



Administrative Approval Action

Case File / Name: ASR-0029-2024

DSLCL - SURE PROMISE CHUCH BUILDING ADDITION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 2.16 acre parcel is located north of Princess Curry Way, south of Rock Quarry Road, east of Auburn Church Road, and west of Battle Bridge Road at 4301 Pearl Road in southeast Raleigh. It is zoned R-4.

REQUEST: Sure Promise Christian Church and Daycare proposes a 10,954 square foot addition to the existing 5,966-square foot building and other site improvements including new sidewalks, ADA-compliant ramps, relocation of mechanical equipment, and stormwater management devices. A 321-square foot temporary building with attached porch and handicap ramp, steps and mechanical equipment shall be removed. The one-story addition will house a new sanctuary, classrooms and a new welcome center.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 31, 2025 by Thompson and Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

4. Tree protection fence protecting recorded tree conservation areas must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

Stormwater

1. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant

INDEX OF SHEETS FOR SURE PROMISE CHURCH

SHEET 1	EXISTING CONDITIONS PLAN
SHEET 2	DEMOLITION PLAN
SHEET 3	SITE PLAN
SHEET 4	GRADING PLAN
SHEET 5	STORMWATER PLAN
SHEET 5A	PRE DEVELOPMENT DA PLAN
SHEET 5B	POST DEVELOPMENT DA PLAN
SHEET 6	UTILITY PLAN
SHEET 7	LANDSCAPE PLAN
SHEET 7A	PERIMETER YARD EXHIBIT
SHEET 8	ELEVATIONS
SHEET 9	ELEVATIONS <small>PLAN SHEET REVISED PER CITY'S THIRD REVIEW COMMENTS</small>
SHEET 10	ELEVATIONS
SHEET 11	DETAILS
SHEET 12	FIRE ACCESS W/ HOSE LAY

NOTE ON EXISTING TRASH COLLECTION

SITE CURRENTLY IS SERVED WITH TRASH COLLECTION VIA PRIVATE COLLECTION - GFL ENVIRONMENTAL.

ATTENTION CONTRACTORS:

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE INFRASTRUCTURE INSPECTIONS DIVISION AND SCHEDULE A PRE-CONSTRUCTION MEETING ON THE DEVELOPMENT PORTAL PRIOR TO PRIOR TO BEGINNING ANY CONSTRUCTION. RALEIGH WATER MUST BE CONTACTED AT (919) 986-4540 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY WORK ACTIVITY AROUND CRITICAL WATER AND SEWER INFRASTRUCTURE.

FAILURE TO NOTIFY CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - o MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)
 - o PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - o AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - o RALEIGH STREET DESIGN MANUAL (RSDM)
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

PUBLIC IMPROVEMENT QUANTITIES:

PHASE NUMBER(S)	0
LOT NUMBER BY PHASE	0
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE	NO
# OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0
PRIVATE WATER (LF)	143
PUBLIC SEWER (LF)	0
PUBLIC FORCE MAIN (LF)	0
PRIVATE SEWER (LF)	0
PUBLIC STREET (LF) FULL	0
PUBLIC STREET (LF) PARTIAL	0
PUBLIC SIDEWALK (LF)	0
PUBLIC SIDEWALK (LF) PARTIAL	0
MULTI-USE PATH (LF)	0
PUBLIC STORM DRAIN (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	0
AVERAGE DAILY FLOW (GPD)	600

CO. LIC # : C-0343
THOMPSON and ASSOCIATES, P.A.
 1149 EXECUTIVE CIRCLE
 SUITE D UNIT 2
 CARY, NC 27511
 TEL. 919 465-1566

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 • Raleigh, NC 27601 • 919-998-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). Note: There is a fee for this verification service.

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
Detached <input type="checkbox"/>	General Subdivision case # _____
Attached <input type="checkbox"/>	Mixed use <input type="checkbox"/>
Townhouse <input type="checkbox"/>	Civic <input checked="" type="checkbox"/>
Apartment <input type="checkbox"/>	Cottage Court <input type="checkbox"/>
Tiny house <input type="checkbox"/>	Frequent Transit Development Option <input type="checkbox"/>
Open lot <input type="checkbox"/>	Design Alternate # _____

GENERAL INFORMATION

Development name: SURE PROMISE CHRISTIAN CHURCH - BUILDING ADDITION
 Inside City limits? Yes No
 Property address(es): 4301 PEARL ROAD RALEIGH, NC 27610
 Site P.I.N. (s): 1731-08-5732
 Please describe the scope of work. Include any additions, expansions, and uses (UDO § 1.4):
 BUILDING ADDITION TO EXISTING CHURCH BUILDING/SITE

Current Property Owner(s):
 Company: SURE PROMISE CHRISTIAN CHURCH Title: DR. OLIVER L. PITTMAN, SR. "BISHOP"
 Address: 4301 PEARL ROAD RALEIGH, NC 27610
 Phone # 919-890-5639 Email: surepromisecc@gmail.com
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner Lessee or contract purchaser Owner's authorized agent Easement holder

Company: _____ Address: _____

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact:
 Company: MCCOWAN INNOVATIONS Title: WALTER MCCOWAN - PRESIDENT
 Address: 5601 BLACKBERRY COURT RALEIGH, NC 27604
 Phone #: 919-889-0121 Email: walter@mccowaninnovations.com
 Applicant Name: THOMPSON AND ASSOCIATES - RANDY MILLER - ENGINEER
 Company: THOMPSON & ASSOCIATES Address: 1149 EXECUTIVE CIRCLE STE D2 CARY, NC 27511
 Phone #: 919-465-1566 Email: millerpa19793@gmail.com

DEVELOPMENT TYPE + SITE DATE TABLE
 (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (s) (please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 5297 SF
Gross site acreage: 2.15 AC	Existing gross floor area to be demolished: 321 SF
# of parking spaces proposed: 0	New gross floor area: 7427 SF
Max # parking permitted (7.1.2.C):	Total at gross (to remain and new): 13,393 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO § 1.4): CHURCH	Proposed # of stories for each: 1
Proposed use (UDO § 1.4): CHURCH	Proposed # of basement levels (UDO 1.5.7.A.6): 0

STORMWATER INFORMATION

Impervious Area on Parcel(s)	Impervious Area for Compliance (includes ROW)
Existing (sf) 24,874 Proposed total (sf) 32,373	Existing (sf) 24,874 Proposed total (sf) 32,373

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
# of lots: _____	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.



Service Proposal For: SURE PROMISE CHRISTIAN CHURCH, 4301 Pearl Road, Raleigh, North Carolina, November 08, 2024

Customer Service Agreement

Waste Industries, LLC
 3741 Corporate Drive
 Raleigh, NC 27609
 (919) 862-7100 / (919) 862-1730
 (W) https://gfl.com/rn

CUSTOMER'S LEGAL ENTITY NAME
 SURE PROMISE CHRISTIAN CHURCH
 4301 Pearl Road
 Raleigh, NC 27610

BILLING ADDRESS
 SURE PROMISE CHRISTIAN CHURCH
 4301 Pearl Road
 Raleigh, NC 27610

PRIMARY CONTACT
 Name: DR. OLIVER L. PITTMAN, SR.
 Title: BISHOP
 Phone: 919-890-5639

SCHEDULE OF SERVICES

DESCRIPTION	QUANTITY	UNIT	PRICE	EFFECTIVE DATE
Waste Collection	1	Month	\$600	November 12, 2024

CUSTOMER SPECIFIC TERMS

Customer is responsible for safe, environmental, administrative, and other fees and charges as required.

SIGNATURES

Customer: _____ Waste Industries, LLC: _____

SITE PERMIT REVIEW FOR SURE PROMISE CHURCH BUILDING ADDITION

C.O.R. PROJECT #ASR-0029-2024
 4301 PEARL RD.
 RALEIGH, NORTH CAROLINA 27610

REVISED: 9-24-2024
 REVISED: 12-13-2024
 REVISED: 1-31-2025

PLAN SHEET REVISED PER CITY'S FIRST REVIEW COMMENTS
PLAN SHEET REVISED PER CITY'S SECOND REVIEW COMMENTS
PLAN SHEET REVISED PER CITY'S THIRD REVIEW COMMENTS

PRELIMINARY DRAWING FOR REVIEW ONLY

OWNER:
 SURE PROMISE CHRISTIAN CHURCH
 4301 PEARL RD
 RALEIGH, NC 27610

FIN 1731 08 5732	OWNER: SURE PROMISE CHRISTIAN CHURCH
SITE ADDRESS: 4301 PEARL RD, RALEIGH NC 27610	4301 PEARL RD, RALEIGH, NC 27610
ZONED: R-4	
PROJECT TYPE: BUILDING ADDITION	
TOTAL TRACT SIZE: 2.158 AC, 93,991 SF	
PROPOSED BUILDINGS: 2,427 SF	
EXISTING USE: CHURCH/PRIVATE SCHOOL	
PROPOSED USE: UNCHANGED	
EXISTING BUILDING AREA: 5,966 SF MAIN BLDG + 321 SF TRAILER + 354 SF SHEDS	
8,641 SF TOTAL BUILDINGS	
TRAILER TO BE REMOVED WITH PROJECT (-321 SF)	
NEW BUILDING ADDITION: 7,427 SF	
TOTAL BUILDING AREA AFTER ADDITION: 13,747 SF	
TREE CONSERVATION AREAS ARE EXISTING PER BM 2008 PG 1684	
NO NEW TREE CONSERVATION AREAS PROPOSED	
SITE DOES NOT CONTAIN NEUSE RIVER BUFFER AREA	
NO FEMA FLOOD AREA ON SITE. MAP #S 3720173100K DATED 7/19/2022	
NO WETLANDS ON SITE	
EX. IMPERVIOUS SURFACE AREA: 24,874 SF (CHURCH, PARKING, SIDEWALKS) 26.46X	
SIDEWALKS, RAMPS, STEPS: 777 SF	
EX. IMPERVIOUS REMOVED: 899.2 SF	
TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 38,671.1 SF (0.88 AC)	
TOTAL PROPOSED IMPERVIOUS SURFACE PERCENTAGE: 38,671.1/93,991 = 41.14%	
AMENITY AREA NOT REQUIRED	
WASTE COLLECTION BY PRIVATE COLLECTOR - GFL ENVIRONMENTAL	
PARKING CALCULATIONS:	
35 EXISTING PARKING SPACES INCLUDING 3 H/C SPACES	
REMOVE 2 EX SPACES FOR FIRE ACCESS ROAD - TOTAL 33 PARKING SPACES	
NO NEW PARKING REQUIRED/PROPOSED	
SHORT TERM BICYCLE PARKING REQUIRED: 0	
SHORT TERM BICYCLE PARKING PROPOSED: 0	
BUILDING SETBACKS: R-4	
FRONT 20'	
SIDE 10'	
REAR 30'	
TRANSITIONAL PROTECTIVE YARDS REQUIRED: TYPE A2 ADJOINING RESIDENTIAL USE	
STREET/VEHICLE REQUIRED: 15' TYPE C2 REQUIRED ALONG PEARL ROAD FRONTAGE	
20' TYPE C2 PROPOSED	
NOTE ON SITE LIGHTING:	
ALL EXISTING SITE LIGHTING SHOWN ON EX. CONDITIONS SHEET 1	
NO NEW LIGHTING PROPOSED.	
ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.	
CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.	
CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.	
CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.	

SITE DATA

PIN 1731 08 5732
 SITE ADDRESS: 4301 PEARL RD. RALEIGH NC 27610
 OWNER: SURE PROMISE CHRISTIAN CHURCH
 4301 PEARL RD.
 RALEIGH, NC 27610
 ZONED: R-4
 TOTAL TRACT SIZE: 2.158 AC 93,991 SF
 EXISTING USE: CHURCH/PRIVATE SCHOOL
 EXISTING BUILDING AREA: 5,906 SF + 321 SF TRAILER
 6,287 SF TOTAL
 TREE CONSERVATION AREAS ARE EXISTING PER BM 2008 PG 1684
 SITE DOES NOT CONTAIN NEUSE RIVER BUFFER AREA
 NO FEMA FLOOD AREA ON SITE: MAP #S 3720173100K DATED 7/19/2022
 NO WETLANDS ON SITE
 EX. IMPERVIOUS SURFACE AREA: 24,874 SF (CHURCH, PARKING, SIDEWALKS) 26.46%
 SITE HAS AN EXISTING SCM - DRY DETENTION POND
 SITE IS CURRENTLY HAS CITY OF RALEIGH WATER SERVICE
 SITE IS CURRENTLY HAS CITY OF RALEIGH SANITARY SEWER SERVICE
 WASTE COLLECTION BY EX. ROLL OUT SERVICE - CITY OF RALEIGH
 PARKING CALCULATIONS:
 35 EXISTING PARKING SPACES INCLUDING 3 H/C SPACES
 BUILDING SETBACKS: R-4
 FRONT 20'
 SIDE 10'
 REAR 30'
 NOTE ON SITE LIGHTING:
 ALL EXISTING SITE LIGHTING SHOWN ON EX. CONDITIONS SHEET 1

REFERENCES:
 BOUNDARY AND TOPO INFORMATION
 BY JOYNER SURVEYING, INC.
 TOPO INTERVAL: 1'
 BM 2021 PC 246
 BM 2008 PC 1684
 EASEMENT SURVEY BY KB LAND SURVEYING
 BM 2009 PC 342
 BM 2002 PC 2066

EXISTING IMPERVIOUS: 24,874 SF

NOTE: ALL TREE CONSERVATION AREAS ARE EXISTING
 NO NEW TREE CONSERVATION AREAS PROPOSED.

NOTE: ALL SITE LIGHTING IS EXISTING
 NO NEW SITE LIGHTING PROPOSED.

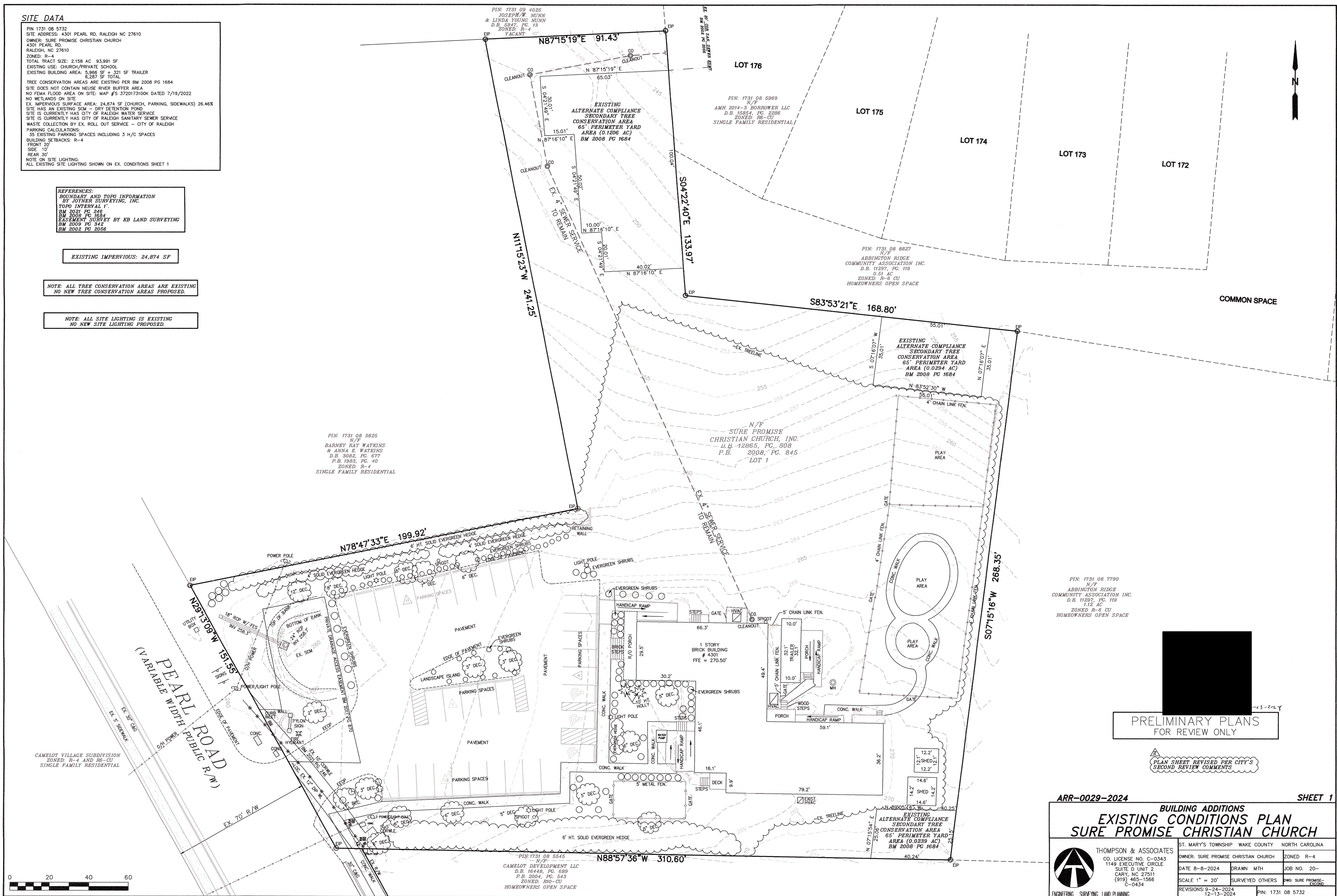
PIN: 1731 08 3825
 N/F
 BARNEY RAY WATKINS
 & ANNA E. WATKINS
 D.B. 3082, P.C. 677
 P.B. 1983, P.C. 40
 ZONED: R-4
 SINGLE FAMILY RESIDENTIAL

PIN: 1731 08 6969
 N/F
 AMH 2014-S BORROWER LLC
 D.B. 15854, P.C. 2286
 ZONED: R6-CU
 SINGLE FAMILY RESIDENTIAL

PIN: 1731 08 8827
 N/F
 ABBINGTON RIDGE
 COMMUNITY ASSOCIATION INC.
 D.B. 11297, P.C. 119
 0.51 AC
 ZONED: R-6 CU
 HOMEOWNERS OPEN SPACE

PIN: 1731 08 7790
 N/F
 ABBINGTON RIDGE
 COMMUNITY ASSOCIATION INC.
 D.B. 11297, P.C. 119
 1.12 AC
 ZONED: R-6 CU
 HOMEOWNERS OPEN SPACE

PIN: 1731 08 5545
 N/F
 CAMELOT DEVELOPMENT LLC
 D.B. 16448, P.C. 689
 P.B. 2004, P.C. 643
 ZONED: R10-CU
 HOMEOWNERS OPEN SPACE



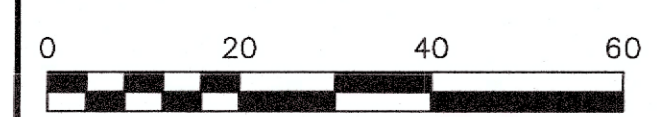
PRELIMINARY PLANS
 FOR REVIEW ONLY

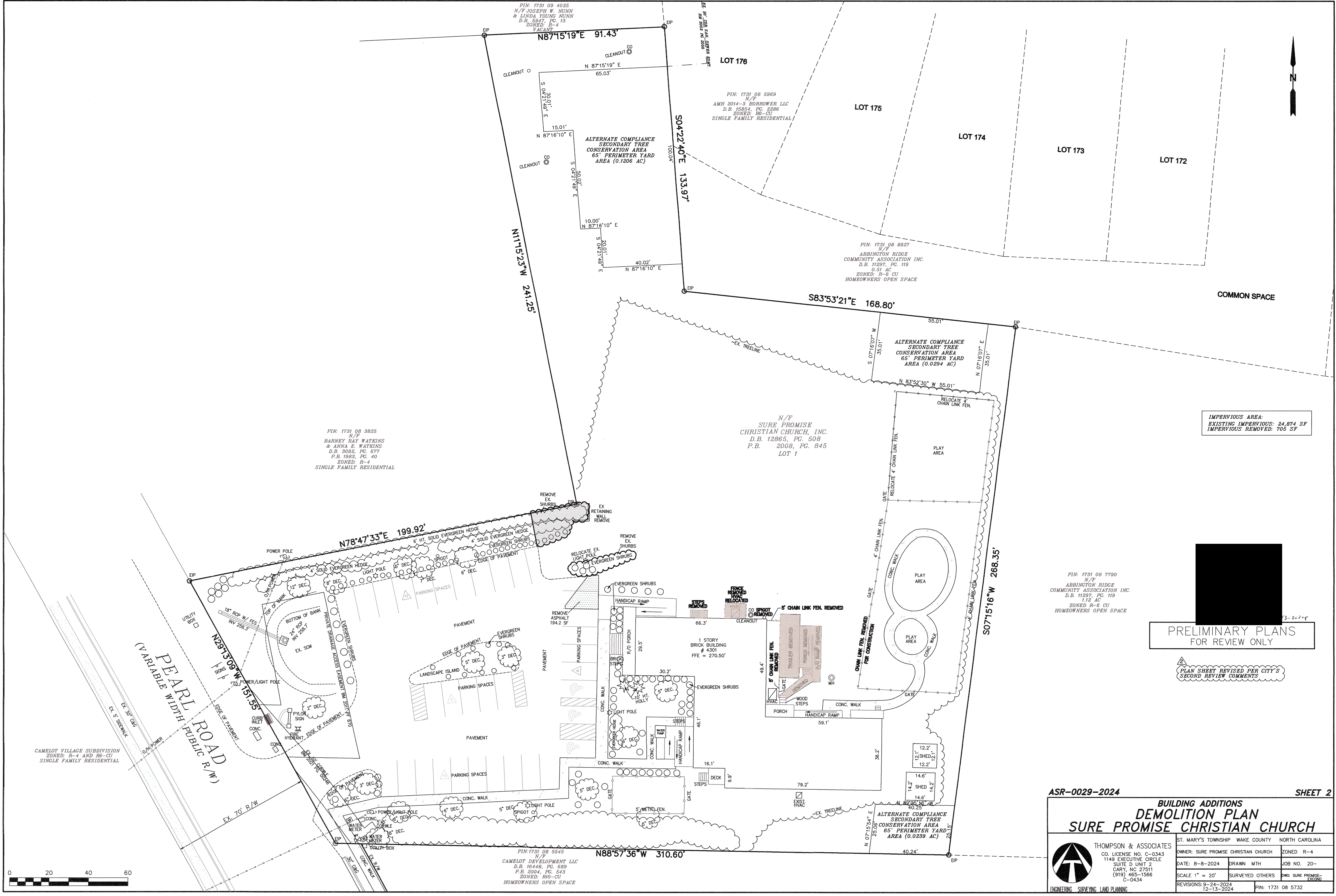
PLAN SHEET REVISED PER CITY'S
 SECOND REVIEW COMMENTS

ARR-0029-2024 SHEET 1

**BUILDING ADDITIONS
 EXISTING CONDITIONS PLAN
 SURE PROMISE CHRISTIAN CHURCH**

THOMPSON & ASSOCIATES CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566 C-0434 ENGINEERING SURVEYING LAND PLANNING	ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA OWNER: SURE PROMISE CHRISTIAN CHURCH DATE 8-8-2024 SCALE 1" = 20' REVISIONS: 9-24-2024 12-13-2024	ZONED R-4 JOB NO. 20- DRAWN MTH SURVEYED OTHERS DWG: SURE PROMISE- EXCROD. PIN: 1731 08 5732
	PIN: 1731 08 5732 SURE PROMISE CHRISTIAN CHURCH 4301 PEARL RD. RALEIGH, NC 27610 ZONED: R-4	





