE EXISTING DRAINAGE PATTERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
18. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC.) SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE EXISTING DRAINAGE PATTERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
19. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC.) SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE EXISTING DRAINAGE PATTERN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC.
21. ALL MATERIALS, FURNISHINGS, UTILITIES, AND EQUIPMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWNERS RISK.
22. WHERE UTILITIES ARE SHOWN TO BE "REMOVED," CONTRACTOR SHALL INCLUDE NECESSARY SHUT OFF VALVES TO ALLOW FOR THE REMOVAL OF THE UTILITY. CONTRACTOR SHALL COORDINATE NECESSARY PLUS AND VALVES AND REMOVAL WITH THE LOCAL JURISDICTION UTILITY DIVISION.
23. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN RIGHTS OF ACCESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD.

1. ABBREVIATIONS FOR SPECIFIC HARDCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDCAPE & FURNISHINGS, PAVING PATTERN PLANS AND SITE DETAILS.
2. REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE.
3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCKUPS FOR ALL CAST IN PLACE CONCRETE FOR APPROVAL, RVP LANDSCAPE ARCHITECT.

2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DRAININGS, JOINT LOCATION, AND BUILT-UP DRAINAGE SYSTEMS TO BE PROVIDED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE DRAINAGE AND MAINTENANCE PLAN DETAILS AS INDICATED ON LANDSCAPE ARCHITECTURE PLAN SHEETS.
3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM BROOKSIDE OR UNLESS OTHERWISE APPROVED BY THE CITY OF CHICAGO, FROM THE NORTH SIDE OF THE PROJECT SITE FOR ACCESS.
4. REFER TO ARCHITECTURAL PLANS FOR OUTLIVING INFORMATION.
5. ALL DRAININGS ARE INDICATED FIVE TO FIVE FEET OF BUILDINGS TO CENTERLINE AND/OR FACE OF THE CURB. REFER TO THE CITY OF CHICAGO'S STANDARD SPECIFICATIONS FOR DRAINAGE.
6. THE CONTRACTOR SHALL VERIFY ALL DRAININGS AND COORDINATES AND REPORT ANY DISCREPANCIES THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
7. ALL METERS/DEVICES SHALL PRELIMINARY 20:20 SCALE FROM DRAINAGE.
8. THE CITY OF CHICAGO'S STANDARD SPECIFICATIONS FOR DRAINAGE PATTERN SHALL BE COORDINATED WITH LANDSCAPE ARCHITECTURE PLANS FOR CONSTRUCTION, REFER TO DRAINAGE DRAWINGS.
9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL CORNER ANGLES, CORNERS, AND EDGES ARE SHOWN.
11. ALL DRAINAGE SHALL REFLECT THE CITY OF CHICAGO'S ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AND ALL TRAFFIC PRIOR TO AND DURING CONSTRUCTION.
12. ALL CURB TYPES ARE 6" OR 10" UNLESS OTHERWISE SHOWN ON PLAN.
13. ALL DRAINAGE SHALL REFLECT THE CITY OF CHICAGO'S ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AND ALL TRAFFIC PRIOR TO AND DURING CONSTRUCTION.
14. THE EXISTING VALLEY FOR PLACEMENT OF DOTS, THE NEW SUBSIDIARY/NEAREST EXISTING DRAINAGE SHALL BE USED FOR THE DRAINAGE.
15. WHERE BARRIERS OR MAINTENANCE ARE ADJACENT TO FINISHING SPACES THE MAINTENANCE SHALL BE A MINIMUM 4' WIDE AS MEASURED FROM THE FACE OF CURB.
16. ALL DRAINAGE SHALL BE 18" UNLESS OTHERWISE SHOWN ON PLAN. ALL DRAINAGE SHALL BE 18" UNLESS OTHERWISE SHOWN ON PLAN. ALL DRAINAGE SHALL BE 18" UNLESS OTHERWISE SHOWN ON PLAN.
17. BENT TRANSITS, NOTHING OVER 5' HIGH SHALL BE ALLOWED WHEN THE RIGHT EXISTENCE TRANSITS.
18. THE SITE SHALL BE FULLY STABILIZED (NO COVERAGE) PRIOR TO RESUME OF A LEGAL CERTIFICATE OCCUPANCY OR HAZARD AVOIDANCE.
19. THE CONTRACTOR SHALL PROVIDE A FULLY STABILIZED EROSION OF THE NO BUILDING CODE AND 11.11 HETTERABLE CEMENT MIXTURE WITH A COLOR CONTRAST OF 70% MINIMUM, THE SITE SHALL BE FULLY STABILIZED (NO COVERAGE) PRIOR TO RESUME OF A LEGAL CERTIFICATE OCCUPANCY OR HAZARD AVOIDANCE.
20. THE TESTING AGENT SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR

1. REFER TO SHEET C3.00 FOR GENERAL NOTES

2. REFER TO SHEET C-10 FOR GENERAL NOTES.
3. CONTRACTOR SHALL REPORT ANY COLOR DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
4. THE MAXIMUM SLOPE ACROSS ANY HANDECAP ACCESSWAY SHALL NOT EXCEED 5% AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
5. FLOORS WITH A MAXIMUM RISE OF 3" BETWEEN ADJACENT, NON-COVERED STAIRWAYS SHALL HAVE HANDRAILS ON BOTH SIDES OF EACH LAND LANDING.
6. ALL PROPOSED ELEVATIONS SHOW AN EDGE OF PAVEMENT ELEVATION UNLESS OTHERWISE SPECIFIED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT A NEWLY CONSTRUCTED STORM DRAINAGE SYSTEM SHALL BE PROTECTED FROM DAMAGE BY THE CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL COORDINATE AND PROVIDE A MEANS OF PROTECTION OF ALL EXISTING DRAINAGE IMPROVEMENTS AND A MEANS OF PROTECTION OF ALL EXISTING STORM DRAINAGE SYSTEMS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESENCE OF THE OWNERS REPRESENTATIVE, THE DESIGNER AND THE CITY ENGINEER AT ALL MEETINGS.
9. PRIOR TO RESUMING A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE MOST RECENT OF THE STORM DRAIN SYSTEM, BOTH PLANS AND PROFILES, THE LOCATION OF ALL STORM DRAINS, AND THE LOCATION OF ALL STORM DRAINAGE SYSTEMS TO THE ASSURANCE OF THE BUILDING CODE.
10. REFER TO THE EXISTING CONSTRUCTION DETAIL SHEET FOR THE SEQUENCE OF CONSTRUCTION.
11. MATERIALS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. MATERIALS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL. MATERIALS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
12. INTERIOR GRADING SHALL BE PROTECTED TO EXIST WATERWAY FROM BUILDINGS AND RETENTION WALLS.
13. THE ROOF LEAKAGE SHALL BE PROTECTED TO EXISTING STORM SYSTEM. CONTRACTOR TO RELOCATE ROOF LEAKS AND INTERNAL DRAINAGE TO EXIST OR SHOW ON PLAN. EXISTING ROOF LEAKS SHALL BE PROTECTED TO EXIST STORM SYSTEM.
14. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND WALK SHALL NOT EXCEED IN ANY DIRECTION.
15. PROFILES CANNOT BE APPROXIMATE. SLOPE, ELEVATIONS AND ROADWAY PROFILES SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
16. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 6 INCHES IN THICKNESS FOR MATERIALS TO BE COMPACTED. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 6 INCHES IN THICKNESS FOR MATERIALS TO BE COMPACTED. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 6 INCHES IN THICKNESS FOR MATERIALS TO BE COMPACTED.
17. SITE GRADING SHALL BE PROTECTED TO EXIST STORM SYSTEM. CONTRACTOR TO RELOCATE ROOF LEAKS AND INTERNAL DRAINAGE TO EXIST OR SHOW ON PLAN. EXISTING ROOF LEAKS SHALL BE PROTECTED TO EXIST STORM SYSTEM.
18. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10% FREEBOARD OVER THE TOP OF THE STORM DRAINAGE SYSTEM.
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100. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 10% FREEBOARD OVER THE TOP OF THE STORM DRAINAGE SYSTEM.

1. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF SIZE PAVING UNLESS OTHERWISE NOTED. USE OVERSIZE PATTERNS WHERE PATTERNS END ON A UNIT SMALLER THAN HALF SIZE.
2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN. REFERENCE LAYOUT PLANS FOR FURTHER PAVING AND JOINT INFORMATION.
3. PAVERS ABUTTING TRUNCATED DOWLS SHALL BE A CONTRASTING COLOR.
4. ALKON ALL TRUNCATED DOWEL PLUGS WITH ABUTTING PAVING JOINTS.
5. PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN BACK OF CURB AND ADJOINING PAVEMENT.
6. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT.
7. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.
8. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
9. ALL ANGLES TO DEGREES UNLESS OTHERWISE NOTED.
10. ALKON ALL JOINTS. CORNERS AND EDGES AS SHOWN.
11. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT.

