



Administrative Approval Action

Case File / Name: ASR-0030-2023
DSLCL - BATTERY TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Raleigh Boulevard, east of Battery Drive, at 1613 Battery Drive, in the Frequent Transit Development area.

REQUEST: Development of a 0.44 acre/19,235 sf tract split zoned into R-4 and R-10, with .04 acres/1,846 sf of right-of-way dedication, leaving a net site area of .40 acres/17,389 sf. The development includes two multi-unit residential buildings (townhome building type) on one lot. Proposed Building A is 6,360 gsf and Building B is 4,772 gsf, totaling 11,132 gsf area, utilizing the Frequent Transit Development option. Both buildings will be two stories in height and include a total of seven units with three bedrooms in each unit.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** FIL-0533-2023: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
FIL-0534-2023: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 29, 2023 by REDEEMING DEVELOPMENT GROUP LLC..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The site data information summary table and Site Permit Review application are both updated and note the GSF for Building A & B on the civil Site Permit Review
2. The average spot development grades are removed from the elevation sheets, for the South and North illustrations.
3. The site Permit Review application form notes the correct # of stories for both buildings per the elevations.
4. Review and demonstrate compliance with building foundation screening design per UDO Sec.7.2.8.E.4, and update the landscaping design sheet and east elevation sheets for Buildings A and B.
5. A minor modification is noted on the Site Permit Review plans set, removing the rear walkways and sidewalks as shown in the approved preliminary ASR plans set, ensuring the building elevation sheets renderings match the footprint layout as approved.



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- Proposed retaining wall elevations are submitted with the civil Site Permit Review plans set for review and permitting.
- Any proposed site lighting is included with the civil Site Permit Review plans set and demonstrates compliance with UDO Sec.7.4.

Stormwater

- A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Public Access Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

- A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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2. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2). Devices used to satisfy UDO 9.2.2.A.4.b. also require an easement in the form of written deed. (UDO 9.2.2.A.4.c.ii.)

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for 6' sidewalk along Battery Dr, and 1' sidewalk along S. Raleigh Blvd, is paid to the City of Raleigh (UDO 8.1.10).

Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2). Devices used to satisfy UDO 9.2.2.A.4.b. also require an easement in the form of written deed. (UDO 9.2.2.A.4.c.ii.)

Urban Forestry



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3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Battery Dr and 4 street trees along S. Raleigh Blvd.
4. A public infrastructure surety for the 4 required street trees along S. Raleigh Blvd shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion infrastructure. A public infrastructure surety for the 7 required street trees along Battery Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: November 1, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 11/01/2023
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

BATTERY TOWNHOMES

1613 BATTERY DR RALEIGH NC 27610

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW SUBMITTAL ASR-0030-2023

SUBMITTED ON: 2023.09.29

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C1.00	EASTING CONTINGING & DEMOLITION PLAN
C2.00	SUBDIVISION PLAN
C3.01	SUBDIVISION INFILL SETBACKS
C3.02	GRADING AND DRAINAGE PLAN
C3.03	UTILITY PLAN
C3.04	SITE DETAILS
L0.01	PLANTING PLAN
A01A	EXTERIOR ELEVATIONS (BUILDING A)
A01B	EXTERIOR ELEVATIONS (BUILDING B)
A01C	EXTERIOR ELEVATIONS (BUILDING C)



VICINITY MAP
1" = 40'

SITE DATA

PROJECT NAME	BATTERY TOWNHOMES
SITE ADDRESS	1613 BATTERY DR RALEIGH NC 27610
COUNTY	WAKE
PARCEL PIN #	1713474219
PARCEL OWNER	HATTERAS HOLDINGS LLC
PARCEL OWNER ADDRESS	1613 BATTERY DR RALEIGH NC 27610
TOTAL SITE GROSS ACRES	0.24 AC / 19,235 SF
ROW DEDICATION	0.24 AC / 1,946 SF
NET ACRES	0.24 AC / 17,389 SF
CURRENT ZONING	RA-1 (10,000 SF / 0.24 AC) R-1 (10,000 SF / 0.24 AC)
PROPOSED ZONING	RA-1 (10,000 SF / 0.24 AC) R-1 (10,000 SF / 0.24 AC)
EXISTING LAND USE	RESIDENTIAL - SINGLE-FAMILY LIVING
PROPOSED LAND USE	RESIDENTIAL - MULTIFAMILY LIVING
FLOOD PLAIN DATA	NA
RIVER BASIN	NEUSE
DEVELOPMENT TYPE	TOWNHOUSE
MAX BUILDING HEIGHT	40' / 3 STORIES
PROPOSED BUILDING HEIGHT	23.0 FT
GROSS FLOOR AREA	11,132 SF
PROPOSED NUMBER OF LOTS	1
TREE CONSERVATION AREA	0.24 AC / 21,000 SF
TOTAL LIMITS OF DISTURBANCE	0.24 AC / 2,548 SF
EXISTING IMPERVIOUS AREA	0.24 AC / 6,870 SF
PROPOSED IMPERVIOUS AREA	0.24 AC / 1,739 SF
AMENITY AREA REQUIRED	0.24 AC / 1,946 SF
AMENITY AREA PROVIDED	0.24 AC / 1,946 SF

PARKING DATA

REQUIRED PARKING:	NO MAX
PROPOSED MAX PARKING:	14
ONE PARKING REQUIRED:	NONE (LONG-TERM OR SHORT-TERM)
TWO PARKING PROVIDED:	NONE (LONG-TERM OR SHORT-TERM)
FREQUENT TRAVEL AREA R-1 DESIGN STANDARDS (UDO 2.2.1)	
LOT AREA REQUIRED:	6,300 SF
LOT AREA PROVIDED:	0.24 AC / 17,389 SF
LOT WIDTH REQUIRED:	65'
LOT WIDTH PROVIDED:	153'
LOT DEPTH REQUIRED:	100'
LOT DEPTH PROVIDED:	114'
MULTI-UNIT LIVING DISINFECTANT REQUIRED:	2,000 SF / UNIT
MULTI-UNIT LIVING DISINFECTANT PROVIDED:	17,389 SF / 7 UNITS = 2,484 SF / UNIT
FREQUENT TRAVEL AREA R-1 DESIGN STANDARDS (UDO 2.2.1)	
BUILDING SETBACK FROM PRIMARY STREET REQUIRED:	10.0'
BUILDING SETBACK FROM PRIMARY STREET PROVIDED:	43.0'
BUILDING SETBACK FROM SIDE STREET REQUIRED:	10.0'
BUILDING SETBACK FROM SIDE STREET PROVIDED:	NA
BUILDING SETBACK FROM SIDE LOT LINE REQUIRED:	5.0'
BUILDING SETBACK FROM SIDE LOT LINE PROVIDED:	7.0'
BUILDING SETBACK FROM REAR LOT LINE REQUIRED:	20.0'
BUILDING SETBACK FROM REAR LOT LINE PROVIDED:	22.0'
BUILDING SETBACK FROM REAR LOT LINE PROVIDED:	22.0'
PARKING SETBACK FROM PRIMARY STREET REQUIRED:	10.0'
PARKING SETBACK FROM SIDE STREET PROVIDED:	NA
PARKING SETBACK FROM SIDE LOT LINE REQUIRED:	5.0'
PARKING SETBACK FROM SIDE LOT LINE PROVIDED:	15.0'
PARKING SETBACK FROM REAR LOT LINE REQUIRED:	20.0'
PARKING SETBACK FROM REAR LOT LINE PROVIDED:	22.0'

