Administrative Approval Action

Case File / Name: ASR-0031-2020
Project Walter

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the east side of Auburn Church Road south of the intersection of Auburn Church Road and Jones Sausage Road, with a common street address of 4401 Auburn Church Road.

REQUEST: Development of an approximately 110,000 square foot office building plus an accessory building, and associated parking. The site is approximately 110 acres zoned IH-CU and R-4.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 21, 2020 by gensler.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General Condition

1. That the Lot numbers on the exempt plat (RCMP-0247-2020) are shown on the SPR plan submitt

2. The exempt subdivision shall be recorded prior to approval the SPR.

Public Utilities

3. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

Stormwater

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

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7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Slope Easement Required

☑	Utility Placement Easement Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Urban Forestry

2. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 10.85 acres of tree conservation area.

☑ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. The NCDOT sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.

3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

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4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.

5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

6. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

7. A fee-in-lieu for FIL for widening across the frontage of the new lot that has the building - Avenue 2-Lane Divided; The section is constructed per the TIA with a turn lane and approx. 36 feet of ribbon pavement. This estimate will include the additional width for the bike lane, curb and gutter, and a 6 foot sidewalk. shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 146 street trees along Auburn Church Road.

10. A public infrastructure surety for 146 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

11. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

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2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: November 23, 2023
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

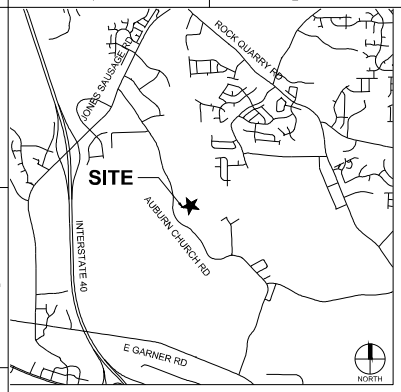
Signed: Alysia Bailey Taylor Date: 11/23/2020
Development Services Dir/Designee
Staff Coordinator: Kasey Evans

PROJECT WALTER

4401 AUBURN CHURCH RD
GARNER, NC 27529

CITY OF RALEIGH
ADMINISTRATIVE SITE REVIEW SUBMITTAL
ASR-0031-2020 C

1ST SUBMITTAL: APRIL 21, 2020
2ND SUBMITTAL: JULY 02, 2020
3RD SUBMITTAL: SEPTEMBER 18, 2020
4TH SUBMITTAL: OCTOBER 21, 2020 C



VICINITY MAP
SCALE: 1" = 2,000'

VEHICULAR PARKING SUMMARY

GROSS BUILDING AREA (MAIN BUILDING) = 109,919 SQ. FT.
GROSS BUILDING AREA (VCC) = 933 SQ. FT. B

REQUIRED VEHICULAR PARKING:

MAIN BUILDING:
CODE-REQUIRED PARKING (1 PER 400 SF FOR OFFICE USE) = 275 SPACES

VCC:
CODE-REQUIRED PARKING (1 PER 400 SF FOR OFFICE USE) = 2 SPACES

REDUCED PARKING REQUIREMENT = 242 SPACES*
**REFER TO MEMO FROM TRANSPORTATION PLANNING MANAGER ON SHEET C-0002

PROVIDED VEHICULAR PARKING:

MAIN BUILDING:
STANDARD = 225 SPACES
(219) STANDARD
(6) ELECTRIC VEHICLE
ACCESSIBLE = 7 SPACES
(5) STANDARD ACCESSIBLE
(2) VAN ACCESSIBLE
TOTAL PROVIDED = 232 SPACES

VCC:
STANDARD = 9 SPACES
VAN ACCESSIBLE = 1 SPACE
TOTAL PROVIDED = 10 SPACES

TOTAL PROVIDED= 242 SPACES

ADDITIONAL PARKING PROVIDED:

MOTORCYCLE PARKING = 8 SPACES

BICYCLE PARKING SUMMARY

GROSS BUILDING AREA (MAIN BUILDING) = 109,919 SQ. FT.
GROSS BUILDING AREA (VCC) = 933 SQ. FT.

REQUIRED BICYCLE PARKING:

MAIN BUILDING:
SHORT-TERM PARKING (1 PER 10,000 SF FOR OFFICE USE, MIN. 4) = 11 SPACES
LONG-TERM PARKING (1 PER 5,000 SF FOR OFFICE USE, MIN. 4) = 22 SPACES

VCC:
SHORT-TERM PARKING (1 PER 10,000 SF FOR OFFICE USE, MIN. 4) = 4 SPACES
LONG-TERM PARKING (1 PER 5,000 SF FOR OFFICE USE, MIN. 4) = 4 SPACES

PROVIDED BICYCLE PARKING:

TOTAL PROVIDED AT MAIN BUILDING = 26 SPACES
(8) SHORT-TERM
(16) LONG-TERM

TOTAL PROVIDED AT VCC = 4 SPACES
(4) SHORT-TERM
(2) LONG-TERM

TOTAL PROVIDED ON-SITE = 30 SPACES*
(12) SHORT-TERM
(18) LONG-TERM

*UDO 7.1.8.A - NO SINGLE LOT IS REQUIRED TO PROVIDE MORE THAN 30 BICYCLE SPACES

RIGHT-OF-WAY OBSTRUCTION NOTES

1. STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
3. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
4. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT 'STANDARD SPECIFICATION FOR ROADWAY STRUCTURES', NCDOT 'ROADWAY STANDARD DRAWING MANUAL', AND THE NCDOT SUPPLEMENT TO THE MUTCD.
5. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SITE DATA

PROJECT NAME:	PROJECT WALTER
SITE ADDRESS:	4401 AUBURN CHURCH RD, GARNER, NC 27529
COUNTY:	WAKE COUNTY
PARCEL PIN #:	1721866331 B
TOTAL PARCEL AREA:	119.83 AC
GROSS SITE ACREAGE (LOT 1):	113.20 AC
GROSS SITE ACREAGE (LOT 2):	106.53 AC
RIGHT-OF-WAY TO BE DEDICATED:	0.71 AC
NET SITE ACREAGE:	107.82 AC
CURRENT ZONING:	I-CU / IH-4
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	OFFICE
FLOOD PLAIN DATA:	FEMA MAPS 3720172100J
RIVER BASIN:	NEUSE
CONSTRUCTION TYPE:	NEW CONSTRUCTION
MAX BUILDING HEIGHT:	55'-0" / 3 STORIES
PROPOSED BUILDING HEIGHT:	MAIN BLDG: 35'-2" | VCC: 19'-8"
PROPOSED BUILDING SQUARE FOOTAGE:	MAIN BLDG: 109,919 SF | VCC: 933 SF
TREE CONSERVATION AREA:	10.85 ACRES B
TOTAL LIMITS OF DISTURBANCE:	37.41 ACRES
EXISTING IMPERVIOUS AREA:	0.0 AC
PROPOSED IMPERVIOUS AREA:	9.4 AC

PUBLIC IMPROVEMENT QUANTITY

NUMBER OF LOTS	2
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE?	NO
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	3530
PUBLIC SEWER (LF)	2474
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	908
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

BLOCK PERIMETER NOTES:

BLOCK PERIMETER REQUIREMENTS ARE NOT APPLICABLE TO THIS SITE. THE FOLLOWING EXCEPTIONS APPLY.

1. PER UDO SECTION 8.3.2.A.1.b.i AS PROVIDED IN TC-06-19, BLOCK PERIMETER REQUIREMENTS ARE NOT APPLICABLE IN THE IH ZONING DISTRICT.

2. PER UDO SECTION 8.3.2.A.1.b.ii AS PROVIDED IN TC-06-19, BLOCK PERIMETER REQUIREMENTS FOR THE R-4 ZONING DISTRICT ONLY APPLY FOR A MINIMUM SITE AREA OF 34 ACRES WHEN THE AVERAGE LOT SIZE IS GREATER THAN 40,000 SQ. FT. THE AREA OF THIS PROPERTY THAT IS CURRENTLY ZONED R-4 ONLY CONTAINS APPROXIMATELY 14.2 ACRES.

3. PER UDO SECTION 8.3.2.A.1.b.iii AS PROVIDED IN TC-06-19, BLOCK PERIMETER REQUIREMENTS ARE NOT APPLICABLE WHEN THE CREATION OF A NEW STREET WOULD BE OBSTRUCTED BY A WATERCOURSE DRAINAGE MORE THAN 1 SQUARE MILE. THE CREATION OF A NEW STREET TO CONNECT TO THE AREA OF THIS PROPERTY CURRENTLY ZONED R-4 WOULD NECESSITATE CROSSING BIG BRANCH CREEK, WHICH HAS A DRAINAGE AREA OF APPROXIMATELY 3.36 SQUARE MILES AT THIS LOCATION.

INDEX OF DRAWINGS

SHEET #	SHEET NAME
C-0001	COVER SHEET
C-0002	ADMINISTRATIVE ALTERNATES AND APPROVALS
C-0003	TOPOGRAPHIC SURVEY
C-0004	EXISTING CONDITIONS
C-0005	EASEMENTS AND RIGHT-OF-WAYS
C-0006	GENERAL NOTES
CD-0110	SITE CLEARING PLAN
CS-0110	OVERALL SITE PLAN
CS-0111	ENLARGED SITE PLAN - WEST
CS-0112	ENLARGED SITE PLAN - EAST
CD-0110	OVERALL GRADING AND DRAINAGE PLAN
CD-0111	ENLARGED GRADING AND DRAINAGE PLAN - WEST
CD-0112	ENLARGED GRADING AND DRAINAGE PLAN - EAST
CD-0113	STORM DRAINAGE TABLES
CD-0114	STORM DRAINAGE PROFILES
CD-0115	STORM DRAINAGE PROFILES
CD-0116	STORM DRAINAGE PROFILES
CD-0117	STORM DRAINAGE PROFILES
CD-0118	STORM DRAINAGE PROFILES
CU-0110	OVERALL UTILITY PLANS
CU-0111	ENLARGED UTILITY PLAN - WEST
CU-0112	ENLARGED UTILITY PLAN - EAST
CU-0113	PUBLIC SANITARY SEWER PLAN AND PROFILE
CU-0114	PUBLIC SANITARY SEWER PLAN AND PROFILE
CU-0115	PRIVATE SANITARY SEWER PROFILES
CU-0116	PRIVATE SANITARY SEWER PROFILES
CU-0117	DOMESTIC WATER PROFILE
CU-0118	FIRE MAIN PROFILE
CU-0119	FIRE MAIN PROFILE
C-6003	SITE DETAILS
C-6004	SITE DETAILS
C-6005	SITE DETAILS
C-6006	SITE DETAILS
C-6008	SITE FURNISHINGS
C-6009	STORM DRAINAGE DETAILS
C-6010	STORM DRAINAGE DETAILS
C-6011	STORM DRAINAGE DETAILS
C-6012	UTILITY DETAILS
C-6013	UTILITY DETAILS
C-6014	UTILITY DETAILS
L-0001	LANDSCAPE NOTES AND SCHEDULES
L-0002	TREE CONSERVATION PLAN
L-0110	OVERALL LANDSCAPE PLAN
L-0111	ENLARGED LANDSCAPE PLAN - WEST
L-0112	ENLARGED LANDSCAPE PLAN - EAST
L-0113	ENLARGED LANDSCAPE PLAN EASEMENT AREAS B
L-5001	LANDSCAPE DETAILS
L-5002	LANDSCAPE DETAILS

CROSS ACCESS NOTES:

CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THIS SITE. THE FOLLOWING EXCEPTIONS APPLY.

