

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

## GENERAL INFORMATION

Development name: \_\_\_\_\_

Inside City limits? Yes  No

Property address(es): \_\_\_\_\_

Site P.I.N.(s): \_\_\_\_\_

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Current Property Owner(s):

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

### Applicant Name (If different from owner. See "who can apply" in instructions):

Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: \_\_\_\_\_ Address: \_\_\_\_\_

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage: 0.92	Existing gross floor area to be demolished:
# of parking spaces proposed: 22	New gross floor area:
Max # parking permitted (7.1.2.C): 37	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s):  Existing (sf) <u>4,192</u> Proposed total (sf) <u>29,516</u>	Impervious Area for Compliance (includes ROW):  Existing (sf) <u>4,192</u> Proposed total (sf) <u>29,516</u>

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	





**ZONING CONDITIONS:**

**TCZ-28-22 - 0 BUFFALOE ROAD**, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) [MODIFIED CONDITIONS].

AMENDED CONDITIONS DATED: APRIL 13, 2022

A. CONDITION: THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINS) 1746-42-7078 (DEED BOOK I 6 I 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 759, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.

MEANS OF COMPLIANCE: PROJECT IS NOT ADJACENT TO PROPERTIES LISTED IN THIS CONDITION.

B. CONDITION: PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:

- i. DORMITORY, FRATERNITY, SORORITY;
- ii. ADULT ESTABLISHMENTS;
- iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
- iv. FUNERAL HOME;
- v. ANIMAL CARE (INDOOR);
- vi. VETERINARY CLINIC/HOSPITAL;
- vii. DETENTION CENTER, JAIL, PRISON;
- viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
- ix. EMERGENCY SHELTER - TYPE B;
- x. BOWLING ALLEY;
- xi. MINI-WAREHOUSE STORAGE FACILITY.

MEANS OF COMPLIANCE: THE RETAILS SALES USE BEING PROPOSED NOT DOES FALL INTO A PROHIBITED USE CATEGORY LISTED.

C. CONDITION: THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A.I - IX SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT FACILITATE VEHICLE FUEL SALES.

D. CONDITION: THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) USE SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT FACILITATE VEHICLE SALES/RENTAL OR REPAIRS.

E. CONDITION: NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS. AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.

MEANS OF COMPLIANCE: THE BUILDING BEING PROPOSED DOES NOT EXCEED THE AREA LIMITS.

F. CONDITION: OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT OFFICE OR INSTITUTIONAL USE AND DOES NOT EXCEED THE AREA LIMITS.

G. CONDITION: RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT BE USED FOR RESIDENTIAL DWELLINGS.

H. CONDITION: NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT EXCEED THE HEIGHT OR STORY LIMITS.

I. CONDITION: POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE. NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.

MEANS OF COMPLIANCE: PROPOSED LIGHTING IS LESS THAN 35 FEET IN HEIGHT. NO LIGHTING PROPOSED IN BUFFER AREAS OR PROTECTIVE YARDS.

J. CONDITION: PRIOR TO LOT RECORDATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA. THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.

MEANS OF COMPLIANCE: THE OWNER OF THE PROPERTY WILL DEED THE STATED TRANSIT EASEMENT TO THE CITY PRIOR TO BUILDING PERMIT.

K. CONDITION: UNTIL THE THREE LANES ON THE BUFFALOE ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.

MEANS OF COMPLIANCE: THE PROPOSED BUILDING DOES NOT EXCEED THE AREA LIMITS.

L. CONDITION: DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.

1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALOE ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALOE ROAD.

MEANS OF COMPLIANCE: PARKING IS NOT PROPOSED ALONG THE FRONTAGE OF BUFFALOE ROAD WITH THIS BUILDING.

2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF-WAY OF EITHER BUFFALOE ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.

MEANS OF COMPLIANCE: NO PARKING PROPOSED WITH THIS BUILDING IS WITHIN 25 FEET OF RIGHT-OF-WAY OF BUFFALOE ROAD OR FORESTVILLE ROAD.

3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED ALONG INTERNAL STREET NETWORK.

4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED CONNECT FROM THE BUILDING MAIN ENTRANCE TO PUBLIC SIDEWALK.

5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.

MEANS OF COMPLIANCE: SIDEWALKS ALONG PUBLIC AND PRIVATE ROADWAY NETWORK ARE A MINIMUM OF 6 FEET WIDE.

M. CONDITION: AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT AN APARTMENT.



KH PROJECT	017270019
DATE	05/08/2024
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW

**ZONING CONDITIONS**

AUTOZONE  
LOT 4B  
PREPARED FOR  
VENTURE SOUTH  
INVESTMENTS LLC

RALEIGH NC

SHEET NUMBER  
**C002**



Know what's below.  
Call before you dig.