*R-1 ZONING DISTRICT SETBACKS AND STANDARDS PER THE FTD IS MORE RESTRICTIVE (THAN R-1) AND WILL BE USED FOR THE SITE DEVELOPMENT REQUIREMENTS, INCLUDING DENSITY.

Review Application

enter *One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-986-2000



Use plans as referenced in Unified Development Ordinance (UDO) Section 16.02.01 and include the plan checklist document when submitting.

Planner (print):

Determine the site plan fee. If assistance determining a Site Plan Fee is needed, please submit online via the [Permit and Development Portal](#). (Note: There is a fee for a Site Plan Fee.)

<input type="checkbox"/> Tier One Site Plan	<input type="checkbox"/> Tier Three Site Plan
ent Type (y)	Site Transaction History
nal	Subdivision case #:
use	Scoping/sketch plan case #:
	Certificate of Appropriateness #:
	Board of Adjustment #:
ge Court	Zoning Case #:
ent Transit	Design Alternate #:
oment Option	

GENERAL INFORMATION

ANN-HOMES	
RY DRIVE RALEIGH, NC 27610	

Include any additions, expansions, and uses (UDO 6.1.4).

Y BUILD 7 TOWNHOMES AND ASSOCIATED INFRASTRUCTURE.

K. RANSOME	Title: OWNER
LLC	
0091, SANFORD NC 27330-8941	
Email: brad@hhholdings.us	
wner. See "who can apply" in instructions:	
ontract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
LLC Address: 500 WESTOVER DR # 10891, SANFORD NC 27330-8941	

REVISION 1.03.23

RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHT-OF-WAY SERVICES@RALEIGH.NC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL RIGHT-OF-WAY STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TRAVEL PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL UTILITIES SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - 1.1. WAREHOUSE INFORMATION CONTROL (WIC);
 - 1.2. PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - 1.3. AMERICAN STANDARD FOR ACCESSIBILITY (ADA);
 - 1.4. RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE PHYSICALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPARABLE WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES PROVIDED. THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL SUBDIVISION, ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATION SERVICES INCLUDING INDEPENDENT LOCATIONS. THE CONTRACTOR SHALL PROVIDE NOTICE OF LOCATION TO WORKING CENTER, AND FACILITY CHARGES FOR NO EXCEEDING LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 10 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROPRIATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS. THEY MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBLE DRIVeways TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND LANDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DISCREPANCIES FROM THE PROJECT DRAWINGS OR DISCREPANCIES ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DISCREPANCIES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO REPAIRS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBERBUSHES BY THE CONTRACTOR. ALL RUBBER SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE OWNER AND/OR OWNER DESIGN ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS TEMPORARY OR PERMANENT MUST BE CAPABLE OF SUPPORTING FREE RIGGING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION UNDER NORMAL CONSTRUCTION AND REGULAR.
- 10.54-R-1A SEC. 15.4.4.2. THE PRIMARY STREET DESIGNATION SHALL BE BATTERY DR. AND S. RALEIGH BLVD.
- 14.01 SITE IS SPAT-10.0. WE ARE UTILIZING FREQUENT TRAVEL DEVELOPMENT CRITERIA AND ARE ALLOWED TO USE THE MORE RESTRICTIVE ZONE (R-1). PLEASE SEE SITE DATA TABLE ON THIS SHEET AND C0.00 FOR SETBACK CRITERIA.

SOLID WASTE:

80.0 D WASTE TO BE HANDLED BY ROLL OUT CART. CARTS ARE TO BE STORED IN GARAGES AND ROLLED OUT TO CURB ALONG PROPERTY FRONTAGE OF PUBLIC STREET

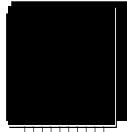
BUILDING CLASSIFICATION NOTE

UNITS TO BE CLASSIFIED AS APARTMENTS FOR PLANNING REVIEW PER ACCEPTABLE USES IN THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE. UNITS TO BE CONSTRUCTED AS R-1S PER THE NORTH CAROLINA BUILDING CODE.

THESE UNITS ARE GOING TO BE SOLD INDIVIDUALLY AS "CONDO" THEY WILL HAVE 4 HOUR FIREWALLS IN BETWEEN EACH UNIT.

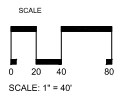
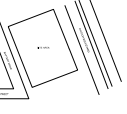
SWIFT PARTNERS

FIRM LICENSE: P-2187

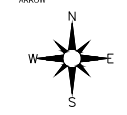


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VICINITY



ARROW



Digitally signed by
Jermont Purifoy
Date: 2023.10.25 14:12:12 -0400

Jermont Purifoy Raleigh

COVER SHEET

C0.00



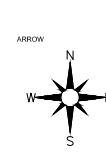
SWIFT PARTNERS PLLC
414 FAYETTEVILLE ST
RALEIGH NC 27601
LURE PERKINS
608.735.1682
LURE PERKINS@SWIFT-PARTNERS.COM

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PROXIMITY

SCALE

ARROW



DATE: 03/20/2025
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: C0.20

SHEET NO.

C0.20

GENERAL NOTES

DATE: 03/20/2025
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: C0.20

SHEET NO.

C0.20

GENERAL NOTES

DATE: 03/20/2025
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SHEET NO.

C0.20

GENERAL NOTES

DATE: 03/20/2025
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: C0.20

SHEET NO.