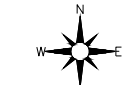
1. ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING OUT TO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT HEIGHT OF 6' MIN PER DOT STANDARDS
2. ALL PAYMENT STRIPS (EXCEPT INDIVIDUAL PARKING BAY STRIPS) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND ORIENTATIONS SHALL CONFORM TO INDOT STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPS SHALL BE WHITE REFLECTIVE PAINT.
3. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS WILL BE EASILY HANDICAPPED/VISUAL ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY OR DRIVE LANE.
4. ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE

[illegible]

1. WATER MAINS SHALL BE LAYED AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED BENEATH, UNLESS LOCAL CODES OR MUNICIPAL PERMITS REQUIRE A DIFFERENT HORIZONTAL SEPARATION IN SUCH CASES.
2. THE WATER MAINS IN AID AND A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE TRENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE UNDERLYING UTILITY.
3. THE WATER MAINS IN LINES IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LAYED OVER THE SEWER SHALL BE LAYED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
4. CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE CONSTRUCTED OF STEEL PIPE OR BARBERS PREVENT AT 18 INCHES HORIZONTAL SEPARATION IN EACH CASE. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF 18 INCHES DIAMETER AND WHEN THE CASES ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
5. CROSSING A SEWER OVER A WATER MAIN, THE SEWER SHALL BE CONSTRUCTED OF STEEL PIPE OR BARBERS PREVENT AT 18 INCHES HORIZONTAL SEPARATION IN EACH CASE. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF 18 INCHES DIAMETER AND WHEN THE CASES ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
6. SEPARATION OF SANITARY SEWERS AND STORM SEWERS.
7. A 36" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN SEWER MAINS AND SANITARY SEWERS, EXCEPT WHERE THE SEWER MAIN AND THE STORM MAINS SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

1. **SEWER SERVICE CLEANKUTS:** LOCATED IN PAVEMENT AREAS SHOULD HAVE HEAVY DUTY TRAFFIC BEARING SURFACING.
2. **UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.**
3. **MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE.** MANHOLES LOCATED IN GRASSY AREAS SHALL BE SET AT LEAST 6" ABOVE FINISHED GRADE. MANHOLES SITUATED ABOVE THE SUBSURFACING GRADE, MANHOLES SHALL BE COVERED WITH PROTECTIVE WATER INTRUSION SHIELD AND TRAFFIC SIGNAGE.
4. **MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:**
 - SEWER SERVICE - 1/4% SLOPE
 - SEWER SERVICE - 1/2% SLOPE
 - SEWER SERVICE - 1/4" DIA
5. **UNLESS OTHERWISE NOTED, LOCATE SANITARY SEWER CLEANKUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. HORIZONTAL SPACING BETWEEN CLEANKUTS SHALL BE 75 FEET.**
6. **SEWER SERVICE LINES SHALL BE PROTECTED FROM DAMAGE BY EXISTING OR PROPOSED DUCTILE IRON PIPE, SEWER LINES WITH GREATER THAN 1 FEET OF COVER SHALL BE NOTED BELOW.**
 - SEWER SERVICE - 1/4% SLOPE
 - SEWER SERVICE - 1/2% SLOPE
 - SEWER SERVICE - 1/4" DIA
7. **SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM ALL DEBRIS OR OTHER OBSTACLES.**
8. **SEWER LINES SHALL BE PROTECTED FROM DAMAGE BY EXISTING OR PROPOSED DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 1 FEET OF COVER SHALL BE NOTED BELOW AND PROTECTED FROM DAMAGE BY EXISTING OR PROPOSED DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 1 FEET OF COVER SHALL BE NOTED BELOW AND PROTECTED FROM DAMAGE BY EXISTING OR PROPOSED DUCTILE IRON PIPE.**
9. **ALL MANHOLES SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.**

1. AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI/AWWA C151 SPECIFIED CLASS 300 OR DUCT COOPER TYPE K PIPE PER ASTM 813. ALL PVC WATERLINES INDICATED ON THE PLANS SHALL MEET THE REQUIREMENTS OF AWWA C900, CLASS 300.
2. ALL WATERLINES SHALL HAVE A MINIMUM OF 3 FEET OF COVER.
3. TESTING NOTES:
 a. DEPRESSURE
 LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C600.
 MINIMUM TEST PRESSURE SHALL BE 100 PSI FOR DOMESTIC AND 250 PSI FOR THE PROTECTION OF FIRE PROTECTION SYSTEMS.
 TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS AFTER THE INITIAL WATER FLUSH TO ALLOW THE WATER TO STABILIZE. THE TESTING PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
4. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.

VICINITY



SURVEY LEGEND:

- △ SURVEY CONTROL POINT
- EXISTING IRON PIPE
- EXISTING CONCRETE MONUMENT
- COMPUTED POINT
- STORM DRAIN MANHOLE
- STORM DRAIN CURB INLET
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY FORCE MAIN VALVE
- HYDRANT
- WATER VALVE
- WATER METER
- WATER MANHOLE
- WATER VAULT
- WELL
- GAS VALVE
- GAS METER
- TELEPHONE MANHOLE
- TELEPHONE PEDestal
- TV MANHOLE
- TV PEDestal
- FIBER OPTIC WIRELESS POST
- FIBER OPTIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC BOX
- UTILITY POLE
- GUY POLE
- GUY WIRE
- LIGHT POLE
- MANHOLE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POST
- MONITORING WELL
- MONITORING LOCATION
- ELEVATION
- BRCK
- FINISHED FLOOR ELEVATION
- DEADWOOD TREE
- OVERGREEN TREE
- BUSH
- WIRE FENCE
- CHAIN LINK FENCE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND FIBER OPTIC LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD WIRE
- UNIDENTIFIED WIRE
- UNKNOWN DESTINATION
- CONCRETE SURFACE
- DUCKLE ROCK PILE
- PVC
- POLYETHYLENE GLASS FIBER PIPE
- HOPE
- REINFORCED POLYETHYLENE PIPE
- RCP
- CORRUGATED METAL PIPE
- CB
- CATCH-BASIN

DEMOLITION LEGEND:

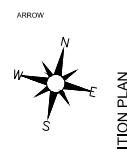
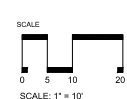
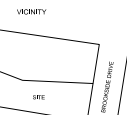
- 1 REMOVE BUILDING
- 2 REMOVE ASPHALT
- 3 REMOVE GRAVEL
- 4 REMOVE BRICK WALKWAY
- 5 REMOVE CONCRETE
- 6 REMOVE REBAR
- 7 REMOVE VEGETATION
- 8 REMOVE WATER LINE
- 9 REMOVE SANITARY SEWER LINE
- 10 REMOVE STORM DRAINAGE
- 11 REMOVE FENCE
- 12 TREE PROTECTION FENCE
- 13 LIMITS OF DISTURBANCE
- 14 COORDINATE LIGHT POLE REMOVAL
- 15 REMOVE TREE
- 16 REMOVE TREELINE
- 17 REMOVE WHEEL STOP
- 18 REMOVE CURB & GUTTER
- 19 REMOVE SIGN

NOTES:

1. SEE SHEET C1.10 FOR GENERAL AND DEMOLITION NOTES.

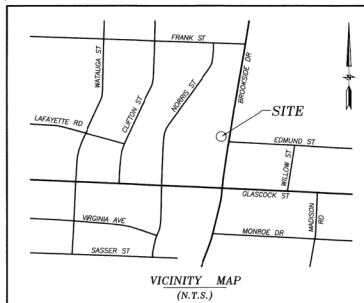


No.	Description	Date
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3	10/1/2023	10/1/2023
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5	10/1/2023	10/1/2023
6	10/1/2023	10/1/2023
7	10/1/2023	10/1/2023
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15	10/1/2023	10/1/2023
16	10/1/2023	10/1/2023
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18	10/1/2023	10/1/2023
19	10/1/2023	10/1/2023
20	10/1/2023	10/1/2023



EXISTING CONDITIONS AND DEMOLITION PLAN

DATE: 10/1/2023
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: 230200
SHEET NO.
C1.00



LEGEND

- Property Line
Property Line (not surveyed)
Center Line
Old R/W Line
Right-of-Way Line
Easement Line
Drain Line
Water Line
Sanitary Sewer
Overhead Utility
Chain Link Fence
Wood Fence
Welded Wire Fence
- NOTES:
TOWNSHIP: RALEIGH
PIN: 1714.13-14-1166
1714.13-14-1150
ZONING: R-10 NCOD (OAKWOOD PARK)
- INSIDE CITY LIMITS: YES
TOTAL ACRES: 0.882 ACRES
TOTAL # OF LOTS: 2
TYPE USE: SINGLE FAMILY
- THIS PROPERTY DOES NOT LIE WITHIN
2000' OF A N.C.G.S. MONUMENT
- SITE IS NOT LOCATED IN A FLOOD-HAZARD
AREA ACCORDING TO FLOOD INSURANCE
RATE MAP 3720171400K, EFFECTIVE
JULY 19, 2022.
- METHOD OF COMPUTATION IS
COORDINATE COMPUTATION
- NO ORIGINAL ADDRESSES WILL BE AFFECTED
NOR CHANGED AS A RESULT OF THIS RECORDING.
- Recombined properties are subject to Section
9.2 (Stormwater Management) of the Raleigh's
Unified Development Ordinance.
- All domestic services, fire lines, and private mains
must be installed entirely on the lot for which it serves
- REFERENCE:
D.B. 18635, PG 559 (OLD LOT 9 & PART OF CLOSED STREET)
D.B. 19280, PG 1023 (OLD LOT 10 & PART OF CLOSED STREET)
D.B. 13437, PG 1599 (DEED OF EASEMENT OLD LOT 9 & PART OF CLOSED STREET)
D.B. 13451, PG 308 (DEED OF EASEMENT OLD LOT 10 & PART OF CLOSED STREET)
BOM 1947, PG 19
BOM 1958, PG 38
BOM 1966, PG 230
BOM 2009, PG 98
STREET CLOSING RESOLUTION PER D.B. 1745, PG 58 ADOPTED 11-07-1966
- Areas identified as Neuse River Riparian Buffer shall be maintained in perpetuity in their natural or mitigated condition. No person or entity shall fill, grade, excavate, or perform any other land disturbing activities, nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or entering or any other agricultural use on such protected areas without written authorization of the Division of Water Quality (DWQ) or compliance with the Riparian Buffer Protection Rules (15A NCAC 2B 0253 or 0259). This covenant is to run with the land, and shall be binding on the Owner, and all parties claiming under it.
- This certifies and warrants that the undersigned is (one) the sole owner(s) of the property shown on the map or plot and any accompanying sheets having acquired the property in fee simple by deed(s) recorded in the county register of deeds office where the property is located and as such has (have) the right to convey the property in fee simple.
- Signatures of property owner(s):
- OWNER OF NEW LOT 9, LONG JAM, LLC by
MATTHEW B. TOMASULO (member/manager)
- OWNER OF NEW LOT 10, CASTAS AQUIL LLC by
MATTHEW B. TOMASULO (member/manager)