**LEGEND**

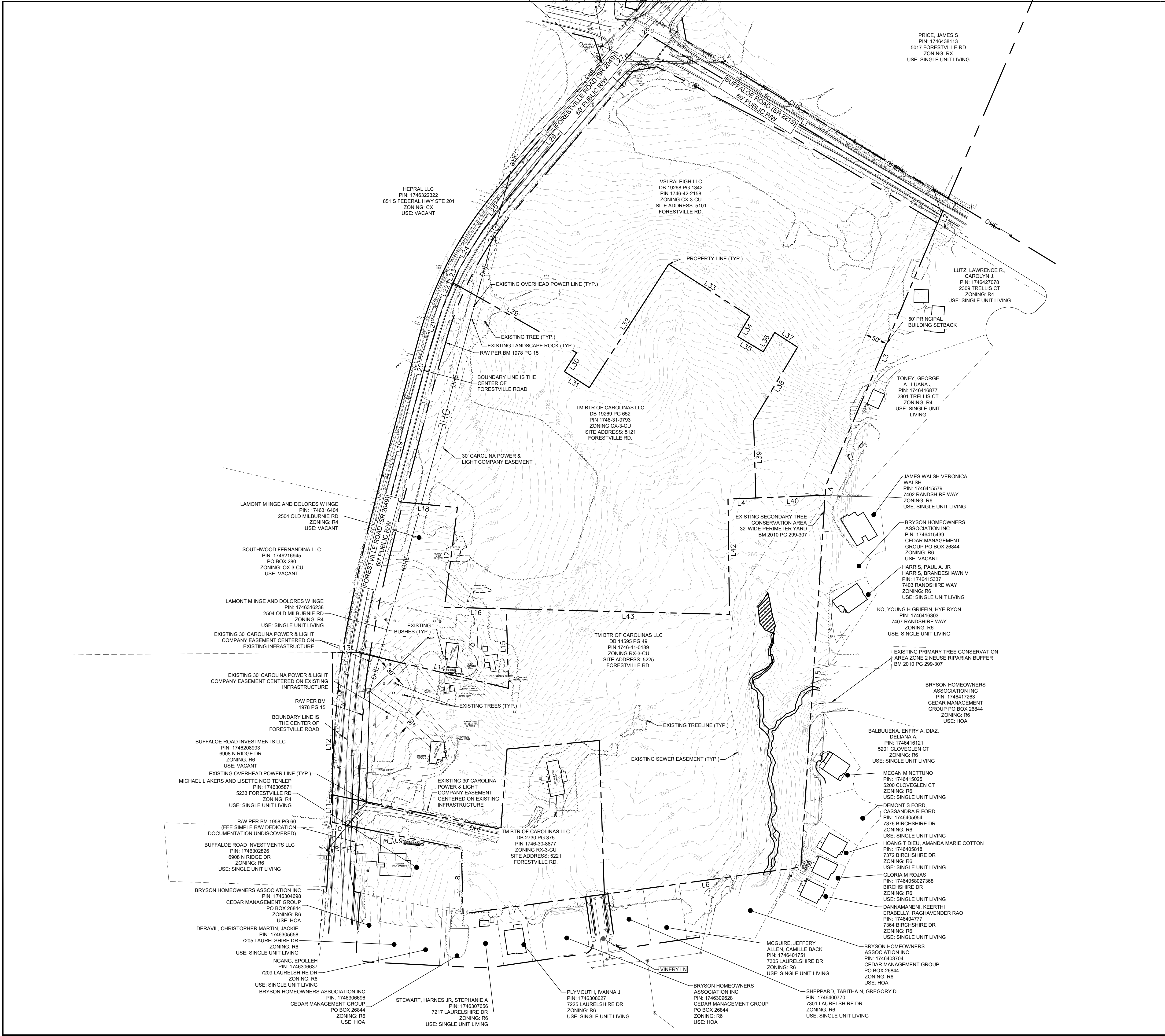
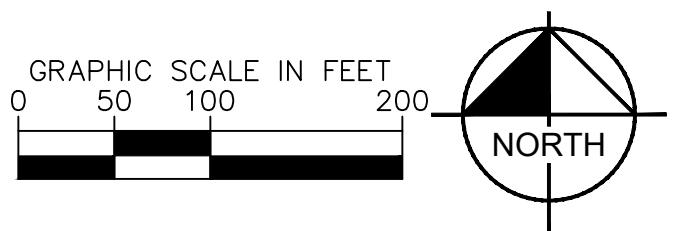
EXISTING IRON PIN	○ EIP
EXISTING REBAR	○ EIR
NO POINT SET	● NPS
IRON REBAR SET	● IRS
CABLE PEDESTAL	○ C/P
TELEPHONE MANHOLE	○ T/MH
TELEPHONE PEDESTAL	○ T/PE
FLOOD LIGHT	○ FL
GUY WIRE	○ GW
LIGHT POLE	○ LP
ELECTRIC MANHOLE	○ E/MH
ELECTRIC METER	○ E/M
ELECTRIC TRANSFORMER	○ E/T
UTILITY POLE	○ U/P
BOLLARD	○ B
GAS METER	○ G/M
GAS VALVE	○ G/V
SEWER CLEAN OUT	○ S/CO
SEWER MANHOLE	○ S/MH
SIGN	○ S
CATCH BASIN	○ C/B
CURB INLET	○ C/I
DROP \ YARD INLET	○ D/Y
FLARED END SECTION	○ F/ES
STORM MANHOLE	○ S/MH
HANDICAP	○ H
FIRE HYDRANT	○ F/H
WATER MANHOLE	○ W/MH
WATER METER	○ W/M
WATER VALVE	○ W/V
WELL	○ W
MANHOLE	○ M/H
PRESSURE INDICATOR VALVE	○ P/IV
TREE	○ T
RIGHT-OF-WAY	— R/W
CONCRETE MONUMENT	— CM
CHORD	— CH
SIGHT EASEMENT	— SE
DEED BOOK	— DB
PLAT BOOK	— PB
CURB AND GUTTER	— C&G
REINFORCED CONIC PIPE	— RCP
CORRUGATED METAL PIPE	— CMP
CORRUGATED PLASTIC PIPE	— CPP
BOUNDARY LINE	— B/L
RIGHT-OF-WAY LINE	— R/O-W
UNSURVEYED PROPERTY LINE	— U/S
SANITARY SEWER LINE	— SS
UNDERGROUND ELECTRIC LINE	— UE
ELECTRIC LINE	— E
TREE LINE	— T
WATER LINE	— W
FENCE LINE	— F
EDGE OF GRAVEL	— EG
EDGE OF PAVEMENT	— EP
TELEPHONE LINE	— T
UNDERGROUND TELEPHONE LINE	— UT
OVERHEAD UTILITY EASEMENT	— OHU
UNDERGROUND FIBER OPTICS	— FO

**LINE TABLE**

LINE	LENGTH	BEARING
L1	764.47	S59°07'26.29"E
L2	30.74	S23°04'05.37"W
L3	633.07	S23°04'05.37"W
L4	22.92	S5°35'15.40"W
L5	829.16	S3°44'26.30"W
L6	441.17	S82°07'45.05"W
L7	317.26	S82°07'45.05"W
L8	145.02	N1°30'57.28"W
L9	267.29	N78°28'48.79"W
L10	24.61	N78°28'48.79"W
L11	61.24	N0°06'44.21"W
L12	316.88	N0°03'25.12"W
L13	53.29	N89°11'38.92"E
L14	347.80	S76°36'46.72"E
L15	177.16	N1°40'30.84"W
L16	137.39	N88°33'19.34"W
L17	223.42	N7°20'34.02"E
L18	151.91	N84°13'36.96"W
L19	240.47	N14°49'18.12"E
L20	100.00	N15°07'33.71"E
L21	100.00	N16°52'33.71"E
L22	100.00	N22°56'33.71"E

**LINE TABLE**

LINE	LENGTH	BEARING
L23	100.00	N22°56'33.71"E
L24	100.00	N31°35'33.71"E
L25	100.00	N37°54'33.71"E
L26	314.09	N40°02'33.71"E
L27	148.75	N41°36'33.71"E
L28	7.50	N42°21'03.71"E
L29	315.05	S60°29'33.00"E
L30	50.00	S32°43'57.00"W
L31	66.00	S57°16'03.00"E
L32	326.73	N32°43'57.00"E
L33	214.52	S57°09'15.00"E
L34	52.29	S30°51'36.00"W
L35	66.00	S59°08'24.00"E
L36	50.00	N30°51'36.00"E
L37	60.37	S57°09'15.00"E
L38	190.71	S30°51'36.00"W
L39	171.81	S1°40'31.00"E
L40	216.19	S87°47'15.59"W
L41	216.19	S87°47'15.59"W
L42	256.75	S0°42'03.96"E
L43	496.49	N88°33'19.34"W



No.	REVISIONS	DATE	BY

**Kimley** **Horn**

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 300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540  
 WWW.KIMLEY-HORN.COM  
 NC LICENSE #P-9162

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	05/08/2024
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	KLW
CHECKED BY	