C0.20

GENERAL NOTES

GENERAL NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF REVENUE, AGRICULTURE AND OTHER APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY SWIFT PARTNERS SHALL BE USED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCAL SERVICES INCLUDING NEIGHBORHOOD LIGHTING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICES OF DISCLOSURE TO NEIGHBORHOOD CENTER AND FACILITY OWNERS PERKS SYSTEMS NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 10 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER WORK OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR UTILITIES SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
4. ALL SUBSURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPLICABLE LOCATION BASED ON SURVEY INFORMATION AND FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT THE CONTRACTORS EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHEN SUCH ARE NOT UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO COMMENCEMENT AND MAINTAIN CHANGES AND HANDSOME OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNERS REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
8. IF DEMONSTRATES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEMAND NECESSARY BY THE CONTRACTOR, DETAILS OF SOIL GUARANTEES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNERS REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE CONTRACT DOCUMENTS. THIS SHALL BE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL EXISTING MATERIALS AND DEBRIS CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
11. THE ENGINEER AND/OR OWNER DISCUSS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
12. ROADWAYS IMPROVEMENT OR PERMANENT SHALL BE CAPABLE OF SUPPORTING HEAVY TRAFFIC APPROPRIATE TO LOCAL JURISDICTION. ALL PHASES OF CONSTRUCTION SHALL BE CONDUCTED WITHIN THE RIGHT-OF-WAY.

EXISTING CONDITION NOTES:

1. THE SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. HORIZONTAL DATUM IS NAD 83 AND VERTICAL DATUM IS NAVD83.
3. THE DRAWING DOES NOT CONFORM TO N.C. STANDARDS AND THEREFORE IS NOT FOR RECORDATION.
4. UTILITIES SHOWN HEREIN ARE BASED ON RECORD DRAWINGS, FIELD SURVEY AND UTILITY INFORMATION. WARNING SERVICES PERFORMED BY STATEWIDE UTILITY AND THE AVAILABLE RECORD INFORMATION, CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. SURVEY INFORMATION COLLECTED BY TAYLOR AND CONSULTANTS P.L.L.C.
6. THESE SHOWN HEREIN MAY NOT REPRESENT ALL VEGETATION ON THE PROJECT PROPERTY.
7. NO WEEDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCELS SHOWN.

DEMOLITION NOTES:

1. REFER TO SHEET C0.00 FOR GENERAL NOTES.
2. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
3. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
4. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND NOTED TO BE REPLACED WITH NEW GRADES.
5. ANY UTILITIES SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE RELOCATION OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.
6. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" TELEPHONE NUMBER(S) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATION SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
7. CLEAN BODIES SHALL BE UTILIZED FOR BACKFILL. CONTRACTOR OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
8. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED THEREWITH TO BE REMOVED.
9. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
10. REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
11. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
12. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION.
13. EROSION CONTROL PERMIT SHALL BE OBTAINED AND COMPLETED PRIOR TO BEGINNING DEMOLITION.
14. ITEMS DESIGNATED TO BE SALVAGED AND/OR REUSED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
15. WHERE UTILITIES (TO BE REMOVED) IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL DISCUSS AND REMOVE AN ADDITIONAL 3 FEET OF SOILS TO EITHER SIDE OF THE PIPE AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE SOIL PIPE AND STRUCTURES REMOVED DURING IMPACT DRAINAGE SYSTEMS. THE SYSTEM, PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
17. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN SUCH A MANNER THAT THE SOIL PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR INTERRUPT TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, OR SIDEWALK AND CURB AND DRIVEWAYS AS A RESULT OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A PHOTOGRAPHIC RECORD OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.
19. ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SPECIFIED TO BE DEMOLISHED AND ARE DAMAGED AS A RESULT OF THE DEMOLITION OR REMOVAL OF THE CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
20. WHERE UTILITIES ARE SHOWN TO BE REMOVED, CONTRACTOR SHALL INCLUDE NECESSARY PIPES OR VALVES TO INSURE UTILITY LINES TO REMAIN. ALL CONTRACTS TO BE REPAIRED, COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.
21. CONTRACTOR SHALL PROVIDE PEDESTRIAN ACCESS/ EGRESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND KINDS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD.

MATERIALS AND FURNISHINGS NOTES:

1. ABBREVIATIONS FOR SPECIFIC HARDWARE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SETS. HARDWARE REQUIREMENTS, PAVING PATTERN PLANS AND SITE DETAILS.
2. REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, INSPECTION REQUIREMENTS, AND FOR RELATED PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE.
3. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SAMPLES AND REQUESTS FOR ALL CAST-IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

SITE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYOUT AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYOUT AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND BAY SPACING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE PERIMETER FENCE, WALKWAYS AND HANDICAP PARKING SPACES AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.
3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM BATTERY DRIVE UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNERS REPRESENTATIVE FOR AN ALTERNATE SITE OF ENTRY.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
5. ALL DIMENSIONS ARE IN DECIMAL FEET OUT TO THE FACE OF BUILDINGS. TO CENTERLINES, AND/OR FACE OF CURB/PAVEMENT, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
7. ALL WRITTEN DIMENSIONS SHALL PREVALE. DO NOT SCALE FROM DRAWINGS.
8. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE FINISHED PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DIMENSIONS.
9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALL ALN ALL JOINTS, CORNERS, AND EDGES AS SHOWN.
11. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO ANY CONSTRUCTION.
12. ALL CURB TAPERERS ARE 36 INCH FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.
13. WHERE NEW SIDEWALK ADJACENT EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING UNDER THE FACE OF THE EXISTING WALK FOR PLACEMENT OF CONCRETE. NEW SIDEWALKS NOT NEARER EXISTING PAVEMENT JUNT MATCH WIDTH OF EXISTING WALKWAY.
14. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 48 INCH AS MEASURED FROM THE FACE OF CURB.
15. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.
16. SIGHT TRIANGLES - NOTHING OVER 30 INCH SHALL BE ALLOWED WITHIN THE SIGHT TRIANGLE TRIANGLES.
17. THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.
18. HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.1 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND REMOVAL OF BUILT UP SURFACES. THE EXISTING CONCERN PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE OF 1:20 FOR RAMP OR MAXIMUM CROSS SLOPE OF 1:48. THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
19. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION HERE TO EXCEED FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

GRADING AND STORM DRAINAGE NOTES:

1. REFER TO SHEET C0.00 FOR GENERAL NOTES.
2. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
3. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5% AND SHALL NOT EXCEED 1:20 CROSS SLOPE. HANDICAP RAMPS REQUIRED ON PLAN SHALL BE A MINIMUM OF 48 INCH AS MEASURED FROM THE FACE OF CURB. HANDICAP SPACES SHALL HAVE HANDRAILS AND GRATES PER STATE'S STANDARDS AT THE BOTTOM AND TOP OF RAMP.
4. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND EXISTING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF DEBRIS AND DETRIMENT. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A MAINTENANCE PLAN FOR THE CARE OF ALL STORM DRAINAGE IMPROVEMENTS. IF ANY LAYOUT, THE MAINTENANCE PLAN SHALL BE PROVIDED TO THE OWNER. THE CONTRACTOR SHALL PROVIDE TWO (2) COPY COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.
6. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE DRAINAGE IMPROVEMENTS AND EXISTING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF DEBRIS AND DETRIMENT. THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING.
7. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION.
8. INTERIOR GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WINDSTORM.
9. INTERIOR GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT FLOODING.
10. THE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND STORM SYSTEM. CONTRACTOR TO FIELD VERIFY LOCALS AND RETAIN WHERE POSSIBLE OR AS SHOWN ON PLANS. WHERE ROOF LEADERS DRAINAGE AT GRADE, A SPLASH BLOCK APPROVED BY THE OWNERS REPRESENTATIVE SHALL BE INSTALLED.
11. MAXIMUM SLOPE ACROSS ANY HANDICAPED PARKING SPACE AND ASLE SHALL NOT EXCEED 1:20 IN ANY DIRECTION.
12. PROPOSED CONTOURS ARE APPROXIMATE. SLOPE ELEVATIONS AND DRAINAGE PROFILES SHALL BE USED IN CASE OF DISCREPANCY.
13. PLACE BACKFILL AND FILL MATERIAL IN LAYERS NOT MORE THAN 18 INCHES IN DEPTH PER FOR EACH LAYER. MATERIALS SHALL BE HEAVY COMPACTED EQUIPMENT, AND NOT MORE THAN 6 INCHES IN DEPTH FOR MATERIALS COMPACTED BY HAND-POWERED EQUIPMENT. PLACE BACKFILL AND FILL MATERIALS EVENLY ON LAYERS TO REQUIRED ELEVATION, AND IMPROVE ALONG THE FULL LENGTH OF EACH STRUCTURE. MATERIALS SHALL BE HEAVY COMPACTED EQUIPMENT, AND NOT MORE THAN 18 INCHES IN DEPTH FOR EACH LAYER OF BACKFILL. ON ALL MATERIALS UP TO TWO FEET OF FINISHED GRADE, COMPACT SOIL TO NOT LESS THAN 95% RELATIVE DENSITY, ACCORDING TO ASTM D 1557 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.
14. SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDINGS SHALL SLOPE NOT LESS THAN 1:20 AWAY FOR MINIMUM DRAINAGE OF 1:20. IF ALTERNATE METHOD SHALL BE PROVIDED TO DRAIN WATER AWAY FROM FOUNDATION. MIN SLOPES LOCATED AT A MINIMUM OF 2% OR DIFFERENTIAL SURFACES SLOPED AWAY A MINIMUM OF 2% AWAY FROM BUILDING.
15. CONTRACTOR SHALL ADJUST FIN ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
16. CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.
17. TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CURB UNLESS OTHERWISE NOTED.
18. BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.

PAVING PATTERN NOTES:

1. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF DEPTH PAVEMENT UNLESS OTHERWISE NOTED. USE OVERLAP PAVING PATTERN DURING CONSTRUCTION. PAVING PATTERN SHALL BE NOTED REFLECTIVE PAINT.
2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN. REFERENCE LAYOUT PLAN FOR FURTHER PAVING LAYOUT INFORMATION.
3. PAVEMENT ADJACENT TO TRUNCATED CORNERS SHALL BE A CONTRACTING CURB.
4. ALN ALL TRUNCATED CORNER PAVING JOINTS WITH FINISHING PAVING JOINTS.
5. PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN CURB AND ADJOINING PAVEMENT.
6. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT.
7. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.
8. ALL WRITTEN DIMENSIONS SHALL PREVALE. DO NOT SCALE FROM DRAWINGS.
9. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALN ALL JOINTS, CORNERS AND EDGES AS SHOWN.
11. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT.

SIGNAGE, STRIPING AND MARKING NOTES:

1. ALL INTERNAL ROADWAY SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING INTO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY PER DOT STANDARDS.
2. ALL PAVEMENT STRIPING (EXCEPT NEIGHBORHOOD PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO DOT STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
3. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO RETAIN CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ADJACENT BETWEEN HANDICAP WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY FORE LANE.
4. ADA SYMBOLS SHOW THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PRINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SYMBOLS.

UTILITY NOTES:

1. REFER TO SHEET C0.00 FOR GENERAL NOTES.
2. UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
3. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF HANDICAPPED SIDEWALKS (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THE PROJECT WITH THE BUILDING PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN THE (5) FEET OF THE BUILDING CONNECTION POINT.
4. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SEAMLESS TRANSITION BETWEEN SUBSYSTEMS.
5. THE CONTRACTOR SHALL COORDINATE ALL NEIGHBORHOOD AND VEHICULAR INTERRUPTIONS WITH OWNERS REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
6. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNDER THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE ADOPT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL. SIGNAGE WORK WITHIN THE PUBLIC RIGHTS OF WAY.
7. THE CONTRACTOR SHALL NOT REUSE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT SHOWN TO BE REMOVED OR REDUCED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.
8. ALL EXISTING SUBSURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPLICABLE LOCATION BASED ON SURVEY INFORMATION AND FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR UTILITIES SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
9. ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE. WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF UTILITIES, THE CONTRACTOR SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER. WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATION AND ELEVATION SHALL ALSO BE REPORTED TO THE ENGINEER.
10. UNDERGROUND UTILITIES SHOWN ON THE PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, SIDEWALK, CURB OR OUTLET OF CONCRETE WALKS. PAVES. IF UTILITIES SHOWN ON THE PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF SIDEWALKS, ASPHALT, CONCRETE, OR OUTLET SHALL BE INSTALLED FOR THE FUTURE UTILITY INSTALLATION.
11. ALL BUILDING DOCUMENTS DERIVED FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS IN BOTH PAPER AND ELECTRONIC FORM. COPY PERMITS AND QUALITY ASSURANCE REQUIREMENTS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUBSURFACE CONDITIONS REFERENCED BY THESE PLANS AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

PROPOSED UTILITY SEPARATION:

1. WATER MAIN SHALL BE Laid AT LEAST 18 INCH HORIZONTAL FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 12 INCH HORIZONTAL SEPARATION IN WHICH CASE:
 - a. THE WATER MAIN IS Laid IN A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER OR
 - b. THE WATER MAIN IS Laid IN THE SAME TRENCH AND THE SEWER MAIN THE WATER MAIN LOCATED AT ONE SIDE OF A BAY OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
2. CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE Laid AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 5 FEET ON EACH SIDE OF THE POINT OF CROSSING.
3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 5 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
4. SEPARATION OF SANITARY SEWERS AND STORM SEWERS:
 - a. A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN SEWER AND SANITARY SEWERS LINES BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

SEWER NOTES:

1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 48 IN.
3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (E.G. GRASS OR WOODS AREAS) SHALL HAVE THEIR TOPS RAISED 36 INCHES ABOVE THE SURROUNDING GROUND. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATER TIGHT BOLTED LIDS.
4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
 - a. SEWER SERVICE - 1:20% SLOPE
 - b. SEWER SERVICE - 1:20% SLOPE
 - c. SEWER SERVICE - 1:20% SLOPE

SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE CLASS B OUTLET FROM PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW.

1. SEWER LINES ENTERING UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL VALVE SHALL BE UTILIZED WITH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE CONNECTION IN SUCH A MANNER THAT IT IS NOT POSSIBLE FOR DEBRIS TO ENTER THE NEW SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE VALVE AND THE VALVE SHALL BE PROTECTED FROM AN INFLUX OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO MAINTAIN DEBRIS AND VALVE PRIOR TO OCCUPANCY.
2. SEWER LINES ENTERING UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL VALVE SHALL BE UTILIZED WITH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE CONNECTION IN SUCH A MANNER THAT IT IS NOT POSSIBLE FOR DEBRIS TO ENTER THE NEW SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE VALVE AND THE VALVE SHALL BE PROTECTED FROM AN INFLUX OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO MAINTAIN DEBRIS AND VALVE PRIOR TO OCCUPANCY.

WATER NOTES:

1. AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI/AWWA C151 PERMANENT CLASS 300 OR DUCT COPIES TYPE 1 PIPE PER ASTM A153. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C900 CLASS 200.
2. ALL WATERLINES SHALL HAVE A MINIMUM OF 36 INCH OF COVER.
3. TESTING NOTES:
 - a. PRESSURE TEST SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C900. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION. BACKFILL SHALL BE PLACED TO THE TOP OF THE PIPE AND THE PIPE SHALL BE PROTECTED FROM DAMAGE.
 - b. TWO SAMPLES FOR BACTERIAL LOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 48 HOURS APART. IF CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
4. THE CHLORINE BY-PRODUCT OF CHLORINATED WATER IS USED FROM WATER NEEDS TO BE MINIMIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.
5. PART VALVE COVER, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

DATE: 03/20/2025
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: C0.20

SHEET NO.

C0.20

GENERAL NOTES

DATE: 03/20/2025
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: C0.20

SHEET NO.

C0.20

GENERAL NOTES

DATE: 03/20/2025
DRAWN BY: JMM
CHECKED BY: JMM
PROJECT: C0.20

SHEET NO.

C0.20

GENERAL NOTES




SITE LEGEND:

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED BRICK SIDEWALK
[Pattern]	PROPOSED HEAVY DUTY PAVEMENT
[Pattern]	PROPOSED CONCRETE PAVERS
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Pattern]	PROPOSED 6' WIDE STANDARD CROSSWALK
[Pattern]	PROPOSED 12' WIDE HIGH VISIBILITY CROSSWALK
[Pattern]	PROPOSED SIGN
[Pattern]	PROPOSED ADA PARKING SPACE
[Pattern]	PROPOSED KEYSTONE WALL
[Pattern]	PROPOSED CIP WALL
[Pattern]	PROPOSED WHEEL STOP
[Pattern]	PROPOSED GRAVEL TRAIL
[Pattern]	PROPOSED ASPHALT TRAIL
[Pattern]	PROPOSED TREELINE
[Pattern]	PROPOSED FENCE
[Pattern]	PROPOSED VEHICLE GATE (X' WIDE)
[Symbol]	PROPOSED LIGHT
[Symbol]	PROPOSED BIKE RACK
[Symbol]	PROPOSED BENCH
[Symbol]	PROPOSED BOLLARD
[Symbol]	PROPOSED PEDESTRIAN STEEL PLATE
[Pattern]	LIMITS OF DISTURBANCE

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND SITEMOTES.


INFILL SETBACK CALCULATIONS	
ADDRESS	SETBACK TO CENTERLINE
1609	69.98
1621	83.29
1625	63.57
1627	49.18
MEDIAN	66.775
(+/-) 25% MEDIAN	52.49-87.48
PROVIDED SETBACK	70.43' - 73.14'




SWIFT PARTNERS
FIRM LICENSE: P-2187

No.	Date	Description

VICINITY




SCALE



SCALE: 1" = 20'