PIN: 1731 09 4025
N/F JOSEPH W. NUNN
& LINDA YOUNG NUNN
D.B. 5947, PG. 13
ZONED: R-4
TAG: 0.47

PIN: 1731 08 6969
N/F
AMH 2014-3, BORROWER LLC
D.B. 15854, PG. 2286
ZONED: R6-CU
SINGLE FAMILY RESIDENTIAL

PIN: 1731 08 8827
N/F
ABBINGTON RIDGE
COMMUNITY ASSOCIATION INC.
D.B. 11297, PG. 119
0.51 AC
ZONED: R-6 CU
HOMEOWNERS OPEN SPACE

PIN: 1731 08 3825
N/F
BARNEY RAY WATKINS
& ANNA E. WATKINS
D.B. 3082, PG. 677
P.E. 1985, PG. 40
ZONED: R-4
SINGLE FAMILY RESIDENTIAL

N/F
SURE PROMISE
CHRISTIAN CHURCH, INC.
D.B. 12865, PG. 508
P.B. 2008, PG. 845
LOT 1

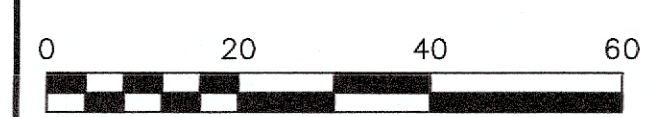
PIN: 1731 08 7790
N/F
ABBINGTON RIDGE
COMMUNITY ASSOCIATION INC.
D.B. 11297, PG. 119
1.12 AC
ZONED R-6 CU
HOMEOWNERS OPEN SPACE

PIN: 1731 08 5545
N/F
CAMELOT DEVELOPMENT LLC
D.B. 16448, PG. 689
P.B. 2004, PG. 643
ZONED: R10-CU
HOMEOWNERS OPEN SPACE

IMPERVIOUS AREA:
EXISTING IMPERVIOUS: 24,874 SF
IMPERVIOUS REMOVED: 705 SF

PRELIMINARY PLANS
FOR REVIEW ONLY

PLAN SHEET REVISED PER CITY'S
SECOND REVIEW COMMENTS



ASR-0029-2024 SHEET 2

**BUILDING ADDITIONS
DEMOLITION PLAN
SURE PROMISE CHRISTIAN CHURCH**

THOMPSON & ASSOCIATES
CO. LICENSE NO. C-0343
1149 EXECUTIVE CIRCLE
SUITE D UNIT 2
CARY, NC 27511
(919) 465-1566
C-0434

ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA

OWNER: SURE PROMISE CHRISTIAN CHURCH	ZONED: R-4
DATE: 8-8-2024	DRAWN: MTH
SCALE: 1" = 20'	SURVEYED: OTHERS
REVISIONS: 9-24-2024	12-13-2024

DWG: SURE PROMISE-
RECORD

PIN: 1731 08 5732

PIN 1731 08 5732
 SITE ADDRESS: 4301 PEARL RD. RALEIGH NC 27610
 OWNER: SURE PROMISE CHRISTIAN CHURCH
 4301 PEARL RD.
 RALEIGH, NC 27610

ZONED: R-4
 PROJECT TYPE: BUILDING ADDITION
 TOTAL TRACT SIZE: 2.158 AC 93,991 SF
 NO R/W DEDICATION REQUIRED

EXISTING USE: CHURCH/PRIVATE SCHOOL
 PROPOSED USE: UNCHANGED

EXISTING BUILDING AREA: 5,966 SF MAIN BLDG + 321 SF TRAILER + 354 SF SHEDS
 6,641 SF TOTAL BUILDINGS
 TRAILER TO BE REMOVED WITH PROJECT (-321 SF)
 NEW BUILDING ADDITION: 7,427 SF
 TOTAL BUILDING AREA AFTER ADDITION: 13,747 SF

TREE CONSERVATION AREAS ARE EXISTING PER BM 2008 PG 1684
 NO NEW TREE CONSERVATION AREAS PROPOSED

SITE DOES NOT CONTAIN NEUSE RIVER BUFFER AREA
 NO FEMA FLOOD AREA ON SITE: MAP #'S 372013100K DATED 7/19/2022
 NO WETLANDS ON SITE

EX. IMPERVIOUS SURFACE AREA: 24,874 SF (CHURCH, PARKING, SIDEWALKS) 26.46%
 PROPOSED BUILDINGS: 7,427 SF SF
 SIDEWALKS, RAMPS, STEPS: 777 SF
 EX. IMPERVIOUS REMOVED: 899.2 SF

TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 38,671.1 SF (0.89 AC)
 TOTAL PROPOSED IMPERVIOUS SURFACE PERCENTAGE: 38,671.1/93,991 = 41.14%

AMENITY AREA NOT REQUIRED
 WASTE COLLECTION BY PRIVATE COLLECTOR - GFL ENVIRONMENTAL

PARKING CALCULATIONS:
 35 EXISTING PARKING SPACES INCLUDING 3 H/C SPACES
 REMOVE 2 EX. SPACES FOR FIRE ACCESS ROAD - TOTAL 33 PARKING SPACES
 NO NEW PARKING REQUIRED/PROPOSED

SHORT TERM BICYCLE PARKING REQUIRED: 0
 SHORT TERM BICYCLE PARKING PROPOSED: 0

BUILDING SETBACKS: R-4
 FRONT 30'
 SIDE 10'
 REAR 30'

TRANSITIONAL PROTECTIVE YARDS REQUIRED: TYPE A2 ADJOINING RESIDENTIAL USE
 STREET/YARD REQUIRED: 15' TYPE G2 REQUIRED ALONG PEARL ROAD FRONTAGE
 20' TYPE G2 PROPOSED

NOTE ON SITE LIGHTING:
 ALL EXISTING SITE LIGHTING SHOWN ON EX. CONDITIONS SHEET 1
 NO NEW LIGHTING PROPOSED.

ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH
 STANDARDS AND SPECIFICATIONS.
 CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION
 OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING
 UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.
 CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR
 TO THE START OF CONSTRUCTION.

PIN: 1731 08 3825
 N/F
 BARNEY RAY WATKINS
 & ANNA E. WATKINS
 D.B. 3082, PG. 677
 P.B. 1983, PG. 40
 ZONED: R-4
 SINGLE FAMILY RESIDENTIAL

PIN: 1731 09 4025
 N/F
 JOSEPH W. NUNN
 & LINDA YOUNG NUNN
 D.B. 5947, PG. 13
 ZONED: R-4
 VACANT

PIN: 1731 08 5969
 N/F
 AMH 2014-S BORROWER LLC
 D.B. 15854, PG. 2286
 ZONED: R-6 CU
 SINGLE FAMILY RESIDENTIAL

PIN: 1731 08 8827
 N/F
 ABBINGTON RIDGE
 COMMUNITY ASSOCIATION INC.
 D.B. 11297, PG. 119
 0.51 AC
 ZONED: R-6 CU
 HOMETOWNERS OPEN SPACE

IMPERVIOUS AREA:
 EXISTING IMPERVIOUS: 24,874 SF 26.46%
 IMPERVIOUS REMOVED: 899.2 SF
 NEW IMPERVIOUS (BUILDINGS, WALKS, RAMPS): 14,696.3 SF
 TOTAL IMPERVIOUS AREA: 38,671.1 SF 41.14%

PIN: 1731 08 7790
 N/F
 ABBINGTON RIDGE
 COMMUNITY ASSOCIATION INC.
 D.B. 11297, PG. 119
 112 AC
 ZONED: R-6 CU
 HOMETOWNERS OPEN SPACE

PIN: 1731 08 5545
 N/F
 CAMELOT DEVELOPMENT LLC
 D.B. 16448, PG. 698
 P.B. 2004, PG. 648
 ZONED: R10-CU
 HOMETOWNERS OPEN SPACE

PRELIMINARY PLANS
 FOR REVIEW ONLY

PLAN SHEET REVISED PER CITY'S
 THIRD REVIEW COMMENTS

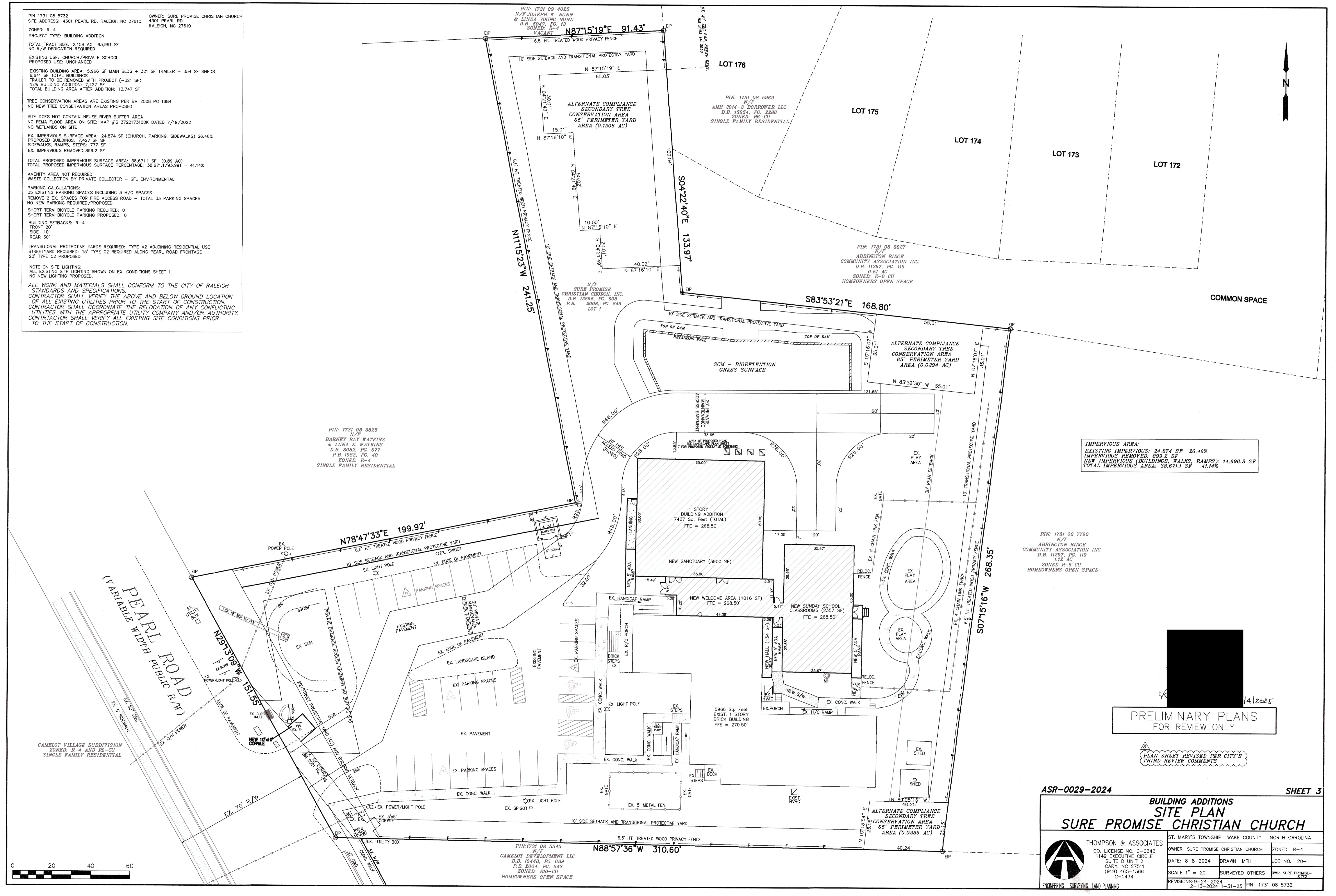
ASR-0029-2024

SHEET 3

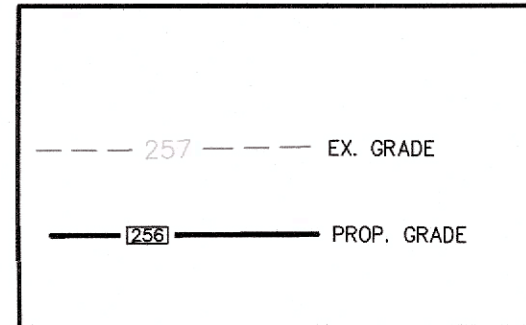
**BUILDING ADDITIONS
 SITE PLAN
 SURE PROMISE CHRISTIAN CHURCH**

THOMPSON & ASSOCIATES
 CO. LICENSE NO. C-0343
 1149 EXECUTIVE CIRCLE
 SUITE 5 UNIT 2
 CARY, NC 27511
 (919) 465-1566
 C-0434

ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA
 OWNER: SURE PROMISE CHRISTIAN CHURCH ZONED R-4
 DATE: 8-8-2024 DRAWN: MTH JOB NO: 20-
 SCALE 1" = 20' SURVEYED OTHERS: DWG: SURE PROMISE-
 C-0434
 REVISIONS: 9-24-2024
 12-13-2024 1-31-25 PIN: 1731 08 5732



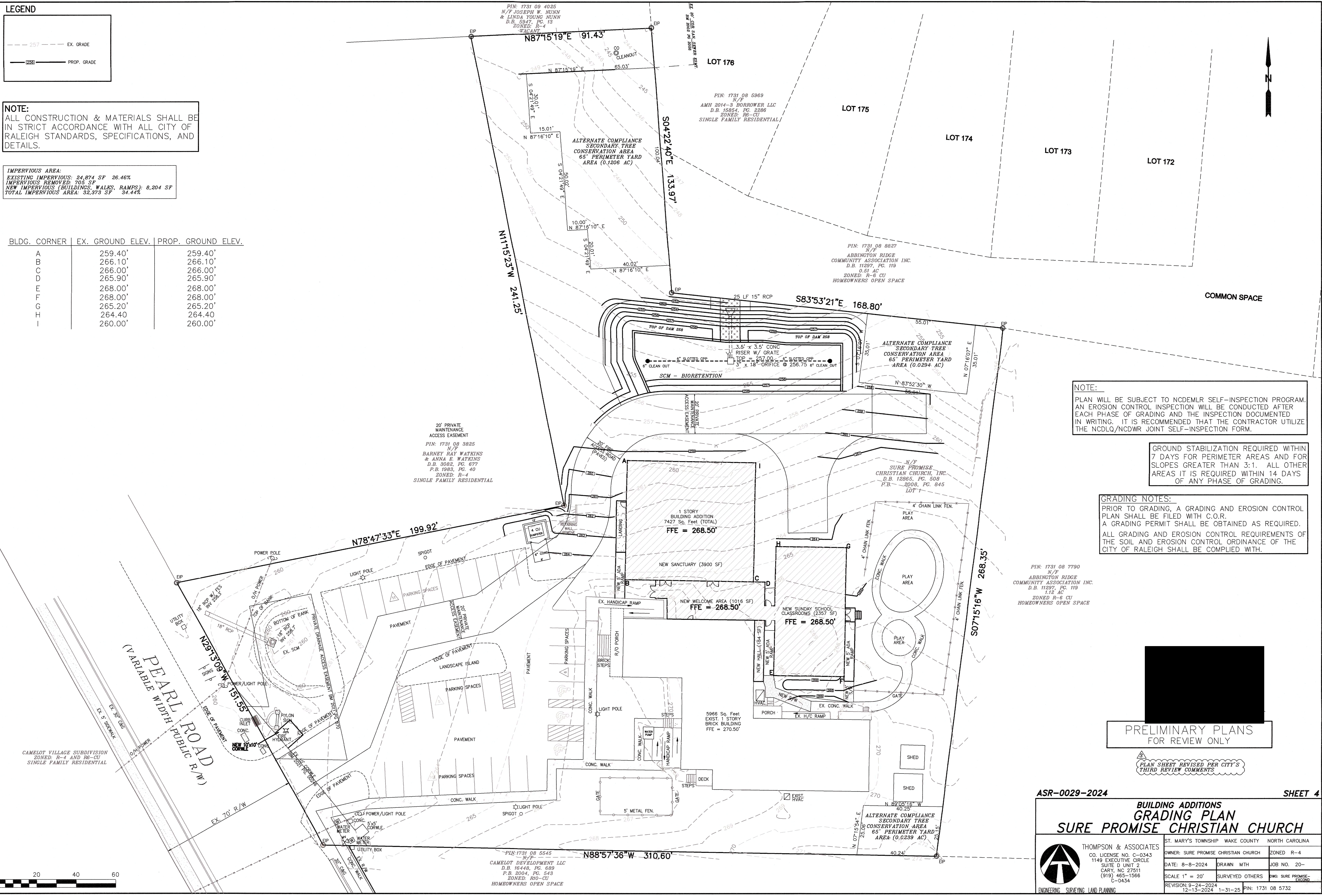
LEGEND



NOTE:
ALL CONSTRUCTION & MATERIALS SHALL BE IN STRICT ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

IMPERVIOUS AREA:
EXISTING IMPERVIOUS: 24,874 SF 26.46%
IMPERVIOUS REMOVED: 705 SF
NEW IMPERVIOUS (BUILDINGS, WALKS, RAMPS): 8,204 SF
TOTAL IMPERVIOUS AREA: 32,373 SF 34.44%

BLDG. CORNER	EX. GROUND ELEV.	PROP. GROUND ELEV.
A	259.40'	259.40'
B	266.10'	266.10'
C	266.00'	266.00'
D	265.90'	265.90'
E	268.00'	268.00'
F	268.00'	268.00'
G	265.20'	265.20'
H	264.40'	264.40'
I	260.00'	260.00'



NOTE:
PLAN WILL BE SUBJECT TO NCDEMR SELF-INSPECTION PROGRAM. AN EROSION CONTROL INSPECTION WILL BE CONDUCTED AFTER EACH PHASE OF GRADING AND THE INSPECTION DOCUMENTED IN WRITING. IT IS RECOMMENDED THAT THE CONTRACTOR UTILIZE THE NCDLQ/NCOWR JOINT SELF-INSPECTION FORM.

GROUND STABILIZATION REQUIRED WITHIN 7 DAYS FOR PERIMETER AREAS AND FOR SLOPES GREATER THAN 3:1. ALL OTHER AREAS IT IS REQUIRED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

GRADING NOTES:
PRIOR TO GRADING, A GRADING AND EROSION CONTROL PLAN SHALL BE FILED WITH C.O.R.
A GRADING PERMIT SHALL BE OBTAINED AS REQUIRED.
ALL GRADING AND EROSION CONTROL REQUIREMENTS OF THE SOIL AND EROSION CONTROL ORDINANCE OF THE CITY OF RALEIGH SHALL BE COMPLIED WITH.

