



Administrative Approval Action

Case File / Name: ASR-0030-2023
DSL - BATTERY TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Raleigh Boulevard, east of Battery Drive, at 1613 Battery Drive, in the Frequent Transit Development area.

REQUEST: Development of a 0.44 acre/19,235 sf tract split zoned into R-4 and R-10, with .04 acres/1,846 sf of right-of-way dedication, leaving a net site area of .40 acres/17,389 sf. The development includes two multi-unit residential buildings (townhome building type) on one lot. Proposed Building A is 6,360 gsf and Building B is 4,772 gsf, totaling 11,132 gsf area, utilizing the Frequent Transit Development option. Both buildings will be two stories in height and include a total of seven units with three bedrooms in each unit.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: FIL-0533-2023: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
FIL-0534-2023: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 29, 2023 by REDEEMING DEVELOPMENT GROUP LLC..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The site data information summary table and Site Permit Review application are both updated and note the GSF for Building A & B on the civil Site Permit Review
2. The average spot development grades are removed from the elevation sheets, for the South and North illustrations.
3. The site Permit Review application form notes the correct # of stories for both buildings per the elevations.
4. Review and demonstrate compliance with building foundation screening design per UDO Sec.7.2.8.E.4, and update the landscaping design sheet and east elevation sheets for Buildings A and B.
5. A minor modification is noted on the Site Permit Review plans set, removing the rear walkways and sidewalks as shown in the approved preliminary ASR plans set, ensuring the building elevation sheets renderings match the footprint layout as approved.



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6. Proposed retaining wall elevations are submitted with the civil Site Permit Review plans set for review and permitting.
7. Any proposed site lighting is included with the civil Site Permit Review plans set and demonstrates compliance with UDO Sec.7.4.

Stormwater

8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Public Access Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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2. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2). Devices used to satisfy UDO 9.2.2.A.4.b. also require an easement in the form of written deed. (UDO 9.2.2.A.4.c.ii.)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for 6' sidewalk along Battery Dr, and 1' sidewalk along S. Raleigh Blvd, is paid to the City of Raleigh (UDO 8.1.10).

Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2). Devices used to satisfy UDO 9.2.2.A.4.b. also require an easement in the form of written deed. (UDO 9.2.2.A.4.c.ii.)

Urban Forestry



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3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Battery Dr and 4 street trees along S. Raleigh Blvd.
4. A public infrastructure surety for the 4 required street trees along S. Raleigh Blvd shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion infrastructure. A public infrastructure surety for the 7 required street trees along Battery Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: November 1, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: _____ *Daniel L. Stegall* _____ Date: 11/01/2023
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

BATTERY TOWNHOMES

1613 BATTERY DR RALEIGH NC 27610

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW SUBMITTAL
ASR-0030-2023

SUBMITTED ON: 2023.09.29

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.20	GENERAL NOTES
C1.00	EXISTING CONDITIONS & DEMOLITION PLAN
C2.00	SUBDIVISION PLAN
C3.01	SUBDIVISION INFILL SETBACKS
C3.02	GRAVING AND DRAINAGE PLAN
C3.20	UTILITY PLAN
C3.20	SITE DETAILS
L3.00	PLANTING PLAN
A01A	EXTERIOR ELEVATIONS (BUILDING A)
A01B	EXTERIOR ELEVATIONS (BUILDING B)
A01C	EXTERIOR ELEVATIONS (BUILDING C)



VICINITY MAP
1" = 40'

SITE DATA

PROJECT NAME	BATTERY TOWNHOMES
SITE ADDRESS	1613 BATTERY DR RALEIGH NC 27610
COUNTY	WAKE
PARCEL PIN #	1710474319
PARCEL OWNER	HATTERAS HOLDINGS LLC
PARCEL OWNER ADDRESS	1613 BATTERY DR RALEIGH NC 27610
TOTAL SITE GROSS ACRES	0.44 AC / 19,235 SF
ROW DEDICATION	0.24 AC / 1,046 SF
NET ACRES	0.20 AC / 7,789 SF
CURRENT ZONING	RU-110.050 (SF / 0.25 AC / R-1) (0.25 SF / 0.20 AC)
PROPOSED ZONING	RU-18.050 (SF / 0.25 AC / R-1) (0.18 SF / 0.20 AC)
EXISTING LAND USE	RESIDENTIAL - SINGLE-FAMILY LIVING
PROPOSED LAND USE	RESIDENTIAL - MULTIFAMILY LIVING
FLOOD PLAIN DATA	NE USE
RIVER BASIN	TOWNHOUSE
DEVELOPMENT TYPE	40' / 3 STORIES
MAX BUILDING HEIGHT	21.6 FT
PROPOSED BUILDING HEIGHT	11.132 SF
GROSS FLOOR AREA	1
PROPOSED NUMBER OF LOTS	NA
TREE CONSERVATION AREA	0.00 AC / 0.00 SF
TOTAL LIMIT OF DISTURBANCE	0.24 AC / 2,548 SF
EXISTING BARRIERS AREA	0.24 AC / 1,046 SF
PROPOSED BARRIERS AREA	0.24 AC / 1,046 SF
AMENITY AREA PROVIDED	0.24 AC / 1,046 SF
AMENITY AREA REQUIRED	0.24 AC / 1,046 SF