I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision; and that the error of closure as calculated by latitudes and departures is $\frac{1}{10,000}$; that the boundaries not surveyed are shown as broken lines plotted from information found in Book Page ; that this map was prepared in accordance with G.S. 47-30 amended.

Witness my original signature, registration number and seal this
25TH day of MAY 2023.

Signed: *Jeffrey H. Davis*



N/F LAURA WRIGHT
LOTS PART 52 & 38
LAFAYETTE & MEADOWBROOK
BOM 1945, PG 124 & BOM 1951, PG 21
D.B. 4349, PG 187
PIN# 1714.13-04-9246
PIN# 1714.13-04-9392
TYPE USE: SINGLE FAMILY
ZONING R-10

N/F JEREMY HAUCH
BETHANY HAUCH
LOT 51
LAFAYETTE
BOM 1945, PG 124
D.B. 17757, PG 2386
PIN# 1714.13-04-9246
TYPE USE: SINGLE FAMILY
ZONING R-10

N/F MICHAEL TODD BRIDGES
KATHERINE MILLER BRIDGES
LOT 50
LAFAYETTE
BOM 1945, PG 124
D.B. 17212, PG 1280
PIN# 1714.13-04-9222
TYPE USE: SINGLE FAMILY
ZONING R-10

N/F JAMES LEWIS
DAUTREMONT
JAMES H. DAUTREMONT
LOT 48
LAFAYETTE
BOM 1945, PG 124
D.B. 11403, PG 2109
PIN# 1714.13-04-8190
TYPE USE: SINGLE FAMILY
ZONING R-10

LINE	LENGTH	BEARING
L1	83.62'	S02°07'05"W
L2	80.92'	S02°07'05"W
L3	24.37'	N32°17'44"E
L4	32.00'	N02°25'32"E
L5	39.29'	N04°55'32"E
L6	46.12'	N02°40'17"E
L7	22.05'	N00°13'57"W
L8	91.86'	N88°56'19"W

State of North Carolina, County of Wake

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated:

OWNER NEW LOT 9, LONG JAM, LLC by
MATTHEW TOMASULO (member/manager)

Date: August 16th, 2023. (Official Seal)

Leslie Anne Buchanan
Printed Name: Leslie Anne Buchanan
My commission Expires: 03-11-2028

Notary Public

State of North Carolina, County of Wake

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated:

OWNER OF NEW LOT 10, CASTAS AQUIL LLC by
MATTHEW B. TOMASULO (member/manager)

Date: August 16th, 2023. (Official Seal)

Leslie Anne Buchanan
Printed Name: Leslie Anne Buchanan
My commission Expires: 03-11-2028

Notary Public

This survey is of another category, such as the recombination or existing parcels, a court-ordered survey, or other exception to the definition of subdivision.

Matthew B. Tomasulo
Registered Land Surveyor

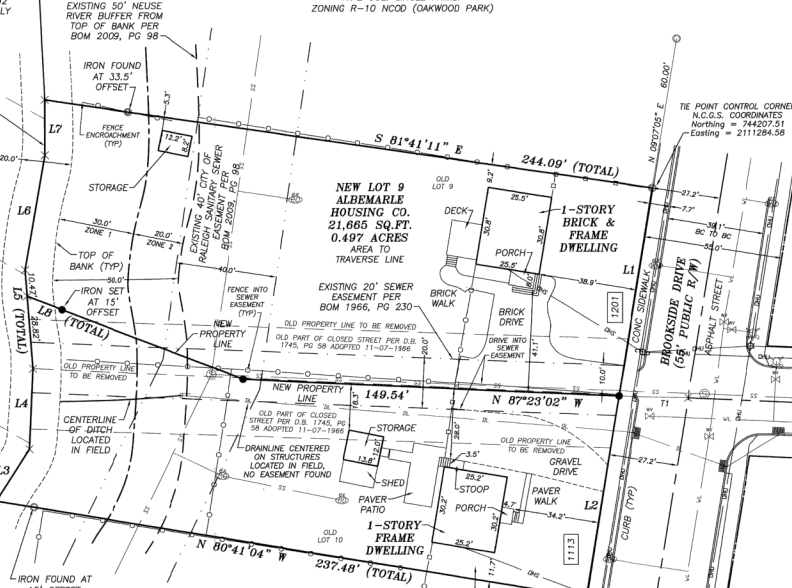
This plot or map is not a subdivision, but a recombination of previously platted property, and meets all statutory requirements for recording.

Emily K. Bacon 8.28.23
Planning and Development Officer/Wake County Review Officer

FILED FOR REGISTRATION

DATE
TAMMY L. BRUNNER
REGISTER OF DEEDS
WAKE COUNTY
BY: ASSISTANT DEPUTY
TIME

N/F JEFFREY R. BEGLEY
CAROL A. BEGLEY
LOT 8
ALBEMARLE HOUSING CO.
BOM 1947, PG 19
D.B. 4732, PG 770
PIN# 1714.13-14-1255
TYPE USE: SINGLE FAMILY
ZONING R-10 NCOD (OAKWOOD PARK)



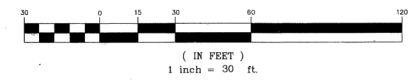
N/F TAMMY DUQUETTE
ADAM F. BURNHAMS
LOT 11
ALBEMARLE HOUSING CO.
BOM 1947, PG 19
D.B. 17992, PG 2681
PIN# 1714.13-14-1023
TYPE USE: SINGLE FAMILY
ZONING R-10 NCOD (OAKWOOD PARK)

NEW LOT 10
ALBEMARLE HOUSING CO.
16,771 SQ.FT.
0.385 ACRES
AREA TO
TRAVERSE LINE

DESCRIPTION	LOT AREAS
OLD LOT 9	+17,848 SQ.FT. +0.409 ACRES
OLD PART OF CLOSED STREET	+4,920 SQ.FT. +0.113 ACRES
RECOMBINATION AREA 1	-1,174 SQ.FT. -0.027 ACRES
RECOMBINATION AREA 2	+71 SQ.FT. +0.002 ACRES
OVERALL NEW LOT 9	=21,665 SQ.FT. +0.497 ACRES

DESCRIPTION	LOT AREAS
OLD LOT 10	+10,414 SQ.FT. +0.239 ACRES
OLD PART OF CLOSED STREET	+5,254 SQ.FT. +0.121 ACRES
RECOMBINATION AREA 1	+1,174 SQ.FT. +0.027 ACRES
RECOMBINATION AREA 2	-71 SQ.FT. -0.002 ACRES
OVERALL NEW LOT 10	=16,771 SQ.FT. +0.385 ACRES

GRAPHIC SCALE



BOOK: 2023 PAGE: 01544

RCMP-0154-2023

REVISIONS

TURNING POINT SURVEYING PLLC
4113 JOHN S. RABOITEAU WYND
RALEIGH, NORTH CAROLINA 27612
FAX 800-948-0213 PH 919-781-0234
License No. P-0121

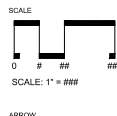
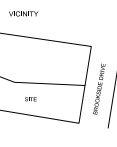
RECOMBINATION MAP
NEW LOTS 9 & 10
ALBEMARLE HOUSING CO.
1201 & 1113 BROOKSIDE DRIVE
WAKE COUNTY
RALEIGH
NORTH CAROLINA

DATE: 05-25-2023
DRAWN BY: LB/DC
CHK'D BY: JHD
JOB NO. C-1056-2
SCALE: 1" = 30'
C.N.: 29028-2
DWG. NO.
C-1056-2
SHEET 1 OF 1

SWIFT
PARTNERS



No.	Date	Description
1	05/25/2023	1. PREPARED FOR RECORDING
2	05/25/2023	2. CORRECTED
3	05/25/2023	3. CORRECTED



ARROW

SCALE: 1" = 30'