PIN: 1731 08 7790
N/F
ABBINGTON RIDGE
COMMUNITY ASSOCIATION INC.
D.B. 11297, PG. 119
1.12 AC
ZONED R-6 CU
HOMEBOWNERS OPEN SPACE

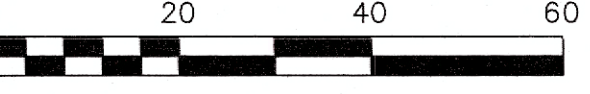
PRELIMINARY PLANS
FOR REVIEW ONLY

PLAN SHEET REVISED PER CITY'S THIRD REVIEW COMMENTS

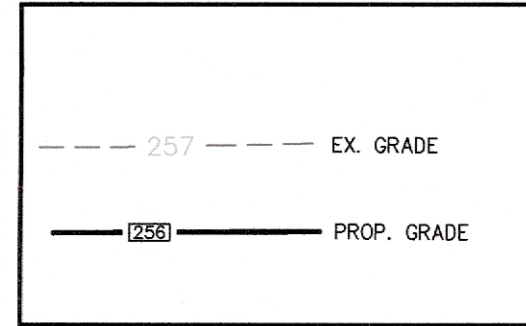
ASR-0029-2024 SHEET 4

**BUILDING ADDITIONS
GRADING PLAN
SURE PROMISE CHRISTIAN CHURCH**

<p>THOMPSON & ASSOCIATES CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE 0 UNIT 2 CARY, NC 27511 (919) 465-1566 C-0434</p>	ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA
	OWNER: SURE PROMISE CHRISTIAN CHURCH ZONED R-4
DATE: 8-8-2024 DRAWN MTH JOB NO. 20-	
SCALE 1" = 20' SURVEYED OTHERS DWG: SURE PROMISE-2024-0000	
REVISION: 9-24-2024 12-13-2024 1-31-25 PIN: 1731 08 5732	



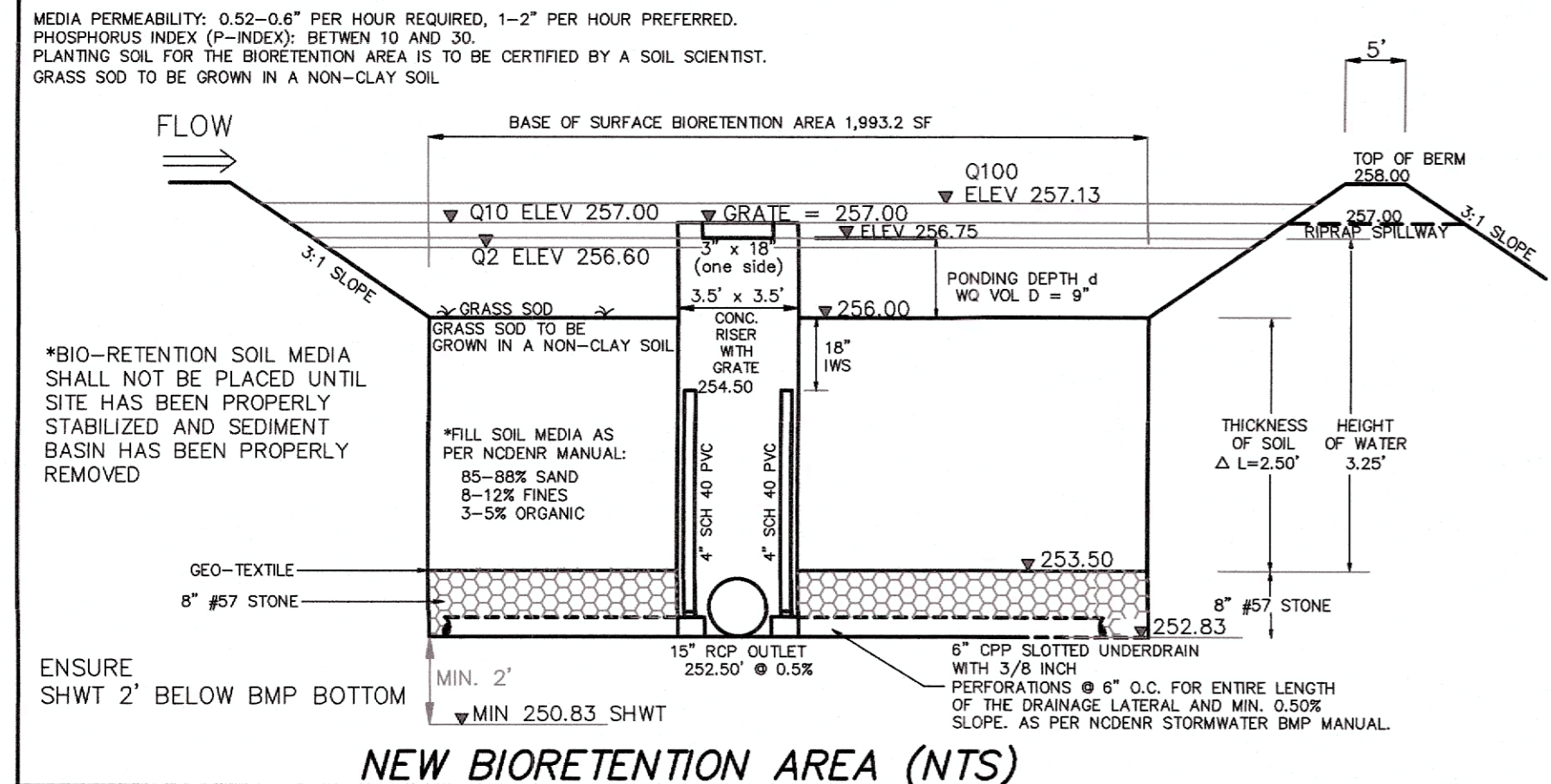
LEGEND



IMPERVIOUS AREA:
 EXISTING IMPERVIOUS: 24,074 SF 26.46%
 IMPERVIOUS REMOVED: 899.2 SF
 NEW IMPERVIOUS (BUILDINGS, WALKS, RAMPS): 14,896.3 SF
 TOTAL IMPERVIOUS AREA: 38,071.1 SF 41.14%

SCHEDULE FOR NEW BIO-RETENTION AREA (GRASS CELL):

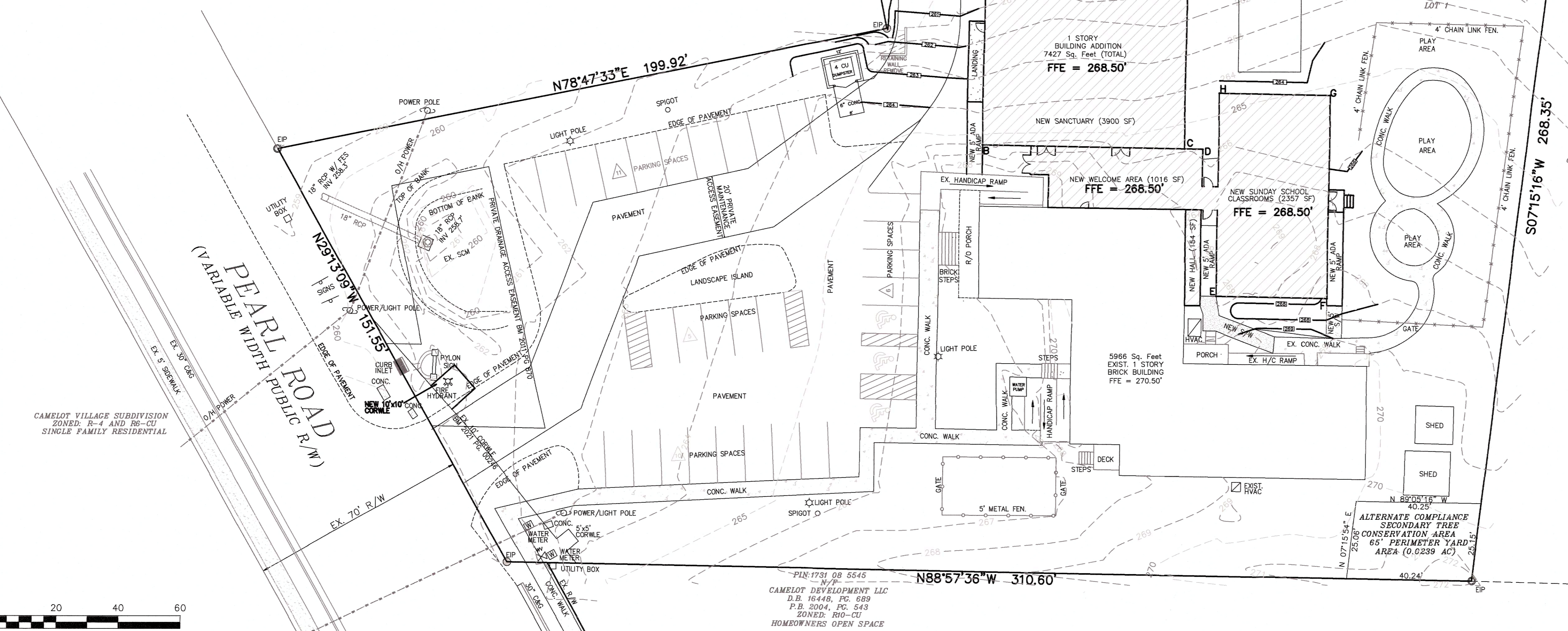
BIO-RETENTION #	SURFACE ELEVATION	SURFACE AREA (SA)	THICKNESS OF SOIL ΔL	PONDING DEPTH d	HEIGHT OF WATER ΔH	TOP OF BERM ELEVATION	DEPTH OF GRAVEL ENVELOPE	UNDERDRAIN PIPE	# OF CLEAN-OUT	OUTLET
1	256.00	1,993.2 sf	2.50 FT.	9.0 IN.	3.25 FT.	258.00	N/A	(2) 6" CPP	2	RIPRAP SPILLWAY @ 257.00



BIO-RETENTION CELL AREA SIZING:
 BIO-RETENTION AREA TREATS & STORES 1" OF RUNOFF FROM THE DRAINAGE AREA.
SIZING OF NEW BIO-RETENTION AREA USING THE SIMPLE METHOD:

- POST RUN-OFF FROM SITE THAT DOES NOT DRAIN TO EXISTING SCM:
 IMPERVIOUS AREA (BUILDING, PAVEMENT & SIDEWALK) = 0.39 AC.
 PERVIOUS AREA (GRASS AND LANDSCAPE) = 1.20 AC.
- REQUIRED VOLUME OF RUNOFF FROM FIRST 1" RUNOFF FROM DRAINAGE AREA AS PER NCDNR BMP MANUAL
 $R_v = 0.05 + 0.9 \times I$
 where $I = 0.39 \text{ ac.} / 1.59 \text{ ac.} = 0.25$
 $R_v = 0.275$
 $V \text{ required} = 3,630 \times 1" \times 0.275 \times 1.59 \text{ ac.}$
 $V \text{ required} = 1587.22 \text{ cf}$
- Total V provided @ Elev. 256.75 (max. 9" DEPTH) = 1605.75 cf

20' PRIVATE MAINTENANCE ACCESS EASEMENT
 PIN: 1731 08 3825
 N/P
 BARNEY RAY WATKINS & ANNA E. WATKINS
 D.B. 3002, P.C. 677
 P.B. 1983, P.C. 40
 ZONED: R-4
 SINGLE FAMILY RESIDENTIAL



STORMWATER MANAGEMENT:
 MAXIMUM ALLOWABLE DISCHARGE FOR SITE IS THE LESSE OF THE PRE DEVELOPMENT 2 OR 10 YEAR DISCHARGE. POST DEVELOPMENT FLOWS CANNOT EXCEED MORE THAN THE PRE DEVELOPMENT LEVEL FOR THE ENTIRE SITE.

PRE RUNOFF CALCULATIONS
 See Pre-Development Stormwater Area Sheet 5A.
 Total pre-development runoff rates:
 Pre-Development rate was calculated using the SCS Method:
 $Q_{10yr} = 2.87 \text{ cfs (total from site)}$
 $Q_{2yr} = 7.91 \text{ cfs (total from site)}$

POST RUNOFF CALCULATIONS - FROM SITE AFTER BUILDING ADDITION
 Post-Development rate was calculated using the SCS Method:
 See Post-Development Drainage Sheet 5B for calculation on total post-development runoff rates.
 Existing & Proposed Impervious: 1.27 ac.
 Existing & Proposed Pervious: 1.27 ac.
 Using SCS Method with CN factors:
 CN = 98 for impervious
 CN = 61 for pervious (fair condition)
 $Q_{10yr} = 5.25 \text{ cfs}$
 $Q_{2yr} = 10.01 \text{ cfs}$
 Post development runoff rates for 2 year and 10 year exceeds pre-development conditions.
 RETENTION MEASURES REQUIRED

POST RUNOFF CALCULATIONS W/ ROUTING THRU SCM (BIO RETENTION CELL)

- POST RUN-OFF FROM SITE NOT TO NEW SCM BIO CELL (DIRECTLY OFFSITE + TO EX. SCM):
 Using the SCS Method:
 DA TO EX. SCM + DA1 + DA2 + DA3 BELOW NEW SCM + DA4 (SEE SHEET 5B)
 $Q_{2yr} = 0.54 + 0.60 + 0.33 + 0.12 + 0.42$
 $Q_{2yr} = 2.01 \text{ cfs (TOTAL NOT TO NEW SCM BIO CELL)}$
 $Q_{10yr} = 2.56 + 1.26 + 0.91 + 0.28 + 0.92$
 $Q_{10yr} = 5.93 \text{ cfs (TOTAL NOT TO NEW SCM BIO CELL)}$
- POST RUN-OFF TO A CONTROLLED POINT (NEW SCM - BIO RETENTION):
 0.56 ac DA3 FROM SITE
 Using the SCS Method:
 DA = 0.56 Ac. (0.39 ac impervious + 0.17 ac pervious = TOTAL)
 WEIGHTED CN = 87
 $Q_{2yr} = 2.11 \text{ cfs}$
 $Q_{10yr} = 3.47 \text{ cfs}$
 RATES ARE GREATER THAN PRE-DEVELOPMENT RATES
 ROUTING INFLOW THRU BIO RETENTION AREA TO DETAIN VOLUME AND LESSEN OUTFLOW
- ROUTING OF SCM BIO RETENTION AREA
 $Q_{2yr} = 0.65 \text{ cfs (OUTFLOW FROM ROUTING)}$
 $Q_{10yr} = 1.61 \text{ cfs (OUTFLOW FROM ROUTING)}$
- OUTFLOW THRU SOIL MEDIA POST DEVELOPMENT
 $Q_{2yr} = 0.06 \text{ cfs}$
 $Q_{10yr} = 0.07 \text{ cfs}$
- TOTAL OUTFLOW FROM SITE POST DEVELOPMENT
 $Q_{2yr} = 2.01 \text{ cfs} + 0.65 \text{ cfs} + 0.06 \text{ cfs} = 2.72 \text{ cfs} (< \text{pre } 2.84 \text{ cfs})$
 $Q_{10yr} = 5.93 \text{ cfs} + 1.61 \text{ cfs} + 0.07 \text{ cfs} = 7.61 \text{ cfs} (< \text{pre } 7.88 \text{ cfs})$
 TOTAL SITE OUTFLOWS ARE LESS THAN PRE-DEVELOPMENT RATES
 => SITE IS IN COMPLIANCE

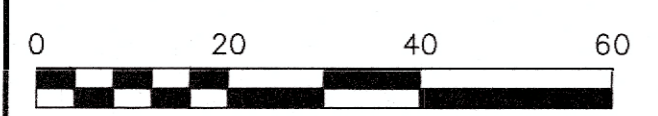
PRELIMINARY PLANS FOR REVIEW ONLY

ASR-0029-2024 SHEET 5

BUILDING ADDITIONS STORMWATER PLAN FOR ADDITION SURE PROMISE CHRISTIAN CHURCH

THOMPSON & ASSOCIATES
 CO. LICENSE NO. C-0343
 1149 EXECUTIVE CIRCLE
 SUITE D UNIT 2
 CARY, NC 27511
 (919) 465-1566
 C-0434

ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA
 OWNER: SURE PROMISE CHRISTIAN CHURCH JOB NO. R-4
 DATE: 8-8-2024 DRAWN MTH HONED R-20-
 SCALE 1" = 20' SURVEYED OTHERS DWG: SURE PROMISE-
 REVISIONS: 9-24-2024 12-13-2024 1-31-25 PIN: 1731 08 5732



STORMWATER MANAGEMENT:

MAXIMUM ALLOWABLE DISCHARGE FOR SITE IS THE LESSER OF THE PRE DEVELOPMENT 2 OR 10 YEAR DISCHARGE. POST DEVELOPMENT FLOWS CANNOT EXCEED MORE THAN THE PRE DEVELOPMENT LEVEL FOR THE ENTIRE SITE.

PRE RUNOFF CALCULATIONS

See Pre-Development Drainage Area this sheet. Total pre-development runoff rates. Pre-Development rate was calculated using the SCS Method:

$Q_{2/pre} = 2.87$ cfs (total from site)

$Q_{10/pre} = 7.91$ cfs (total from site)

EX DA 1 (OFFSITE + EX SCM ROUTING)

$Q_{2/pre} = 1.14$ cfs (total from site)

$Q_{10/pre} = 3.82$ cfs (total from site)

EX DA 2

$Q_{2/pre} = 0.38$ cfs (total from site)

$Q_{10/pre} = 1.04$ cfs (total from site)

EX DA 3

$Q_{2/pre} = 0.91$ cfs (total from site)

$Q_{10/pre} = 2.04$ cfs (total from site)

EX DA 4

$Q_{2/pre} = 0.44$ cfs (total from site)

$Q_{10/pre} = 1.01$ cfs (total from site)

AS BUILT SURVEY INFORMATION AS SHOWN FROM A SURVEY COMPLETED BY SCALICE LAND SURVEYING DATED 6/15/2023. ENTITLED SURVEY OF PROPERTY SURE PROMISE CHRISTIAN CHURCH SIGNED BY CLIFFORD WAGNER, PLS DATED 6/22/2023.

N/F BARNEY RAY WATKINS & ANNA E. WATKINS D.B. 3082, PG. 677 P.B. 1983, PG. 40 LOT 1

SEE SCM AS BUILT SHEETS 1 & 2 AS BUILT SURVEY INFORMATION DRAINAGE AREA TO SCM TOTAL DA - 0.59 AC (BLDG - 0.06 AC) (PARK/CONC - 0.29 AC) (LAWN - 0.24 AC)

TOTAL FLOW EXIST. DA 1 SCS METHOD DIRECT OFFSITE + ROUTING EX. SCM $Q_{2/pre} = 0.60$ cfs + 0.54 cfs = 1.14 cfs $Q_{10/pre} = 1.26$ cfs + 2.56 cfs = 3.82 cfs

EXIST. DA TO EX SCM 0.56 AC SCS METHOD - ROUTING 0.35 AC IMP (CN = 98) 0.24 AC PER (CN 61) $T_c = 5$ MIN. $Q_{2/pre} = 0.54$ cfs $Q_{10/pre} = 2.56$ cfs

EXIST. DA1 = 0.25 AC SCS METHOD 0.08 AC IMP (CN = 98) 0.17 AC PER (CN 61) $T_c = 70$ $Q_{2/pre} = 0.60$ cfs $Q_{10/pre} = 1.26$ cfs

EX. CONCRETE RISER BOX 4' x 4' W/ SOLID TOP AND MH ACCESS TOP CONCRETE = 261.84 INV OUT 18" RCP = 258.70 INV IN 4.5" DIA ORIFICE = 259.35 INV BOTTOM 8" x 32" WEIR = 260.66 GRASS SURFACE AREA (ESTABLISHED)

N/F CAMELOT DEVELOPMENT LLC D.B. 16448, PG. 689 P.B. 2004, PG. 543

EXIST. DA2 = 0.40 AC SCS METHOD 0.40 AC WOODS CN = 61 $T_c = 5$ MIN. $Q_{2/pre} = 0.38$ cfs $Q_{10/pre} = 1.04$ cfs

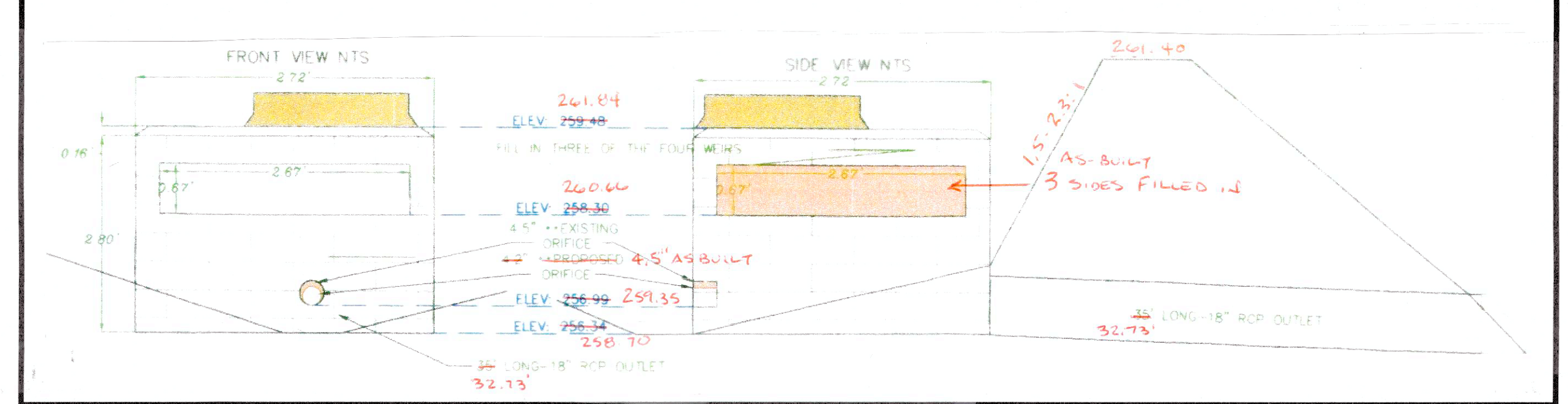
N/F AMH 2014-3 BORROWER LLC D.B. 15854, PG. 2286

EXIST. DA3 = 0.60 AC SCS METHOD 0.10 AC IMP (CN = 98) 0.50 AC PER (CN 61) CN = 67 $T_c = 5$ MIN. $Q_{2/pre} = 0.91$ cfs $Q_{10/pre} = 2.04$ cfs