PARKING DATA

REQUIRED PARKING	NO MAX
PROPOSED MAX PARKING	14
BIKE PARKING REQUIRED	NONE (LONG-TERM OR SHORT-TERM)
BIKE PARKING PROVIDED	NONE (LONG-TERM OR SHORT-TERM)
FREQUENT TRANSIT AREA R-4 SETBACKS (UD 2.1.1)	
LOT AREA REQUIRED:	6,500 SF
LOT AREA PROVIDED:	0.24 AC / 17,393 SF
LOT WIDTH REQUIRED:	65'
LOT WIDTH PROVIDED:	153'
LOT DEPTH REQUIRED:	190'
LOT DEPTH PROVIDED:	114'
MULTIFAMILY UNITS IDENTIFIED REQUIRED:	2,000 SF / UNIT
MULTIFAMILY UNITS IDENTIFIED PROVIDED:	17,393 SF / 7 UNITS = 2,484 SF / UNIT
FREQUENT TRANSIT AREA R-4 SETBACKS (UD 2.1.1)	
BUILDING SETBACK FROM PRIMARY STREET REQUIRED:	10.0'
BUILDING SETBACK FROM PRIMARY STREET PROVIDED:	43.0'
BUILDING SETBACK FROM SIDE STREET REQUIRED:	10.0'
BUILDING SETBACK FROM SIDE STREET PROVIDED:	10.0'
BUILDING SETBACK FROM SIDE LOT (LINE REQUIRED):	5.0'
BUILDING SETBACK FROM SIDE LOT (LINE PROVIDED):	7.0'
BUILDING SETBACK FROM REAR LOT (LINE REQUIRED):	20.0'
BUILDING SETBACK FROM REAR LOT (LINE PROVIDED):	NA (FROM PRIMARY STREET DEEDICATIONS)
PARKING SETBACK FROM PRIMARY STREET REQUIRED:	10.0'
PARKING SETBACK FROM PRIMARY STREET PROVIDED:	22.0'
PARKING SETBACK FROM SIDE STREET REQUIRED:	10.0'
PARKING SETBACK FROM SIDE STREET PROVIDED:	NA
PARKING SETBACK FROM SIDE LOT (LINE REQUIRED):	0.0'
PARKING SETBACK FROM SIDE LOT (LINE PROVIDED):	15.0'
PARKING SETBACK FROM REAR LOT (LINE REQUIRED):	3.0'
PARKING SETBACK FROM REAR LOT (LINE PROVIDED):	22.0'

ARROW

SCALE

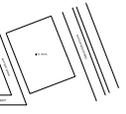
SCALE: 1" = 40'

SWIFT PARTNERS
FIRM LICENSE: P-2187



No.	Description
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VICINITY



SCALE

SCALE: 1" = 40'

ARROW

SCALE

SCALE: 1" = 40'

Review Application

Order - One Exchange Place, Suite 401 | Raleigh, NC 27601 | 919-996-2020



Site plans as referenced in Unified Development Ordinance (UDO) Section 14.02 and include the plan checklist document when submitting.

Planner (print): _____

Determine the site plan tier. If assistance determining a Site Plan Tier is needed, it is submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this service.)

Tier One Site Plan Tier Two Site Plan Tier Three Site Plan

Item Type (y)	Site Transaction History
Subdivision case #	_____
Scoping/sketch plan case #	_____
Certificate of Appropriateness #	_____
Board of Adjustment #	_____
Zoning Case #	_____
Design Alternate #	_____

GENERAL INFORMATION

ANNEXES

1613 DRIVE RALEIGH, NC 27610

Include any additions, expansions, and uses (UDO 6.1.4).