RECOMBINATION PLAT

DATE: 05/25/2023

DRAWN BY: LB/DC

CHK'D BY: JHD

JOB NO. C-1056-2

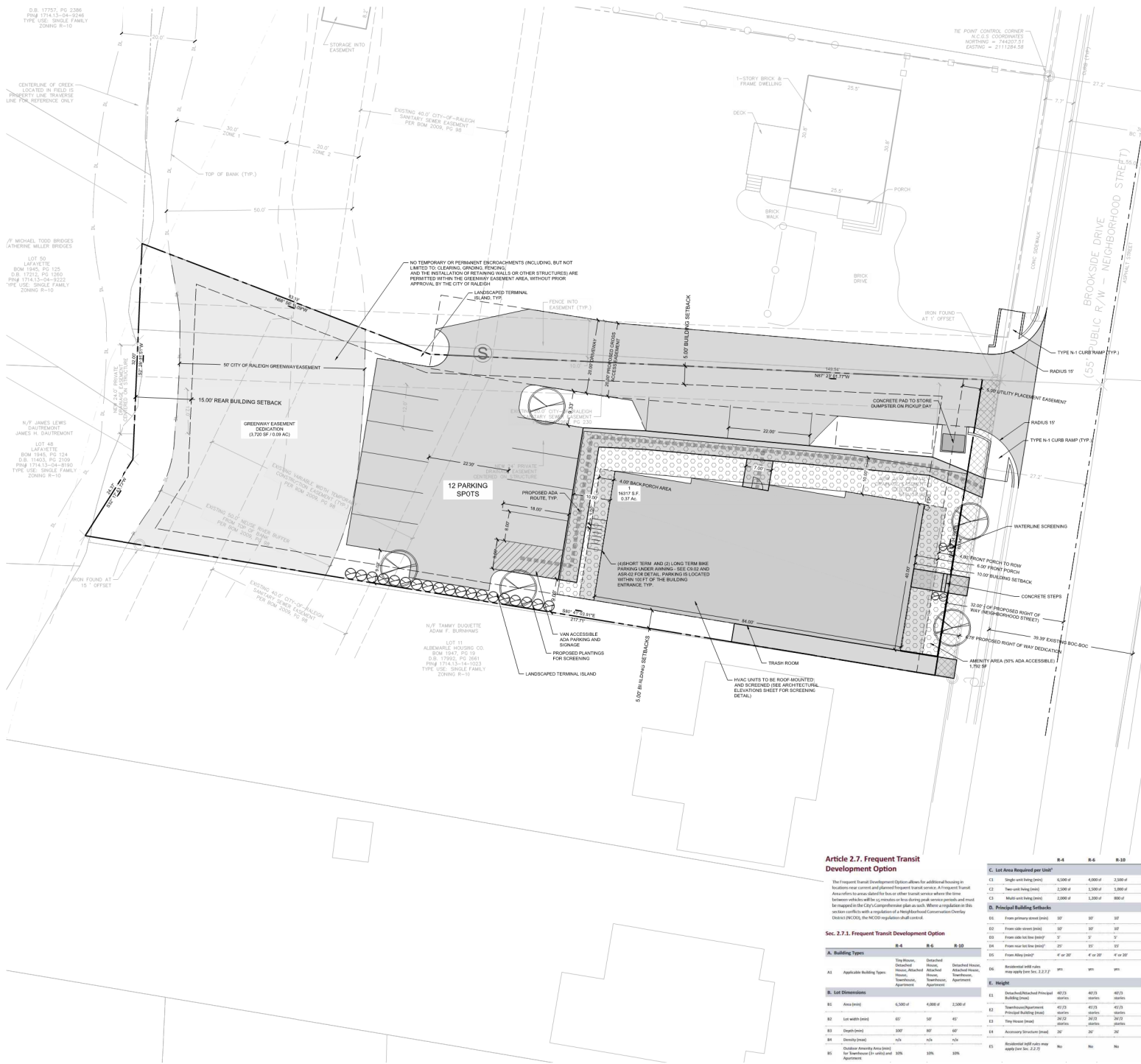
SCALE: 1" = 30'

C.N.: 29028-2

DWG. NO.

C-1056-2

SHEET 1 OF 1



- SITE LEGEND:**
- SYMBOL DESCRIPTION**
- PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED BRICK SIDEWALK
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAVERS
 - PROPOSED GRAVEL
 - PROPOSED CURB & GUTTER
 - PROPOSED STOP BAR
 - PROPOSED CROSSWALK
 - PROPOSED 8' WIDE STANDARD CROSSWALK
 - PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
 - PROPOSED SIGN
 - PROPOSED ADA PARKING SPACE
 - PROPOSED KEYSTONE WALL
 - PROPOSED CIP WALL
 - PROPOSED WHEEL STOP
 - PROPOSED GRAVEL TRAIL
 - PROPOSED ASPHALT TRAIL
 - PROPOSED THREELINE
 - PROPOSED FENCE
 - PROPOSED VEHICLE GATE (X' WIDE)
 - PROPOSED LIGHT
 - PROPOSED BINE RACK
 - PROPOSED BENCH
 - PROPOSED BOLLARD
 - RIGHT OF WAY DEDICATION
 - ADA ROUTE
 - PLANTINGS

NOTES:

1. SEE SHEET C3.10 FOR GENERAL AND SITE NOTES.

SITE DATA

PROJECT NAME:	CASITAS AGU 1
SITE ADDRESS:	1113 & 1201 BROOKSIDE OR RALEIGH, NC 27604
COUNTY:	WAKE
PARCEL PIN:	1714141160, 1714141168
PARCEL OWNER:	CASITAS AGU LLC
PARCEL AREA:	16,705 SF / 0.38 AC
TOTAL SITE GROSS ACREAGE:	16,705 SF / 0.38 AC
NET ACREAGE:	16,577 SF / 0.37 AC
CURRENT ZONING:	R-10 NCOD (OAKWOOD PARK)
PROPOSED ZONING:	R-10 NCOD (OAKWOOD PARK)
EXISTING LAND USE:	SINGLE FAMILY LIVING
PROPOSED LAND USE:	MULTI-FAMILY LIVING
FLOOD PLAIN DATA:	N/A
RIVER BASIN:	NEUSE
DEVELOPMENT TYPE:	APARTMENT
MAX BUILDING HEIGHT:	40' / 3 STORIES
PROPOSED BUILDING HEIGHT:	32' / 1"
PROPOSED NUMBER OF LOTS:	1
TREE CONSERVATION AREA:	N/A
TOTAL LIMITS OF DISTURBANCE:	16,674 SF / 0.37 AC
EXISTING IMPERVIOUS AREA:	0.11 AC / 2,940 SF
MAXIMUM ALLOWED IMPERVIOUS AREA:	0.11 AC (10,000 MAXIMUM)
PROPOSED IMPERVIOUS AREA:	0.22 AC / 8,024 SF
ANENITY AREA REQUIRED:	1,621 SF
ANENITY AREA PROVIDED:	1,792 SF
PARKING DATA:	
REQUIRED PARKING:	1.5 MAX/UNIT
PROPOSED PARKING:	12
TOTAL PARKING:	12
BIKE PARKING REQUIRED:	4 SHORT TERM / 2 LONG TERM
BIKE PARKING PROVIDED:	4 SHORT TERM / 2 LONG TERM

OAKWOOD PARK NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT / NCOD:

- a. Maximum lot size (residential): 6,000 square feet.
b. Minimum lot width (residential): 55 feet.
c. Maximum lot width (residential): 80 feet.

C. Neighborhood Street



Width	
A. Right of way width	64'
B. Back of curb to back of curb	38'
Streetscape	
C. Utility placement, easement (min)	5'
D. Maintenance strip (min)	2'
E. Sidewalk (min)	6'
F. Planting area (min)	6'
Topography	
G. Parallel parking lane	8'
H. Travel lane	10'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' s.c. avg
Parking type	Parallel

Article 2.7. Frequent Transit Development Option

The Frequent Transit Development Option allows for additional housing in locations most central and planned frequent transit service. A Frequent Transit Area refers to areas slated for bus or other transit service where the time between vehicles will be 15 minutes or less during peak service periods and must be mapped in the City's Comprehensive plan as such. Where a regulation in this section conflicts with a regulation in a higher level of conservation overlay (such as NCOD), the NCOD regulation shall control.