1. SOUTH AND WEST SIDES OF PROPERTY ABUT A PUBLIC STREET.

2. PER UDO SECTION 8.3.2.D.3.a AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE ABUTTING PROPERTIES IN A RESIDENTIAL ZONING DISTRICT. THIS CONDITION APPLIES TO ALL ADJACENT PROPERTIES ON THE EAST SIDE OF THE SUBJECT PROPERTY.

3. PER UDO SECTION 8.3.2.D.3.b.i AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE CREATION OF A NEW DRIVEWAY CONNECTION WOULD BE OBSTRUCTED BY A WATERCOURSE DRAINAGE MORE THAN 1 SQUARE MILE. THIS CONDITION APPLIES TO ALL ADJACENT PROPERTIES ON THE EAST SIDE OF THE SUBJECT PROPERTY WHERE A CONNECTION WOULD REQUIRE CROSSING BIG BRANCH CREEK, WHICH HAS A DRAINAGE AREA OF APPROXIMATELY 3.36 SQUARE MILES AT THIS LOCATION.

4. PER UDO SECTION 8.3.2.D.3.b.ii AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE CREATION OF A CROSS ACCESS DRIVEWAY WOULD BE OBSTRUCTED BY STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE. THIS CONDITION EXISTS ON THE NORTH SIDE OF THE SUBJECT PROPERTY.

5. PER UDO SECTION 8.3.2.D.3.b.iv AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE CREATION OF A CROSS ACCESS DRIVEWAY WOULD BE OBSTRUCTED BY THE CONSERVATION AREA. THIS CONDITION EXISTS ON THE NORTH SIDE OF THE SUBJECT PROPERTY.

INDEX OF DRAWINGS BY OTHERS

SHEET #	SHEET NAME
CL00	GENERAL NOTES AND SCHEDULES
CL01	TYPICAL SECTIONS
CL100	PLAN AND PROFILE - AUBURN CHURCH RD.
CL101	PLAN AND PROFILE - WATER LINE "A"
CL102	PLAN AND PROFILE - WATER LINE "A"
CL103	PLAN AND PROFILE - WATER LINE "A"
CG100	GRADING AND EROSION CONTROL PLAN
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CA100	CROSS SECTION - AUBURN CHURCH RD.
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CS101	PAVEMENT MARKING DETAILS
CS102	EROSION CONTROL DETAILS
CS103	WATER DETAILS
LS.01	OVERALL LANDSCAPE PLAN
LS.01	LANDSCAPE PLAN
LT-0100A	OVERALL SITE LIGHTING PLAN
A-0003A	ARCHITECTURAL SITE PLAN
A-2004A	ARCHITECTURAL SIGHT LINE DIAGRAMS
A-2001A	BUILDING ELEVATIONS - MAIN BUILDING
A-2002A	BUILDING ELEVATIONS - MAIN BUILDING
A-2003A	BUILDING ELEVATIONS - VISITOR CONTROL CENTER

Z-02-89 NARRATIVE OF ZONING CONDITIONS

1. APPLICATION WILL NOT BE MADE TO THE BOARD OF ADJUSTMENT PURSUANT TO SECTION 10-2048(B)(1) FOR A STORAGE YARD FOR UNLICENSED, UNINSPECTED, WRECKED, DISMANTLED OR PARTIALLY DISMANTLED AUTOMOTIVE VEHICLES.

RESPONSE: AN AUTOMOTIVE STORAGE YARD IS NOT PROPOSED AS PART OF THIS DEVELOPMENT.

2. THE REIMBURSEMENT VALUE OF ANY ADDITIONAL RIGHT-OF-WAY ALONG AUBURN CHURCH ROAD SHALL REMAIN AT VALUES IN EXISTENCE PRIOR TO REZONING (R-40).

RESPONSE: ACKNOWLEDGED.

3. BILLBOARDS SHALL NOT BE ERECTED ON ANY PORTION OF THE PROPERTY.

RESPONSE: NO BILLBOARDS ARE PROPOSED AS PART OF THIS DEVELOPMENT.

4. NO MORE THAN 10% OF THE GROSS LAND AREA OF THE SUBJECT PROPERTY (31.9 ACRES) SHALL BE DEVOTED TO ANY COMBINATION OF RETAIL USES, HOTEL OR MOTEL USES.

RESPONSE: NO RETAIL, HOTEL, OR MOTEL USES ARE PROPOSED AS PART OF THIS DEVELOPMENT.

5. ANY DEVELOPMENT OF THE PROPERTY WILL COMPLY WITH THE PROVISIONS OF CERTIFIED RECOMMENDATION 7107 OF THE CITY OF RALEIGH PLANNING COMMISSION.

RESPONSE: PER CS-7107, WHEN THE REZONING IS LOCATED WHERE REDUCED DISCHARGES WOULD PROVIDE NO BENEFIT, THIS GUIDELINE IS NOT IMPLEMENTED BASED ON THE DISCRETION OF CITY STAFF. A REDUCED DISCHARGE WOULD PROVIDE NO BENEFIT FOR THIS SITE BASED ON THE RESULTS OF THE STORMWATER IMPACT ANALYSIS.

6. IN THE EVENT OF THE CONDEMNATION OF AN AREA FOR GREENWAY ALONG BIG BRANCH CREEK THE AREA CONDEMNED SHALL REMAIN AT VALUES IN EXISTENCE PRIOR TO REZONING (R-40).

RESPONSE: ACKNOWLEDGED.

Z-03-89 NARRATIVE OF ZONING CONDITIONS

1. APPLICATION WILL NOT BE MADE TO THE BOARD OF ADJUSTMENT PURSUANT TO SECTION 10-2048(B)(1) FOR A STORAGE YARD FOR UNLICENSED, UNINSPECTED, WRECKED, DISMANTLED OR PARTIALLY DISMANTLED AUTOMOTIVE VEHICLES.

RESPONSE: AN AUTOMOTIVE STORAGE YARD IS NOT PROPOSED AS PART OF THIS DEVELOPMENT.

2. THE REIMBURSEMENT VALUE OF ANY ADDITIONAL RIGHT-OF-WAY ALONG AUBURN CHURCH ROAD SHALL REMAIN AT VALUES IN EXISTENCE PRIOR TO REZONING (RESIDENTIAL-4).

RESPONSE: ACKNOWLEDGED.

3. BILLBOARDS SHALL NOT BE ERECTED ON ANY PORTION OF THE PROPERTY.

RESPONSE: NO BILLBOARDS ARE PROPOSED AS PART OF THIS DEVELOPMENT.

4. NO MORE THAN 10% OF THE GROSS LAND AREA OF THE SUBJECT PROPERTY (22.5 ACRES) SHALL BE DEVOTED TO ANY COMBINATION OF RETAIL USES, HOTEL, OR MOTEL USES.

RESPONSE: NO RETAIL, HOTEL, OR MOTEL USES ARE PROPOSED AS PART OF THIS DEVELOPMENT.

5. ANY DEVELOPMENT OF THE PROPERTY WILL COMPLY WITH THE PROVISIONS OF CERTIFIED RECOMMENDATION 7107 OF THE CITY OF RALEIGH PLANNING COMMISSION.

RESPONSE: PER CS-7107, WHEN THE REZONING IS LOCATED WHERE REDUCED DISCHARGES WOULD PROVIDE NO BENEFIT, THIS GUIDELINE IS NOT IMPLEMENTED BASED ON THE DISCRETION OF CITY STAFF. A REDUCED DISCHARGE WOULD PROVIDE NO BENEFIT FOR THIS SITE BASED ON THE RESULTS OF THE STORMWATER IMPACT ANALYSIS.

6. IN THE EVENT OF THE CONDEMNATION OF AN AREA FOR GREENWAY ALONG BIG BRANCH CREEK THE AREA CONDEMNED SHALL REMAIN AT VALUES IN EXISTENCE PRIOR TO REZONING (RESIDENTIAL-4).

RESPONSE: ACKNOWLEDGED.

APPLICATION

Administrative Site Review Application
Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____ Planning Coordinator: _____

Building Type		Site Transaction History
☐ Detached	☑ General	Subdivision transaction #:
☐ Attached	☐ Mixed use	Sketch transaction #:
☐ Apartment	☐ Open lot	Certificate of Appropriateness #:
☐ Townhouse	☐ Civic	Board of Adjustment #:
		Zoning Case #:
		Administrative Alternate #:

GENERAL INFORMATION

Development name: Project Walter
Inside City limits? ☐ Yes ☒ No
Property address(es): 4401 Auburn Church Rd, Garner, NC 27529
Site P.I.N.(s): 1721-86-6331
Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of new office building and supporting site infrastructure including surface parking, perimeter security fence, underground utilities, and landscaping.