1) BUILD 7 TOWNHOMES AND ASSOCIATED INFRASTRUCTURE.

K. RANSOME	Title: OWNER
0991, SANFORD NC 27330-8941	
Email: brad@hholdings.us	
Owner. See "who can apply" in instructions:	
contact purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder <input type="checkbox"/>	
LLC Address: 500 WESTOVER DR # 10891, SANFORD NC 27330-8941	

REVISION 1.03.23

RIGHT-OF-WAY OBSTRUCTION NOTES:

1. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR DRIVEWAY, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE CONTACT THE CITY OF RALEIGH FOR MORE INFORMATION.
2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL "HOOD" STREETS WITHIN HALDAYS JURISDICTION.
3. A PERMIT REQUEST WITH A CLOSURE PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING DEPARTMENT TO REVIEW THE PROJECT'S COMPONENTS OF THE APPROVED PLAN, AND INSURE ALL PERMITS ARE ISSUED.
5. ALL TOWNSHIP LOTS SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - 5.1. TRAFFIC CONTROL MEASURES (PROVIDE).
 - 5.2. PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROVIDE).
 - 5.3. AMENITY AREA REQUIREMENTS (PROVIDE).
 - 5.4. RALEIGH STREET DESIGN MANUAL (PROVIDE).
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE PHYSICALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. SIDEWALKS AND ALTERNATE PROVISIONS DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVIDE). THE CITY STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE SPECIES OF STATE, CONSTRUCTION, DEPARTMENT OF INSURANCE, FEDERAL AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATION SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 BUSINESS DAYS TO WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION OBTAINED FROM FIELD INSPECTIONS AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE DRIVeways TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND LANDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREON SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE PROJECT SITE ON A DAILY BASIS.
11. THE ENGINEER AND/OR OWNER SPECIFY ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIVE (5) TONS PER LINEAL FOOT (50,000 LBS) DURING ALL PHASES OF CONSTRUCTION INCLUDING VERTICAL CONSTRUCTION AND BACKUP.
13. 1054-R-4 SEC. 14.02.C. THE PRIMARY STREET DEEDICATION SHALL BE BATTERY DR. AND S. RALEIGH BLVD.
14. THIS SITE IS SPAT-2023. WE ARE UTILIZING FREQUENT TRANSIT DEVELOPMENT OFFERS AND ARE ALLOWED TO USE THE MORE RESTRICTIVE ZONE (R-4). PLEASE SEE SEE DATA TABLE ON THIS SHEET AND C020 FOR SETBACK DETAILS.

SOLID WASTE:

80% WASTE TO BE HANDLED VIA ROLL OUT CART. CARTS ARE TO BE STORED IN GARAGES AND ROLLED OUT TO CURB ALONG PRIORITY FRONTAGE OF PUBLIC STREET

BUILDING CLASSIFICATION NOTE

UNITS TO BE CLASSIFIED AS APARTMENTS FOR PLANNING REVIEW PER ACCEPTABLE USES IN THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE. UNITS TO BE CONSTRUCTED AS R-4S PER THE NORTH CAROLINA BUILDING CODE.

THESE UNITS ARE GOING TO BE SOLD INDIVIDUALLY AS "CONDOS" THEY WILL HAVE HOUR FIREWALLS IN BETWEEN EACH UNIT.