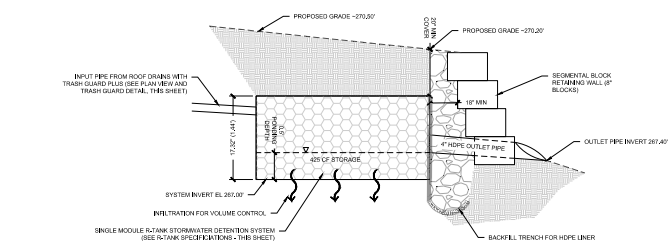
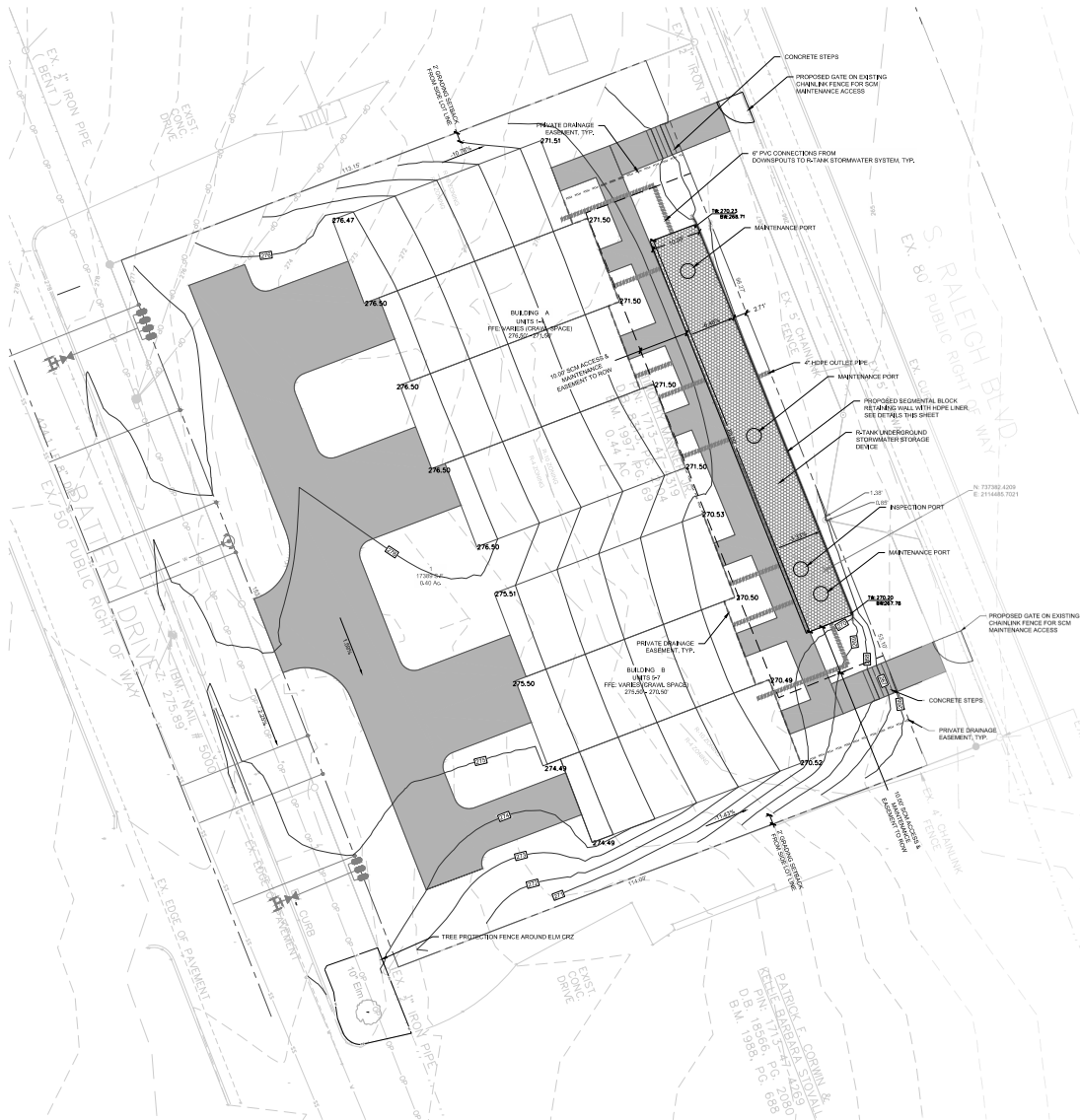
ARROW



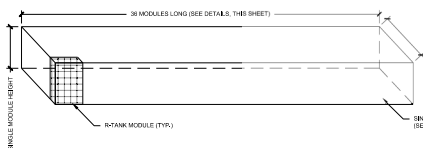
DATE: 2023.09.29
DRAWN BY: RMM
CHECKED BY: JMM
PROJECT # C3.01

SHEET TITLE
SUBDIVISION INFILL SETBACKS

SHEET NO.
C3.01

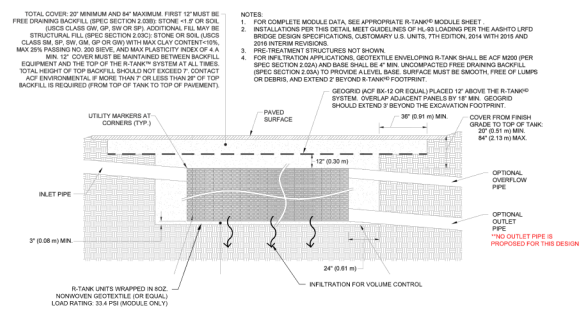


PROPOSED R-TANK CROSS SECTION

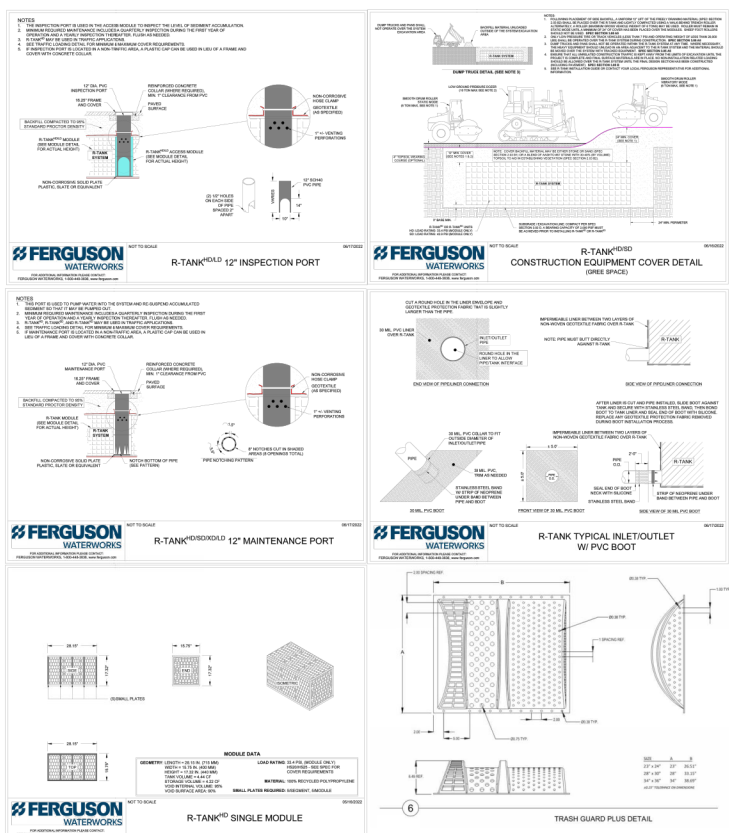


PROPOSED R-TANK (7 X 36 1-MODULE HIGH TANK)