Current Property Owner/Developer Contact Name: Michael Hardy
NOTE: please attach purchase agreement when submitting this form.
Company: Duke Energy | Title: Project Developer
Address: 411 Fayetteville Street, Raleigh, NC 27601
Phone #: 919-539-0441 | Email: mike.hardy@duke-energy.com
Applicant Name: ADAM RUELAS
Company: GENSLER | Address: 613 HILLSBOROUGH STREET, RALEIGH, NC 27603
Phone #: 919 239 7836 | Email: adam_ruelas@gensler.com

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DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IH-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 119.83 ac	New gross floor area: Main: 109,919 sf | VCC: 933 sf
# of parking spaces required: 277	Total sf gross (to remain and new): 109,919 | 933
# of parking spaces proposed: 242	Proposed # of buildings: 2
Overlay District (if applicable): N/A	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Office	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 9.43 Square Feet: 410,903
Is this a flood hazard area? ☒ Yes ☐ No	
If yes, please provide:	
Alluvial soils: AR, CL, WM, WR	
Flood zone: 100YR	
FEMA Map Panel #: 3720172100J, 3720172200J	
Neuse River Buffer ☒ Yes ☐ No	Wetlands ☒ Yes ☐ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br:	4br or more:
# of lots:	Is your project a cottage court? ☐ Yes ☐ No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Adam Ruelas to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Michael P. Hardy Date: 9/14/2020
Printed Name Michael Hardy

Page 2 of 2 REVISION 05.01.19 raleighnc.gov

SOLID WASTE NOTES:

1. PROPERTY OWNER WILL USE PRIVATE TRASH COLLECTION SERVICES FOR THE SUBJECT PROPERTY.
2. THE PROPOSED PLANS CONFORM TO THE CITY OF RALEIGH SOLID WASTE SERVICES MANUAL.

OWNER

DUKE ENERGY.

DUKE ENERGY
410 SOUTH WILMINGTON STREET
RALEIGH, NC 27601

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE

STEWART
101 N. TRYON STREET FIRM LICENSE # C-1051
SUITE 1400 www.stewartinc.com
CHARLOTTE, NC 28202 PROJECT # C18056
T 704.334.3303

STEWART INC. - CIVIL
CONTACT: JEFF D. ODEN, PE, CIVIL ENGINEER
704.909.3506 (T)
JODEN@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE
CONTACT: TODD DUNCAN, PLA, LANDSCAPE ARCHITECT
980.875.1991 (T)
919.280.8752 (F)
TDUNCAN@STEWARTINC.COM

GEOMATICS - CIVIL ENGINEERING - ENVIRONMENTAL

McADAMS

McADAMS
2905 MERIDIAN PARKWAY
DURHAM, NC 27713
CONTACT: BRANDON FINCH, PE
919.361.5000 (T)
BFINCH@MCADAMSCO.COM

ARCHITECTURE

Gensler

GENSLER
101 SOUTH TRYON STREET
SUITE 2100
CHARLOTTE, NC 28280
CONTACT: MICHAEL SPENCER, AIA, CDT, LEED AP
704.377.2725 (T)
MICHAEL_SPENCER@GENSLER.COM

SITE LIGHTING

LIGHT DEFINES FORM
610 PEMBROKE ROAD
BOX 4465
GREENSBORO, NC 27404
CONTACT: SCOTT RICHARDSON
336.230.1990 (T)
SRICHARDSON@LDF.US

Kasey Evans

Kasey Evans
I am approving this document
2020.11.23
15:33:09-05'00'

DRAWING NO.
CFD-NC4401-C-0001-180040

WALTER

Safety Expectations:
ILLNESS ZERO INJURY
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street Tel 704.377.2725
Suite 2100 Fax 704.377.2807
Charlotte, NC 28280
United States

STEWART
101 N. TRYON ST., SUITE 1400 FIRM LICENSE #: C-1051
CHARLOTTE, NC 28202 www.stewartinc.com
T 704 334 3303 PROJECT # C18056

SEAL

REVISION	DATE	DRAWN BY
1	10/21/20	KDC
2	11/23/20	KDC

REDEVELOPMENT
NON-CONSTRUCTION REQUIREMENTS

NOT FOR CONSTRUCTION

PROJECT NO. C18056.00
DRAWING NUMBER
CFD-NC4401-C-0001-180040
ELECTRONIC FILE NAME C0001.DWG
DRAWN BY: –
CHKD BY: –
E-MAIL: –
SHEET TITLE
COVER SHEET
SHEET NO.
C-0001

E1 SIZE DWG: PLOT SIZE (30x42)

I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREIN AT THE TIME IF THIS SURVEY.

JOHN R. PICKENS, P.L.S. L-3297

6/22/2018

DATE

NORTH CAROLINA PROFESSIONAL SEAL L-3297 LAND SURVEYOR JOHN R. PICKENS

I, John R. Pickens certify that this map was drawn under my supervision from an actual GPS (or GNSS) survey made under my supervision and the following information was used to perform the survey

Class of survey: A
Positional accuracy: 0.02
Type of GPS (or GNSS) field procedure: OPUS-S
Date(s) of survey: MAY 16, 2018
Datum/Epoch: NAD83(2011)/2010.00
Published/fixed control: CORS STATIONS "LILLINGTON, JORDAN LAKE, RALEIGH & SMITHFIELD"

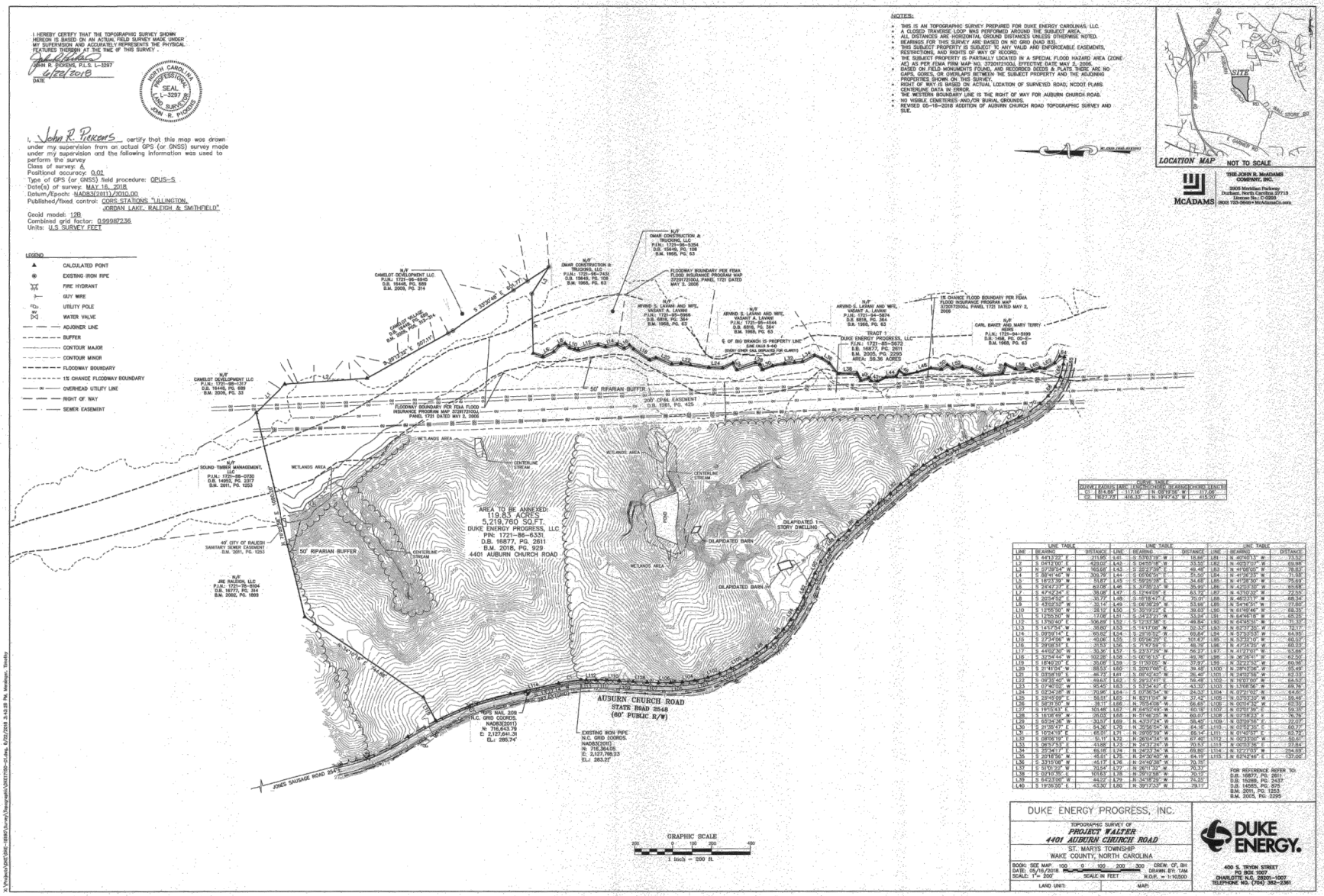
Geoid model: 12B
Combined grid factor: 0.99987236
Units: U.S SURVEY FEET

LEGEND

- CALCULATED POINT
- EXISTING IRON PIPE
- FIRE HYDRANT
- GUY WIRE
- UTILITY POLE
- WATER VALVE
- ADJOINER LINE
- BUFFER
- CONTOUR MAJOR
- CONTOUR MINOR
- FLOODWAY BOUNDARY
- 1% CHANCE FLOODWAY BOUNDARY
- OVERHEAD UTILITY LINE
- RIGHT OF WAY
- SEWER EASEMENT

NOTES:

- THIS IS AN TOPOGRAPHIC SURVEY PREPARED FOR DUKE ENERGY CAROLINAS, LLC.
- A CLOSED TRAVERSE LOOP WAS PERFORMED AROUND THE SUBJECT AREA.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID (NAD 83).
- THIS SUBJECT PROPERTY IS SUBJECT TO ANY VALID AND ENFORCEABLE EASEMENTS, RESTRICTIONS, AND RIGHTS OF WAY OF RECORD.
- THE SUBJECT PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA (ZONE AE) AS PER FEMA FIRM MAP NO. 3720172100J, EFFECTIVE DATE MAY 2, 2006.
- BASED ON FIELD MONUMENTS FOUND, AND RECORDED DEEDS & PLATS THERE ARE NO GAPS, GORES, OR OVERLAPS BETWEEN THE SUBJECT PROPERTY AND THE ADJOINING PROPERTIES SHOWN ON THIS SURVEY.
- RIGHT OF WAY IS BASED ON ACTUAL LOCATION OF SURVEYED ROAD; NCDOT PLANS CENTERLINE DATA IN ERROR.
- THE WESTERN BOUNDARY LINE IS THE RIGHT OF WAY FOR AUBURN CHURCH ROAD.
- NO VISIBLE CEMETERIES AND/OR BURIAL GROUNDS.
- REVISED 05-16-2018 ADDITION OF AUBURN CHURCH ROAD TOPOGRAPHIC SURVEY AND SUE.