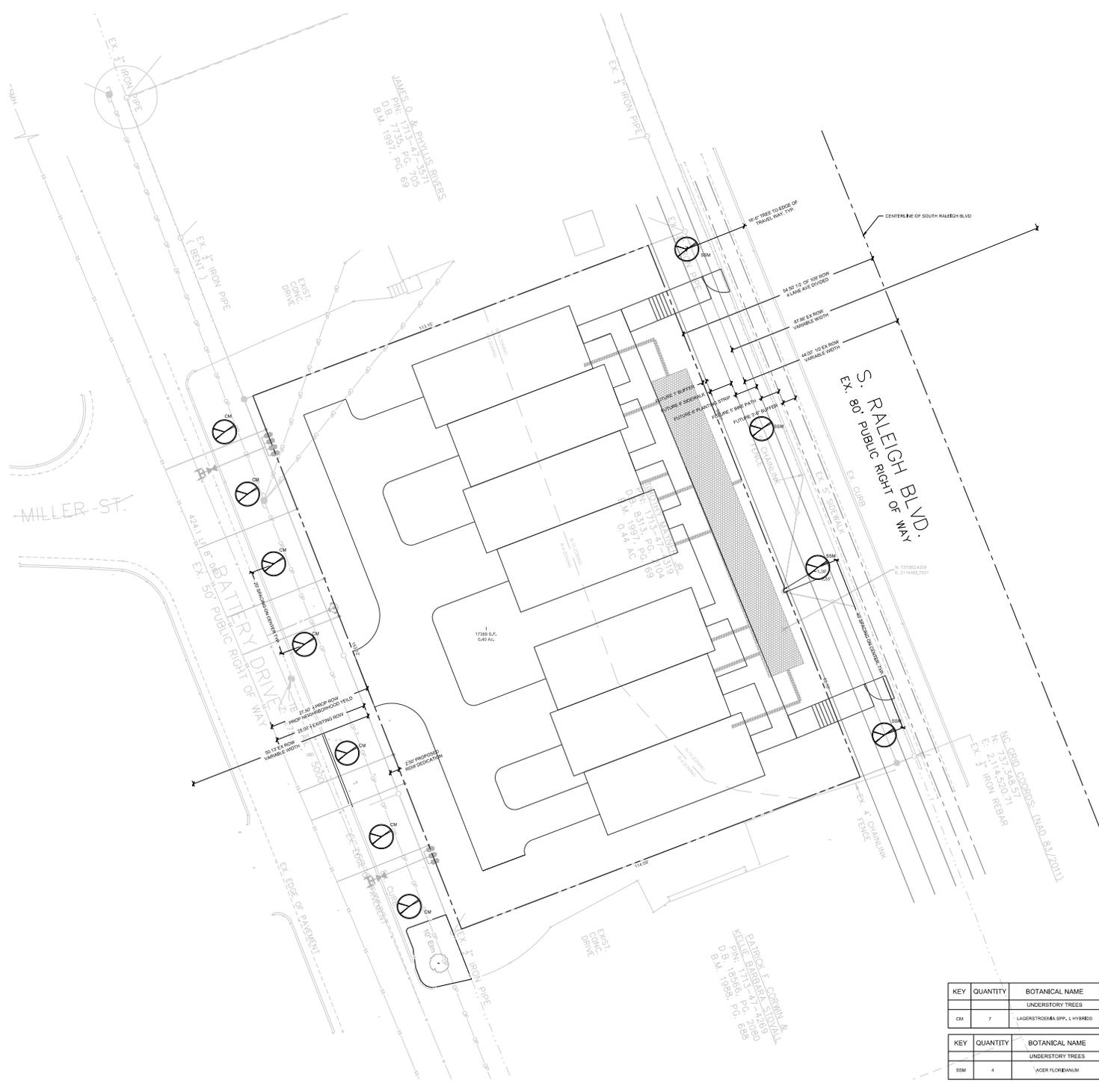


SWIFT PARTNERS PLLC
414 FAYETTEVILLE ST
RALEIGH NC 27601
LUKE PERKINS
528-735-1962
LUKE.PERKINS@SWIFT-PARTNERS.COM

Digitally signed by
Jermont Purifoy@raleighnc.gov
Date: 2023.10.25 14:12:14 -0400

Jermont Purifoy Raleigh

COVER SHEET
DATE: 2023.09.29
DRAWN BY: JPM
CHECKED BY: JPM
PROJECT: BATTERY TOWNHOMES
SHEET TITLE: COVER SHEET
SHEET NO.: C0.00



SITE LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED BRICK SIDEWALK
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVERS
[Symbol]	PROPOSED GRAVEL
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	PROPOSED STOP BAR
[Symbol]	PROPOSED CROSSWALK
[Symbol]	PROPOSED 6' WIDE STANDARD CROSSWALK
[Symbol]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED KEYSTONE WALL
[Symbol]	PROPOSED CP WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED GRAVEL TRAIL
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED VEHICLE GATE (X WIDE)
[Symbol]	PROPOSED LIGHT
[Symbol]	PROPOSED BIKE RACK
[Symbol]	LIMITS OF DISTURBANCE

- NOTES:**
- SEE SHEET C6-10 FOR GENERAL AND SITE NOTES.
 - THE SITE WILL BE CONFORMING TO THE SCOPE OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 5.2.2 FOR PARCELS LESS THAN 1/2 ACRES IN SIZE.
 - THE SITE WILL BE CONFORMING TO THE DESCRIPTION OF CROSS ACCESS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 5.2.6.1. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY RECORDERS AND SURVEYORS FILED.
 - PROPERTIES LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 62% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 2207030104010101 DATED MAY 2, 2016.
 - NO ONSITE WETLANDS OR STREAMS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.