**EXISTING CONDITIONS**

**AUTOZONE LOT 4B**  
 PREPARED FOR  
**VENTURE SOUTH INVESTMENTS LLC**

SHEET NUMBER  
**C100**

RALEIGH, NC

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



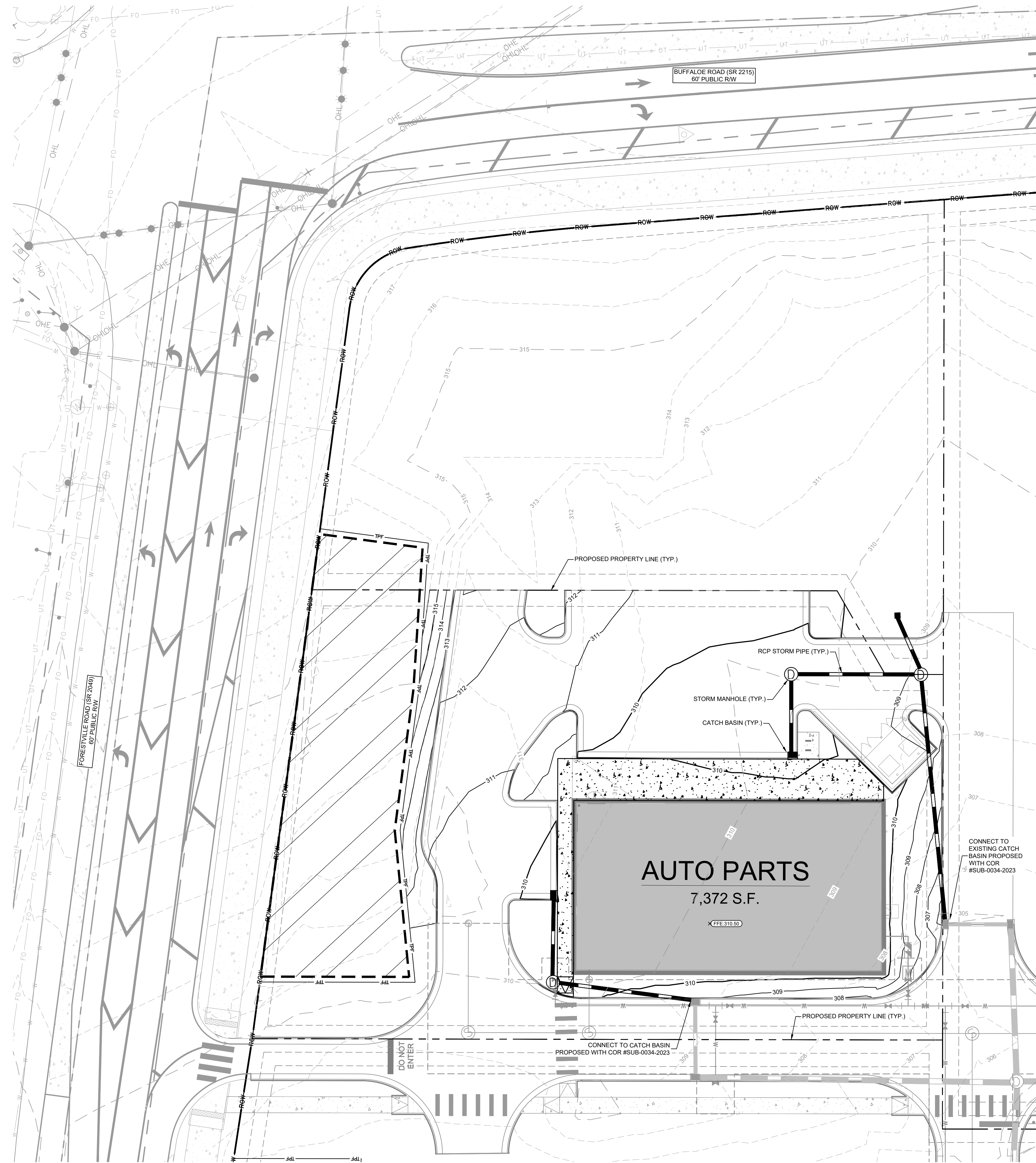




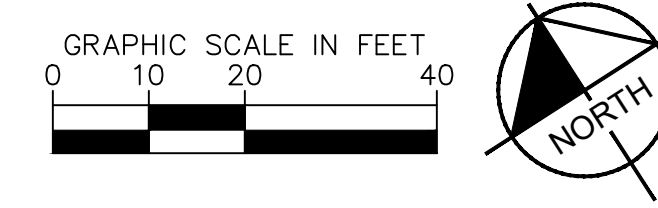




Plotted By: Larson, Sydney Sheet Set: Autozone ASR Layout: C300 GRADING AND DRAINAGE PLAN May 08, 2024 04:45:52pm K:\CHL\_P\017270 Taylor Morrison\018 Raleigh-Buffaloe\02 - DWG\PlanSheets\Autozone ASR PlanSheets\C300 - GRADING AND DRAINAGE PLAN.dwg



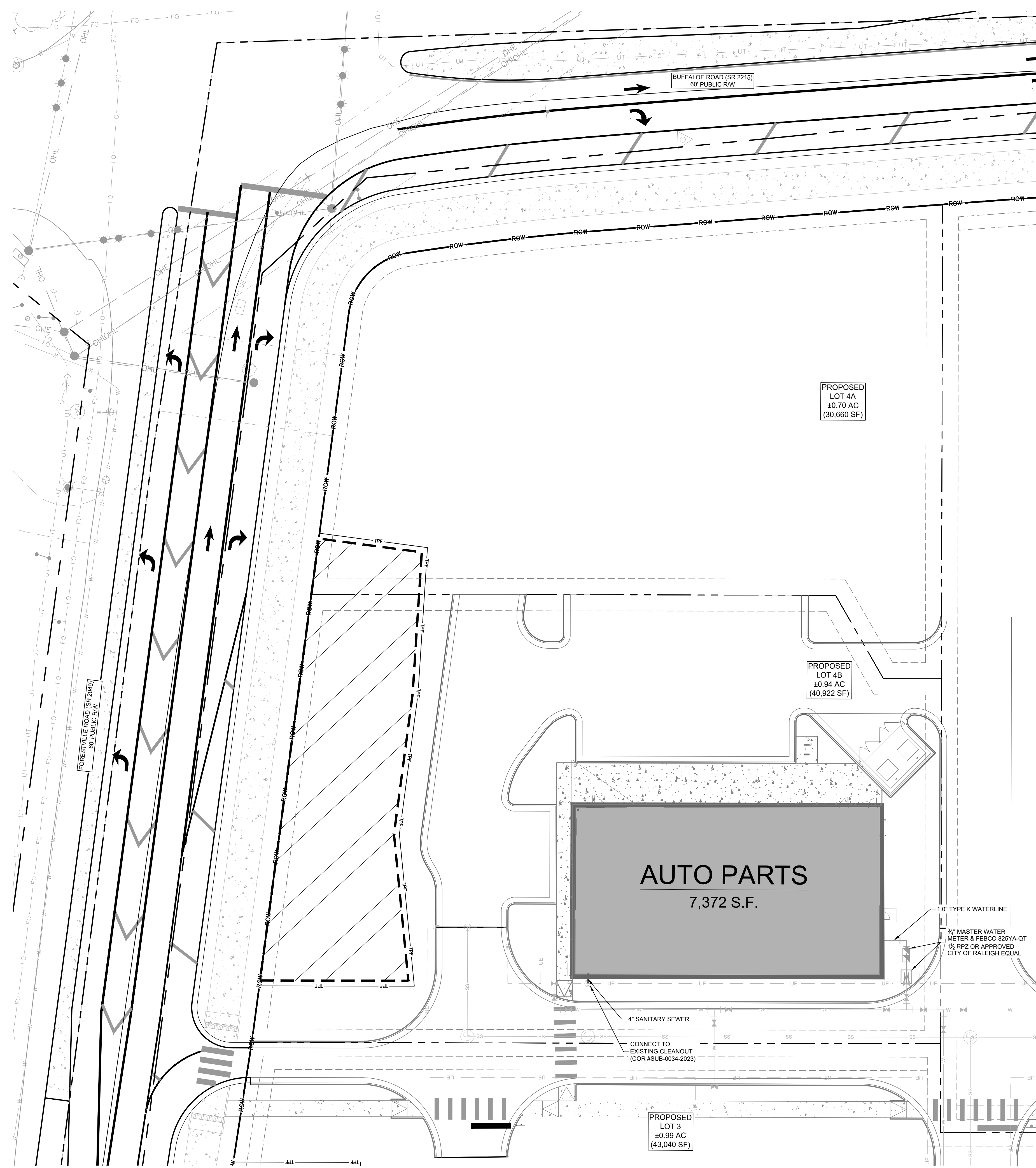
GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	RIGHT-OF-WAY
---	CURB AND GUTTER	---	STORM DRAIN
---	PROPOSED MAJOR CONTOUR	---	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	EXISTING MINOR CONTOUR
---	SPOT ELEVATION	---	LIMITS OF DISTURBANCE
---	CATCH BASIN (CB)	---	PRIMARY TREE CONSERVATION AREA
---	MANHOLE (SDMH)	---	SECONDARY TREE CONSERVATION AREA
---	RETAINING WALL	---	AMENITY AREA