CURVE TABLE				
CURVE	RADIUS	LENGTH	BEARING	CHORD LENGTH
C1	314.86'	117.10'	N 03°19'05" W	117.06'
C2	1027.73'	415.33'	N 18°47'43" W	412.50'

LINE TABLE							
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 44°13'22" E	211.95'	L41	S 53°01'19" W	18.66'	L81	N 40°40'13" W	73.52'
L2	S 84°12'00" E	429.01'	L42	S 84°59'18" W	33.52'	L82	N 42°57'07" W	69.88'
L3	N 57°35'54" W	165.64'	L43	S 32°27'09" E	49.46'	L83	N 41°08'05" W	78.83'
L4	S 88°41'48" W	309.79'	L44	S 65°06'54" E	51.50'	L84	N 41°26'33" W	71.98'
L5	S 19°33'39" W	31.87'	L45	S 72°28'09" E	34.68'	L85	N 47°28'30" W	75.69'
L6	S 24°47'27" E	82.08'	L46	S 37°35'23" W	35.95'	L86	N 42°03'30" W	83.68'
L7	S 47°52'34" E	38.08'	L47	S 12°44'09" E	63.72'	L87	N 43°10'32" W	72.50'
L8	S 20°54'52" E	35.77'	L48	S 16°18'47" E	75.01'	L88	N 46°33'17" W	68.34'
L9	S 43°02'32" W	31.14'	L49	S 06°18'29" E	53.68'	L89	N 54°42'51" W	77.80'
L10	S 12°55'30" W	28.12'	L50	S 30°19'22" E	39.03'	L90	N 61°49'46" W	68.35'
L11	S 12°20'50" W	17.06'	L51	S 24°23'21" W	33.84'	L91	N 64°40'18" W	65.25'
L12	S 13°59'40" E	106.89'	L52	S 13°33'58" E	49.84'	L92	N 64°55'31" W	71.37'
L13	S 14°17'54" W	38.60'	L53	S 14°17'08" W	50.33'	L93	N 62°37'35" W	70.77'
L14	S 09°29'14" E	65.82'	L54	S 28°15'02" W	69.84'	L94	N 57°57'53" W	64.15'
L15	S 7°34'06" W	40.06'	L55	S 05°56'29" E	101.87'	L95	N 53°51'10" W	65.57'
L16	S 39°08'31" E	31.53'	L56	S 21°47'59" E	48.79'	L96	N 47°26'23" W	69.33'
L17	S 44°02'30" W	30.36'	L57	S 33°37'29" W	56.27'	L97	N 41°27'07" W	53.86'
L18	S 32°54'44" W	102.28'	L58	S 00°19'13" E	49.76'	L98	N 36°26'41" W	62.50'
L19	S 18°40'20" E	35.08'	L59	S 11°00'05" W	37.97'	L99	N 32°23'52" W	69.36'
L20	S 2°41'54" W	58.53'	L60	S 30°07'06" E	34.48'	L100	N 28°42'06" W	59.49'
L21	S 03°26'19" E	46.73'	L61	S 86°42'45" W	36.40'	L101	N 34°02'55" W	62.33'
L22	S 09°32'40" W	66.64'	L62	S 29°33'41" E	56.48'	L102	N 19°07'00" W	68.52'
L23	S 07°40'02" W	95.45'	L63	S 53°34'49" E	43.32'	L103	N 33°08'56" W	69.76'
L24	S 02°34'08" W	70.08'	L64	S 07°36'54" W	24.53'	L104	N 07°27'02" W	64.67'
L25	S 23°45'09" E	54.91'	L65	N 83°11'04" W	37.42'	L105	N 03°03'32" W	59.48'
L26	S 38°31'20" W	38.11'	L66	N 75°41'08" W	56.65'	L106	N 00°14'32" W	63.55'
L27	S 19°15'43" E	101.46'	L67	N 84°52'49" W	60.19'	L107	N 02°50'39" E	59.35'
L28	S 16°08'49" W	26.03'	L68	N 51°46'25" W	60.07'	L108	N 02°58'23" E	76.76'
L29	S 63°34'36" W	30.57'	L69	N 4°33'24" W	58.45'	L109	N 03°50'58" E	72.84'
L30	S 7°35'47" E	54.36'	L70	N 35°56'54" W	64.16'	L110	N 02°52'35" E	60.77'
L31	S 10°24'19" E	65.01'	L71	N 29°05'09" W	55.14'	L111	N 01°40'07" E	62.72'
L32	S 08°06'19" E	51.11'	L72	N 26°04'34" W	67.46'	L112	N 00°33'05" W	50.61'
L33	S 06°17'53" E	41.98'	L73	N 24°37'24" W	70.53'	L113	N 00°03'26" E	77.84'
L34	S 22°34'17" E	66.18'	L74	N 24°53'34" W	69.80'	L114	N 12°27'03" W	254.69'
L35	S 20°18'56" W	45.61'	L75	N 24°50'42" W	64.19'	L115	N 62°42'46" E	137.00'
L36	S 33°15'08" W	43.17'	L76	N 24°40'35" W	73.79'			
L37	S 10°01'25" W	70.54'	L77	N 26°11'32" W	70.37'			
L38	S 02°10'35" E	101.63'	L78	N 39°12'38" W	70.12'			
L39	S 64°23'00" W	44.22'	L79	N 34°18'23" W	74.32'			
L40	S 19°35'35" E	43.30'	L80	N 39°17'33" W	79.11'			

FOR REFERENCE REFER TO:
D.B. 16877, PG. 2611
D.B. 15289, PG. 2437
D.B. 14585, PG. 875
B.M. 2011, PG. 1253
B.M. 2005, PG. 2295

DUKE ENERGY PROGRESS, INC.

TOPOGRAPHIC SURVEY OF
PROJECT WALTER
4401 AUBURN CHURCH ROAD

ST. MARYS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

BOOK: SEE MAP 100 0 100 200 300 CREW: CF, BH
DATE: 05/16/2018 DRAWN BY: TAM
SCALE: 1" = 200' SCALE IN FEET R.O.P. = 1:10,500
LAND UNIT: MAP:

DUKE ENERGY.
400 S. TRYON STREET
PO BOX 1007
CHARLOTTE N.C. 28201-1007
TELEPHONE NO. (704) 382-2361

DRAWING NO.
CFD-NC4401-C-0003-180040

WALTER

Safety Expectations:

ILLNESS ZERO INJURY

- Reduce Risk
- Remove Exposures to Hazards
- Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
101 N. TRYON ST. SUITE 1430
CHARLOTTE, NC 28202
T 704.334.7520
FIRM LICENSE #: C-1051
www.stewartengineering.com
PROJECT #: C18056

SEAL

MARK	DATE	DRAWN	DESIGN

PROJECT NO: C18056.00

DRAWING NUMBER
CFD-NC4401-C-0003-180040

ELECTRONIC FILE NAME: C0003.DWG

DRAWN BY: –

CHK'D BY: –

E-MAIL: –

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SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.
C-0003

E1 SIZE DWG: PLOT SIZE (30x42)

NOT FOR CONSTRUCTION

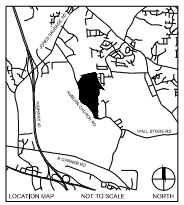
CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.02
TYPE OF GPS (OR GNSS) FIELD PROCEDURE: OPUS-S
DATE(S) OF SURVEY: MAY 16, 2018
DATUM/EPOCH: NAD83(2011)/2010.00
PUBLISHED/FIXED CONTROL: CORS STATIONS TILLINGTON, JORDAN LAKE, RALEIGH & SMITHFIELD
GEOID MODEL: 12B
COMBINED GRID FACTOR: 0.99987236
UNITS: U.S SURVEY FEET