- LANDSCAPING REQUIREMENTS:**
- BATTERY DRIVE (NEIGHBORHOOD VEIL):**
 REQUIREMENT 1: UNDERSTORY TREE PER 20 LF = 10 LF / 20 LF = 4 TREES
 PROVIDED: 7 TREES DUE TO UTILITY CONSTRAINTS
- RALEIGH BLVD (4 LANE AVE EQUIV):**
 REQUIREMENT 1: LARGE MATURING TREE PER 40 LF = 10 LF / 40 = 4 TREES
 PROVIDED: 4 TREES

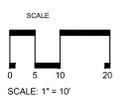
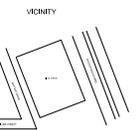
- TREE CONSERVATION AND LANDSCAPING NOTES:**
- THE SITE IS LESS THAN 2 ACRES AND SUBJECT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 5.2.2 TREE CONSERVATION APPLICABILITY.
 - THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

- LANDSCAPING NOTES:**
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL 778-200.
 - STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
 - ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
 - SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
 - ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3" KEEP MULCH 2" FROM ROOT FLARE AND DO NOT CONTACT STEM.
 - A MINIMUM OF FIVE PERMANENT SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
 - MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UNLEED ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
 - ALL PLANTING AREAS TO RECEIVE 1" CH OF SOIL. CONDITIONS FOR BAGS TO BE OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONS SHALL BE FULFILLED BEFORE BAGS, PLAY MULCH OR SPREADER OPERATES TO SITE.
 - CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
 - CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INCREASED QUANTITIES SHALL PROVIDE OVER QUANTITIES INDICATED BY PLANT LIST IF DECREASED AREAS.
 - ALL PLANTS ARE TO BE THOROUGHLY WATERED IN THE SAME DAY AS PLANTED.
 - THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
 - COMPLETELY REMOVE TOP HALF OF BURLAP LACING AND WIRE BASKET AND OBTAIN FROM HOLES BEFORE BACKFILLING AROUND SHALL BE COMPLETED.
 - ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
 - LANDSCAPING SHOWN MEETS REQUIREMENTS.
 - ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
 - ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTING MEETING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT BY 100% FINAL ACCEPTANCE.