N/F ABBINGTON RIDGE COMMUNITY ASSOCIATION INC. D.B. 11297, PG. 119

EXIST. DA4 = 0.31 AC SCS METHOD 0.04 AC IMP (CN = 98) 0.27 AC PER (CN 61) CN = 66 $T_c = 5$ MIN. $Q_{2/pre} = 0.44$ cfs $Q_{10/pre} = 1.01$ cfs

AS BUILT SURVEY INFORMATION ON SCM RISER/OFFICE/PIPE UPDATED TO MATCH AS BUILT SURVEY DATUM BY SCALICE DATED 6/15/2023



SCM AS-BUILT - SECTION VIEW (ADJUSTED TO CURRENT AS BUILT SURVEY (NTS))

AS BUILT SURVEY INFORMATION AS SHOWN FROM A SURVEY COMPLETED BY SCALICE LAND SURVEYING DATED 6/15/2023. ENTITLED SURVEY OF PROPERTY SURE PROMISE CHRISTIAN CHURCH SIGNED BY CLIFFORD WAGNER, PLS DATED 6/22/2023

PRELIMINARY PLANS FOR REVIEW ONLY

STORMWATER SCM AS BUILT COMPLIANCE TO MAJOR DESIGN ELEMENTS:

- NC DEQ STORMWATER DESIGN MANUAL DRY DETENTION BASIN MAJOR DESIGN ELEMENTS
- MDE 2 VEGETATED SIDE SLOPES SHALL BE NO STEEPER THAN 3:1 SLOPES FROM DAM TO BOTTOM VARY 1.5:1 TO 2.3:1 - THUS NOT IN COMPLIANCE SLOPES FROM PAVEMENT AREA ARE 3:1 OR GREATER - IN COMPLIANCE
- MDE 6 SCM SHALL HAVE AN ADDITIONAL 25% STORAGE VOLUME FOR SEDIMENT DEPOSITION NO AREA FOR SEDIMENT STORAGE WAS OBSERVED IN THE SCM - THUS NOT IN COMPLIANCE
- MDE 7 SHWT SEPARATION 2' BELOW THE SCM BOTTOM THIS WAS UNDETERMINABLE DURING THE FIELD INSPECTION
- MDE 10 FREEBOARD SHALL BE A MINIMUM OF 1' ABOVE MAXIMUM STAGE OF THE BASIN 100 YR ELEV (AS BUILT) - 261.35' TOP OF DAM (AS BUILT) - 262.20' AS BUILT FREEBOARD - 0.85' < 1' - THUS NOT IN COMPLIANCE
- MDE 11 A MIN. LENGTH TO WIDTH RATIO OF 3:1 IS RECOMMENDED. A MINIMUM LEIGHT TO WIDTH RATIO OF 1.5:1 IS REQUIRED AS BUILT L = 24.6' AS BUILT W - 36' AS BUILT RATIO 0.68:1 - THUS NOT IN COMPLIANCE
- MDE 12 A SEDIMENT DEPTH INDICATOR MUST BE PROVIDED AS BUILT OBSERVATION FOUND NO INDICATOR - THUS NOT IN COMPLIANCE

NOTE: THERE HAS BEEN NO CONSTRUCTION ON THE SCM. SCM HAS BEEN IN PLACE SINCE 2008. IN 2020 SPR-0150-2020 WAS APPROVED FOR A BUILDING EXPANSION. WITH THIS APPROVED BUILDING EXPANSION, THE NEW BUILDING IMPERVIOUS WAS TO DRAIN TO THE SCM. THIS WAS PROPOSED WITH THE CONSTRUCTION OF A DRAINAGE DITCH. AS BUILT OBSERVATIONS FOUND NO EVIDENCE OF THE DRAINAGE DITCH. SCM AS BUILT INFORMATION SHOWN IS THE CONDITION OF THE SCM THAT HAS BEEN IN PLACE SINCE 2008. THE ONLY ITEM CHANGED ON THE SCM WAS THE CLOSING OF 3 OF THE WEIR OPENING ON THE SIDES OF THE RISER. ANY NON COMPLIANCE OF MAJOR DESIGN ELEMENTS OF THE SCM HAVE BEEN IN EXISTENCE SINCE THE SCM WAS CONSTRUCTED IN 2008.

DRAINAGE AREA	IMPERVIOUS AREA ACRES	PERVIOUS AREA ACRES	TOTAL AREA ACRES	WEIGHTED CN	TOTAL TC MIN.	PRE Q2 FLOW-CFS	PRE Q10 FLOW-CFS
DA TO EX SCM SITE	0.35	0.24	0.59	83	5.00	0.54	2.56
EX DA1 FROM SITE	0.08	0.17	0.25	70	5.00	0.60	1.26
EX DA2 FROM SITE	-	0.40	0.40	61	5.00	0.38	1.04
EX DA3 FROM SITE	0.10	0.50	0.60	67	5.00	0.91	2.04
EX DA4 FROM SITE	0.04	0.27	0.31	66	5.00	0.44	1.01
TOTAL PRE FROM SITE	0.57	1.58	2.15	71	-	2.87	7.91

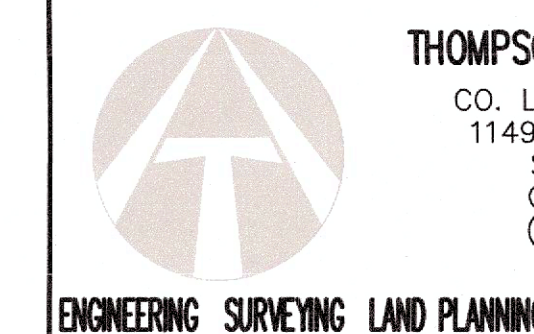
ASR-0029-2024

PLAN SHEET REVISED PER CITY'S SECOND REVIEW COMMENTS

SHEET 5A

EXISTING SCM AS-BUILT & PRE-ADDITION DRAINAGE MAP

SURE PROMISE CHRISTIAN CHURCH 4301 PEARL ROAD - RALEIGH, NORTH CAROLINA 27610



THOMPSON & ASSOCIATES, PA CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566

ST. MARY'S TWP	WAKE COUNTY	NORTH CAROLINA
OWNER: SURE PROMISE CHRISTIAN CHURCH	ZONED: RESIDENTIAL	
DATE: 8-7-2024	DRAWN: RLM	JOB NO.
SCALE 1" = 20'	SURVEYED: SEE NOTE	DWG: SURESCMASBUILT
REVISIONS: 9-24-2024 12-13-2024	PIN: 1731-08-5732	

STORMWATER MANAGEMENT:
 MAXIMUM ALLOWABLE DISCHARGE FOR SITE IS THE LESSER OF THE PRE DEVELOPMENT 2 OR 10 YEAR DISCHARGE. POST DEVELOPMENT FLOW CANNOT EXCEED MORE THAN THE PRE DEVELOPMENT LEVEL FOR THE ENTIRE SITE.

PRE RUNOFF CALCULATIONS
 See Pre-Development Drainage Area Sheet 5A. Total pre-development runoff rates.
 Pre-Development rate was calculated using the SCS Method:
 $Q_{total} = 2.87$ cfs (total from site)
 $Q_{scm} = 7.91$ cfs (total from site)

POST RUNOFF CALCULATIONS - FROM SITE AFTER BUILDING ADDITION
 Post-Development rate was calculated using the SCS Method. See Post-Development Drainage Sheet 5B for calculation on total post-development runoff rates.
 Existing & Proposed Impervious: 0.88 ac
 Existing & Proposed Pervious: 1.27 ac
 Using SCS Method with CN factors:
 CN = 98 for Impervious
 CN = 61 for pervious (fair condition)
 $Q_{total} = 5.25$ cfs
 $Q_{scm} = 10.01$ cfs

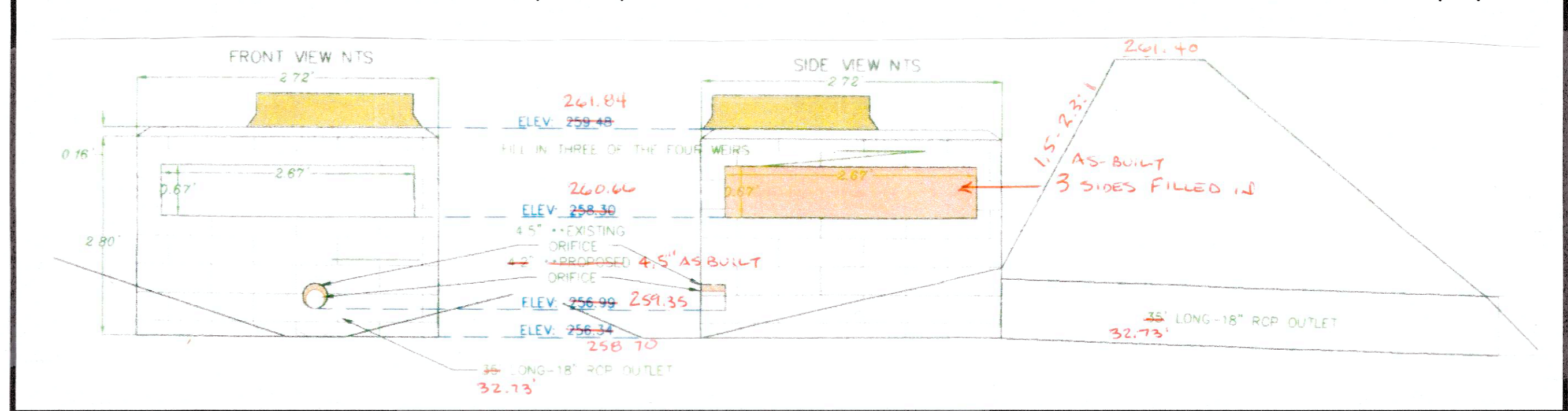
Post development runoff rates for 2 year and 10 year exceeds pre-development conditions.
 RETENTION MEASURES REQUIRED

POST RUNOFF CALCULATIONS W/ ROUTING THRU SCM (BIO RETENTION CELL)

- POST RUN-OFF FROM SITE NOT TO NEW SCM BIO CELL (DIRECTLY OFFSITE + TO EX. SCM):
 Using the SCS Method:
 DA TO EX. SCM + DA1 + DA2 + DA3 BELOW NEW SCM + DA4 (SEE SHEET 5B)
 $Q_{post} = 0.54 + 0.60 + 0.33 + 0.12 = 1.59$ cfs
 $Q_{total} = 2.01$ cfs (TOTAL NOT TO NEW SCM BIO CELL)
 $Q_{scm} = 2.56 + 1.26 + 0.91 + 0.28 + 0.92 = 5.93$ cfs (TOTAL NOT TO NEW SCM BIO CELL)
- POST RUN-OFF TO A CONTROLLED POINT (NEW SCM - BIO RETENTION):
 0.56 ac DA3 FROM SITE
 Using the SCS Method:
 DA = 0.56 ac, (0.39 ac impervious + 0.17 ac pervious - TOTAL)
 WEIGHTED CN = 87
 $Q_{post} = 2.11$ cfs
 $Q_{total} = 3.47$ cfs
 RATES ARE GREATER THAN PRE-DEVELOPMENT RATES
 ROUTING INFLOW THRU BIO RETENTION AREA TO DETAIN VOLUME AND LESSEN OUTFLOW
- ROUTING OF SCM BIO RETENTION AREA
 $Q_{post} = 0.65$ cfs (OUTFLOW FROM ROUTING)
 $Q_{total} = 1.61$ cfs (OUTFLOW FROM ROUTING)
- OUTFLOW THRU SOIL MEDIA POST DEVELOPMENT
 $Q_{post} = 0.06$ cfs
 $Q_{total} = 0.07$ cfs
- TOTAL OUTFLOW FROM SITE POST DEVELOPMENT
 $Q_{post} = 2.01$ cfs + 0.65 cfs + 0.06 cfs = 2.72 cfs (< pre 2.84 cfs)
 $Q_{total} = 5.93$ cfs + 1.61 cfs + 0.07 cfs = 7.61 cfs (< pre 7.88 cfs)

TOTAL SITE OUTFLOWS ARE LESS THAN PRE-DEVELOPMENT RATES
 => SITE IS IN COMPLIANCE

AS BUILT SURVEY INFORMATION ON SCM RISER/OFFICE/PIPE UPDATED TO MATCH AS BUILT SURVEY DATUM BY SCALICE DATED 6/15/2023



SCM AS-BUILT - SECTION VIEW (ADJUSTED TO CURRENT AS BUILT SURVEY (NTS))

EXIST. DA2 = 0.35 AC.
 SCS METHOD
 0.35 AC. WOODS
 CN = 61
 $T_c = 5$ MIN.
 Q_2 post = 0.33 cfs < 0.38 cfs pre
 Q_{10} pre = 0.91 cfs < 1.04 cfs pre

EXIST. DA3 = 0.65 AC
 TOTAL POST TO OFFSITE
 ROUTING OF SCM
 PLUS FLOW BELOW SCM
 PLUS SCM INFILTRATION
 TOTAL Q_2 post = 0.83 cfs < 0.91 cfs pre
 TOTAL Q_{10} post = 1.96 cfs < 2.04 cfs pre

EXIST. DA3 = 0.09 AC
 BELOW SCM TO OFFSITE
 SCS METHOD
 0.09 AC PER (CN 61)
 0.01 AC IMP (CN 98)
 CN = 65
 $T_c = 5$ MIN.
 Q_2 pre = 0.12 cfs
 Q_{10} pre = 0.28 cfs

POST EXIST. DA4 = 0.26 AC
 SCS METHOD
 0.05 AC IMP (CN = 98)
 0.21 AC PER (CN 61)
 CN = 68
 $T_c = 5$ MIN.
 Q_2 post = 0.42 cfs < 0.44 cfs pre
 Q_{10} pre = 0.92 cfs < 1.01 cfs pre

AS BUILT SURVEY INFORMATION AS SHOWN FROM A SURVEY COMPLETED BY SCALICE LAND SURVEYING DATED 6/15/2023
 ENTITLED SURVEY OF PROPERTY SURE PROMISE CHRISTIAN CHURCH SIGNED BY CLIFFORD WAGNER, PLS DATED 6/22/2023

STORMWATER SCM AS BUILT COMPLIANCE TO MAJOR DESIGN ELEMENTS:

NC DEQ STORMWATER DESIGN MANUAL DRY DETENTION BASIN MAJOR DESIGN ELEMENTS

MDE 2 VEGETATED SIDE SLOPES SHALL BE NO STEEPER THAN 3:1 SLOPES FROM DAM TO BOTTOM VARY 1.5:1 TO 2.3:1 - THIS NOT IN COMPLIANCE SLOPES FROM PAVEMENT AREA ARE 3:1 OR GREATER - IN COMPLIANCE

MDE 6 SCM SHALL HAVE AN ADDITIONAL 25% STORAGE VOLUME FOR SEDIMENT DEPOSITION NO AREA FOR SEDIMENT STORAGE WAS OBSERVED IN THE SCM - THIS NOT IN COMPLIANCE

MDE 7 SHIRT SEPARATION 2' BELOW THE SCM BOTTOM THIS WAS UNDETERMINED DURING THE FIELD INSPECTION

MDE 10 FREEBOARD SHALL BE A MINIMUM OF 1' ABOVE MAXIMUM STAGE OF THE BASIN 100 YR ELEV (AS BUILT) = 262.20' AS BUILT FREEBOARD = 0.85' < 1' - THIS NOT IN COMPLIANCE

MDE 11 A MIN. LENGTH TO WIDTH RATIO OF 3:1 IS RECOMMENDED. A MINIMUM LENGTH TO WIDTH RATIO OF 1.5:1 IS REQUIRED AS BUILT L = 24.6' AS BUILT W = 36' AS BUILT RATIO 0.68:1 - THIS NOT IN COMPLIANCE

MDE 12 A SEDIMENT DEPTH INDICATOR MUST BE PROVIDED AS BUILT OBSERVATION FOUND NO INDICATOR - THIS NOT IN COMPLIANCE

NOTE: THERE HAS BEEN NO CONSTRUCTION ON THE SCM. SCM HAS BEEN IN PLACE SINCE 2008. IN 2020 SPR-0150-2020 WAS APPROVED FOR A BUILDING EXPANSION. WITH THIS APPROVED BUILDING EXPANSION, THE NEW BUILDING IMPERVIOUS WAS TO DRAIN TO THE SCM. THIS WAS PROPOSED WITH THE CONSTRUCTION OF A DRAINAGE DITCH. AS BUILT OBSERVATIONS FOUND NO EVIDENCE OF THE DRAINAGE DITCH. SCM AS BUILT INFORMATION SHOWS IS THE CONDITION OF THE SCM THAT HAS BEEN IN PLACE SINCE 2008. THE ONLY ITEM CHANGED ON THE SCM WAS THE CLOSING OF 3 OF THE WEIR OPENING ON THE SIDES OF THE RISER. ANY NON COMPLIANCE OF MAJOR DESIGN ELEMENTS OF THE SCM HAVE BEEN IN EXISTENCE SINCE THE SCM WAS CONSTRUCTED IN 2008.

AS BUILT SURVEY INFORMATION AS SHOWN FROM A SURVEY COMPLETED BY SCALICE LAND SURVEYING DATED 6/15/2023
 ENTITLED SURVEY OF PROPERTY SURE PROMISE CHRISTIAN CHURCH SIGNED BY CLIFFORD WAGNER, PLS DATED 6/22/2023

N/F BARNEY RAY WATKINS & ANNA E. WATKINS D.B. 3082, PG. 677 P.B. 1983, PG. 40 LOT 1

EXIST. DA3 TO SCM 0.56 AC
 SCS METHOD - ROUTING
 0.39 AC IMP (CN = 98)
 0.17 AC PER (CN 61)
 $T_c = 5$ MIN.
 Q_2 post = 0.52 cfs
 Q_{10} post = 1.04 cfs

N/F SURE PROMISE CHRISTIAN CHURCH, INC. D.B. 12865, PG. 518 P.B. 2008, PG. 345 LOT 1

N/F ABBINGTON RIDGE COMMUNITY ASSOCIATION INC. D.B. 11297, PG. 119

DRAINAGE AREA	IMPERVIOUS AREA ACRES	PERVIOUS AREA ACRES	TOTAL AREA ACRES	WEIGHTED CN	TOTAL TC MIN.	POST Q2 FLOW-CFS	POST Q10 FLOW-CFS
DA TO EX. SCM SITE	0.35	0.24	0.59	83	5.00	0.54	2.56
EX. DA1 FROM SITE	0.08	0.17	0.25	70	5.00	0.60	1.26
EX. DA2 FROM SITE	-	0.35	0.35	61	5.00	0.33	0.91
EX. DA3 TO NEW SCM	0.39	0.17	0.56	87	5.00	2.11	3.47
EX. DA3 NOT TO SCM	0.01	0.08	0.09	65	5.00	0.12	0.28
EX. DA4 FROM SITE	0.05	0.21	0.26	68	5.00	0.42	0.92
TOTAL POST FROM SITE	0.88	1.27	2.15	76	-	5.25	10.01

TOTAL RUNOFF FROM SITE & - POST BLDG ADD WITHOUT ROUTING THRU NEW BIO-RETENTION CELL	5.25	10.01
TOTAL RUNOFF FROM SITE - POST BLDG ADDITION NOT GOING TO NEW BIO-RETENTION CELL	2.01	5.93
RUNOFF FROM SITE - POST BLDG ADDITION FLOW ROUTED THRU NEW BIO-RETENTION CELL	0.65	1.61
TOTAL RUNOFF FROM SITE - POST BLDG ADDITION INFILTRATING THRU SCM SOIL MEDIA	0.06	0.07
TOTAL RUNOFF FROM SITE - POST BLDG ADDITION WITH ROUTING THRU NEW BIO-RETENTION CELL + INFILTRATION THRU SCM + FLOW NOT TO SCM	2.01 + 0.65 + 0.06 = 2.72 (< 2.84 pre)	5.93 + 1.61 + 0.07 = 7.61 (< 7.88 pre)

PRELIMINARY PLANS FOR REVIEW ONLY

PLAN SHEET REVISED PER CITY'S SECOND REVIEW COMMENTS

ASR-0029-2024 SHEET 5B EXISTING SCM AS-BUILT & POST-ADDITION DRAINAGE MAP

SURE PROMISE CHRISTIAN CHURCH 4301 PEARL ROAD - RALEIGH, NORTH CAROLINA 27610

<p>THOMPSON & ASSOCIATES, PA CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566</p>	ST. MARY'S TWP WAKE COUNTY NORTH CAROLINA	ZONED: RESIDENTIAL	
	OWNER: SURE PROMISE CHRISTIAN CHURCH	DATE: 8-8-2024	DRAWN: RLM
REVISIONS: 9-24-2024 12-13-2024	SCALE 1" = 20'	SURVEYED: SEE NOTE	DWG: SURESCMASBUILT
ENGINEERING SURVEYING LAND PLANNING			PIN: 1731-08-5732

PRE & POST DA SAME
 TOTAL FLOW EXIST. DA 1
 SCS METHOD
 DIRECT OFFSITE +
 ROUTING EX. SCM
 Q_2 post = 0.60 cfs + 0.54 cfs = 1.14 cfs
 Q_{10} post = 1.26 cfs + 2.56 cfs = 3.82 cfs

AS BUILT SURVEY INFORMATION DRAINAGE AREA TO SCM
 TOTAL DA = 0.59 AC.
 (BLDG = 0.08 AC)
 (PARK/CONC = 0.29 AC)
 (LAWN = 0.24 AC)