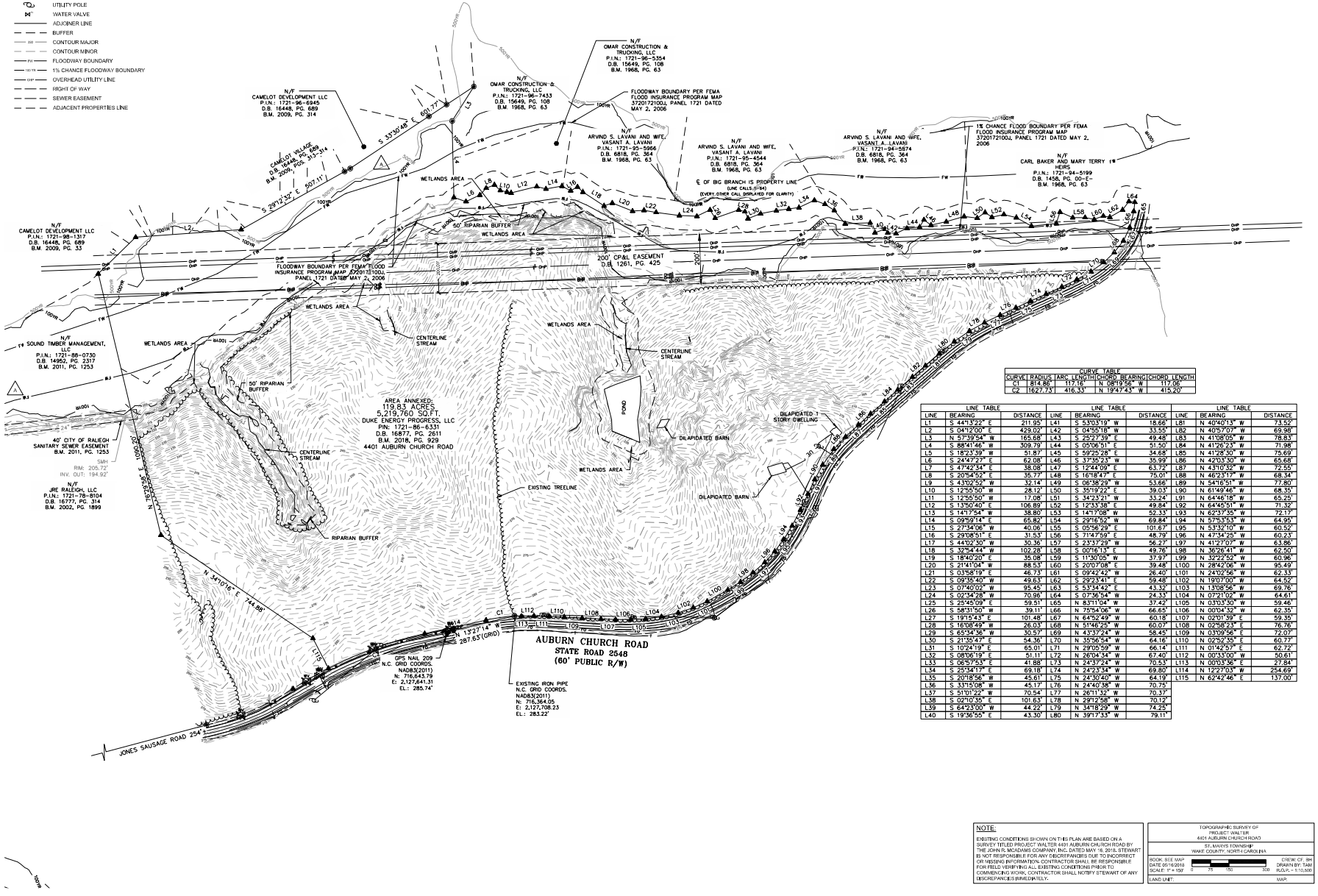
LEGEND

- CALCULATED POINT
- EXISTING IRON PIPE
- FIRE HYDRANT
- GUY WIRE
- UTILITY POLE
- WATER VALVE
- ADJOINER LINE
- BUFFER
- CONTOUR MAJOR
- CONTOUR MINOR
- FLOODWAY BOUNDARY
- 1% CHANCE FLOODWAY BOUNDARY
- OVERHEAD UTILITY LINE
- RIGHT OF WAY
- SEWER EASEMENT
- ADJACENT PROPERTIES LINE

NOTES:

- A CLOSED TRAVERSE LOOP WAS PERFORMED AROUND THE SUBJECT AREA.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID (NAD 83).
- THIS SUBJECT PROPERTY IS SUBJECT TO ANY VALID AND ENFORCEABLE EASEMENTS, RESTRICTIONS, AND RIGHTS OF WAY OF RECORD.
- THE SUBJECT PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA (ZONE AE) AS PER FEMA FIRM MAP NO. 3720172100J. EFFECTIVE DATE MAY 2, 2006.
- BASED ON FIELD MONUMENTS FOUND, AND RECORDED DEEDS & PLATS THERE ARE NO GAPS, GORES, OR OVERLAPS BETWEEN THE SUBJECT PROPERTY AND THE ADJOINING PROPERTIES SHOWN ON THIS SURVEY.
- RIGHT OF WAY IS BASED ON ACTUAL LOCATION OF SURVEYED ROAD. NCDOT PLANS CENTERLINE DATA IN ERROR.
- THE WESTERN BOUNDARY LINE IS THE RIGHT OF WAY FOR AUBURN CHURCH ROAD.
- NO VISIBLE CEMETERIES AND/OR RURAL GROUNDS.
- REVISED 04/18/2018 TO ACCOUNT FOR RECOMMANTION.





CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	814.86'	117.16'	N 08°19'56" W	117.06'
C2	1627.73'	416.33'	N 19°47'43" W	415.20'

LINE TABLE							
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S 44°13'22" E	211.95'	L41	S 53°03'19" W	18.66'	L81	N 40°40'13" W	73.52'
L2	S 04°12'00" E	429.02'	L42	S 04°55'18" W	33.55'	L82	N 40°57'07" W	69.98'
L3	N 57°39'54" W	165.68'	L43	S 25°27'39" E	49.48'	L83	N 41°08'05" W	78.83'
L4	S 88°41'46" W	309.79'	L44	S 05°06'51" E	51.50'	L84	N 41°26'23" W	71.98'
L5	S 18°23'39" W	51.87'	L45	S 59°25'28" E	34.68'	L85	N 41°28'30" W	75.69'
L6	S 24°47'27" E	62.08'	L46	S 37°35'23" W	35.99'	L86	N 42°03'30" W	65.68'
L7	S 47°42'34" E	38.08'	L47	S 12°44'09" E	63.72'	L87	N 43°10'32" W	72.55'
L8	S 20°54'52" E	35.77'	L48	S 16°18'47" E	75.01'	L88	N 46°23'17" W	68.34'
L9	S 43°02'52" W	32.14'	L49	S 06°38'29" W	53.66'	L89	N 54°16'51" W	77.80'
L10	S 12°55'50" W	28.12'	L50	S 35°19'22" E	39.03'	L90	N 61°49'46" W	68.35'
L11	S 12°55'50" W	17.08'	L51	S 34°23'21" W	33.24'	L91	N 64°46'16" W	65.25'
L12	S 13°50'40" E	106.89'	L52	S 12°33.38" E	49.84'	L92	N 64°45'51" W	71.32'
L13	S 14°17'54" W	38.80'	L53	S 14°17'08" W	52.33'	L93	N 62°37'35" W	72.17'
L14	S 09°59'14" E	65.82'	L54	S 29°16'52" W	69.84'	L94	N 57°53'53" W	64.95'
L15	S 27°34'06" W	40.06'	L55	S 05°56'29" E	101.67'	L95	N 53°32'10" W	60.52'
L16	S 29°08'51" E	31.53'	L56	S 71°47'59" E	48.79'	L96	N 47°34'25" W	60.23'
L17	S 44°02'30" W	30.36'	L57	S 23°37'29" W	56.27'	L97	N 41°27'07" W	63.86'
L18	S 32°54'44" W	102.28'	L58	S 00°16'13" E	49.76'	L98	N 36°26'41" W	62.50'
L19	S 18°40'20" E	35.08'	L59	S 11°30'05" W	37.97'	L99	N 32°22'52" W	60.96'
L20	S 21°41'04" W	88.53'	L60	S 20°07'08" E	39.48'	L100	N 28°42'06" W	95.49'
L21	S 03°58'19" E	46.73'	L61	S 09°42'42" W	26.40'	L101	N 24°02'56" W	62.33'
L22	S 09°35'40" W	49.63'	L62	S 29°23'41" E	59.48'	L102	N 19°07'00" W	64.52'
L23	S 07°40'02" W	95.45'	L63	S 53°34'42" E	43.32'	L103	N 13°08'56" W	69.76'
L24	S 02°34'28" W	70.96'	L64	S 07°36'54" W	24.33'	L104	N 07°21'02" W	64.61'
L25	S 25°45'09" E	59.51'	L65	N 83°11'04" W	37.42'	L105	N 03°03'30" W	59.46'
L26	S 58°31'50" W	39.11'	L66	N 75°54'06" W	66.65'	L106	N 00°04'32" W	62.35'
L27	S 19°19'43" E	101.48'	L67	N 64°52'49" W	60.18'	L107	N 02°01'39" E	59.35'
L28	S 16°08'49" W	26.03'	L68	N 51°46'25" W	60.07'	L108	N 02°58'23" E	76.76'
L29	S 65°34'36" W	30.57'	L69	N 43°37'24" W	58.45'	L109	N 03°09'56" E	72.07'
L30	S 21°35'47" E	54.36'	L70	N 35°56'54" W	64.16'	L110	N 02°52'35" E	60.77'
L31	S 10°24'19" E	65.01'	L71	N 29°05'59" W	66.14'	L111	N 01°42'57" E	62.72'
L32	S 08°06'19" E	51.11'	L72	N 26°04'34" W	67.40'	L112	N 00°33'00" W	50.61'
L33	S 06°57'53" E	41.88'	L73	N 24°37'24" W	70.53'	L113	N 00°03'56" E	27.84'
L34	S 25°34'17" E	69.18'	L74	N 24°23'34" W	69.80'	L114	N 12°27'03" W	254.69'
L35	S 20°18'56" W	45.61'	L75	N 24°30'40" W	64.19'	L115	N 62°42'46" E	137.00'
L36	S 33°15'08" W	45.17'	L76	N 24°40'38" W	70.75'			
L37	S 51°01'22" W	70.54'	L77	N 26°11'32" W	70.37'			
L38	S 02°10'35" E	101.63'	L78	N 29°12'58" W	70.12'			
L39	S 64°23'00" W	44.22'	L79	N 34°18'29" W	74.25'			
L40	S 19°36'55" E	43.30'	L80	N 39°17'33" W	79.11'			

NOTE:
EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED ON A SURVEY TITLED PROJECT WALTER 4401 AUBURN CHURCH ROAD BY THE JOHN R. MCADAMS COMPANY, INC. DATED MAY 16, 2018. STEWART IS NOT RESPONSIBLE FOR ANY DISCREPANCIES DUE TO INCORRECT OR MISSING INFORMATION. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY STEWART OF ANY DISCREPANCIES IMMEDIATELY.