<p><b>Kimley</b> <b>Horn</b></p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC.          300 SOUTH MAIN ST, SUITE 212, HOLLY SPRINGS, NC 27540          WWW.KIMLEY-HORN.COM          NC LICENSE #P-902</p>	<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p>	<p>KH PROJECT: 017270019          DATE: 05/08/2024          SCALE: AS SHOWN          DESIGNED BY: JMC          DRAWN BY: JMC          CHECKED BY: K/LW</p>	<p>DATE</p>
	<p><b>GRADING AND DRAINAGE PLAN</b></p>	<p>RALEIGH</p>	<p>NO.</p>
<p><b>AUTOZONE LOT 4B</b> PREPARED FOR VENTURE SOUTH INVESTMENTS LLC</p>	<p>NC</p>	<p>SHEET NUMBER <b>C300</b></p>	<p>REVISIONS</p>

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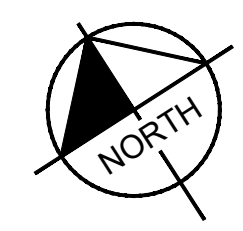
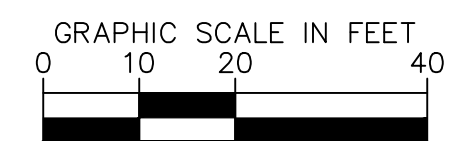




UTILITY LEGEND			
---	PROPERTY BOUNDARY	---	ROW - RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE
RD	ROOF DRAIN	UE	UTILITY EASEMENT
M	WATER METER	GV	GATE VALVE
C	POINT OF CONNECTION	BPV	BACKFLOW PREVENTOR
T	PIPE TEEBENDS	SSCO	SANITARY SEWER CLEANOUT (SSCO)
FH	FIRE HYDRANT (FH)	SSCR	SANITARY SEWER CLEANOUT TRAFFIC RATED
FDC	FIRE DEPARTMENT CONNECTION (FDC)	SMH	SANITARY SEWER MANHOLE (SMH)

**CITY OF RALEIGH STANDARD UTILITY NOTES (AS APPLICABLE):**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
  - UTILITY SEPARATION REQUIREMENTS:
    - A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S-49).
    - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGH.NC.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
  - THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
  - THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
  - THE DEVICE SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.NC.GOV FOR MORE INFORMATION.
  - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.
- ADDITIONAL UTILITY NOTES:**
- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (NCFC 503.2.3).
  - MAXIMUM ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 827 GPD.
  - ALL CLEANOUTS LOCATED IN TRAVEL LANES MUST BE TRAFFIC RATED.



<h1 style="margin: 0;">UTILITY PLAN</h1>	<p>RALEIGH</p>
<p><b>AUTOZONE</b> <b>LOT 4B</b> PREPARED FOR <b>VENTURE SOUTH</b> <b>INVESTMENTS LLC</b></p>	<p>NC</p>
<p>SHEET NUMBER <b>C400</b></p>	<p>NO. _____</p> <p>DATE _____</p> <p>REVISIONS _____</p> <p>BY _____</p>

**Kimley-Horn**

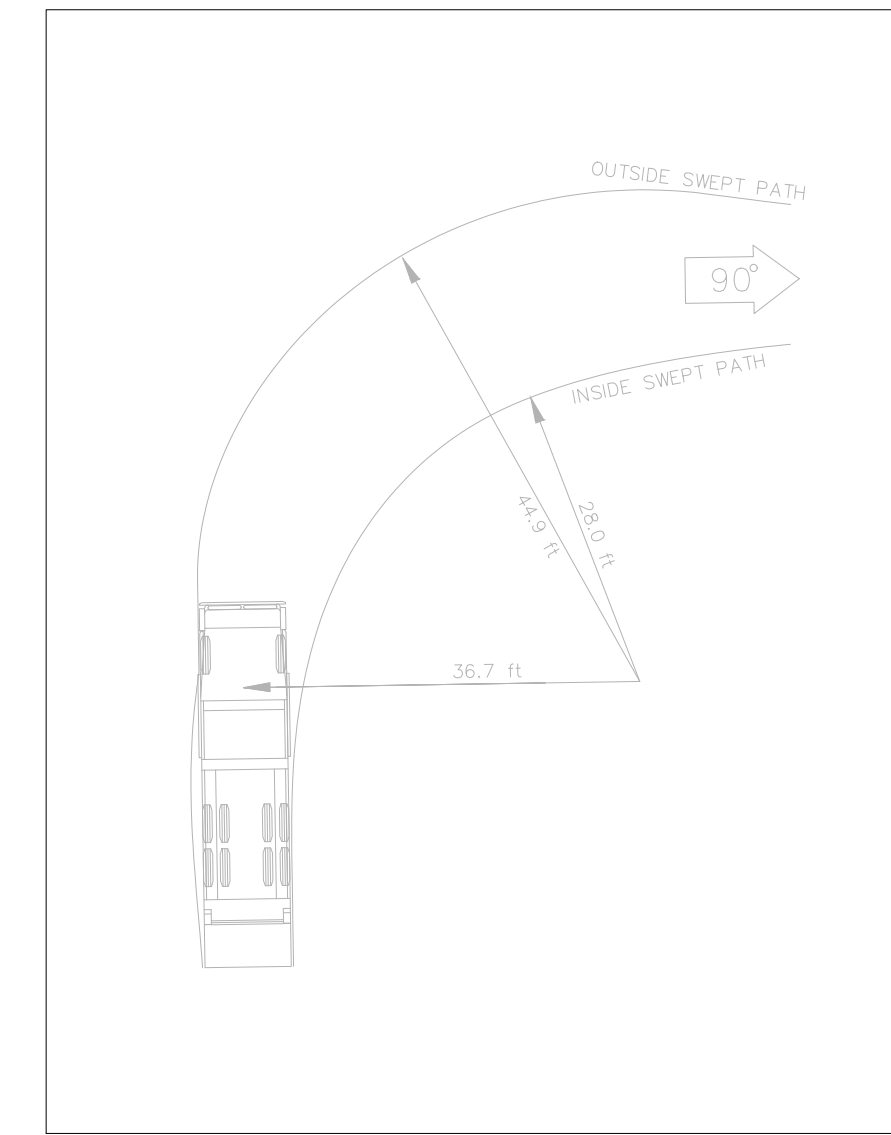
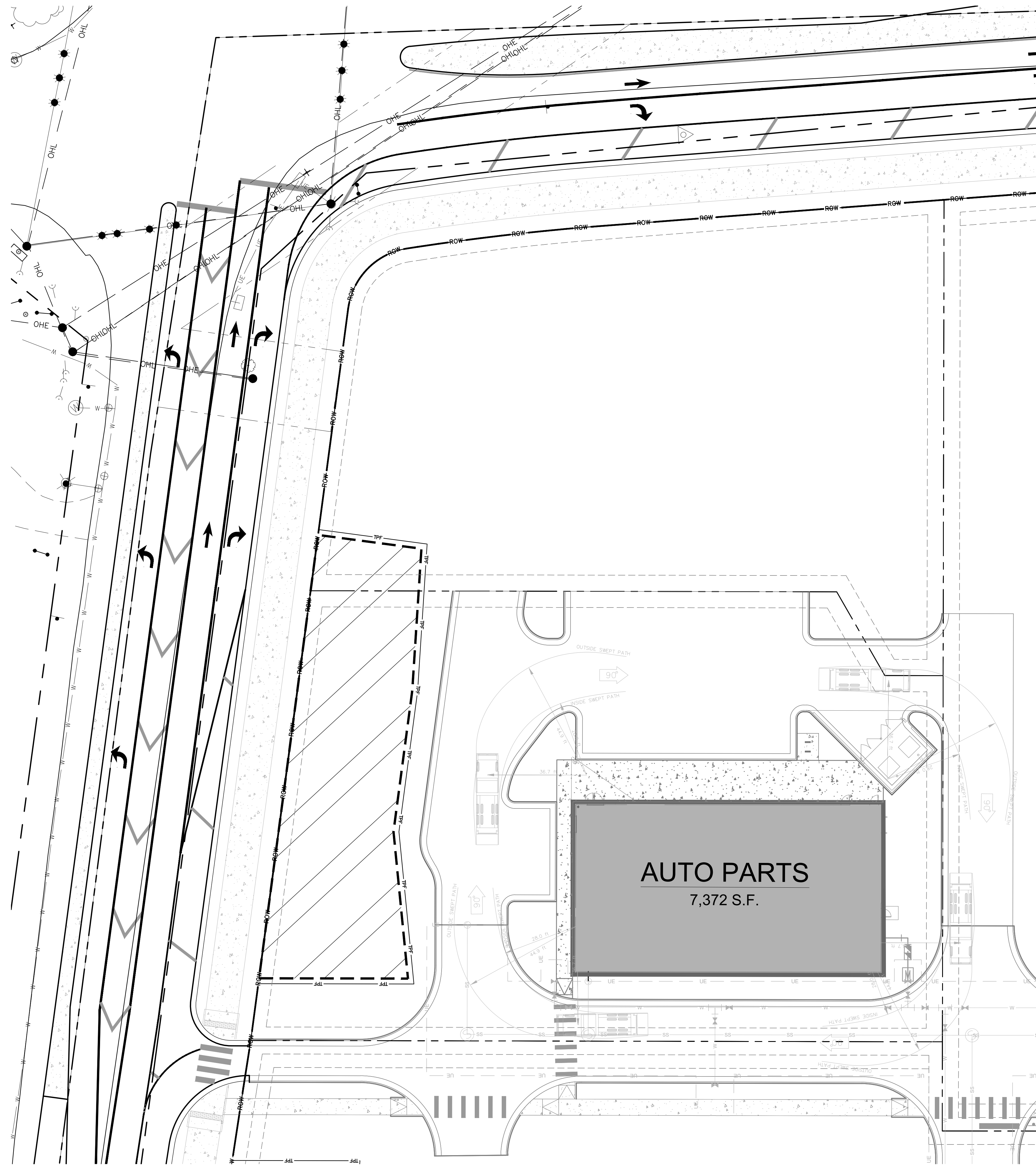
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PHONE: 919-275-3559  
WWW.KIMLEY-HORN.COM  
NC LICENSE #P-102