PRE & POST DA SAME
 EXIST. DA TO EX SCM
 0.56 AC
 SCS METHOD - ROUTING
 0.35 AC IMP (CN = 98)
 0.24 AC PER (CN 61)
 $T_c = 5$ MIN.
 Q_2 post = 0.54 cfs
 Q_{10} post = 2.56 cfs
 SEE SCM AS BUILT SHEETS 1 & 2

PRE & POST DA SAME
 EXIST. DA1 = 0.25 AC
 SCS METHOD
 0.08 AC IMP (CN = 98)
 0.17 AC PER (CN 61)
 CN = 70
 $T_c = 5$ MIN.
 Q_2 post = 0.60 cfs
 Q_{10} post = 1.26 cfs

EX. CONCRETE RISER BOX
 4' x 4' W/ SOLID TOP AND MH ACCESS
 TOP CONCRETE = 261.84
 INV OUT 18" RCP = 258.70
 INV IN 4.5" DIA ORIFICE = 259.35
 INV BOTTOM 8" x 32" WEIR = 260.66
 GRASS SURFACE AREA (ESTABLISHED)

N/F CAMELOT DEVELOPMENT LLC D.B. 16448, PG. 689 P.B. 2004, PG. 543

STANDARD UTILITY NOTES (as applicable)

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- SEWER BYPASS PUMPING: A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure
- Install 2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fog@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approved list
- The device and installation shall meet the guidelines of Appendix A Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more info.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

PUBLIC IMPROVEMENT QUANTITIES:

PHASE NUMBER(S)	0
LOT NUMBER BY PHASE	0
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE	NO
# OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0
PRIVATE WATER (LF)	143
PUBLIC SEWER (LF)	0
PUBLIC FORCE MAIN (LF)	0
PRIVATE SEWER (LF)	0
PUBLIC STREET (LF) FULL	0
PUBLIC STREET (LF) PARTIAL	0
PUBLIC SIDEWALK (LF)	0
PUBLIC SIDEWALK (LF) PARTIAL	0
MULTI-USE PATH (LF)	0
PUBLIC STORM DRAIN (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	0
AVERAGE DAILY FLOW (GPD)	600

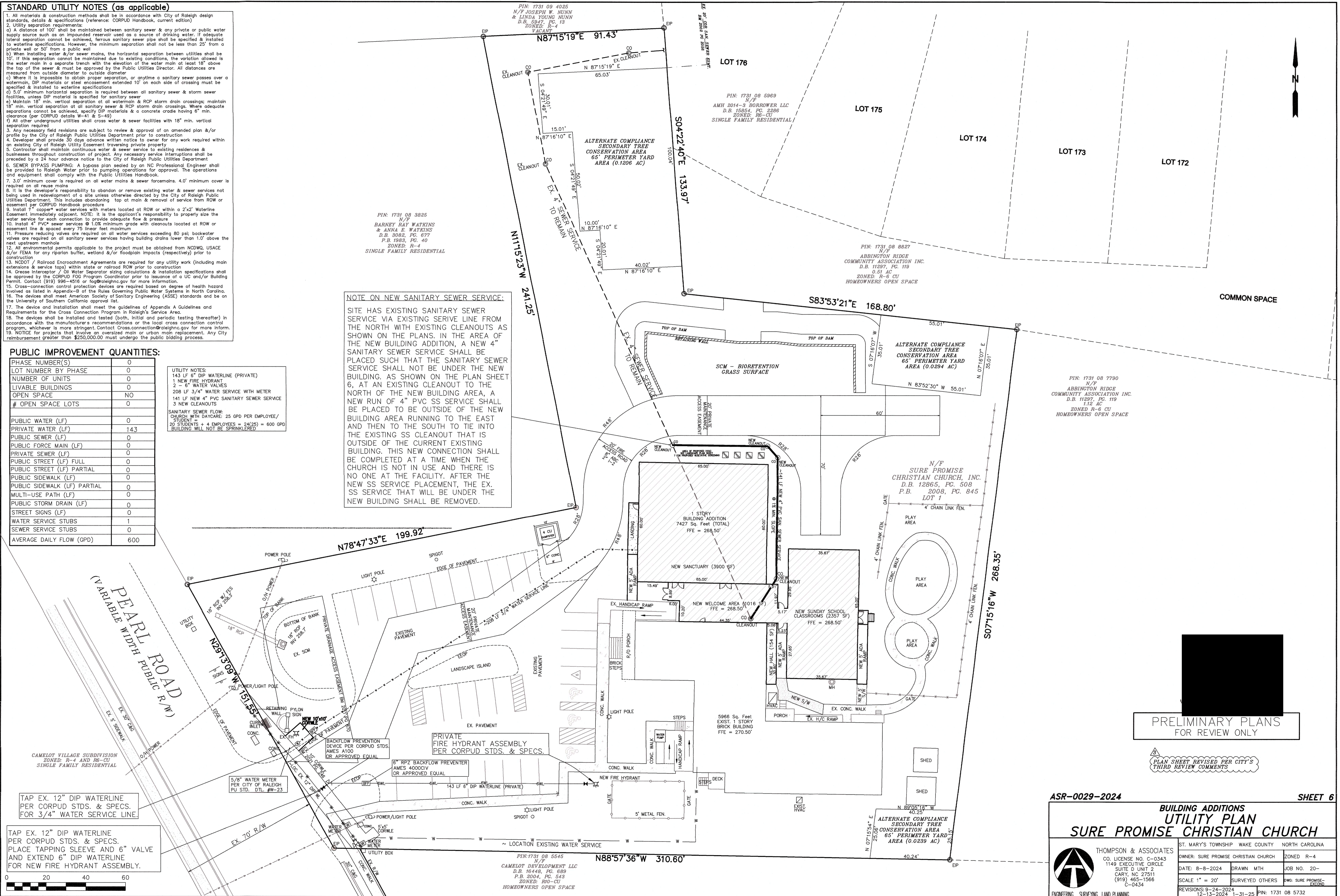
UTILITY NOTES:

143 LF 8" DIP WATERLINE (PRIVATE)
1 NEW FIRE HYDRANT
2 - 6" WATER VALVES
208 LF 3/4" WATER SERVICE WITH METER
141 LF NEW 4" PVC SANITARY SEWER SERVICE
3 NEW CLEANOUTS

SANITARY SEWER FLOW:
CHURCH WITH DAYCARE: 25 GPD PER EMPLOYEE/
STUDENT =
20 STUDENTS + 4 EMPLOYEES = 24(25) = 600 GPD
BUILDING WILL NOT BE SPRINKLERED

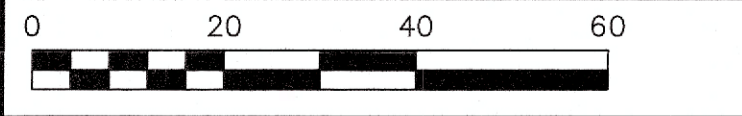
NOTE ON NEW SANITARY SEWER SERVICE:

SITE HAS EXISTING SANITARY SEWER SERVICE VIA EXISTING SERVE LINE FROM THE NORTH WITH EXISTING CLEANOUTS AS SHOWN ON THE PLANS. IN THE AREA OF THE NEW BUILDING ADDITION, A NEW 4" SANITARY SEWER SERVICE SHALL BE PLACED SUCH THAT THE SANITARY SEWER SERVICE SHALL NOT BE UNDER THE NEW BUILDING. AS SHOWN ON THE PLAN SHEET 6, AT AN EXISTING CLEANOUT TO THE NORTH OF THE NEW BUILDING AREA, A NEW RUN OF 4" PVC SS SERVICE SHALL BE PLACED TO BE OUTSIDE OF THE NEW BUILDING AREA RUNNING TO THE EAST AND THEN TO THE SOUTH TO TIE INTO THE EXISTING SS CLEANOUT THAT IS OUTSIDE OF THE CURRENT EXISTING BUILDING. THIS NEW CONNECTION SHALL BE COMPLETED AT A TIME WHEN THE CHURCH IS NOT IN USE AND THERE IS NO ONE AT THE FACILITY. AFTER THE NEW SS SERVICE PLACEMENT, THE EX. SS SERVICE THAT WILL BE UNDER THE NEW BUILDING SHALL BE REMOVED.



TAP EX. 12" DIP WATERLINE PER CORPUD STDS. & SPECS. FOR 3/4" WATER SERVICE LINE.

TAP EX. 12" DIP WATERLINE PER CORPUD STDS. & SPECS. PLACE TAPPING SLEEVE AND 6" VALVE AND EXTEND 6" DIP WATERLINE FOR NEW FIRE HYDRANT ASSEMBLY.



PRELIMINARY PLANS FOR REVIEW ONLY

PLAN SHEET REVISED PER CITY'S THIRD REVIEW COMMENTS

ASR-0029-2024 **SHEET 6**

**BUILDING ADDITIONS
UTILITY PLAN
SURE PROMISE CHRISTIAN CHURCH**

<p>THOMPSON & ASSOCIATES CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566 C-0434</p>	<p>ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA</p> <p>OWNER: SURE PROMISE CHRISTIAN CHURCH ZONED R-4</p> <p>DATE: 8-8-2024 DRAWN MTH JOB NO. 20-</p> <p>SCALE 1" = 20' SURVEYED OTHERS DWG: SURE PROMISE- C-0434</p> <p>REVISIONS: 9-24-2024 12-13-2024 1-31-25 PIN: 1731 08 5732</p>
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C2 STREETYARD CALCULATIONS: 15' WIDE STREETYARD REQUIRED
 FRONTAGE PEARL RD. 151.55 LF - EX. 33' WIDTH EXISTING DRIVEWAY = 118.55 LF
 AREA REQUIRED: NORTH OF EX. DRIVEWAY 15' X 99 LF = 1,485 SF
 AREA CONTAINS EX. 10' CORNICE THAT CANNOT BE PLANTED
 PROPOSED: A 20' WIDE STREETYARD TO MAKE UP FOR LOST AREA IN EASEMENT.
 20' X 99 LF = 1,980 SF - AREA IN EASEMENT (144 SF) = 1,836 SF PROPOSED STREETYARD (NORTH OF EX. DRIVEWAY)
 AREA SOUTH OF EXISTING DRIVEWAY CONTAINS A CORNICE, EX. SIDEWALKS, WATER METERS, INGROUND ELECTRIC, AND AN
 OVERHEAD POWER LINE AND CANNOT BE REASONABLY PLANTED.
 DISTANCE IS 19.5 LF. AN EXISTING CRAPE MYRTLE TREE PLANTED IN AREA WILL BE USED TO MEET PLANTING REQUIREMENT

118.55 LF X 4/100 = 4.74 (5) SHADE TREES REQUIRED
 PROPOSED 4 SHADE TREES NORTH OF DRIVEWAY AND USE EX. 12 HT CRAPE MYRTLE SOUTH OF DRIVEWAY

118.55 LF X 15/100 = 17.78 (18) SHRUBS REQUIRED
 PROPOSED 18 SHRUBS PLANTED NORTH OF EX. DRIVEWAY

PERIMETER YARD CALCULATIONS

TYPE A2 TRANSITIONAL PROTECTIVE YARD REQUIRED ALONG PROPERTY ABUTTING RESIDENTIAL USE
 TYPY S1: 254.12 LF FROM 20' C2 PERIMETER YARD TO EX. TREE CONSERVATION AREA
 REQUIRED: 6.5' HT FENCE
 SHADE TREES: 4 PER HUNDRED = 254.12 X 4/100 = 10.16 (10) TREES REQUIRED
 UNDERSTORY TREES: 4 PER HUNDRED = 254.12 X 4/100 = 10.16 (10) TREES REQUIRED
 PROPOSED: 6.5' HT FENCE
 SHADE TREES: AREA HEAVILY WOODED AND LANDSCAPED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS
 UNDERSTORY TREES: AREA HEAVILY WOODED AND LANDSCAPED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS

TPY E1: 268.35 LF - 25.15 LF OF EX. TREE CONSERVATION AREA = 243.20 LF
 REQUIRED: 6.5' HT FENCE
 SHADE TREES: 4 PER HUNDRED = 243.20 X 4/100 = 9.73 (10) TREES REQUIRED
 UNDERSTORY TREES: 4 PER HUNDRED = 243.20 X 4/100 = 9.73 (10) TREES REQUIRED
 PROPOSED: 6.5' HT FENCE
 SHADE TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS
 UNDERSTORY TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS

TPY N1: 168.80 LF - 55.01 LF OF EX. TREE CONSERVATION AREA = 113.79 LF
 REQUIRED: 6.5' HT FENCE
 SHADE TREES: 4 PER HUNDRED = 113.79 X 4/100 = 4.55 (5) TREES REQUIRED
 UNDERSTORY TREES: 4 PER HUNDRED = 113.79 X 4/100 = 4.55 (5) TREES REQUIRED
 PROPOSED: 6.5' HT FENCE
 SHADE TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS
 UNDERSTORY TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS

TPY E2: 133.97 LF - 100.04 LF OF EX. TREE CONSERVATION AREA = 33.93 LF
 REQUIRED: 6.5' HT FENCE
 SHADE TREES: 4 PER HUNDRED = 33.93 X 4/100 = 1.36 (1) TREES REQUIRED
 UNDERSTORY TREES: 4 PER HUNDRED = 33.93 X 4/100 = 1.36 (1) TREES REQUIRED
 PROPOSED: 6.5' HT FENCE
 SHADE TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS
 UNDERSTORY TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS

TPY N2: 91.43 LF
 REQUIRED: 6.5' HT FENCE
 SHADE TREES: 4 PER HUNDRED = 91.43 X 4/100 = 3.66 (4) TREES REQUIRED
 UNDERSTORY TREES: 4 PER HUNDRED = 91.43 X 4/100 = 3.66 (4) TREES REQUIRED
 PROPOSED: 6.5' HT FENCE
 SHADE TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS
 UNDERSTORY TREES: AREA HEAVILY WOODED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS

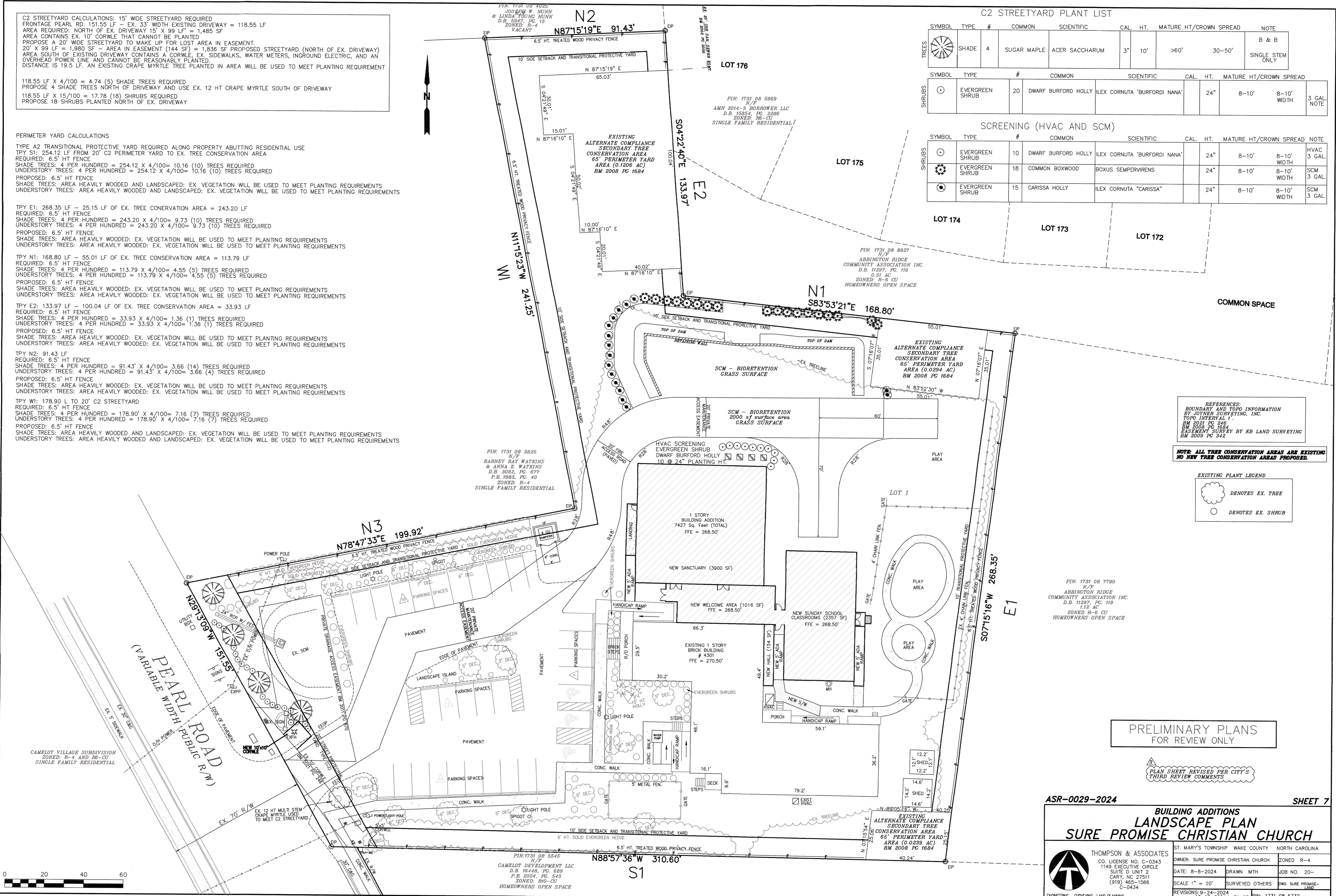
TPY W1: 178.90 LF TO 20' C2 STREETYARD
 REQUIRED: 6.5' HT FENCE
 SHADE TREES: 4 PER HUNDRED = 178.90 X 4/100 = 7.16 (7) TREES REQUIRED
 UNDERSTORY TREES: 4 PER HUNDRED = 178.90 X 4/100 = 7.16 (7) TREES REQUIRED
 PROPOSED: 6.5' HT FENCE
 SHADE TREES: AREA HEAVILY WOODED AND LANDSCAPED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS
 UNDERSTORY TREES: AREA HEAVILY WOODED AND LANDSCAPED: EX. VEGETATION WILL BE USED TO MEET PLANTING REQUIREMENTS

C2 STREETYARD PLANT LIST

SYMBOL	TYPE	#	COMMON	SCIENTIFIC	CAL.	HT.	MATURE HT/CROWN SPREAD	NOTE	
	SHADE	4	SUGAR MAPLE	ACER SACCHARUM	3"	10'	>60'	30-50'	B & B SINGLE STEM ONLY
SYMBOL	TYPE	#	COMMON	SCIENTIFIC	CAL.	HT.	MATURE HT/CROWN SPREAD	NOTE	
	EVERGREEN SHRUB	20	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDI NANA'		24"	8-10'	8-10' WIDTH	3 GAL NOTE

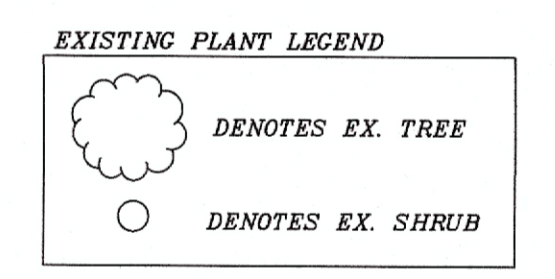
SCREENING (HVAC AND SCM)

SYMBOL	TYPE	#	COMMON	SCIENTIFIC	CAL.	HT.	MATURE HT/CROWN SPREAD	NOTE
	EVERGREEN SHRUB	10	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDI NANA'		24"	8-10'	8-10' WIDTH HVAC 3 GAL.
	EVERGREEN SHRUB	18	COMMON BOXWOOD	BOXUS SEMPERVIRENS		24"	8-10'	8-10' WIDTH SCM 3 GAL.
	EVERGREEN SHRUB	15	CARISSA HOLLY	ILEX CORNUTA "CARISSA"		24"	8-10'	8-10' WIDTH SCM 3 GAL.



REFERENCES:
 BOUNDARY AND TOPO INFORMATION
 BY JOYNER SURVEYING, INC.
 TOPO INTERVAL 1'
 BM 2021 PC 246
 BM 2008 PC 1684
 EASEMENT SURVEY BY KB LAND SURVEYING
 BM 2009 PC 342

NOTE: ALL TREE CONSERVATION AREAS ARE EXISTING
 NO NEW TREE CONSERVATION AREAS PROPOSED.