TOPOGRAPHIC SURVEY OF
PROJECT WALTER
4401 AUBURN CHURCH ROAD
ST. MARYS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

BOOK: SEE MAP
DATE: 05/16/2018
SCALE: 1" = 150'
CREW: CF, BM
DRAWN BY: TAM
R.O.P. = 1:10,000
LAND UNIT:
MAP:

DRAWING NO.
CFD-NC4401-C-0004-180040

WALTER

Safety Expectations:
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
101 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE # C-1051
www.stewartinc.com
PROJECT # 118056

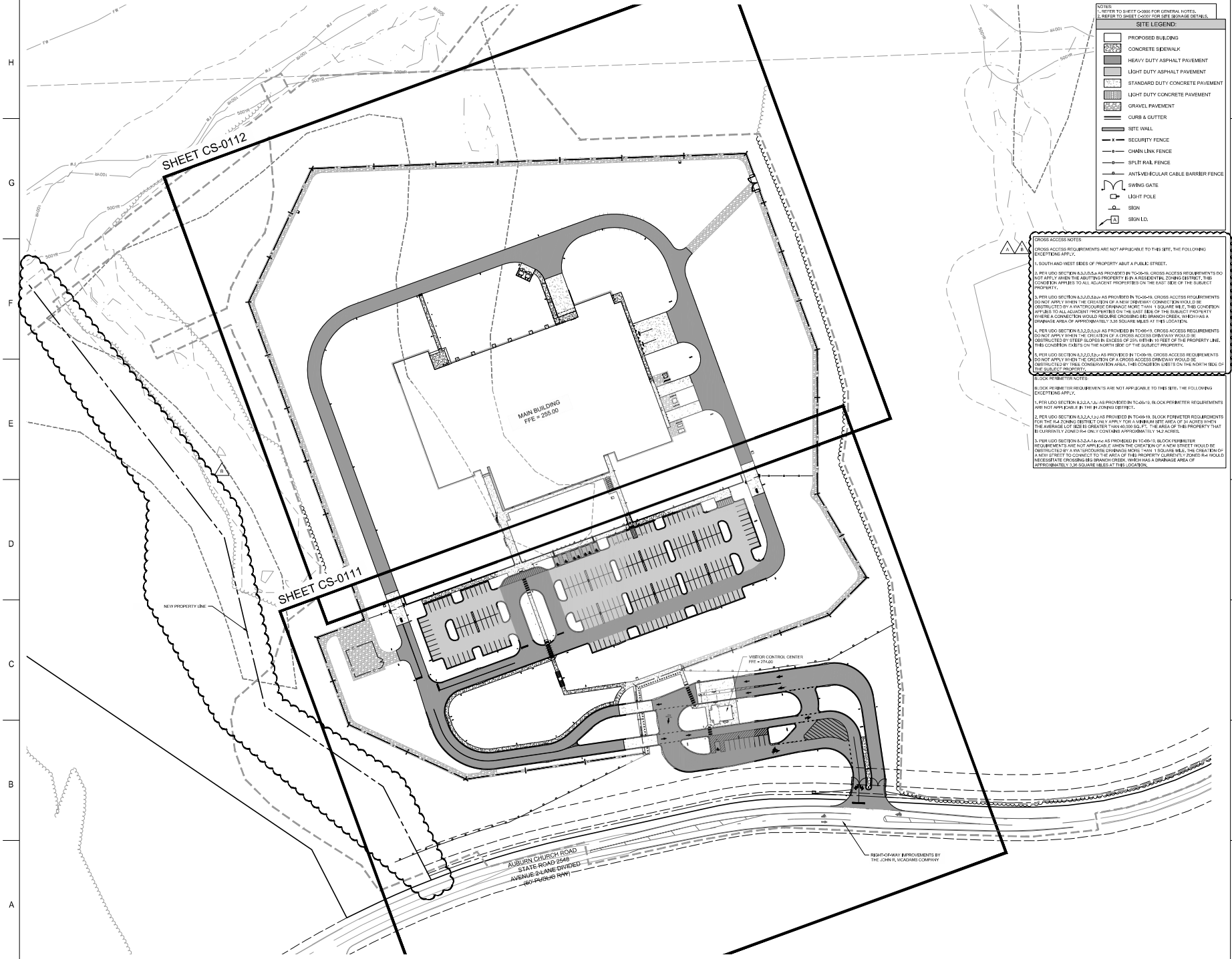
0 75 150 300 NORTH
SCALE: 1"=150'
SEAL

SYMBOL	DATE	DRAWN BY	DESCRIPTION
	07/20/20		ADDENDUM A
	05/24/18		100% CONSTRUCTION DOCUMENTS

PROJECT NO: C18056.00
DRAWING NUMBER
CFD-NC4401-C-0004-180040
ELECTRONIC FILE NAME: C0003.DWG
DRAWN BY: –
CHKD BY: –
E-MAIL: –
SHEET TITLE
EXISTING CONDITIONS
SHEET NO.
C-0004

E1 SIZE DWG: PLOT SIZE (30x42)

NOT FOR CONSTRUCTION



NOTES:
1. REFER TO SHEET C-0000 FOR GENERAL NOTES.
2. REFER TO SHEET C-0001 FOR SITE SIGNAGE DETAILS.

SITE LEGEND:

- PROPOSED BUILDING
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- STANDARD DUTY CONCRETE PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- GRAVEL PAVEMENT
- CURB & GUTTER
- SITE WALL
- SECURITY FENCE
- CHAIN LINK FENCE
- SPLIT RAIL FENCE
- ANTI-VEHICULAR CABLE BARRIER FENCE
- SWING GATE
- LIGHT POLE
- SIGN
- SIGN I.D.

CROSS ACCESS NOTES:

CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THIS SITE, THE FOLLOWING EXCEPTIONS APPLY.

1. SOUTH AND WEST SIDES OF PROPERTY ABUT A PUBLIC STREET.

2. PER UDO SECTION 8.3.2.D.5.a.iii AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE ABUTTING PROPERTY IS IN A RESIDENTIAL ZONING DISTRICT. THIS CONDITION APPLIES TO ALL ADJACENT PROPERTIES ON THE EAST SIDE OF THE SUBJECT PROPERTY.

3. PER UDO SECTION 8.3.2.D.5.b.iv AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE CREATION OF A NEW DRIVEWAY CONNECTION WOULD BE OBSTRUCTED BY A WATERCOURSE DRAINAGE MORE THAN 1 SQUARE MILE. THIS CONDITION APPLIES TO ALL ADJACENT PROPERTIES ON THE EAST SIDE OF THE SUBJECT PROPERTY WHERE A CONNECTION WOULD REQUIRE CROSSING BIG BRANCH CREEK, WHICH HAS A DRAINAGE AREA OF APPROXIMATELY 3.26 SQUARE MILES AT THIS LOCATION.

4. PER UDO SECTION 8.3.2.D.5.b.iii AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE CREATION OF A CROSS ACCESS DRIVEWAY WOULD BE OBSTRUCTED BY STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE. THIS CONDITION EXISTS ON THE NORTH SIDE OF THE SUBJECT PROPERTY.

5. PER UDO SECTION 8.3.2.D.5.b.v AS PROVIDED IN TC-06-19, CROSS ACCESS REQUIREMENTS DO NOT APPLY WHEN THE CREATION OF A CROSS ACCESS DRIVEWAY WOULD BE OBSTRUCTED BY TREE CONSERVATION AREA. THIS CONDITION EXISTS ON THE NORTH SIDE OF THE SUBJECT PROPERTY.

BLOCK PERIMETER NOTES:

BLOCK PERIMETER REQUIREMENTS ARE NOT APPLICABLE TO THIS SITE. THE FOLLOWING EXCEPTIONS APPLY.

1. PER UDO SECTION 8.3.2.A.1.b AS PROVIDED IN TC-06-19, BLOCK PERIMETER REQUIREMENTS ARE NOT APPLICABLE IN THE IH ZONING DISTRICT.

2. PER UDO SECTION 8.3.2.A.1.bJ AS PROVIDED IN TC-06-19, BLOCK PERIMETER REQUIREMENTS FOR THE R-4 ZONING DISTRICT ONLY APPLY FOR A MINIMUM SITE AREA OF 3.1 ACRES WHEN THE AVERAGE LOT SIZE IS GREATER THAN 40,000 SQ. FT. THE AREA OF THIS PROPERTY THAT IS CURRENTLY ZONED R-4 ONLY CONTAINS APPROXIMATELY 14.2 ACRES.

3. PER UDO SECTION 8.3.2.A.1.b.v.c AS PROVIDED IN TC-06-19, BLOCK PERIMETER REQUIREMENTS ARE NOT APPLICABLE WHEN THE CREATION OF A NEW STREET WOULD BE OBSTRUCTED BY A WATERCOURSE DRAINAGE MORE THAN 1 SQUARE MILE. THE CREATION OF A NEW STREET TO CONNECT TO THE AREA OF THIS PROPERTY CURRENTLY ZONED R-4 WOULD NECESSITATE CROSSING BIG BRANCH CREEK, WHICH HAS A DRAINAGE AREA OF APPROXIMATELY 3.26 SQUARE MILES AT THIS LOCATION.

DRAWING NO.
CFD-NC4401-CS-0110-180040

WALTER

Safety Expectations:
ILLNESS ZERO INJURY
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
TEL 704.377.2725
FAX 704.377.2807

STEWART
501 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE #: C-1051
CONTACT: MATT WOOD
PROJECT #: C18056

0 30 60 120 NORTH
SCALE: 1"=60'

SEAL

SYMBOL	DATE	DRAWN BY	DESCRIPTION
	07/20/20	KDC	CONSTRUCTION DOCUMENTS
	05/05/20	KDC	

PROJECT NO. C18056.00

DRAWING NUMBER
CFD-NC4401-CS-0110-180040

ELECTRONIC FILE NAME CS0110.DWG

DRAWN BY: --

CHKD BY: --

E-MAIL: --

SHEET TITLE
OVERALL SITE PLAN

SHEET NO.
CS-0110

NOT FOR CONSTRUCTION

E1 SIZE DWG: PLOT SIZE (30x42)

MATCHLINE - SHEET CS-0112

AUBURN CHURCH ROAD
STATE ROAD 2548
AVENUE-2-LANE DIVIDED
(60' PUBLIC R/W)

INSET A
1" = 10'

INSET B
1" = 20'

SITE LEGEND:

- PROPOSED BUILDING
- CONCRETE SIDEWALK
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- STANDARD DUTY CONCRETE PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- GRAVEL PAVEMENT
- CURB & GUTTER
- SITE WALL
- SECURITY FENCE
- CHAIN LINK FENCE
- SPLIT RAIL FENCE
- ANTI-VEHICULAR CABLE BARRIER FENCE
- SWING GATE
- LIGHT POLE
- SIGN
- SIGN I.D.