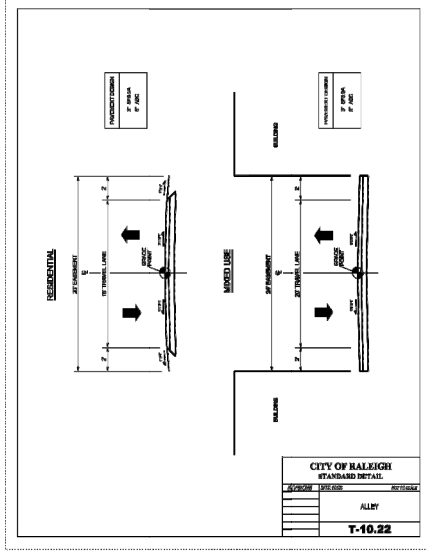
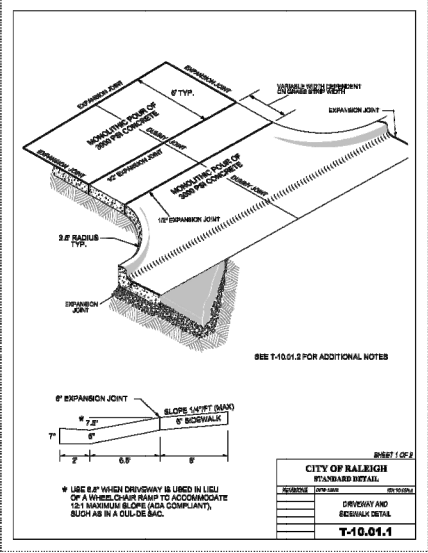
R-TANK DETAIL SECTION VIEW

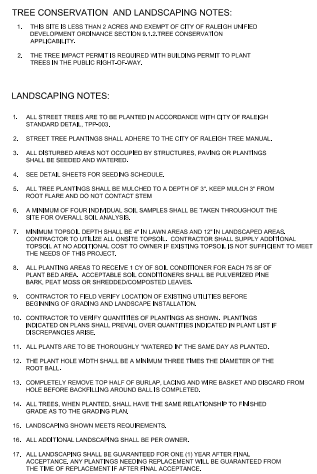


- GRADING LEGEND:**
- | SYMBOL | DESCRIPTION |
|--------|-------------------------|
| — | LIMITS OF DISTURBANCE |
| — | PROPOSED MAJOR CONTOUR |
| — | PROPOSED MINOR CONTOUR |
| — | EXISTING MAJOR CONTOUR |
| — | EXISTING MINOR CONTOUR |
| — | PROPOSED STORM DRAINAGE |
| — | PROPOSED JUNCTION BOX |
| — | PROPOSED CATCH BASIN |
| — | PROPOSED AREA DRAIN |
| — | RIPRAP DISSEMINATOR |
| — | FLOW DIRECTION |
| — | PROPOSED ELEVATION |
| — | TOP/BOTTOM OF CURB |
| — | TOP/BOTTOM OF WALL |
- NOTES:**
- SEE SHEET C5.10 FOR GENERAL AND GRADING NOTES.
 - THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH LIMITED DEVELOPMENT ORDINANCE SECTION 8.1.2 TREE CONSERVATION APPLICABILITY.
- ADA NOTES**
- PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
 - PROPOSED ACCESSIBLE ROUTE TO RIGHT OF WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
 - RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCBC SECTION 101.5.
 - HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCBC SECTION 101.2.



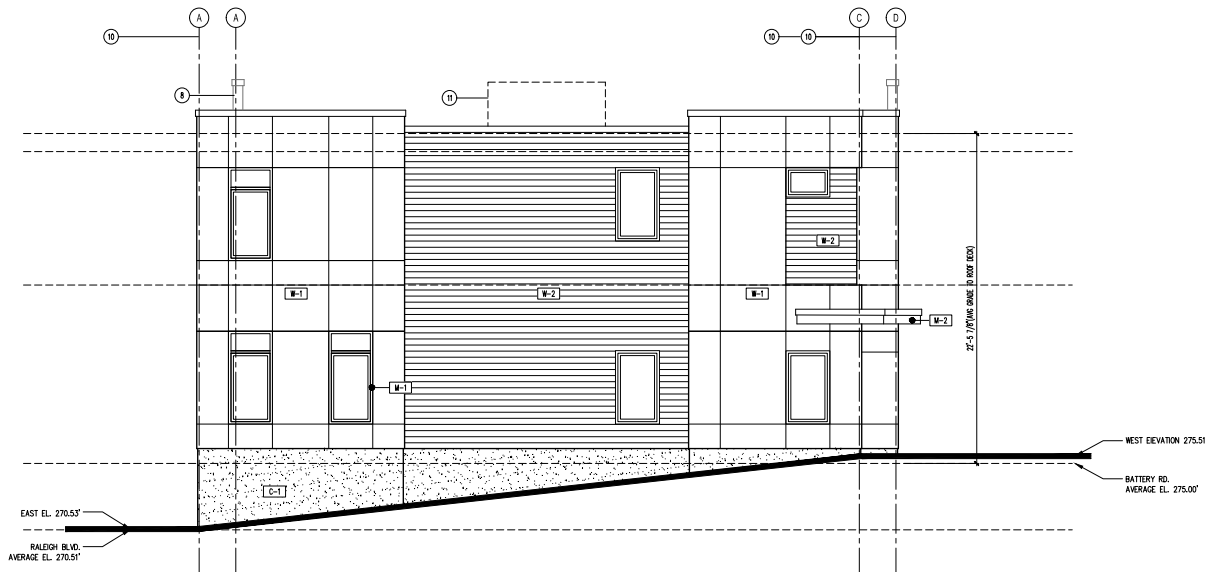
AVERAGE GRADE CALCULATIONS BUILDING A			AVERAGE GRADE CALCULATIONS BUILDING B		
BATTERY DR			BATTERY DR		
HIGHEST PROPOSED GRADE	276.50		HIGHEST PROPOSED GRADE	275.51	
LOWEST PROPOSED GRADE	276.47		LOWEST PROPOSED GRADE	274.49	
AVERAGE GRADE	276.49		AVERAGE GRADE	275.00	
RALEIGH BLVD			RALEIGH BLVD		
HIGHEST PROPOSED GRADE	271.51		HIGHEST PROPOSED GRADE	270.53	
LOWEST PROPOSED GRADE	271.5		LOWEST PROPOSED GRADE	270.49	
AVERAGE GRADE	271.51		AVERAGE GRADE	270.51	