Sec. 2.7.1. Frequent Transit Development Option

	R-4	R-6	R-10
A. Building Types			
A1. Applicable Building Types	Two-Story, Detached House, Attached House, Townhouse, Apartment	Detached House, Attached House, Townhouse, Apartment	Detached House, Attached House, Townhouse, Apartment
B. Lot Dimensions			
B1. Area (sqm)	6,300-sf	4,800-sf	2,200-sf
B2. Lot width (m)	80'	60'	40'
B3. Depth (m)	80'	80'	40'
B4. Density (units)	n/a	n/a	n/a
B5. Outdoor Amenity Area (sqm)	for detached (30'-width) and 100% Apartments	100%	100%

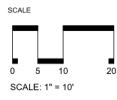
	R-4	R-6	R-10
C. Let Area Required per Unit*			
C1. Single unit living (sqm)	6,300-sf	4,800-sf	2,200-sf
C2. Two unit living (sqm)	2,200-sf	1,800-sf	1,000-sf
C3. Multi unit living (sqm)	6,300-sf	4,800-sf	2,200-sf
D. Principal Building Setbacks			
D1. From primary street (m)	10'	10'	10'
D2. From side street (m)	10'	10'	10'
D3. From rear lot line (m)	10'	10'	10'
D4. From rear lot line (m)	10'	10'	10'
D5. From alley (m)	4' or 20'	4' or 20'	4' or 20'
D6. Residential with rules	yes	yes	yes
E. Height			
E1. Detached/Attached Principal Building (m)	40/23	40/23	40/23
E2. Detached/Attached Principal Building (m)	40/23	40/23	40/23
E3. Two-Story (m)	40/23	40/23	40/23
E4. Accessory Structure (m)	20'	20'	20'
E5. Residential with rules	yes	yes	yes

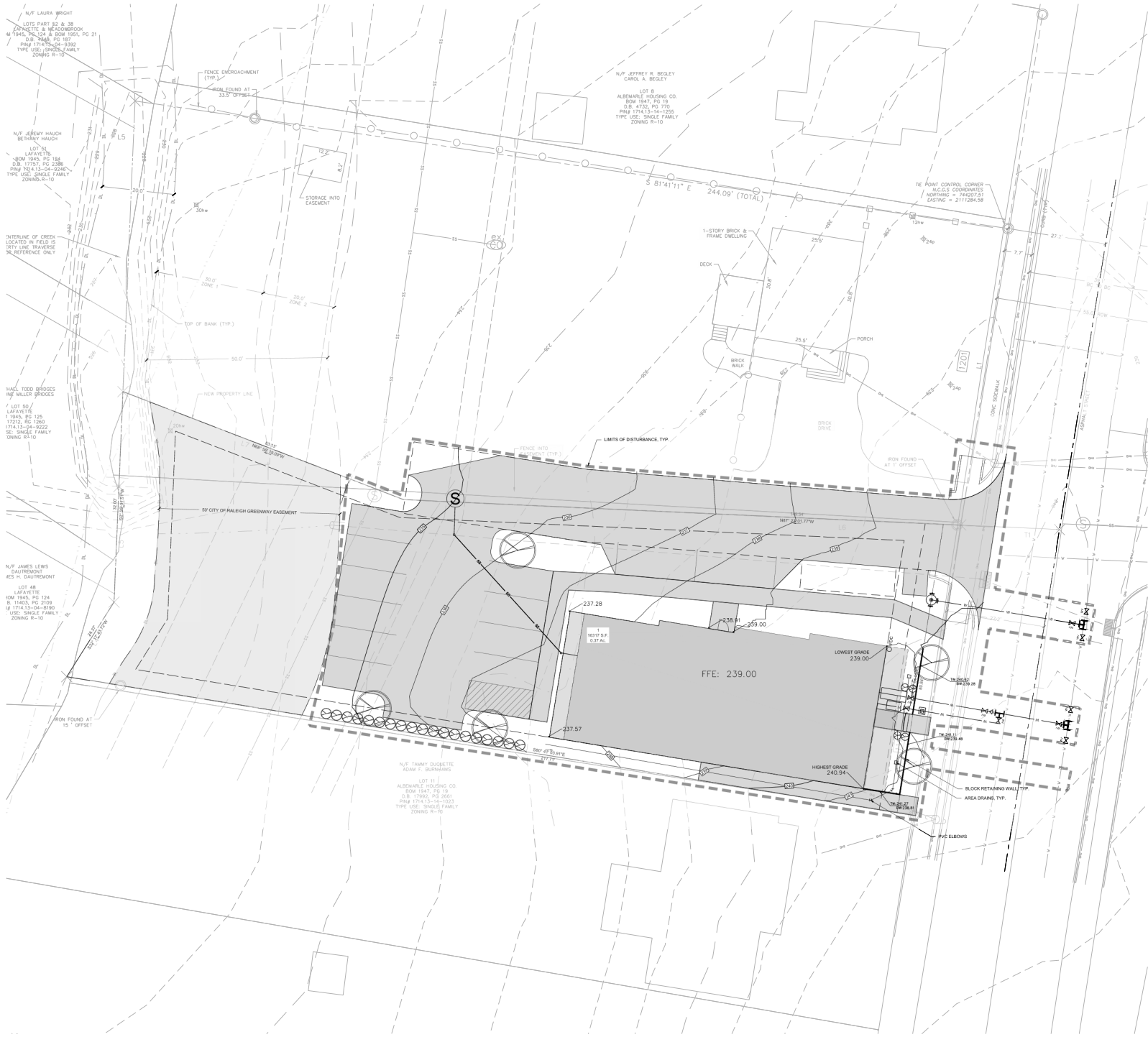


414 FAYETTEVILLE ST

No.	Date	Description
1	10/1/2023	CONCEPT DESIGN
2	10/1/2023	CONCEPT DESIGN
3	10/1/2023	CONCEPT DESIGN

VICINITY





GRADING LEGEND:

SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED STORM DRAINAGE
	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	HUMP OBSTRUCTOR
	FLOW DIRECTION
	PROPOSED ELEVATION
	TOP/BOTTOM OF CULB
	TOP/BOTTOM OF WALL

NOTES:
1. SEE SHEET C5.10 FOR GENERAL AND GRADING NOTES.

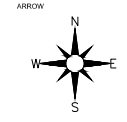
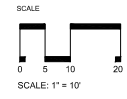
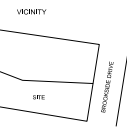
AVERAGE GRADE CALCULATIONS	
LOWEST PROPOSED GRADE (FT)	239.00
HIGHEST PROPOSED GRADE (FT)	240.94
FINISHED FLOOR ELEVATION (FT)	239.00
AVERAGE GRADE (FT)	239.97

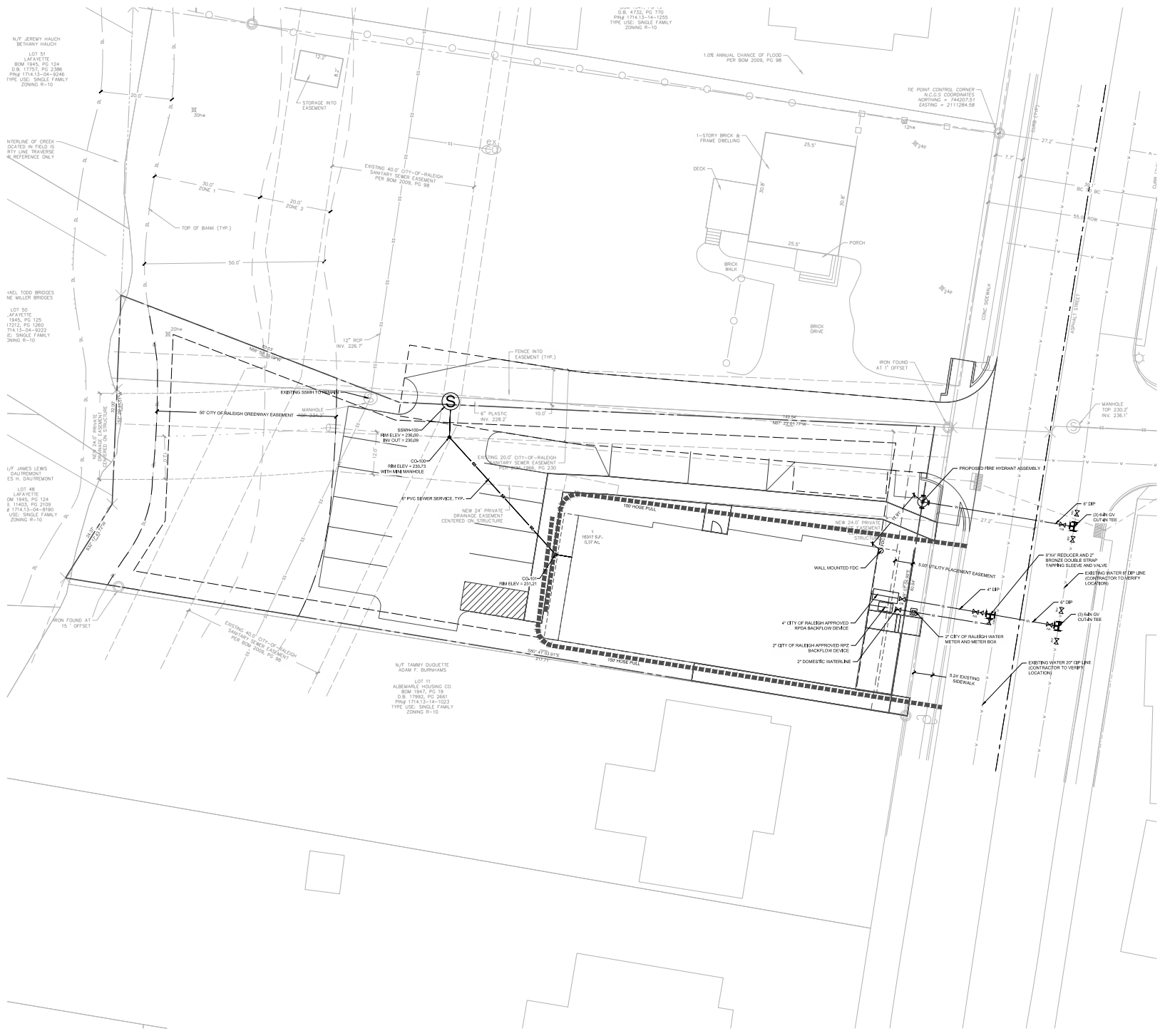
IMPERVIOUS AREA ALLOCATION	
NET SITE AREA (SF)	16317.00
65% MAXIMUM IMPERVIOUS (SF)	10606.05
PROPOSED IMPERVIOUS AREA (SF)	9824.00
IMPERVIOUS AREA PERCENTAGE (%)	60.21