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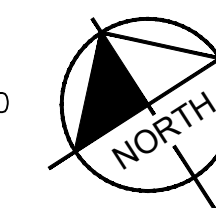
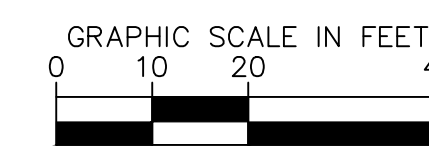
KH PROJECT	017270019
DATE	05/08/2024
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	MTH
CHECKED BY	KLW



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TRUCK DETAIL



AUTOZONE  
LOT 4B  
PREPARED FOR  
VENTURE SOUTH  
INVESTMENTS LLC

RALEIGH

SHEET NUMBER  
**C401**

**TRUCK TURN PLAN**

KH PROJECT  
017270019  
DATE  
05/08/2024  
SCALE AS SHOWN  
DESIGNED BY JMC  
DRAWN BY MTH  
CHECKED BY K/LW

**PRELIMINARY**  
NOT FOR CONSTRUCTION

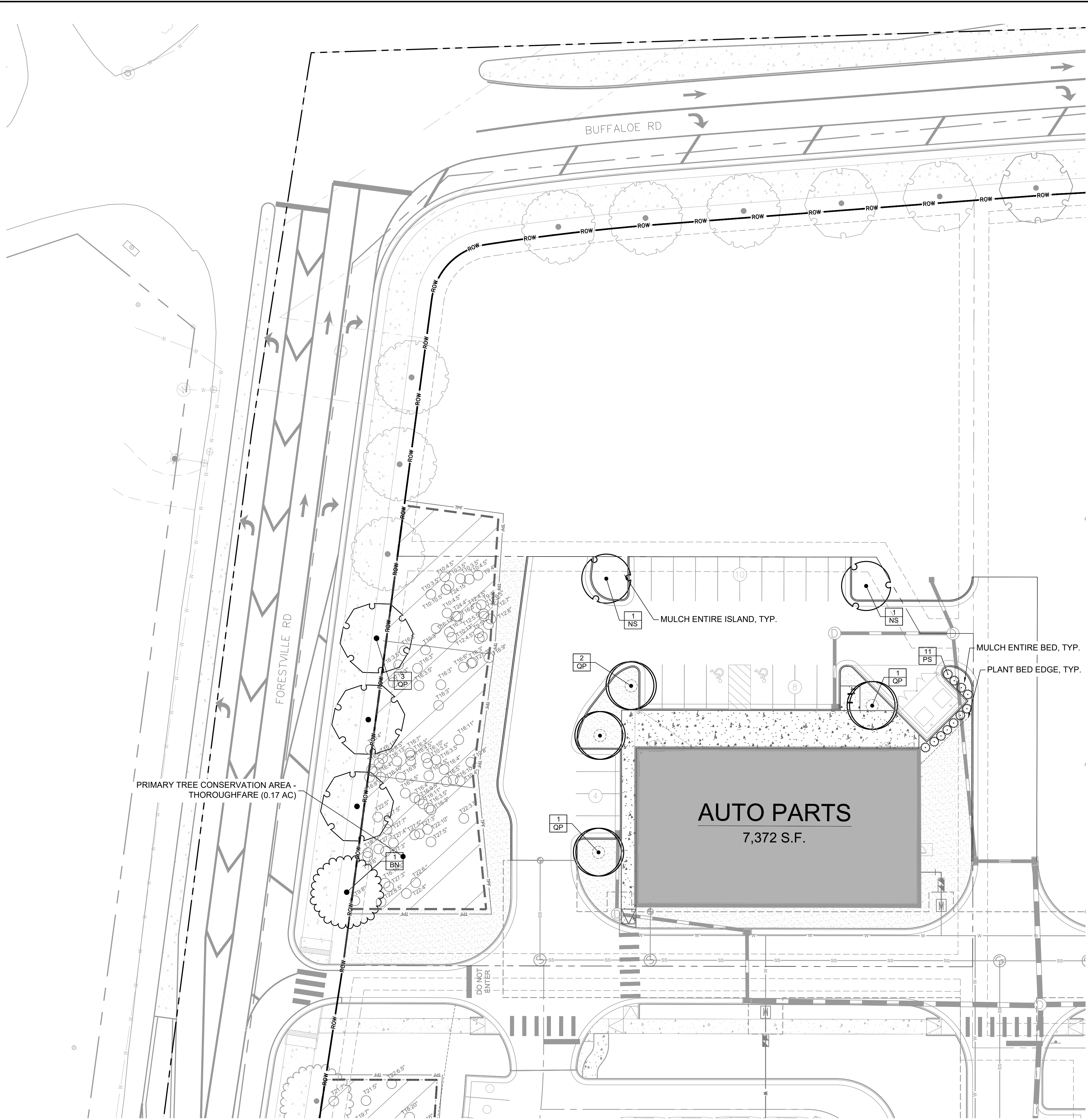
**Kimley** **Horn**  
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No. REVISIONS