NOTES:
1. REFER TO SHEET C-0006 FOR GENERAL NOTES.
2. REFER TO SHEET C-0007 FOR SITE SIGNAGE DETAILS.
3. REFER TO PLANS BY THE JOHN R. MCADAMS COMPANY FOR ROADWAY IMPROVEMENTS AND DRIVEWAY CONNECTION AT AUBURN CHURCH ROAD.

DRAWING NO.
CFD-NC4401-CS-0111-180040

WALTER

Safety Expectations:
ILLNESS ZERO INJURY
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

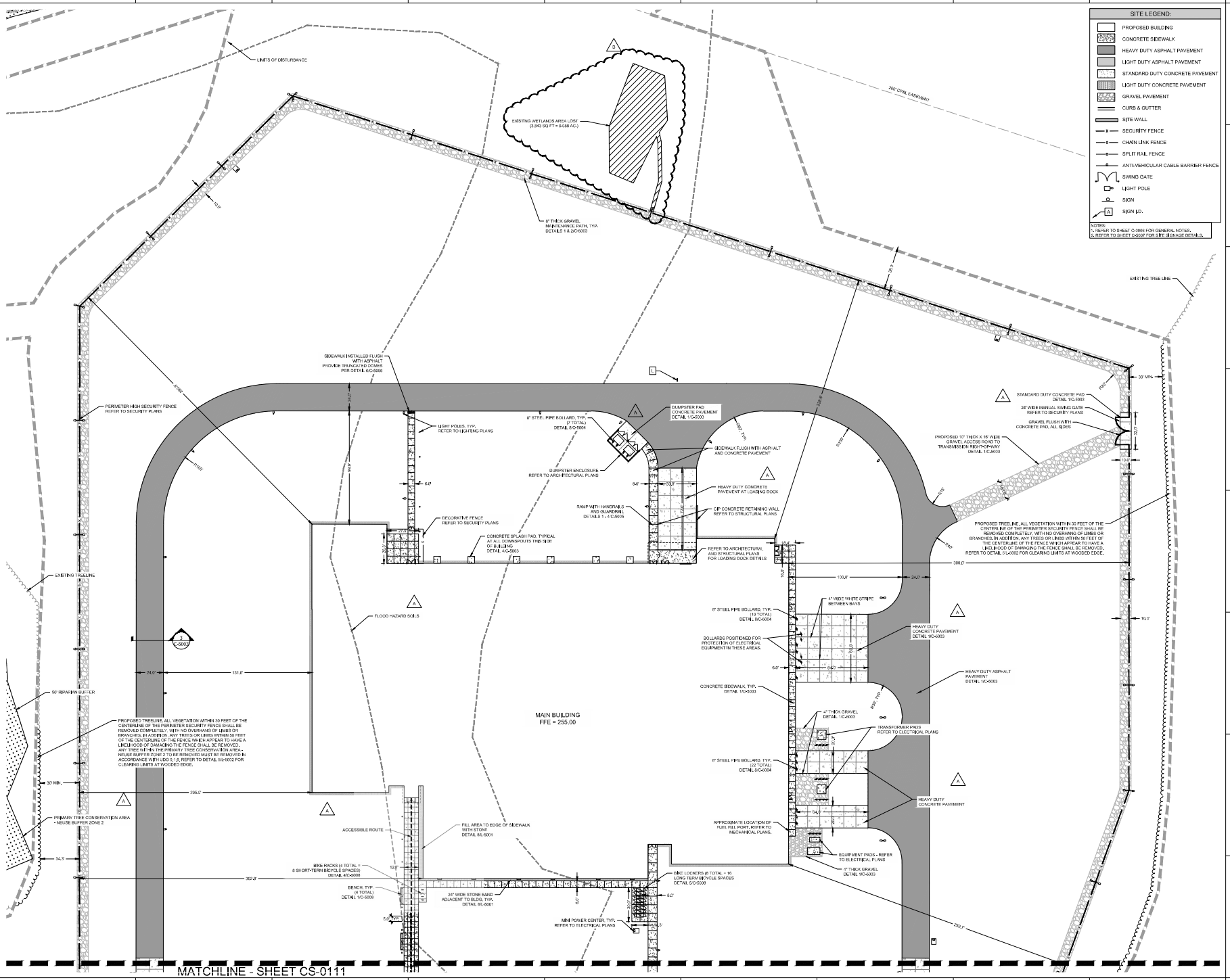
Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
501 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE #: C-1051
STATE OF NORTH CAROLINA
PROJECT #: 178.0200

0 15 30 60 NORTH
SCALE: 1"=30'

SEAL

SUBMIT	DATE	DRAWN	REVISIONS



DRAWING NO.
CFD-NC4401-CS-0112-180040

WALTER

Safety Expectations:
ILLNESS ZERO INJURY
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
T# 704.377.2725
Fax 704.377.2807

STEWART
501 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704 334 7626
FIRM LICENSE #: C-1051
WWW.STEWARTINC.COM
PROJECT #: C18056

0 15 30 60 NORTH
SCALE: 1"=30'

SEAL

SYMBOL	DATE	DRAWN BY	REVISIONS
	07/26/20	KOE/CDW/JR	100% CONSTRUCTION DOCUMENTS
	05/05/20	KOE/CDW/JR	

PROJECT NO: C18056.00

DRAWING NUMBER
CFD-NC4401-CS-0112-180040

ELECTRONIC FILE NAME: CS0112.DWG

DRAWN BY: –

CHKD BY: –

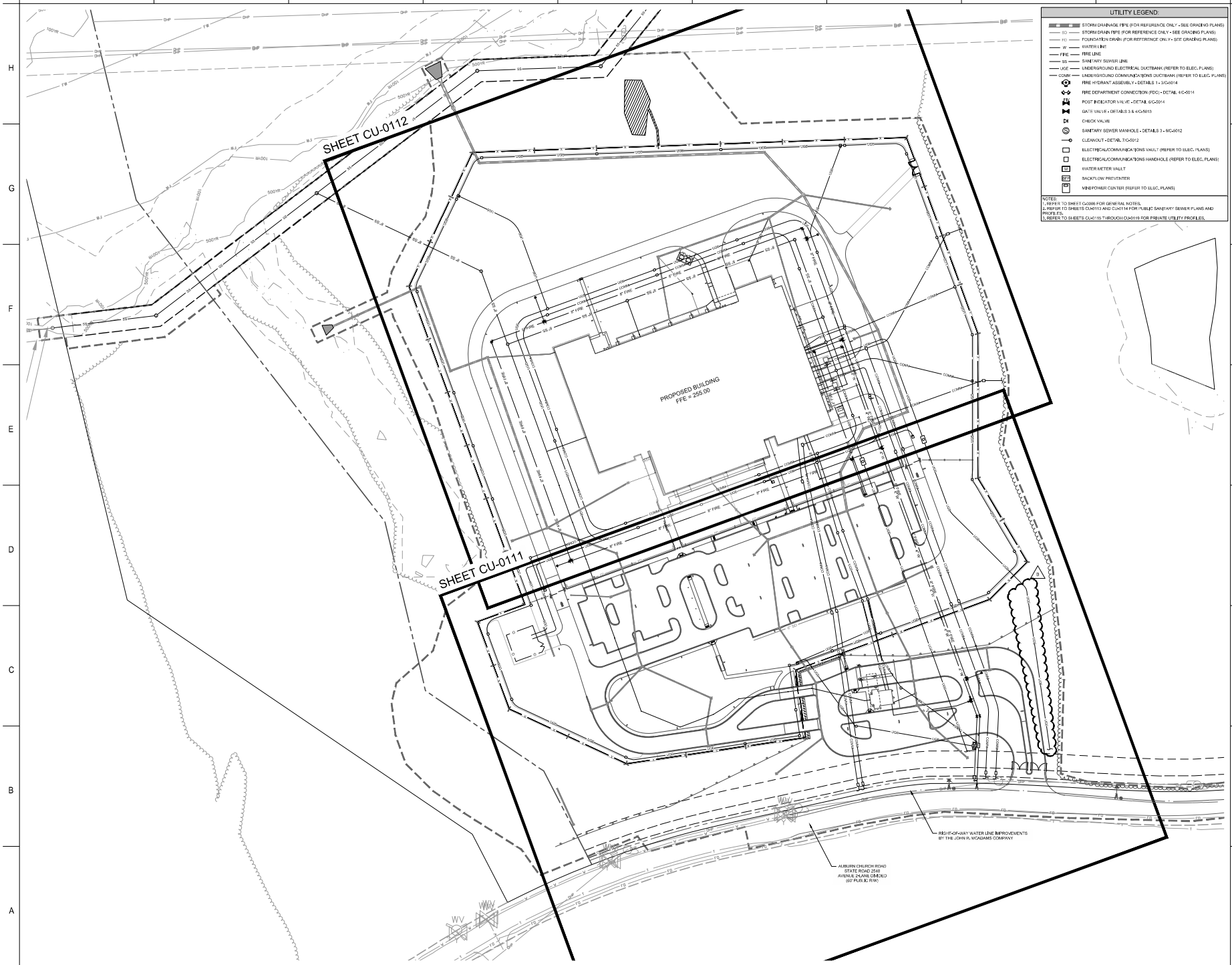
E-MAIL: –

SHEET TITLE:
ENLARGED SITE PLAN - EAST

SHEET NO.
CS-0112

E1 SIZE DWG: PLOT SIZE (30x42)

NOT FOR CONSTRUCTION



UTILITY LEGEND:

- STORM DRAINAGE PIPE (FOR REFERENCE ONLY - SEE GRADING PLANS)
- SD — STORM DRAIN PIPE (FOR REFERENCE ONLY - SEE GRADING PLANS)
- FD — FOUNDATION DRAIN (FOR REFERENCE ONLY - SITE GRADING PLANS)
- W — WATER LINE
- FIRE — FIRE LINE
- SS — SANITARY SEWER LINE
- UGE — UNDERGROUND ELECTRICAL DUCTBANK (REFER TO ELEC. PLANS)
- COMM — UNDERGROUND COMMUNICATIONS DUCTBANK (REFER TO ELEC. PLANS)
- FIRE HYDRANT ASSEMBLY - DETAILS 1 - 3/C-5014
- FIRE DEPARTMENT CONNECTION (FDC) - DETAIL 4/C-5014
- POST INDICATOR VALVE - DETAIL 6/C-5014
- GATE VALVE - DETAILS 3 & 4/C-5013
- CHECK VALVE
- SANITARY SEWER MANHOLE - DETAILS 3 - 6/C-5012
- CLEANOUT - DETAIL 7/C-5012
- ELECTRICAL/COMMUNICATIONS VAULT (REFER TO ELEC. PLANS)
- ELECTRICAL/COMMUNICATIONS HANDHOLE (REFER TO ELEC. PLANS)
- WATER METER VAULT
- BFP — BACKFLOW PREVENTER
- MINI POWER CENTER (REFER TO ELEC. PLANS)

NOTES:
1. REFER TO SHEET C-0008 FOR GENERAL NOTES.
2. REFER TO SHEETS CU-0113 AND CU-0114 FOR PUBLIC SANITARY SEWER PLANS AND PROFILES.
3. REFER TO SHEETS CU-0115 THROUGH CU-0119 FOR PRIVATE UTILITY PROFILES.