SWIFT PARTNERS

414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description
1	01/11/2023	CONCEPT DESIGN
2	02/14/2023	CONCEPT DESIGN
3	03/14/2023	CONCEPT DESIGN
4	04/14/2023	CONCEPT DESIGN
5	05/14/2023	CONCEPT DESIGN
6	06/14/2023	CONCEPT DESIGN
7	07/14/2023	CONCEPT DESIGN
8	08/14/2023	CONCEPT DESIGN
9	09/14/2023	CONCEPT DESIGN
10	10/14/2023	CONCEPT DESIGN
11	11/14/2023	CONCEPT DESIGN
12	12/14/2023	CONCEPT DESIGN





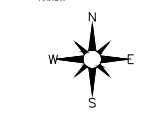
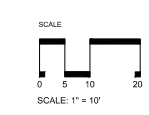
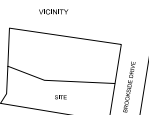
- UTILITY LEGEND:**
- | SYMBOL | DESCRIPTION |
|--------|-------------------------------------|
| — | EXISTING WATERLINE |
| — | PROPOSED WATERLINE |
| — | EXISTING SANITARY SEWER LINE |
| — | PROPOSED SANITARY SEWER LINE |
| — | PROPOSED FIRE HYDRANT |
| — | PROPOSED WATER VALVE |
| — | EXISTING SANITARY SEWER MANHOLE |
| — | PROPOSED SANITARY SEWER MANHOLE |
| — | PROPOSED CLEANOUT |
| — | PROPOSED FDC |
| — | PROPOSED BACKFLOW METER |
| — | PROPOSED POST INDICATOR VALVE (PIV) |
| — | GREASE INTERCEPTOR |
| — | 300' HYDRANT COVERAGE CIRCLE |
| — | LIMITS OF DISTURBANCE |
- NOTES:**
- SEE SHEET C6.0 FOR GENERAL AND UTILITY NOTES.

- CITY OF RALEIGH STANDARD UTILITY NOTES:**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
 - Utility separation requirements:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an unprotected reservoir used as a source of drinking water.
 - b) When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If the separation cannot be maintained due to existing conditions, the separation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & shall be approved by the Public Utilities Director.
 - c) All distances are measured from outside diameter to outside diameter.
 - d) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DCP material or steel encasement installed 12" on each side of crossing must be specified & installed to satisfy specifications.
 - e) 12" minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DCP material is specified for sanitary sewer.
 - f) Minimum 18" vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DCP materials & a concrete grade having 7" min. thickness per CORPUD detail (P-1 & S-24).
 - g) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 - h) Any necessary RAB reviews are subject to review & approval of an unamended RAB profile by the City of Raleigh Public Utilities Department prior to construction.
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required for all water mains & sewer laterals; 4.0' minimum cover is required on all outside mains.
 - If in the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, top or men & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 12" copper water services with meters located at ROW or within a 2'x2' Weathered Easement immediately adjacent to SDCS. It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 4" PVC sewer services @ 1.2% minimum grade with cleanouts located at ROW or easement & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi. Backwater valves are required on all sanitary sewer services having building drains lower than 12" above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCDFW, USACE, EPA FESA for any riparian buffer, wetland, or floodplain impacts (immediately) prior to construction.
 - ACDOT Right-of-Way Easement Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FDC Program Coordinator prior to issuance of a UCI / RAB Permit. Contact (919) 996-4516 or publicutilities@raleigh.gov for more information.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approved list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained from the RW Cross-Connection Coordinator for each device prior to issuance of a UCI / RAB Permit. Contact (919) 996-9620 or publicutilities@raleigh.gov for more information.
 - Abandon existing water meters per CORPUD specifications to be utilized by city.

SWIFT PARTNERS



No.	Date	Description
1	10/1/2023	1.00 CITY OF RALEIGH PERMIT 1
2	10/1/2023	2.00 CITY OF RALEIGH PERMIT 2
3	10/1/2023	3.00 CITY OF RALEIGH PERMIT 3



UTILITY & FIRE ACCESS PLAN

C6.00

DATE: 10/1/2023
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT #: 202309

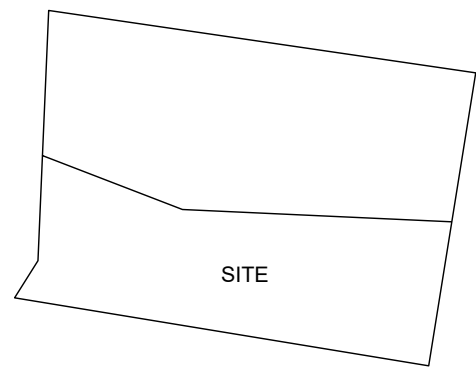
SHEET NO.



414 FAYETTEVILLE ST
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description
1.	07.14.2023	COR ASR Revision 1
2.	09.13.2023	COR ASR Revision 2
3.	09.27.2023	COR ASR Revision 3