DATE BY



Plotted By: Larson, Sydney Sheet Set: Autozone ASR Layout: L100 LANDSCAPE PLAN May 08, 2024 04:47:23pm K:\CHL - PRE\017270 Taylor Morrison\019 Raleigh-Buffalo02 - DWG\PlanSheets\Autozone ASR PlanSheet\L100 - LANDSCAPE PLAN.dwg



PRIMARY TREE CONSERVATION AREA - THOROUGHFARE (0.17 AC)

1 NS - MULCH ENTIRE ISLAND, TYP.

11 PS - MULCH ENTIRE BED, TYP.

1 QP - PLANT BED EDGE, TYP.

**AUTO PARTS**  
7,372 S.F.

**PARKING LOT LANDSCAPING- UDO 7.1.7F**

Parking Spaces Provided	22
Required Shade Trees <i>(1 per 2000 SF of Required)</i>	1.78
1 Tree Per End Terminal and Island	6.00
Provided Deciduous Trees	6

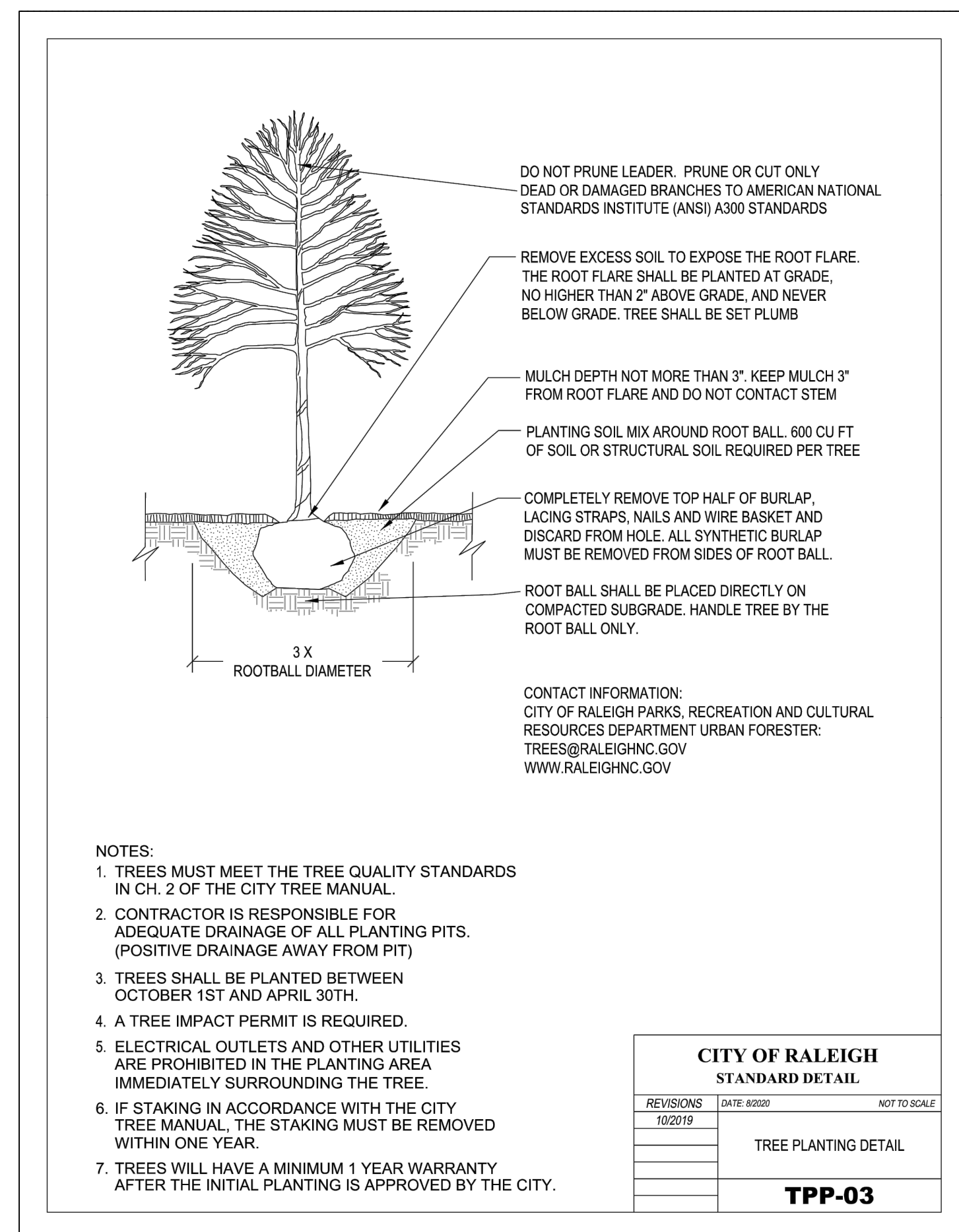
**PROTECTIVE YARDS- UDO 7.2.4B**

Location	Width (LF)	Type	LF	Required	Provided
West Property Line (Forestville Rd) 10' Min Setback: 4 Shade Trees/100 LF	10 Min	C2	167	6.7 Large Tree	Met By Existing Vegetation

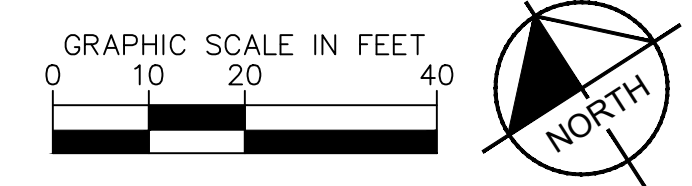
**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	PLANTING HEIGHT
NS	2	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo	B & B	3" CAL.	10' HT. MIN.
QP	7	Quercus phellos 'QPSTA'	Hightower® Willow Oak	B & B	3" CAL.	10' HT. MIN.
BN	1	Betula Nigra	River Birch	B & B	3" CAL.	12'-14' HT. MIN.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	
PS	11	Prunus laurocerasus 'Schipkaensis'	Schipka English Laurel	CONT.	18" HT MIN.	

- GROUND COVER NOTES:**
- ESTABLISH SOD IN ALL DISTURBED AREAS. SEE SPECIFICATIONS FOR MORE INFORMATION.
  - ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE PLAN FOR MULCH BOUNDARY LINES. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS.
- GENERAL NOTES:**
- LANDSCAPE PLAN IS FOR PLANT STAKING PURPOSES ONLY. FOR SITE IMPROVEMENTS, SEE CIVIL SHEETS.
  - ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP AND MAINTAINED 8' MINIMUM ABOVE FINISHED GRADE TO PROVIDE CLEAR SIGHT LINES.
  - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
  - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 2 OF THE CITY TREE MANUAL.
  - UTILITY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND INSTALLATION.