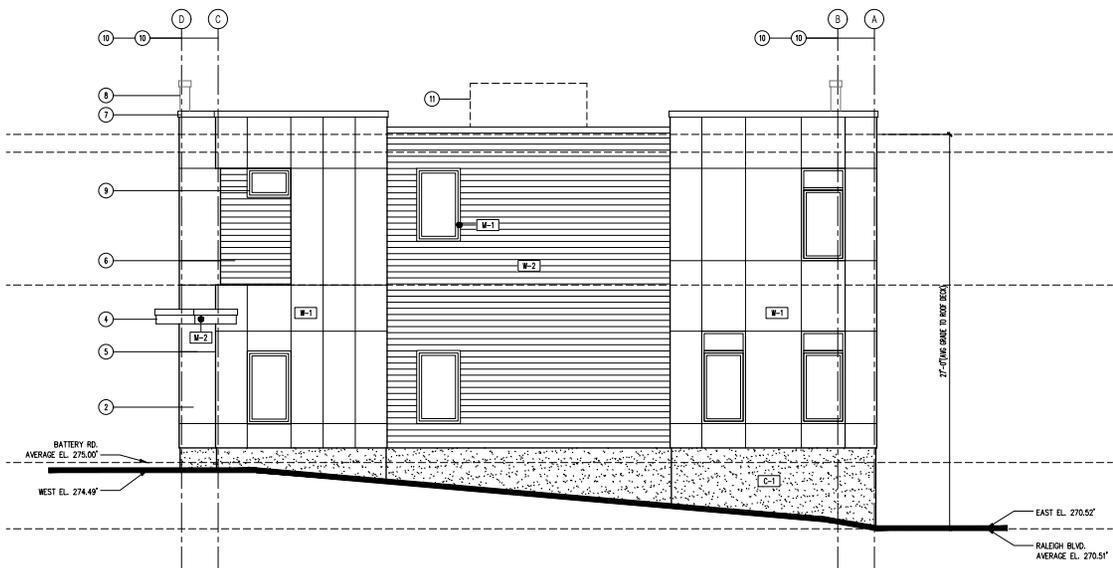
FIRM LICENSE: P-2187

No.	Date	Description



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
UNDERSTORY TREES						
CM	7	LAGERSTROEMIA GPP. L HYBRIDS	CRAPPEMYRTLE	10-4"	D-1.50"	8-8" 15-4" 35-4"
UNDERSTORY TREES						
SM	4	ACER FLOREANUM	SOUTHERN SUGAR MAPLE	10-4"	2-4.00"	8-8" 15-4" 40-4"

DATE: 01/20/2023
 DRAWN BY: JMM
 CHECKED BY: JMM
 PROJECT NO.: 23-0017
 SHEET TITLE: PLANTING PLAN
 SHEET NO.: L5.00



2 Exterior Elevation
 SCALE: 1/4"=1'-0"
 South



1 Exterior Elevation
 SCALE: 1/4"=1'-0"
 West

Notes:

- ALL EXTERIOR GLASS TO BE CLR. LOW 'E'.
- ALL STOREFRONT MULLIONS TO BE NYNAR FINISH, COLOR T.B.D. UNL.S. UNLESS OTHERWISE INDICATED. ALL EXTERIOR WALL AND SOFFIT SURFACES SHALL BE COVERED WITH ONE LAYER 1/2" EXTERIOR PLYWOOD SHEATHING AND ONE LAYER OF VAPOR BARRIER. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
- ALL MATERIALS MUST BE SUBMITTED TO NEW CITY DESIGN GROUP FOR APPROVAL.
- SUBMIT SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.
- PATCH/REPAIR ALL DAMAGED TRIM/DETAILING AS NEEDED FOR UNIFORM "LIKE-NEW" APPEARANCE.

Elevation Keynotes:

- CONC. STEPS - ADJUST RISER HEIGHTS AS REQUIRED TO MEET GRADE AND CODE REQUIREMENT
- FIBER CEMENT SIDING (PANEL)
- ROLL UP DOOR SYSTEM
- METAL CLAD CANOPY
- MTL. REGLET/REVEAL
- FIBER CEMENT SIDING (LAP)
- METAL TRIM AND CORING
- MECHANICAL COMPARTMENT, LESS THAN 42" ABOVE ROOF SURFACE SCREENED BY PARAPET WALL
- WINDOW SYSTEM - SEE SCHEDULE
- C/A BETWEEN UNITS/PROP. LINE
- MECHANICAL ROOF SCREEN AS REQD.

Building B - Grade Calculations:

RALEIGH BLVD.	
HIGHEST PROPOSED GRADE	270.53'
LOWEST PROPOSED GRADE	270.49'
AVERAGE GRADE	270.51'
BATTERY DR.	
HIGHEST PROPOSED GRADE	275.51'
LOWEST PROPOSED GRADE	274.49'
AVERAGE GRADE	275.00'

Finish Schedule:

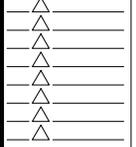
Exterior Materials	
W-1	TYPE: HARDI-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: BUILDING EXTERIOR AS SHOWN NOTE: -
W-2	TYPE: HARDI-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: AS SHOWN NOTE: -
W-3	TYPE: HARDI-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: AS SHOWN NOTE: -
T-1	TYPE: - LOCATION: - NOTE: -
T-2	TYPE: - LOCATION: - NOTE: -
M-1	TYPE: METAL WINDOW MULLION LOCATION: TBD NOTE: TO MATCH STOREFRONT SYSTEM
M-2	TYPE: METAL CANOPY LOCATION: ABOVE GROUND FLOOR STOREFRONT AS SHOWN NOTE: -
M-3	TYPE: METAL RAILING LOCATION: ABOVE CONCERT DECK FLOOR AS SHOWN NOTE: -
C-1	TYPE: CONC. LOCATION: ABOVE STOREFRONT SIDING PANEL AS SHOWN NOTE: -
-	TYPE: - LOCATION: - NOTE: -
-	TYPE: MANUFACTURER: LOCATION: - NOTE: -