VICINITY

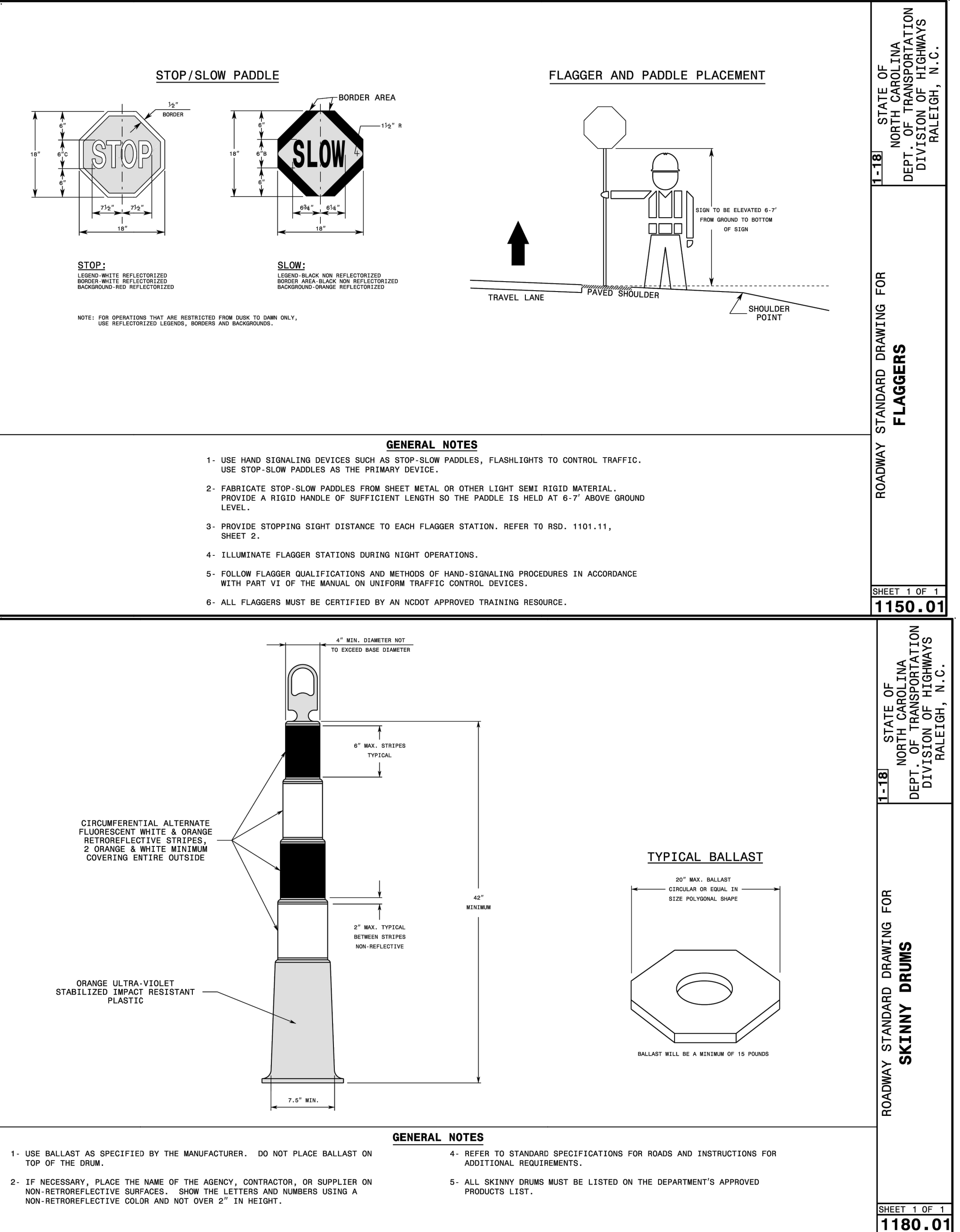
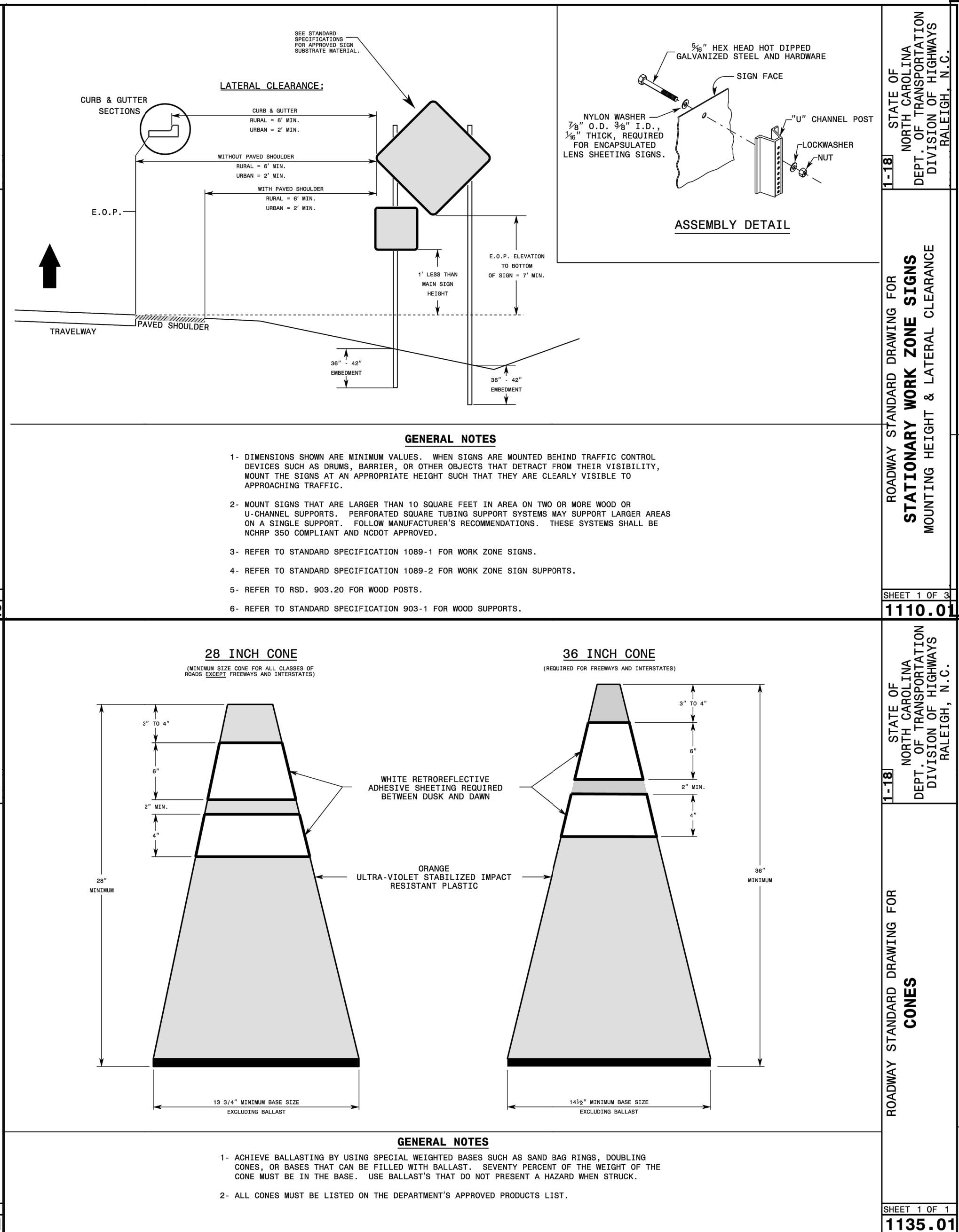
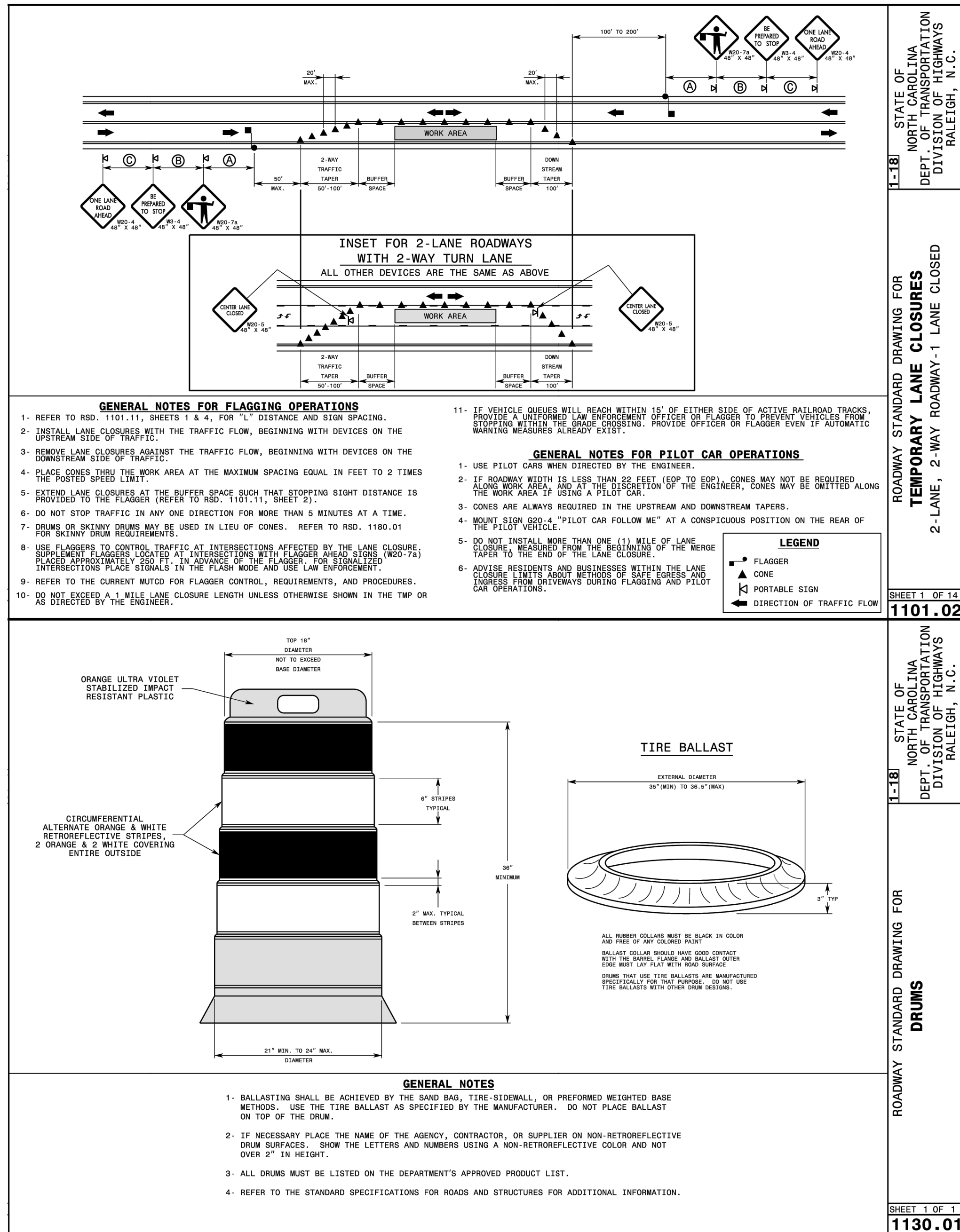


SCALE

ARROW

SHEET NO.

C9.01





Steadyrack's Classic Bike Rack is best for:
Road, Hybrid, BMX

Designed for bikes with:
Wheel Diameter: 20" – 29"
Tire Width: Up to 2.1"
Maximum Weight: 35kg / 77lbs
No fenders/mudguards