**1** TYPICAL TREE PLANTING  
L105 SCALE: N.T.S. DETAIL



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No.	REVISIONS	DATE	BY						
<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p>	<p>KH PROJECT: 017270019 DATE: 05/08/2024 SCALE: AS SHOWN DESIGNED BY: JMC DRAWN BY: JTS CHECKED BY: KLV</p>								
<p><b>LANDSCAPE PLAN</b></p>	<p>NC</p>								
<p><b>AUTOZONE LOT 4B</b> PREPARED FOR VENTURE SOUTH INVESTMENTS LLC</p>	<p>RALEIGH</p>								
<p>SHEET NUMBER <b>L100</b></p>	<p>NC</p>								

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Tree Conservation Plan Data			
Net Project Area - 29.99 AC (after ROW dedication)			
29.99 Total Acres (10% = 2.99 AC Required for TCA)			
Category	Acres	Number of Tract	Percentage
<b>Primary Tree Conservation Areas</b>			
Primary Tree Conservation Area - Thoroughfare	0.99	3.30%	
Primary Tree Conservation Area - Neuse River Zone 2	0.39	1.31%	
<b>Secondary Tree Conservation Areas</b>			
Secondary Tree Conservation Areas	1.67	5.57%	
<b>Total Tree Conservation Area</b>	<b>3.05</b>	<b>10.18%</b>	

THOROUGHFARE TCA CALCULATION			
Location	Requirement	Calculation*	Provided
BUFFALO ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	175 LF x 50' = 0.20 ACRES	0.20 ACRES (CONSISTENT 50' WIDTH)
FORESTVILLE ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	679 LF x 50' = 0.78 ACRES	0.78 ACRES (WIDTH VARIES FROM 38.6' TO 100')

\*LINEAR FOOTAGE OF REQUIRED TREE CONSERVATION AREA EXCLUDES AREAS WITHOUT EXISTING VEGETATION AND PROPOSED DRIVEWAY WIDTHS

TREE SURVEY LEGEND	
Label	Common Name
T1	red maple
T2	silver maple
T3	American hornbeam
T4	pignut hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	willow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

**LEGEND**

PRIMARY TREE CONSERVATION AREA - THOROUGHFARE

PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2

SECONDARY TREE CONSERVATION AREA

TREE PROTECTION FENCE

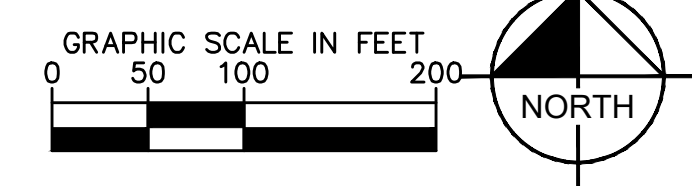
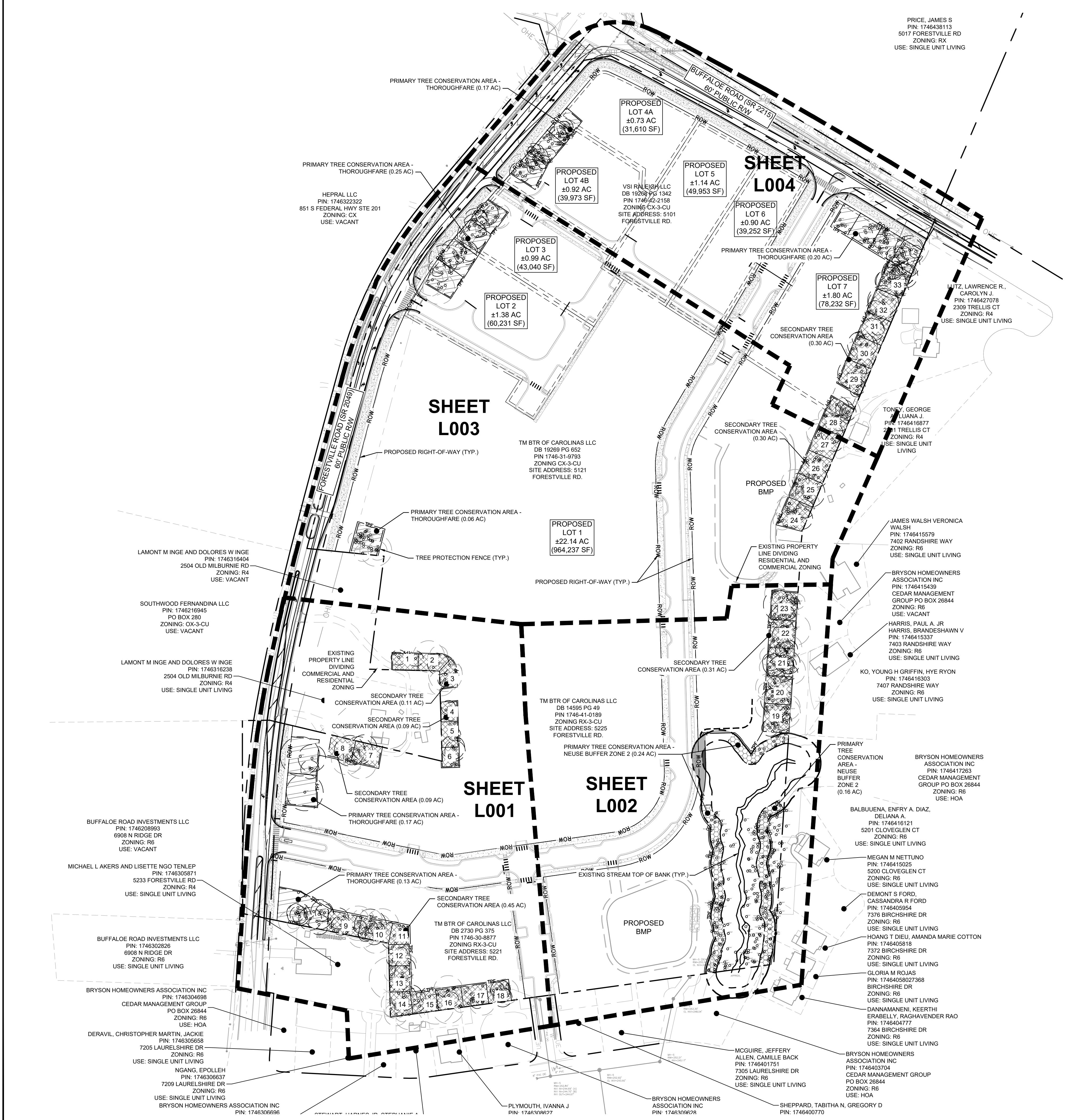
LIMITS OF DISTURBANCE

CRITICAL ROOT ZONE

CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)

EXISTING TREE

- TREE CONSERVATION NOTES:**
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
  - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
  - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
    - TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
  - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
  - TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
  - CRZ = CRITICAL ROOT ZONE
  - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
  - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED MAY 10, 2023.
  - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
  - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).



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NC LICENSE #P-102

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KH PROJECT: 017270019  
DATE: 04/08/24  
SCALE: AS SHOWN  
DESIGNED BY: MTH  
DRAWN BY: MTH  
CHECKED BY: KLV