1204 HILLSBOROUGH ST.
 RALEIGH, NC 27605
 919.881.1300
 FAX 919.881.9787

DAY MONTH YEAR
 NOT FOR CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT



THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE HEREBY REFERRED TO AS "THE PROJECT". THE CLIENT HAS REVIEWED THE PROJECT AND HAS GIVEN WRITTEN APPROVAL. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESPECTIVE RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED FOR OTHER PROJECTS. FOR ASSISTANCE TO THIS PROJECT BY CHECKS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

RDG
 Battery Townhomes
 Battery Drive
 Raleigh, NC
 --- SET

DESIGNER : -
 DRAWN : -
 CHECKED : -
 SCALE : AS SHOWN
 JOB NUMBER :
 SHEET TITLE :
 Exterior Elevations
 Building B

SHEET NUMBER
A201B



1304 HILLSBOROUGH ST.
RALEIGH, NC 27605
919.881.1300
FAX 919.881.9787

DAY MONTH YEAR

NOT FOR CONSTRUCTION

- PROGRESS PRINT
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RDG
Battery Townhomes
Battery Drive
Raleigh, NC
--- SET

DESIGNER : -
DRAWN : -
CHECKED : -
SCALE : AS SHOWN
JOB NUMBER :
SHEET TITLE : Exterior Elevations Building B

SHEET NUMBER
A202B

- Notes:**
- ALL EXTERIOR GLASS TO BE Q.R. LOW E.
 - ALL STOREFRONT MULLIONS TO BE 1/2" FINISH, COLOR T.B.D. UNL.O. UNLESS OTHERWISE INDICATED. ALL EXTERIOR WALL AND SOFFIT SURFACES SHALL BE COVERED WITH ONE LAYER 1/2" EXTERIOR PLYWOOD SHEATHING AND ONE LAYER OF VAPOR BARRIER. A SEPARATE SOFFIT SUBMITTAL IS REQUIRED. SUBMIT A SOFFIT DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
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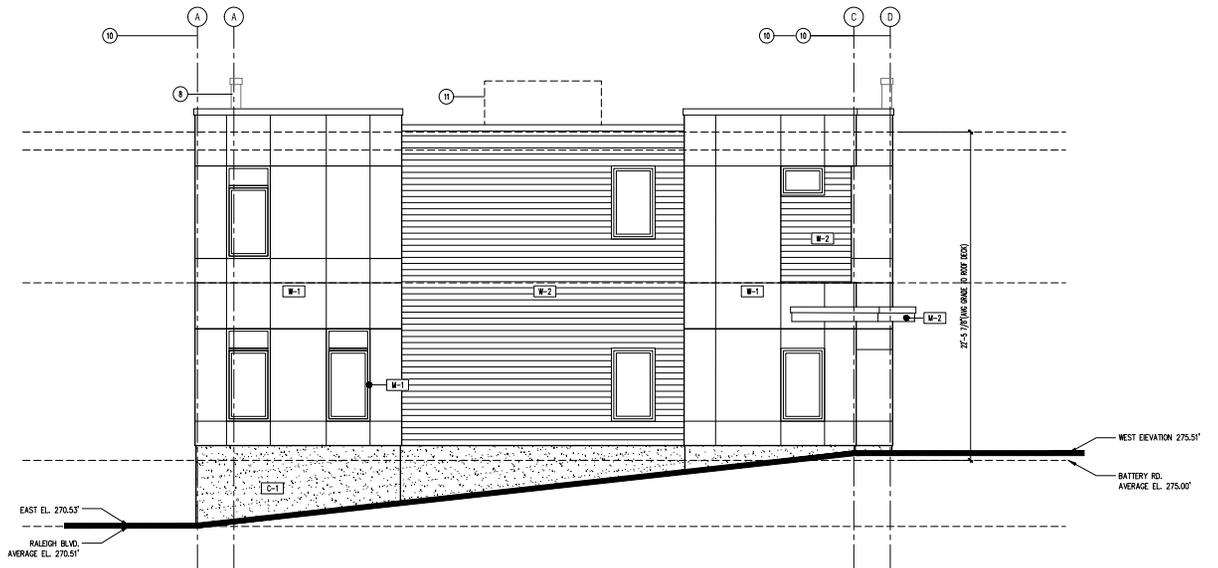
- Elevation Keynotes:**
- CONC. STEPS - ADJUST RISER HEIGHTS AS REQUIRED TO MEET GRADE AND CODE REQUIREMENT
 - FIBER CONCRETE SIDING (PANEL)
 - ROLL UP DOOR SYSTEM
 - METAL CLAD CANOPY
 - MTL. REGLET/REVEAL
 - FIBER CONCRETE SIDING (LAP)
 - METAL TRIM AND COPING
 - MECHANICAL EQUIPMENT, LESS THAN 42" ABOVE ROOF SURFACE SCREENED BY PARADEL WALL
 - WINDOW SYSTEM - RE: SCHEDULE
 - C/L BETWEEN UNITS/PROP. LINE
 - MECHANICAL ROOF SCREEN AS REQD.