BIKE RACKS UNDER AWNING WILL BE VERTICAL LIKE THE ABOVE STEADY RACK OR SIMILAR

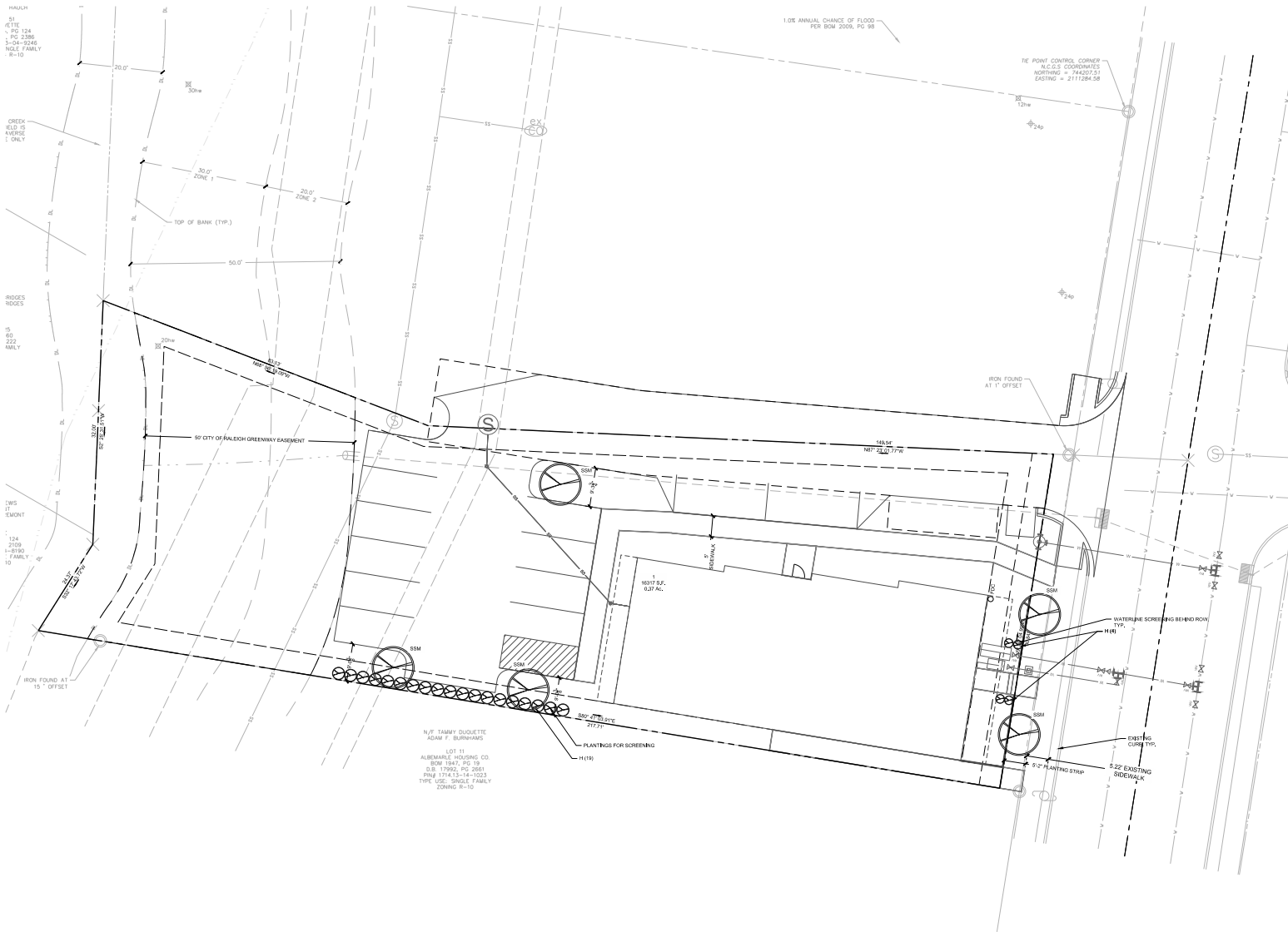


ARROW

DATE: 09.27.2023
CHECKED BY: LAP
DRAWN BY: LAP
PROJECT: CAMITAS AQU11
PROJECT #: 202309

SHEET TITLE
BIKE PARKING DETAILS

SHEET NO.
C9.02



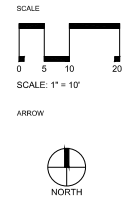
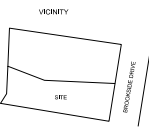
- SITE LEGEND:**
- | SYMBOL | DESCRIPTION |
|-----------|---|
| [Pattern] | PROPOSED BUILDING |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED BRICK SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT |
| [Pattern] | PROPOSED CONCRETE PAVERS |
| [Pattern] | PROPOSED GRAVEL |
| [Pattern] | PROPOSED CURB & GUTTER |
| [Pattern] | PROPOSED STOP BAR |
| [Pattern] | PROPOSED CROSSWALK |
| [Pattern] | PROPOSED 6' WIDE STANDARD CROSSWALK |
| [Pattern] | PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK |
| [Pattern] | PROPOSED SIGN |
| [Pattern] | PROPOSED ADA PARKING SPACE |
| [Pattern] | PROPOSED KEYSTONE WALL |
| [Pattern] | PROPOSED CP WALL |
| [Pattern] | PROPOSED WHEEL STOP |
| [Pattern] | PROPOSED GRAVEL TRAIL |
| [Pattern] | PROPOSED ASPHALT TRAIL |
| [Pattern] | PROPOSED FENCE |
| [Pattern] | PROPOSED VEHICLE GATE (X' WIDE) |
| [Pattern] | PROPOSED LIGHT |
| [Pattern] | PROPOSED WIRE RACK |
| [Pattern] | LIMITS OF DISTURBANCE |
| [Pattern] | PLANTINGS |

- NOTES:**
- SEE SHEET 01.10 FOR GENERAL AND SITE NOTES.
 - THE SITE WILL BE CONFORMING TO THE DEPARTMENT OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH LAND DEVELOPMENT CODE FOR PARCELS LESS THAN 1 ACRE IN SIZE.
 - DUE TO SITE CONSTRAINTS WE ARE PROPOSING THAT THE TREES FOR THE LANDSCAPED ISLANDS BE RELOCATED TO A NEARBY LOCATION CLOSE ENOUGH TO THE PARKING.
- LANDSCAPING REQUIREMENTS:**
- BROOKSIDE DRIVE (NEIGHBORHOOD YIELD)
- REQUIREMENT: 1 LARGE MATURING TREE PER 40 LF + 31 LF + 40 LF + 2 TREES PROVIDED 2 STREET TREES & 3 SHADE TREES

- TREE CONSERVATION AND LANDSCAPING NOTES:**
- THE SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 8.1.2 TREE CONSERVATION APPLICABILITY.
 - THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.
- LANDSCAPING NOTES:**
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDING DETAIL, TP-004.
 - STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
 - ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SESSID AND WATERED.
 - SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
 - ALL TREE PLANTINGS SHALL BE MATCHED TO A DEPTH OF 3", KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
 - A MINIMUM OF FOUR IN-HOLE SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
 - MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO TILLAGE ALL ON-SITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THE PROJECT.
 - ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH TS SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONS SHALL BE FULFILLED FINE BULK, PEAT MOSS OR SHEDDED COMPOSTED LEAVES.
 - CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
 - CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
 - ALL PLANTS ARE TO BE THOROUGHLY "WATERED" BY THE SAME DAY AS PLANTED.
 - THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
 - COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND DECARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
 - ALL TREES WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
 - LANDSCAPING SHOWN MEETS REQUIREMENTS.
 - ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
 - ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS MISSING OR DAMAGED WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.



No.	Date	Description
1	01/11/2023	CONCEPT DESIGN
2	02/15/2023	CONCEPT DESIGN
3	03/15/2023	CONCEPT DESIGN

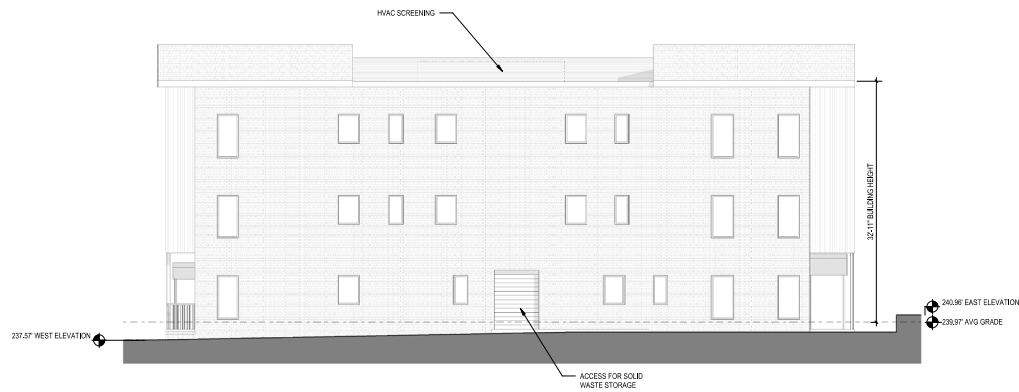


KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING		CONTAINER	MATURE	
		UNDERSTORY TREES & PLANTINGS						
BSM	5	ACER FLORENTINUM	SOUTHERN SUGAR MAPLE	10'x1"	3.0"	88B	10'x1"	60'x2"
H	23	ILEX VOMITORIA	DWARF HOLLY	4'x1"	3.0"	88B	4'x1"	6'x1"



AVERAGE GRADE CALCULATIONS	
LOWEST PROPOSED GRADE (FT)	239.00
HIGHEST PROPOSED GRADE (FT)	240.94
FINISHED FLOOD ELEVATION (FT)	239.00
AVERAGE GRADE (FT)	239.97

7 | ASR BUILDING ELEVATION - S BUILDING - NORTH
1/8" = 1'-0"



6 | ASR BUILDING ELEVATION - S BUILDING - SOUTH
1/8" = 1'-0"



5 | ASR BUILDING ELEVATION - S BUILDING - WEST
1/8" = 1'-0"



4 | ASR BUILDING ELEVATION - S BUILDING - EAST
1/8" = 1'-0"

CLEARSCAPES
ARCHITECTURE

501 S. Person Street
Raleigh, NC 27601
(919) 824-2775
info@clearscapes.com

DATE: 09.12.23

SCALE

NOT FOR CONSTRUCTION

ASR SUBMISSION
09.12.23

PROJECT

BROOKSIDE
1113 S. 1201 BROOKSIDE DRIVE
RALEIGH, NC

REVISIONS

No.	Description	Date

PROJECT DATA

DATE: 09.12.23
DRAWN: CL
CHECKED: FB
PROJECT NO: 2048_####
PRINTING: ASR SUBMISSION

SHEET DATA

**SOUTH
BUILDING**

SHEET NO.

ASR-02