**OVERALL TREE CONSERVATION PLAN**

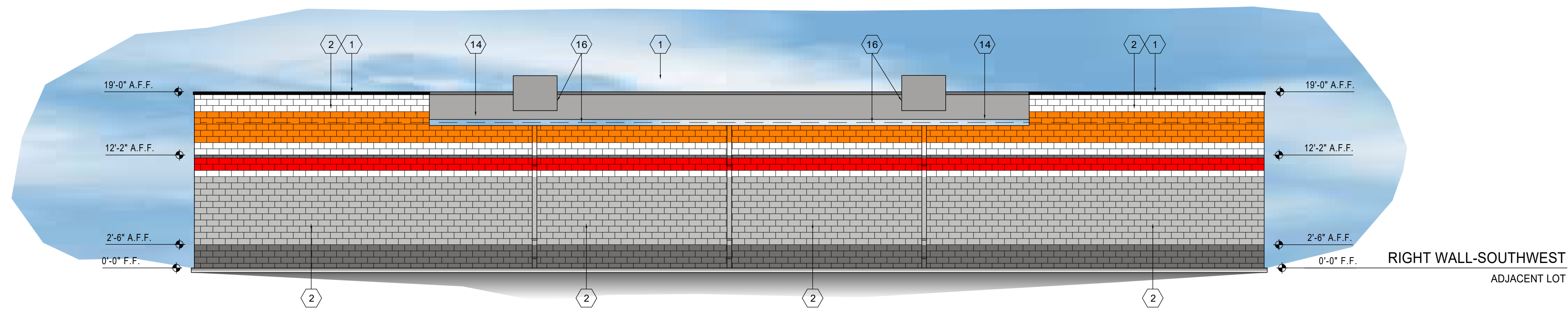
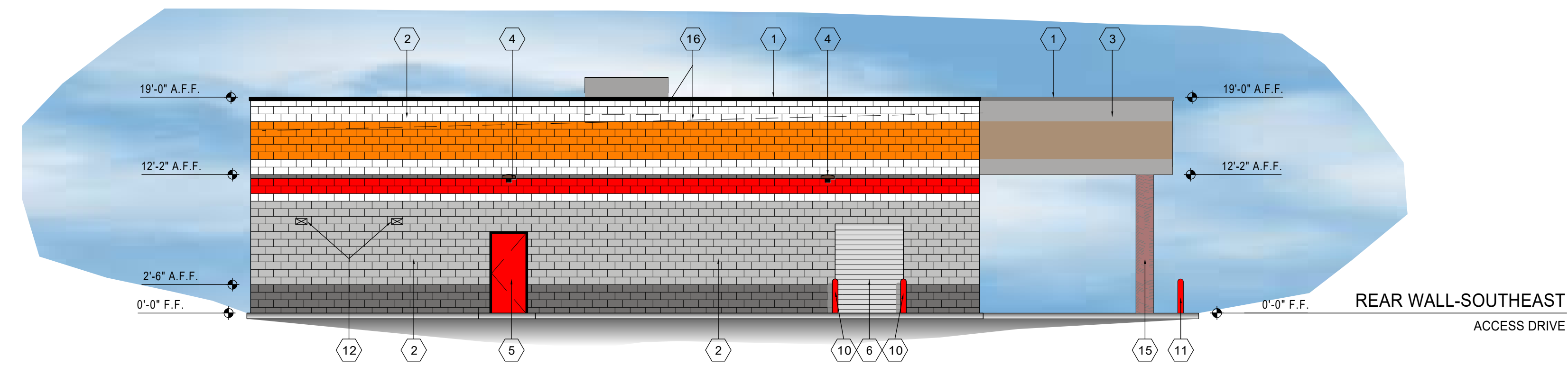
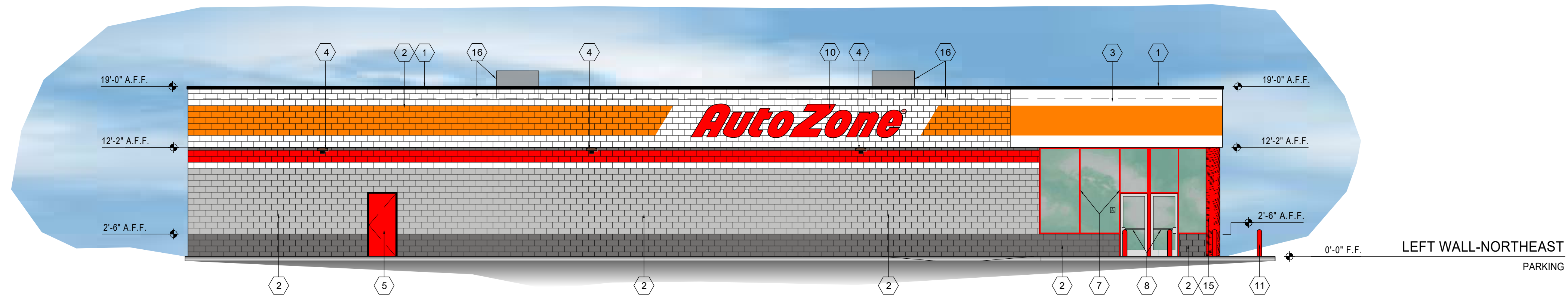
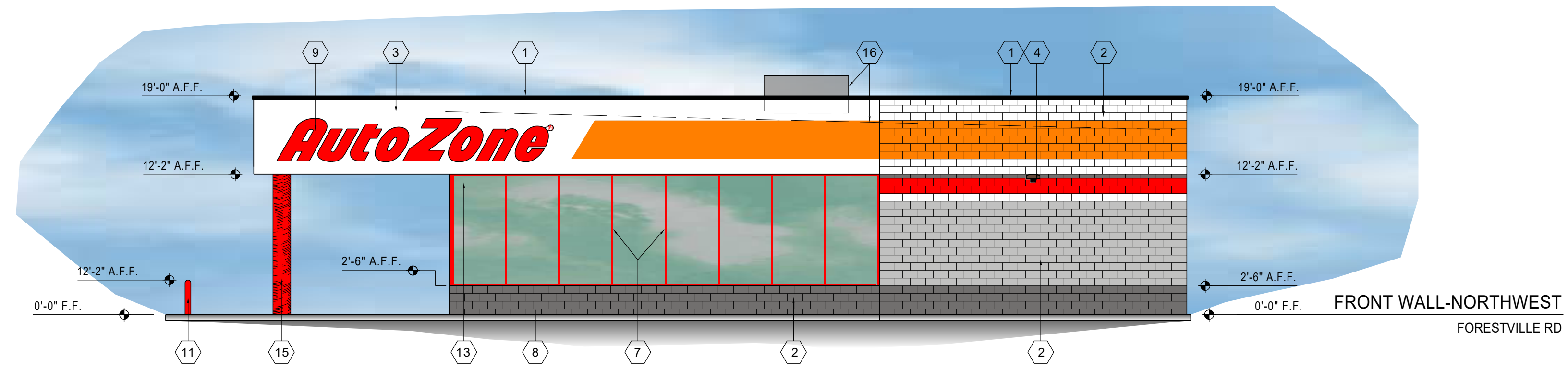
**YARDLY BUFFALO VILLAGE CONSERVATION PLAN**  
PREPARED FOR  
YARDLY BY TAYLOR MORRISON  
BTR / VSI RALEIGH, LLC  
RALEIGH, NC

SHEET NUMBER: **L000**

REVISIONS: \_\_\_\_\_  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

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- 1 TWO PIECE COMPRESSION TRIM-COLOR: BLACK
- 2 SMOOTH FACE CONCRETE MASONRY UNITS
- 3 MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
- 4 WALL MOUNTED LIGHT FIXTURE-COLOR: BRONZE
- 5 PAINT MAN DOOR RED & METAL FRAMES BLACK
- 6 OVERHEAD DELIVERY DOOR-ANODIZED FINISH
- 7 ALUMINUM STOREFRONT - RED KYNAR FINISH
- 8 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 9 FRONT WALL SIGN - 44" CHANNEL - NSTRP
- 10 LEFT WALL SIGN - 44" CHANNEL - NSTRP
- 11 PIPE GUARD WITH RED SLEEVE
- 12 TOILET WALL VENTS PAINT TO MATCH WALL
- 13 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 14 GUTTER & DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
- 15 CORRUGATED COLUMN PAINT RED
- 16 ROOF LINE & ROOF TOP HVAC UNIT

REVISIONS

REV#	DESCRIPTION
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

AutoZone Store No. 0200  
FORESTVILLE RD

RALEIGH NC 27616  
COLORED ELEVATIONS

AutoZone Development LLC  
123 South Front Street  
Memphis, Tennessee 38103  
TEL: 901-495-8600 FAX: (901) 495-8969  
For Bidding & Contractor Information Contact:  
McGraw - Hill Construction Tel. 615-884-1017  
www.construction.com

04/24/24

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