Building B - Grade Calculations:

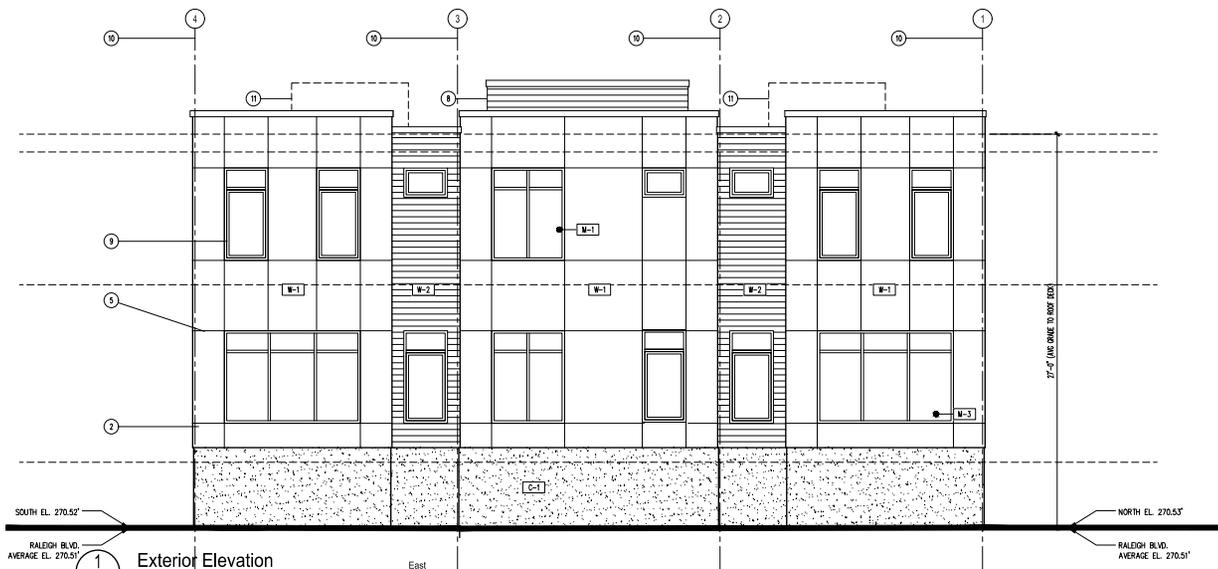
RALEIGH BLVD.	
HIGHEST PROPOSED GRADE	270.55'
LOWEST PROPOSED GRADE	270.49'
AVERAGE GRADE	270.51'
BATTERY DR.	
HIGHEST PROPOSED GRADE	275.51'
LOWEST PROPOSED GRADE	274.49'
AVERAGE GRADE	275.00'

Finish Schedule:

Exterior Materials	
W-1	TYPE: HARD-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: BUILDING EXTERIOR AS SHOWN
W-2	TYPE: HARD-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: AS SHOWN LOCATION: AS SHOWN
W-3	TYPE: HARD-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: AS SHOWN
T-1	TYPE: - LOCATION: - NOTE: -
T-2	TYPE: - LOCATION: - NOTE: -
M-1	TYPE: METAL WINDOW MULLION TBD NOTE: TO MATCH STOREFRONT SYSTEM
M-2	TYPE: METAL CANOPY TBD NOTE: ABOVE GROUND FLOOR STOREFRONT AS SHOWN
M-3	TYPE: METAL RAILING TBD NOTE: ABOVE CONCRETE DECK FLOOR AS SHOWN
C-1	TYPE: CONC. PANEL TBD NOTE: ABOVE STOREFRONT SIDING PANEL AS SHOWN
-	TYPE: - LOCATION: - NOTE: -



2 Exterior Elevation North
SCALE: 1/4"=1'-0"



1 Exterior Elevation East
SCALE: 1/4"=1'-0"