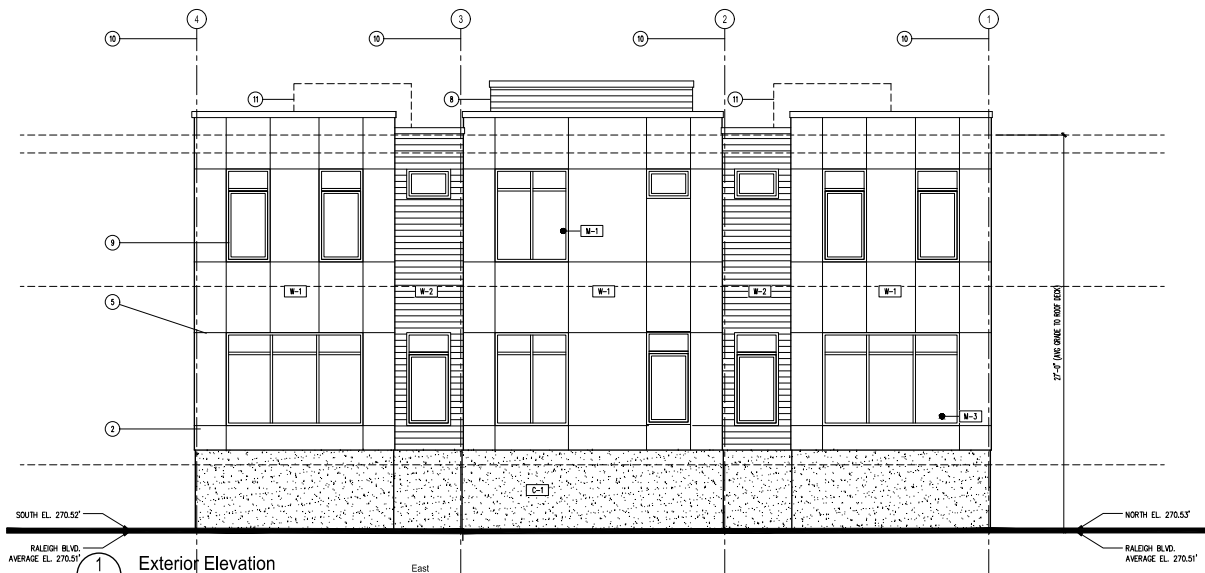


KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
		UNDERSTORY TREES				
CM	7	LAGERSTROMIA SPECIOSA	CRANFERRY TREE	10-12"	10-120"	8-10'

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
		UNDERSTORY TREES				
SSM	4	AJACER FLORIDANA	SOUTHERN SUGAR MAPLE	10-12"	24-30"	50-60'



2 Exterior Elevation
North
SCALE: 1/4"=1'-0"



1 Exterior Elevation
East
SCALE: 1/4"=1'-0"

- Notes:**
1. ALL EXTERIOR GLASS TO BE QLR, LOW "E".
 2. ALL STOREFRONT MILLIONS TO BE VINYL FINISH, COLOR T.B.D. U.N.O.
 3. UNLESS OTHERWISE INDICATED, ALL EXTERIOR WALL AND SOFFIT SURFACES SHALL BE COVERED WITH ONE LAYER 1/2" EXTERIOR PLYWOOD SHEATHING AND ONE LAYER OF VAPOR BARRIER.
 4. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
 5. ALL MATERIALS MUST BE SUBMITTED TO NEW CITY DESIGN GROUP FOR APPROVAL.
 6. SUBMIT SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.
 7. PATCH/REPAIR ALL DAMAGED TRIM/DETAILING AS NEEDED FOR UNIFORM "LIKE-NEW" APPEARANCE.

- Elevation Keynotes:**
- 1) CONC. STEPS - ADJUST RISER HEIGHTS AS REQUIRED TO MEET GRADE AND CODE REQUIREMENT
 - 2) FIBER CONCRETE SIDING (PANEL)
 - 3) ROLL UP DOOR SYSTEM
 - 4) METAL CLAD CANOPY
 - 5) MTL. REGLET/REVEAL
 - 6) FIBER CONCRETE SIDING (LAP)
 - 7) METAL TRIM AND COPING
 - 8) MECHANICAL EQUIPMENT, LESS THAN 42" ABOVE ROOF SURFACE SCREENED BY PARADEL WALL
 - 9) WINDOW SYSTEM - RE: SCHEDULE
 - 10) C/L BETWEEN UNITS/PROP. LINE
 - 11) MECHANICAL ROOF SCREEN AS NEEDED

Finish Schedule:

Exterior Materials	
W-1	TYPE: HARD-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: BUILDING EXTERIOR AS SHOWN
W-2	TYPE: HARD-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: AS SHOWN
W-3	TYPE: HARD-PANEL SIDING MANUFACTURER: JAMES HARDIE OR EQUAL COLOR: TBD LOCATION: AS SHOWN
T-1	TYPE: - LOCATION: - NOTE: -
T-2	TYPE: - LOCATION: - NOTE: -
M-1	TYPE: METAL WINDOW MILLION LOCATION: TBD NOTE: TO MATCH STOREFRONT SYSTEM
M-2	TYPE: METAL CANOPY LOCATION: - NOTE: ABOVE GROUND FLOOR STOREFRONT AS SHOWN
M-3	TYPE: METAL RAILING LOCATION: TBD NOTE: ABOVE CONCERT DECK FLOOR AS SHOWN
C-1	TYPE: CONC. LOCATION: TBD NOTE: ABOVE STOREFRONT SIDING PANEL AS SHOWN
-	TYPE: - LOCATION: - NOTE: -
-	TYPE: MANUFACTURER: LOCATION: - NOTE: -

Building B - Grade Calculations:

RALEIGH BLVD.	
HIGHEST PROPOSED GRADE	270.53'
LOWEST PROPOSED GRADE	270.49'
AVERAGE GRADE	270.51'
BATTERY DR.	
HIGHEST PROPOSED GRADE	275.51'
LOWEST PROPOSED GRADE	274.48'
AVERAGE GRADE	275.00'

1304 HILLSBOROUGH ST.
RALEIGH, NC 27605
919.881.1304
FAX 919.881.9787

DAY MONTH YEAR

NOT FOR CONSTRUCTION

☒ PROGRESS PRINT
☐ HEALTH DEPT. PLAN CHECK
☐ BUILDING DEPT. PLAN CHECK
☐ BID SET
☐ CONSTRUCTION SET
☐ SUBMITTAL DOCUMENT

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RDG
Battery Townhomes
Battery Drive
Raleigh, NC
--- SET

DESIGNER : -
 DRAWN : -
 CHECKED : -
 SCALE : AS SHOWN
 JOB NUMBER :
 SHEET TITLE: Exterior Elevations
 Building B
 SHEET NUMBER
 A202B