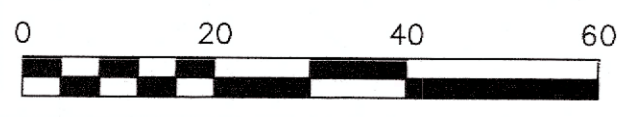
PRELIMINARY PLANS
 FOR REVIEW ONLY

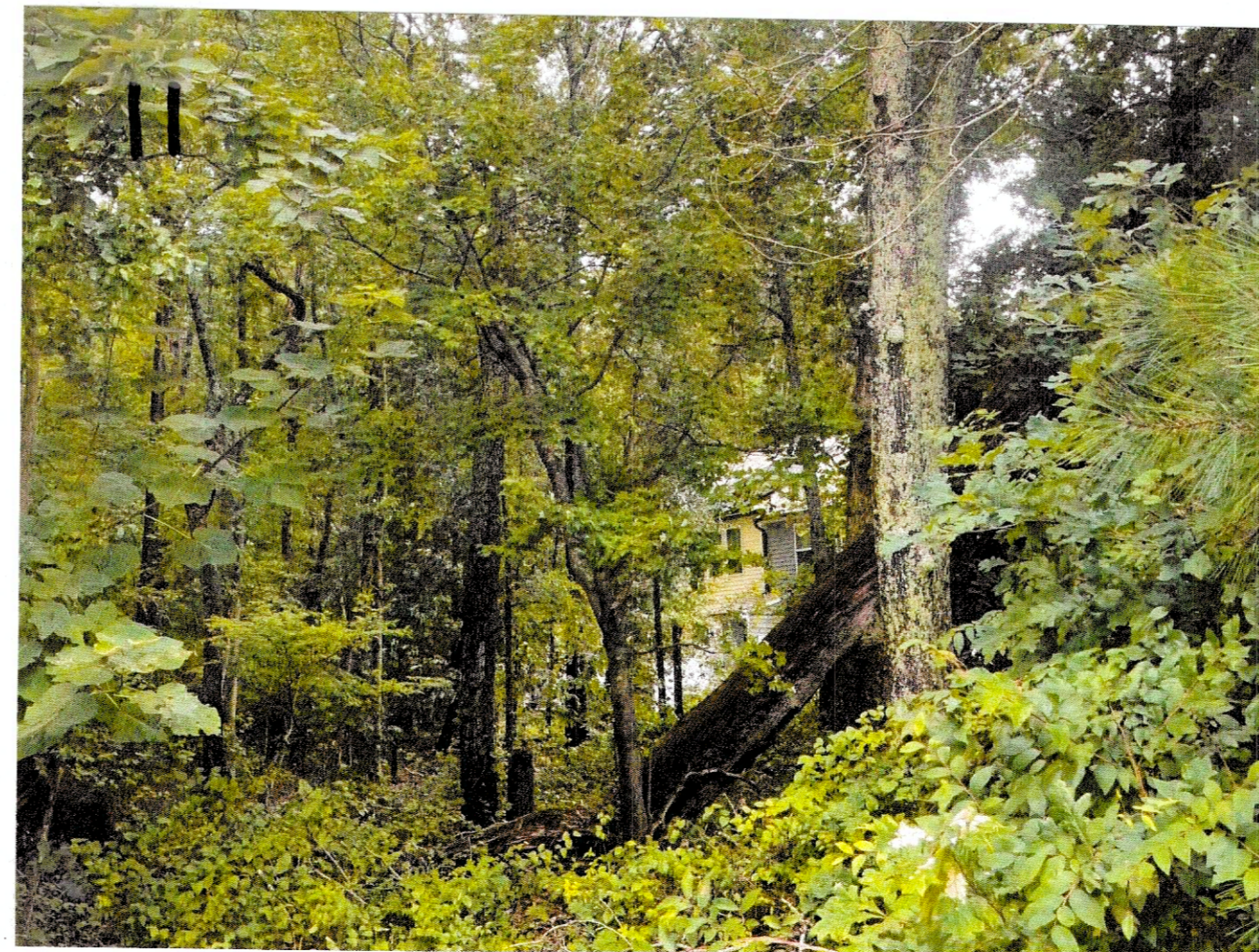
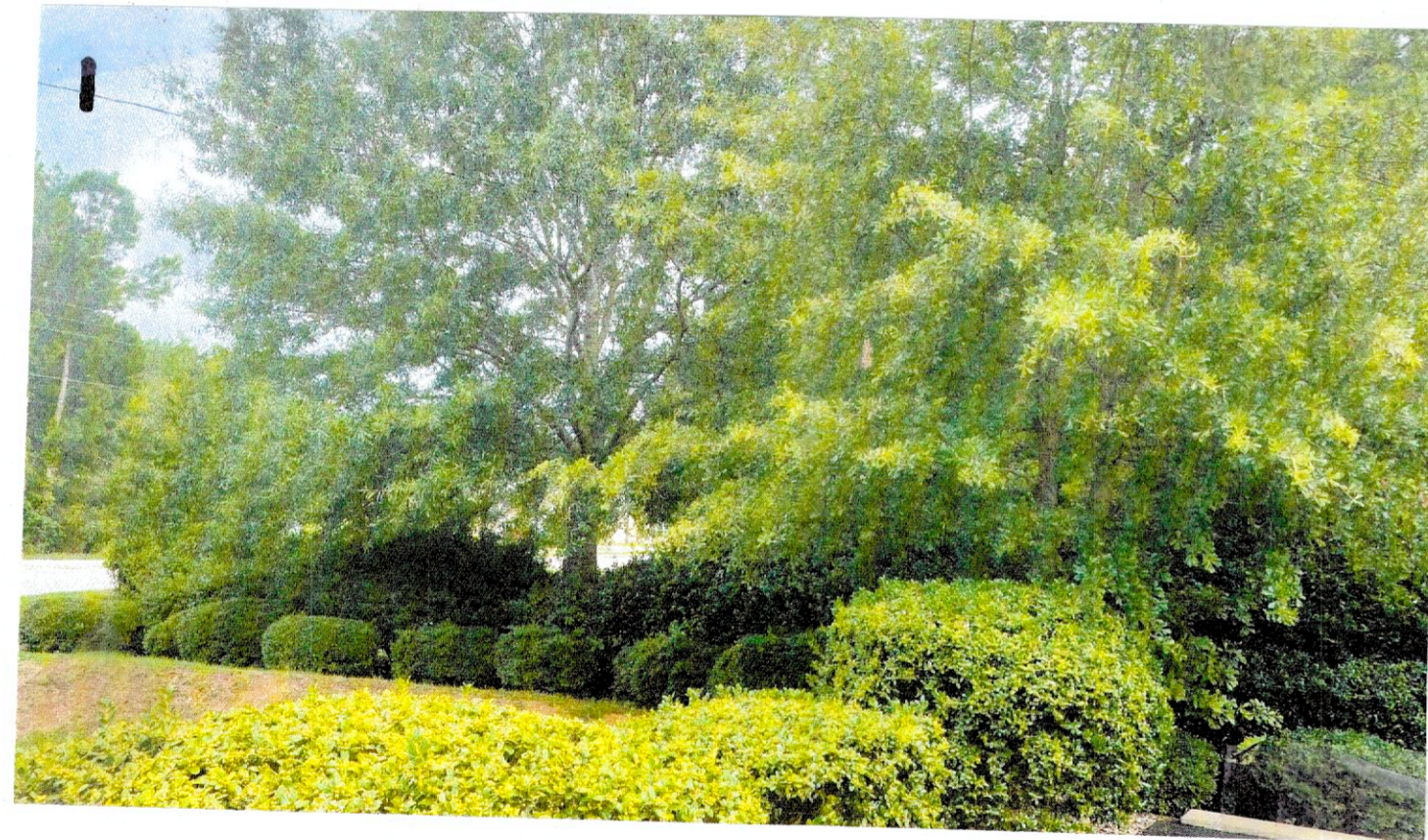
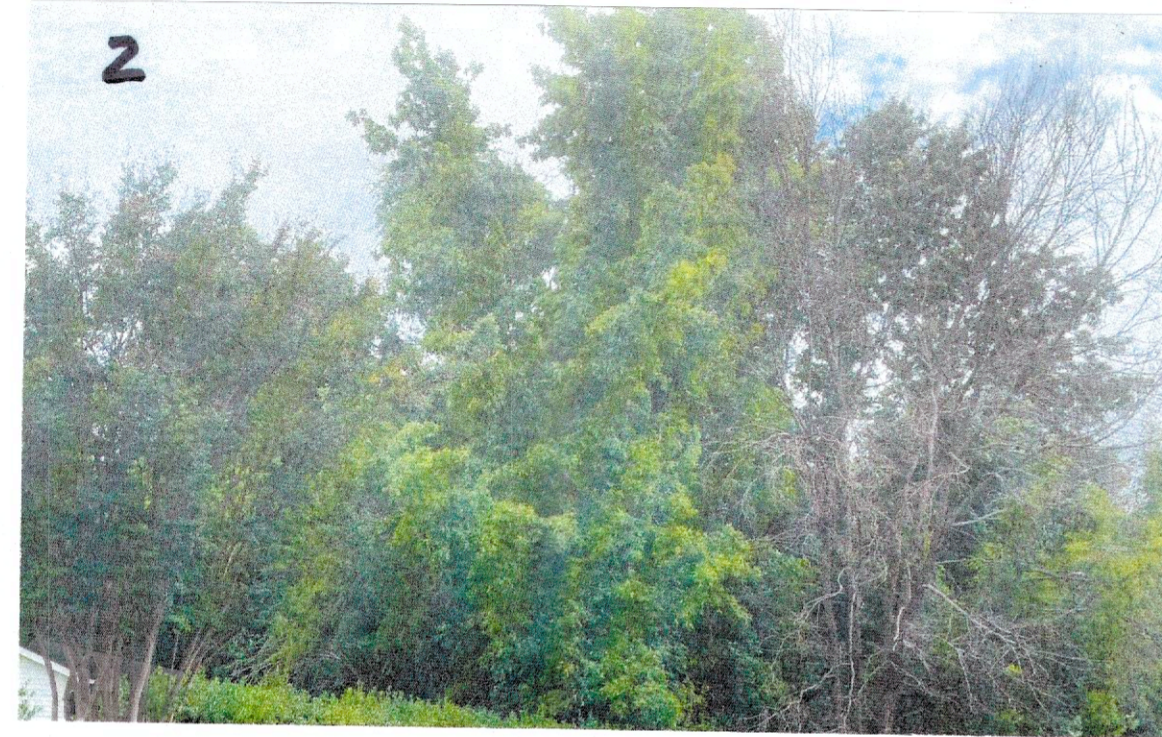
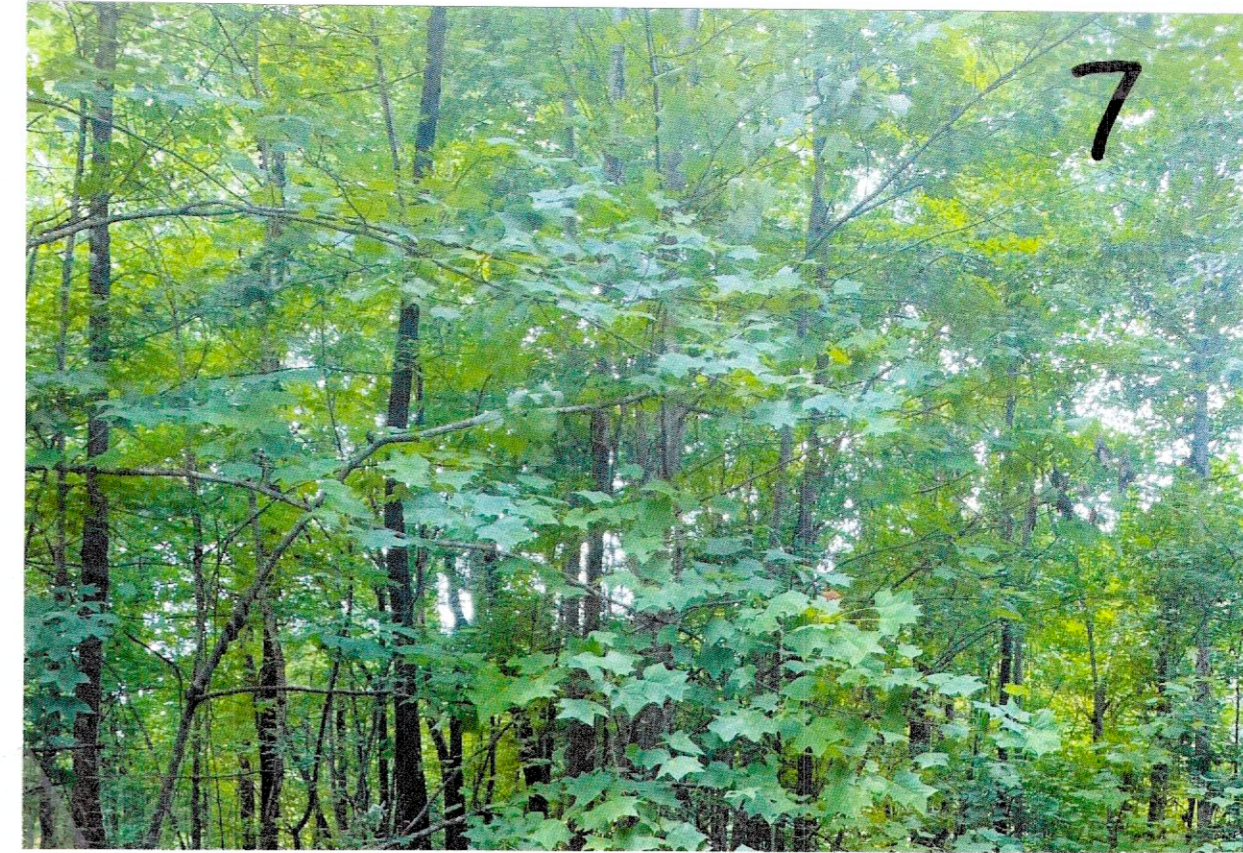
PLAN SHEET REVISED PER CITY'S
 THIRD REVIEW COMMENTS

ASR-0029-2024 SHEET 7

**BUILDING ADDITIONS
 LANDSCAPE PLAN
 SURE PROMISE CHRISTIAN CHURCH**

THOMPSON & ASSOCIATES CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566 C-0434		ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA	
OWNER: SURE PROMISE CHRISTIAN CHURCH	ZONED: R-4	DATE: 8-8-2024	DRAWN: MTH
SCALE: 1" = 20'	SURVEYED OTHERS: SMC, SURE PROMISE-LAND	JOB NO.: 20-	
REVISIONS: 9-24-2024 12-13-2024 1-31-25	PIN: 1731 08 5732		

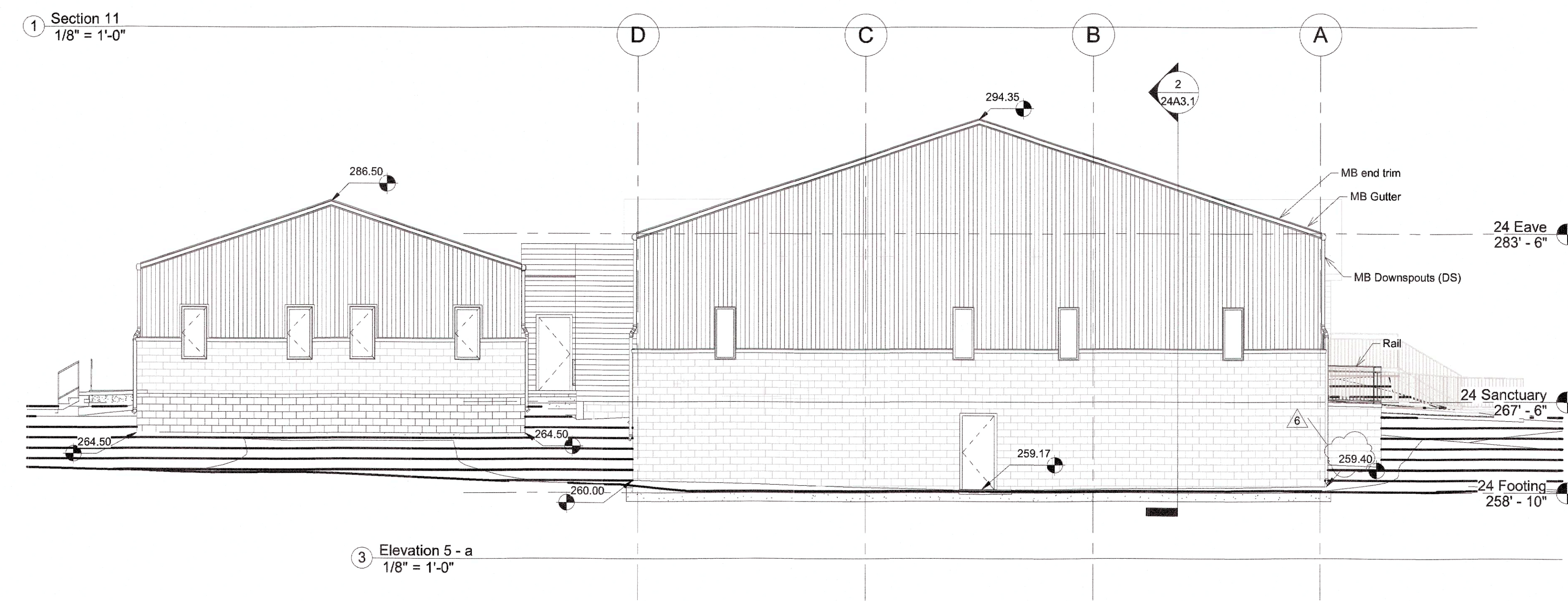
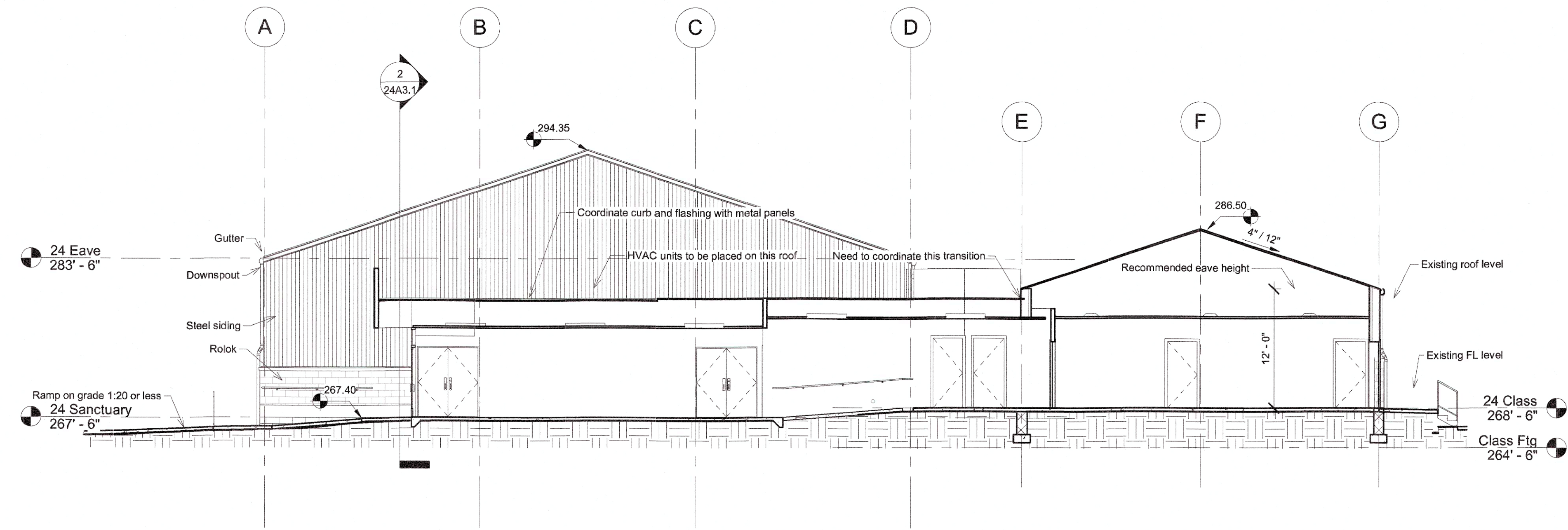




ASR-0029-24 **SPR PLANS** SHEET 7A

BUILDING ADDITIONS
PERIMETER YARD EXHIBIT
SURE PROMISE CHRISTIAN CHURCH

THOMPSON & ASSOCIATES CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566 FAX (919) 465-1585		ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA	
OWNER: SURE PROMISE CHRISTIAN CHURCH	ZONED: R-4		
DATE: 7/24/24	DRAWN: MTH	JOB NO. 20-	
SCALE: 1" = 50'	SURVEYED OTHERS:	DWG: SURE PROMISE- LAND	
REVISIONS:	PIN: 1731 08 5732		



Sanctuary Grades Closest to Pearl Road

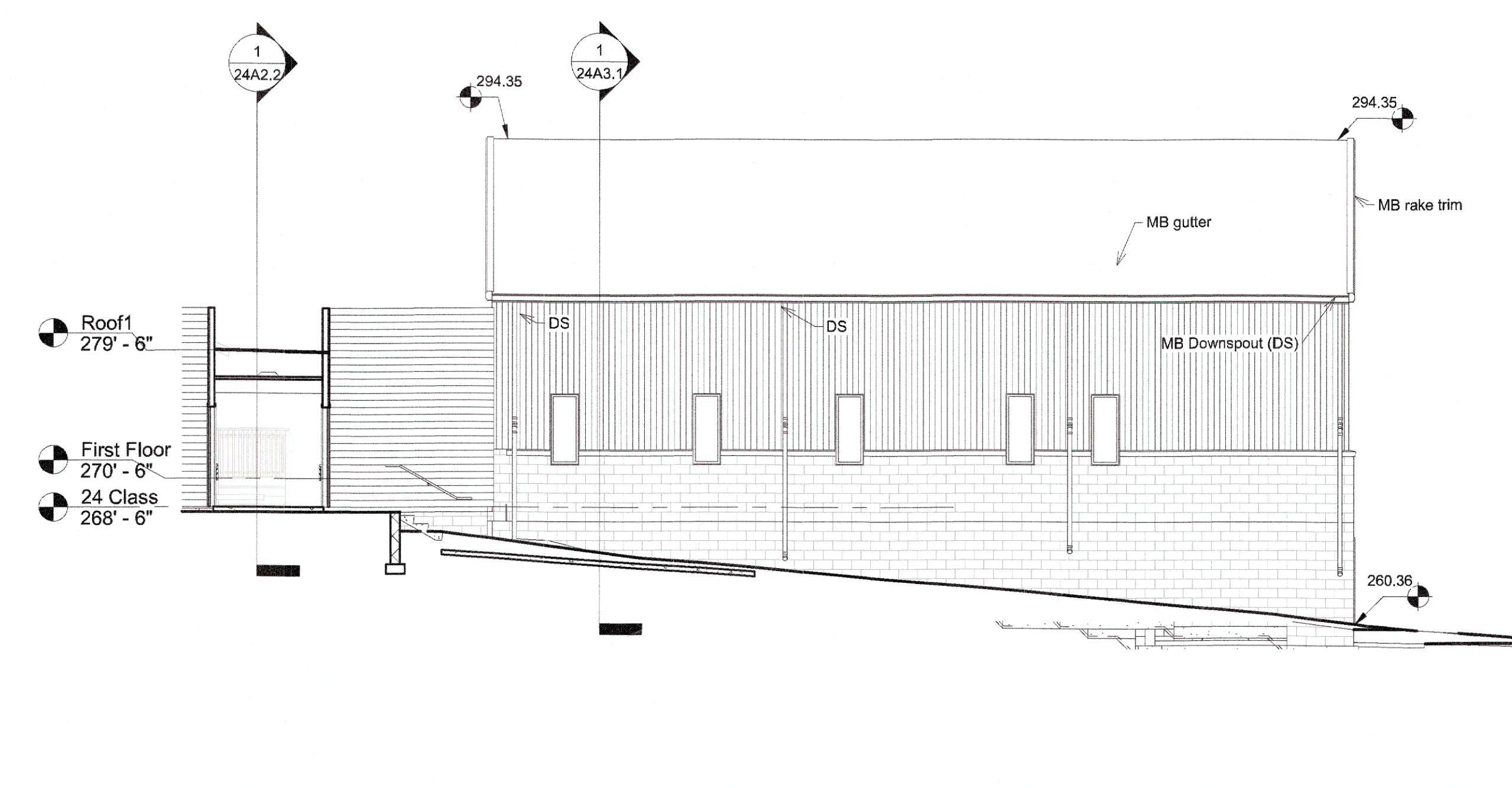
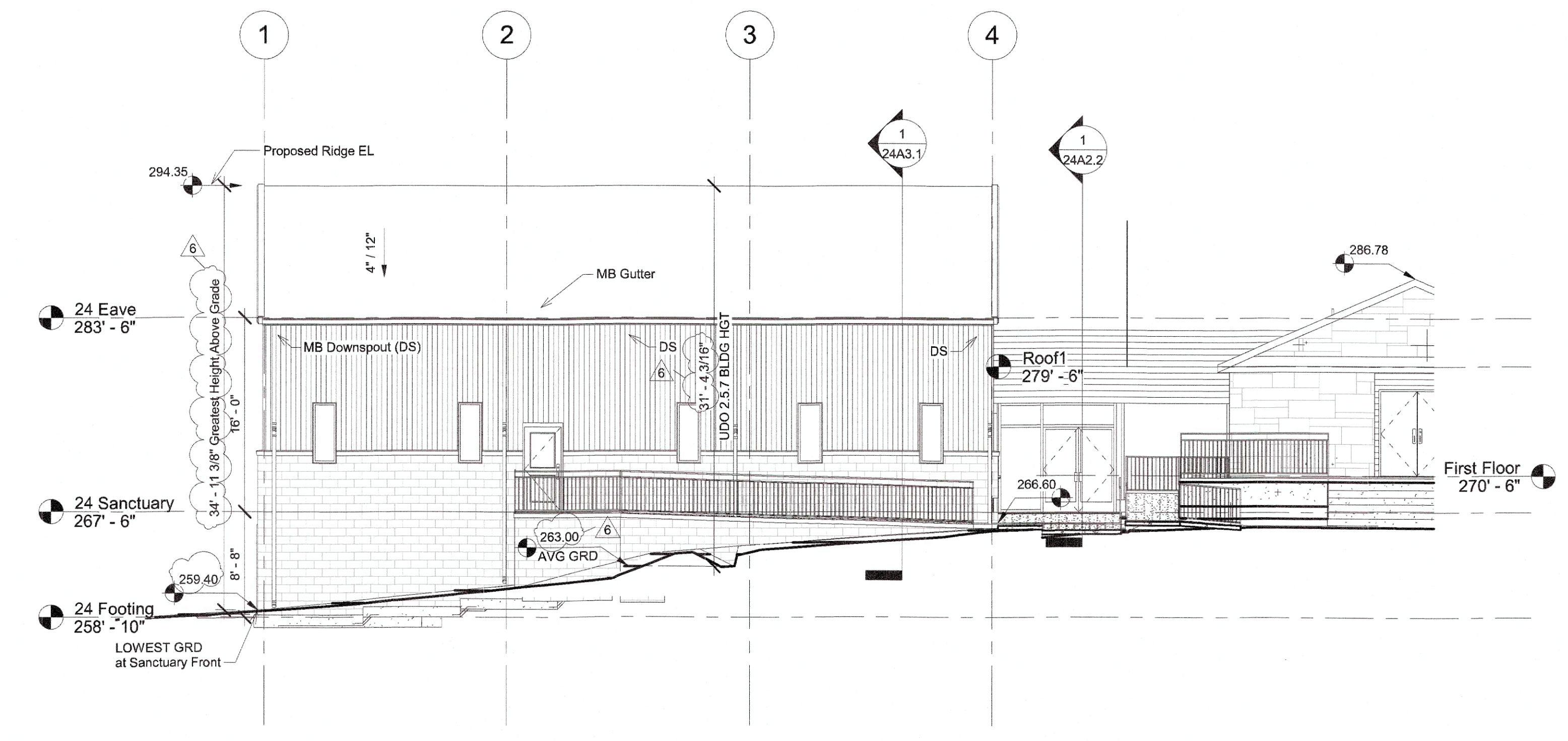
Corner	Low	Corner	High	AVG GRD	Roof	AVG HT
NW	259.4	SW	266.6	263	294.35	31.35

The difference between pre-development and post development grade elevations is negligible

Revision 6 Description

1. Site Plan Reviewer requested the addition of an overall dimension be added from the lowest grade elevation of elevation 2/24A2.2 to the ridge.
2. In addition, I adjusted the grade at the low point by 0.02, from 259.42 to 259.40 to agree with the Grading Plan, Revised 12/13/24 by Thompson and Associates. This slightly affected the average building height. Note: Overall and Average building height as built may vary from that shown on this plan by 4%±, even though spots are to nearest 0.01'.

No.	Description	Date
6	Revision 6	2/5/2025



Oliver Pittman
 Precious Promises Academy
 Renovation
 4301 Pearl Road
 Raleigh, NC 27610-6113

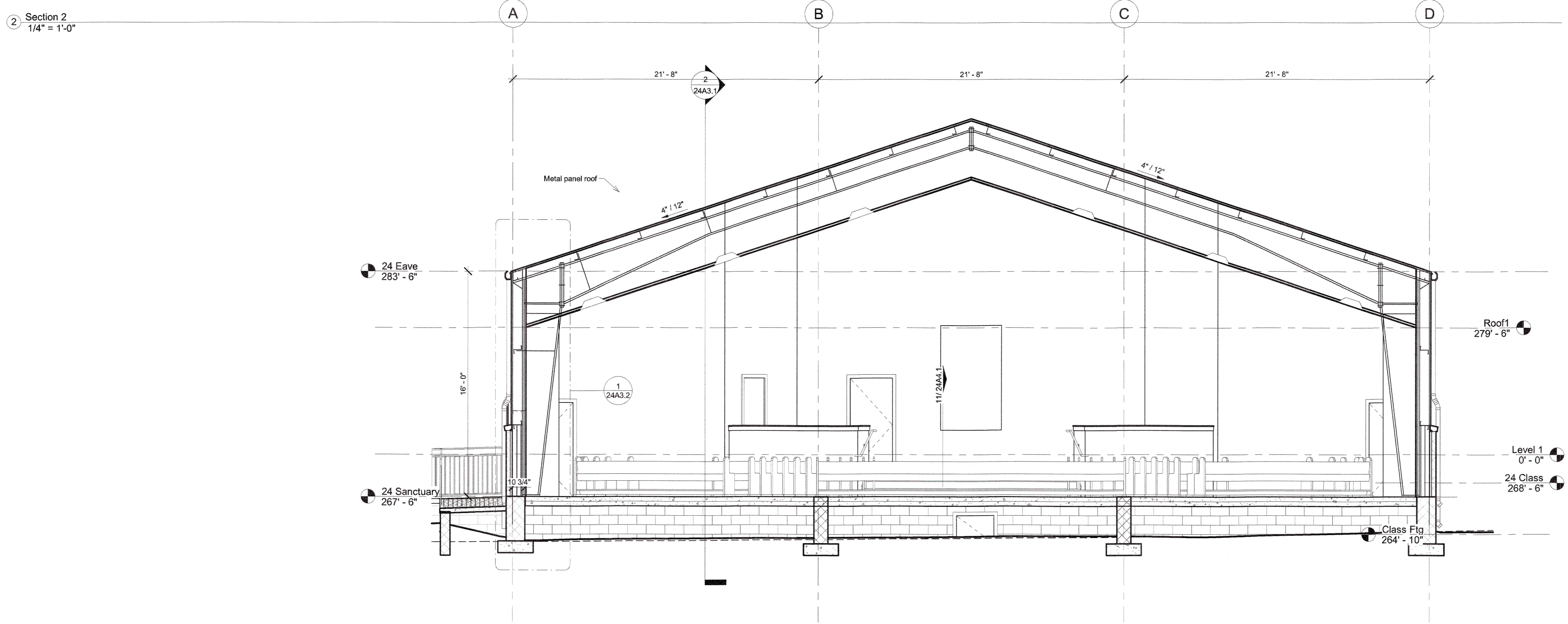
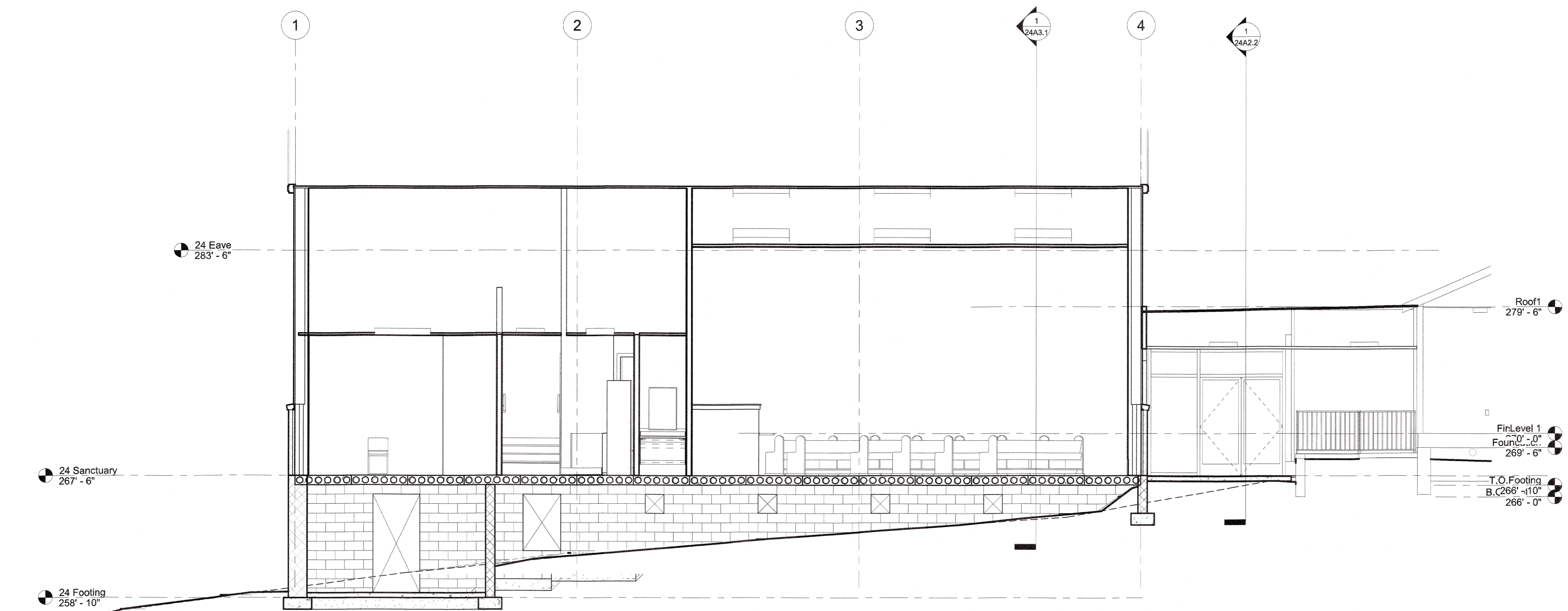
Sheet name: Exterior Elevations

Project number: 2023-08-01
 Date: 2/5/2025
 Drawn by: DCB
 Checked by: DCB

SHEET 9
 ASR-0029-2024

Scale: 1/8" = 1'-0"

THIS DOCUMENT IS
 PRELIMINARY, FOR
 REVIEW ONLY, NOT FOR
 CONSTRUCTION.



① Section 10
 1/4" = 1'-0"

No.	Description	Date

Oliver Pittman
 Precious Promises Academy
 Renovation
 4301 Pearl Road
 Raleigh, NC 27610-6113

Sheet name: Building Sections

Project number: 2023-08-01

Date: 9/20/24

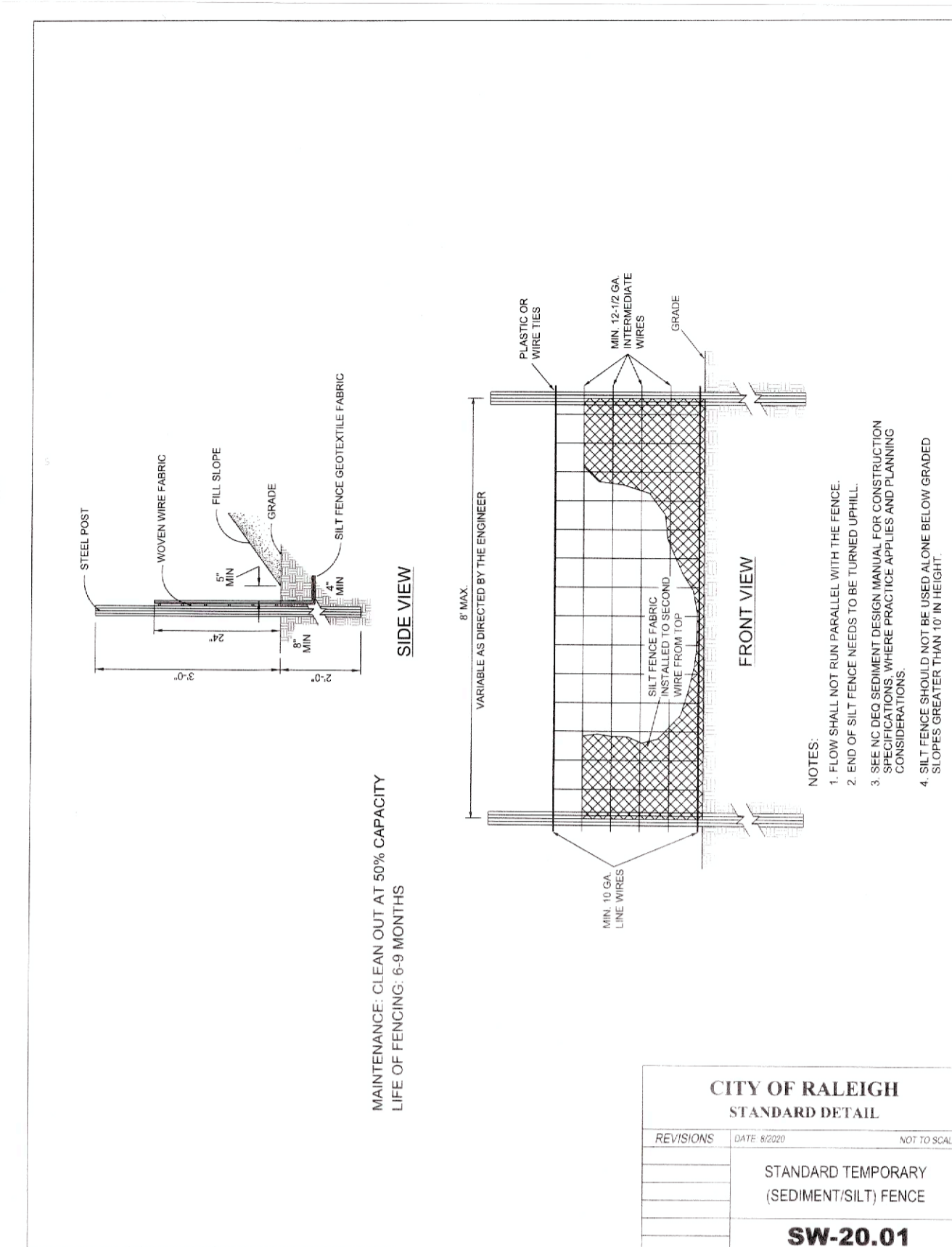
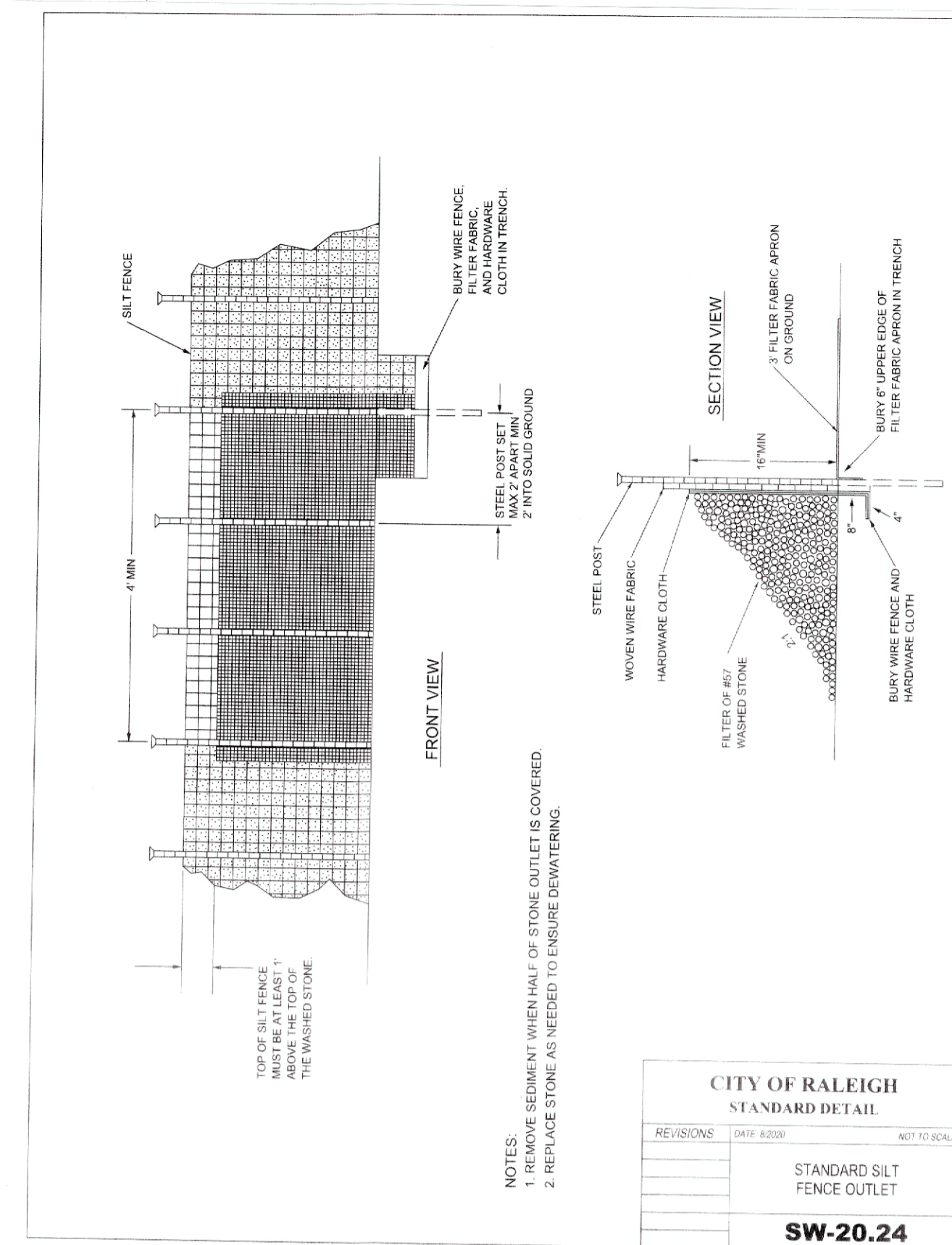
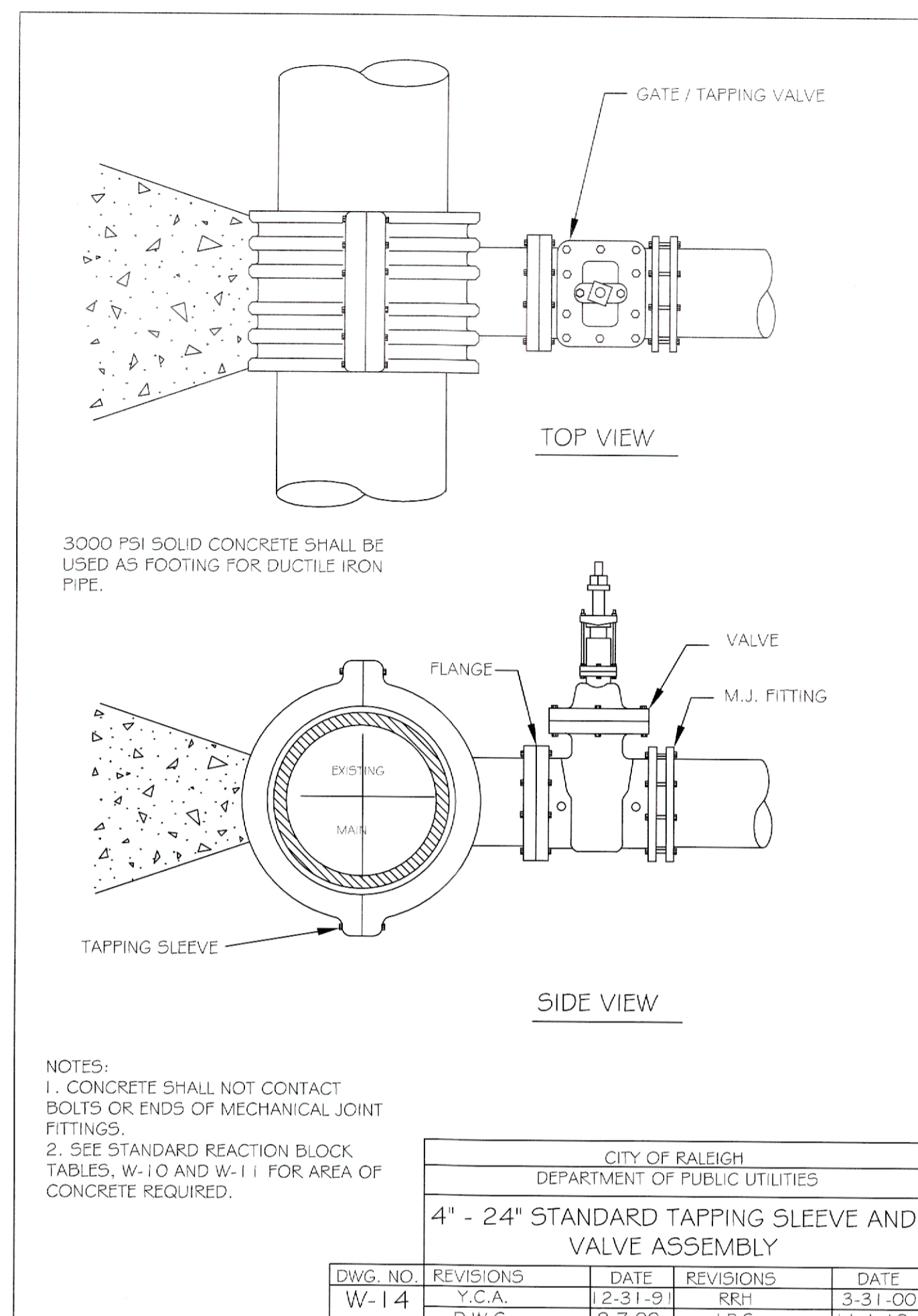
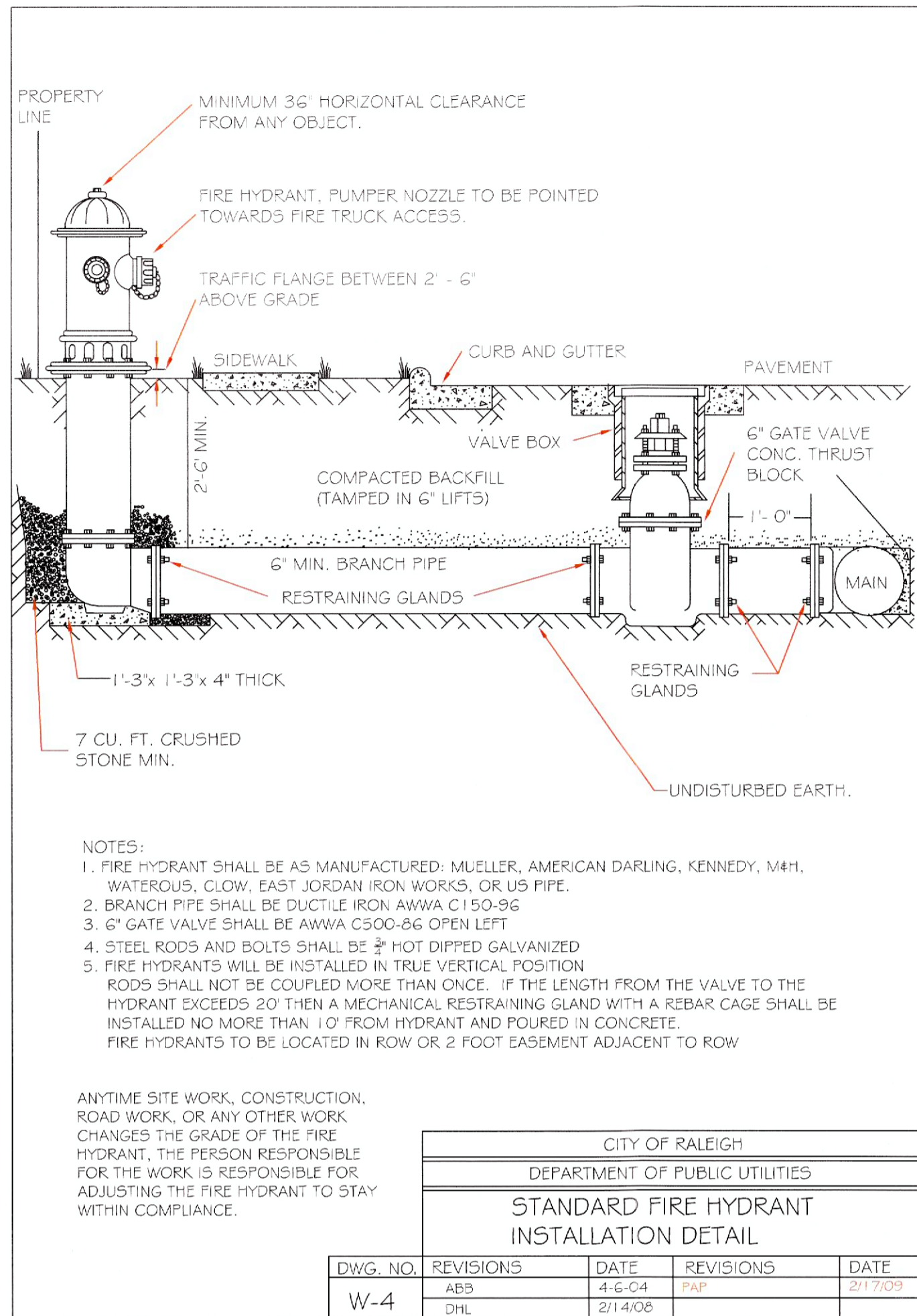
Drawn by: Author

Checked by: Checker

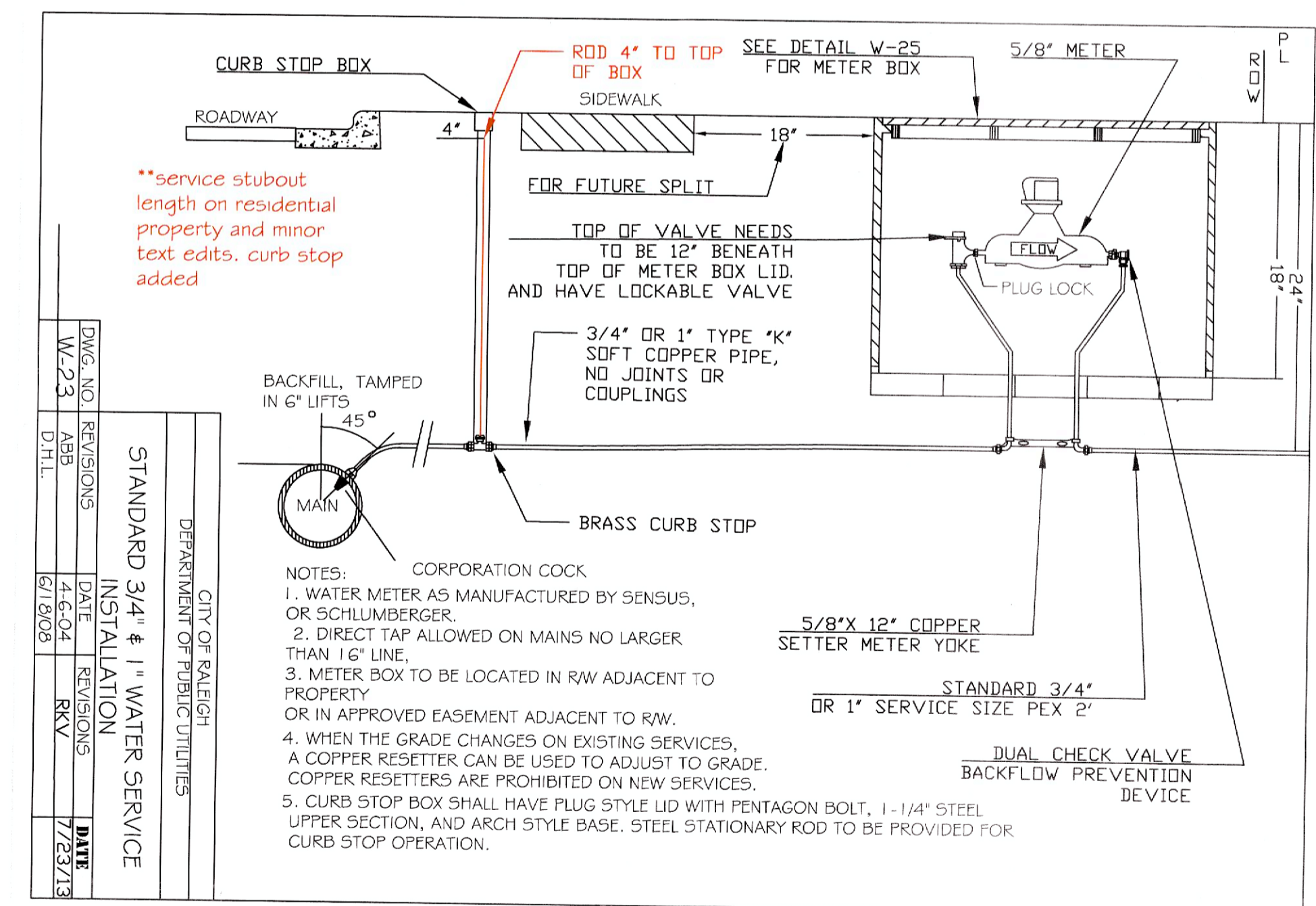
SHEET 10
 ASR-0029-2024

Scale: 1/4" = 1'-0"

9/20/2024 9:14:20 AM




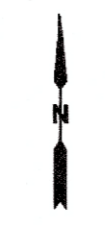
6.5' HT. TREATED WOOD PRIVACY FENCE



ASR-0029-2024

SHEET 11

DETAILS			
SURE PROMISE CHRISTIAN CHURCH			
 THOMPSON & ASSOCIATES CO. LICENSE NO. C-0343 1149 EXECUTIVE CIRCLE SUITE D UNIT 2 CARY, NC 27511 (919) 465-1566 FAX (919) 465-1585 ENGINEERING SURVEYING LAND PLANNING	ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA OWNER: SURE PROMISE CHRISTIAN CHURCH ZONED R-4 DATE 8/31/23 DRAWN MTH JOB NO. 20- SCALE 1" = 20' SURVEYED OTHERS DWG: SURE PROMISE- REVISIONS: 12-13-2024 PIN: 1731 08 5732		



PIN: 1731 09 4025
N/F JOSEPH W. NUNN
& LINDA YOUNG NUNN
D.B. 5947, PG. 13
ZONED: R-4
VACANT

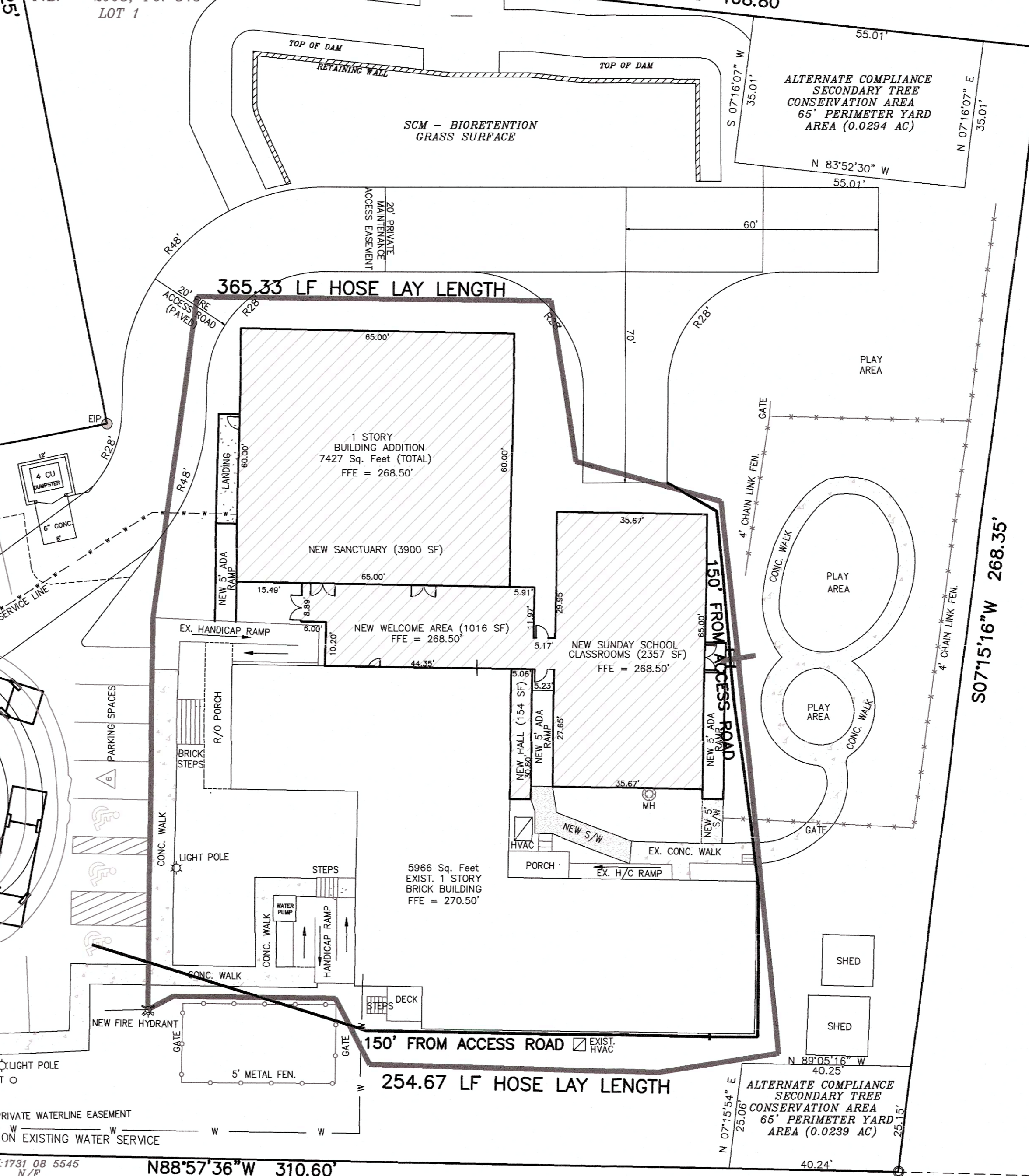
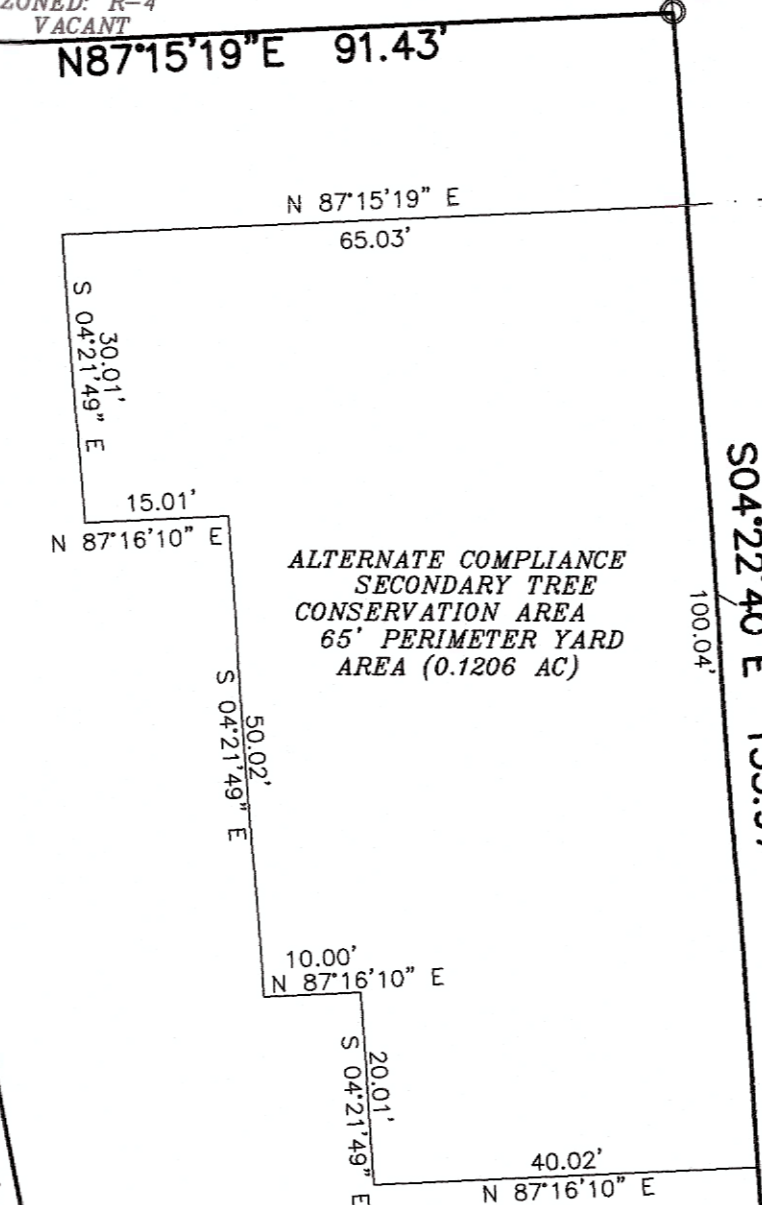
PIN: 1731 08 5969
N/F
AMH 2014-S BORROWER LLC
D.B. 15854, PG. 2286
ZONED: R6-CU
SINGLE FAMILY RESIDENTIAL

PIN: 1731 08 8827
N/F
ABBINGTON RIDGE
COMMUNITY ASSOCIATION INC.
D.B. 11297, PG. 119
0.51 AC
ZONED: R-6 CU
HOMEBOWNERS OPEN SPACE

PIN: 1731 08 7790
N/F
ABBINGTON RIDGE
COMMUNITY ASSOCIATION INC.
D.B. 11297, PG. 119
1.12 AC
ZONED R-6 CU
HOMEBOWNERS OPEN SPACE

PIN: 1731 08 3825
N/F
BARNEY RAY WATKINS
& ANNA E. WATKINS
D.B. 3082, PG. 677
P.B. 1983, PG. 40
ZONED: R-4
SINGLE FAMILY RESIDENTIAL

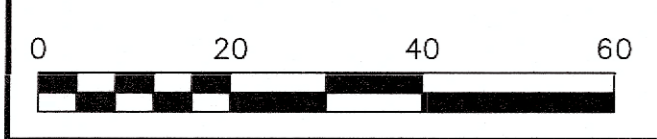
N/F
SURE PROMISE
CHRISTIAN CHURCH, INC.
D.B. 12865, PG. 508
P.B. 2008, PG. 845
LOT 1



PEARL ROAD
(VARIABLE WIDTH PUBLIC R/W)

PRELIMINARY PLANS
FOR REVIEW ONLY

PLAN SHEET REVISED PER CITY'S
THIRD REVIEW COMMENTS



PIN: 1731 08 5545
N/F
CAMELOT DEVELOPMENT LLC
D.B. 16448, PG. 689
P.B. 2004, PG. 549
ZONED: R10-CU
HOMEBOWNERS OPEN SPACE

ASR-0029-2024 SHEET 12

**BUILDING ADDITIONS
FIRE ACCESS W/ HOSE LAY
SURE PROMISE CHRISTIAN CHURCH**

THOMPSON & ASSOCIATES
CO. LICENSE NO. C-0343
1149 EXECUTIVE CIRCLE
SUITE D UNIT 2
CARY, NC 27511
(919) 465-1566
C-0434

ST. MARY'S TOWNSHIP WAKE COUNTY NORTH CAROLINA

OWNER: SURE PROMISE CHRISTIAN CHURCH	ZONED: R-4
DATE: 8-8-2024	DRAWN: MTH
SCALE: 1" = 20'	SURVEYED OTHERS: DWG: SURE PROMISE-RECORD
REVISIONS: 9-24-2024	PIN: 1731 08 5732