DRAWING NO.
CFD-NC4401-CU-0110-180040

WALTER

Safety Expectations:

ILLNESS ZERO INJURY
- Reduce Risk
- Remove Exposures to Hazards
- Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
T +1 704.377.2725
F +1 704.377.2807

STEWART
101 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE # C-1051
NC LICENSE # P-0120
PROJECT # C18056

0 30 60 120 NORTH
SCALE: 1"=60'

SEAL

REVISION	DATE	DRAWN BY	DESCRIPTION
1	03/10/20		CONSTRUCTION DOCUMENTS

PROJECT NO. C18056.00

DRAWING NUMBER
CFD-NC4401-CU-0110-180040

ELECTRONIC FILE NAME CU0110.DWG

DRAWN BY: –

CHKD BY: –

E-MAIL: –

SHEET TITLE
OVERALL UTILITY PLAN

SHEET NO.
CU-0110

NOT FOR CONSTRUCTION

E1 SIZE DWG: PLOT SIZE (30x42)

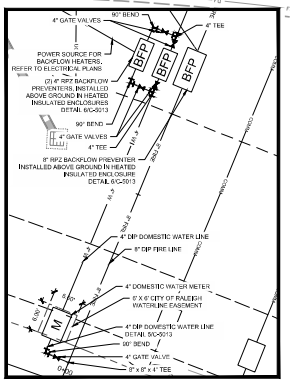
MATCHLINE - SHEET CU-0112

AUBURN CHURCH ROAD
STATE ROAD 2548
AVENUE 2-LANE DIVIDED
(60' PUBLIC R/W)

UTILITY LEGEND:

- STORM DRAINAGE PIPE (FOR REFERENCE ONLY - SEE GRADING PLANS)
- SD — STORM DRAIN PIPE (FOR REFERENCE ONLY - SEE GRADING PLANS)
- FD — FOUNDATION DRAIN (FOR REFERENCE ONLY - SEE GRADING PLANS)
- W — WATER LINE
- FIRE — FIRE LINE
- SS — SANITARY SEWER LINE
- UGE — UNDERGROUND ELECTRICAL DUCTBANK (REFER TO ELEC. PLANS)
- COMM — UNDERGROUND COMMUNICATIONS DUCTBANK (REFER TO ELEC. PLANS)
- FIRE HYDRANT ASSEMBLY - DETAILS 1 - 3/C-5014
- FIRE DEPARTMENT CONNECTION (FDC) - DETAIL 4/C-5014
- POST INDICATOR VALVE - DETAIL 5/C-5014
- GATE VALVE - DETAILS 3 & 4/C-5013
- CHECK VALVE
- SANITARY SEWER MANHOLE - DETAILS 3 - 6/C-5012
- CLEANOUT - DETAIL 7/C-5012
- ELECTRICAL/COMMUNICATIONS MANHOLE (REFER TO ELEC. PLANS)
- ELECTRICAL/COMMUNICATIONS HANDHOLE (REFER TO ELEC. PLANS)
- WM — WATER METER VAULT
- BFP — BACKFLOW PREVENTER
- MINI POWER CENTER (REFER TO ELEC. PLANS)

NOTES:
1. REFER TO SHEET C-0005 FOR GENERAL NOTES.
2. REFER TO PLANS BY THE JOHN R. MCADAMS (MCADAMS) COMPANY FOR EXTENSION OF THE WATER MAIN ACROSS THE PROPERTY FRONTAGE ALONG AUBURN CHURCH ROAD.
3. REFER TO SHEETS CU-0119 AND CU-0114 FOR PUBLIC SANITARY SEWER PLANS AND PROFILES.
4. REFER TO SHEETS CU-0115 THROUGH CU-0118 FOR PRIVATE UTILITY PROFILES.



INSET A
SCALE = 1" = 10'

DRAWING NO.
CFD-NC4401-CU-0111-180040

WALTER

Safety Expectations:
- Reduce Risk
- Remove Exposures to Hazards
- Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
501 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704 334 7626
FIRM LICENSE #: C-1051
CONTACT: MICHAEL WEAVER, PE
EMAIL: MWEAVER@STEWART.COM
PROJECT #: C18056

0 15 30 60 NORTH
SCALE: 1"=30'

SEAL

SYMBOL	DATE	DRAWN BY	DESCRIPTION
1	09/18/20		CONSTRUCTION DOCUMENTS

PROJECT NO. C18056.00

DRAWING NUMBER
CFD-NC4401-CU-0111-180040

ELECTRONIC FILE NAME CU0110.DWG

DRAWN BY: –

CHKD BY: –

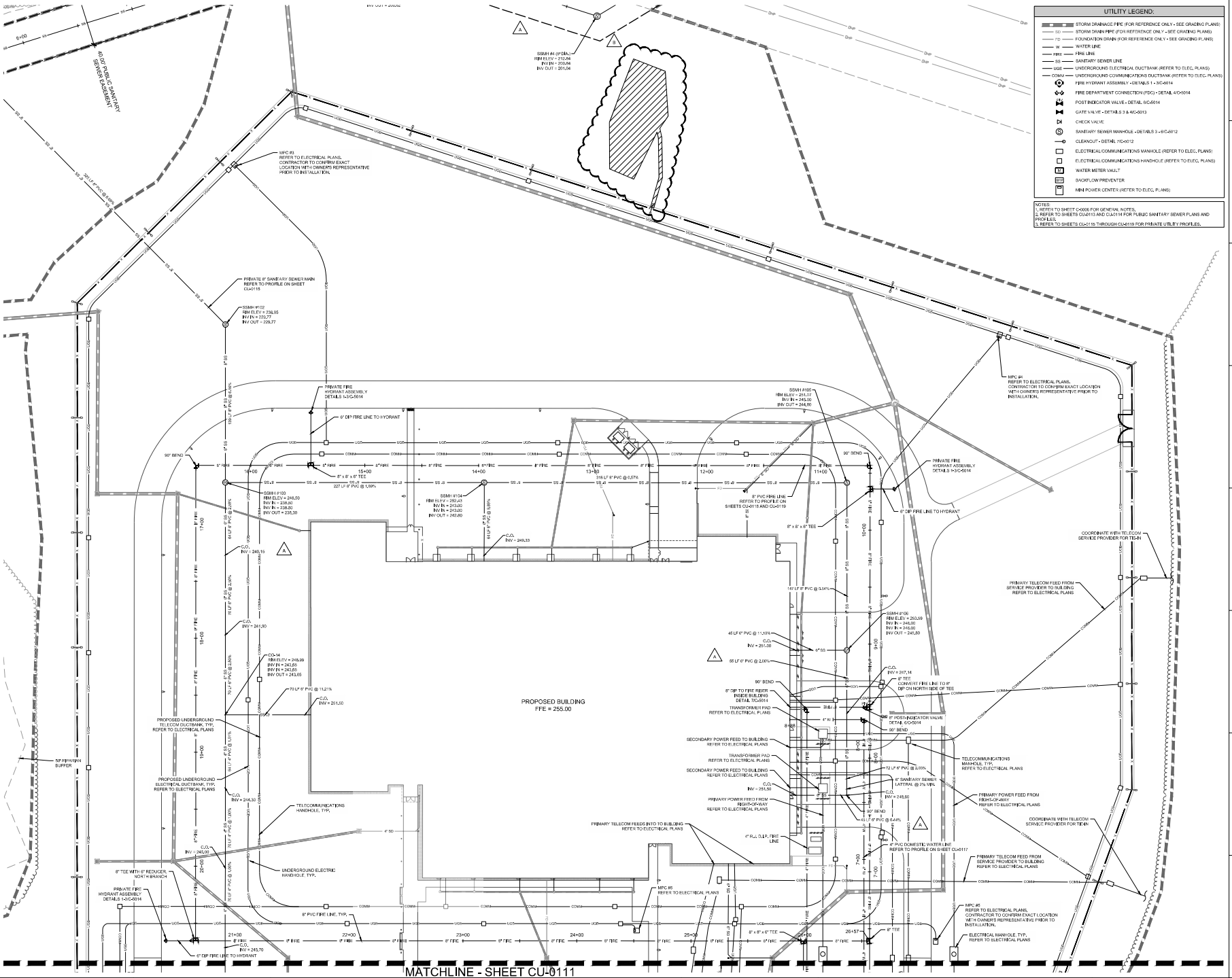
E-MAIL: –

SHEET TITLE
ENLARGED UTILITY PLAN - WEST

SHEET NO.
CU-0111

E1 SIZE DWG: PLOT SIZE (30x42)

NOT FOR CONSTRUCTION



DRAWING NO.
CFD-NC4401-CU-0112-180040

WALTER

Safety Expectations:
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
519 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE #: C-1051
WWW.STEWARTINC.COM
PROJECT #: C18056

0 15 30 60 NORTH
SCALE: 1"=30'
SEAL

SYMBOL	DATE	DRAWN BY	DESCRIPTION
	07/26/18	KORSWOOR	NON-CONSTRUCTION DOCUMENTS

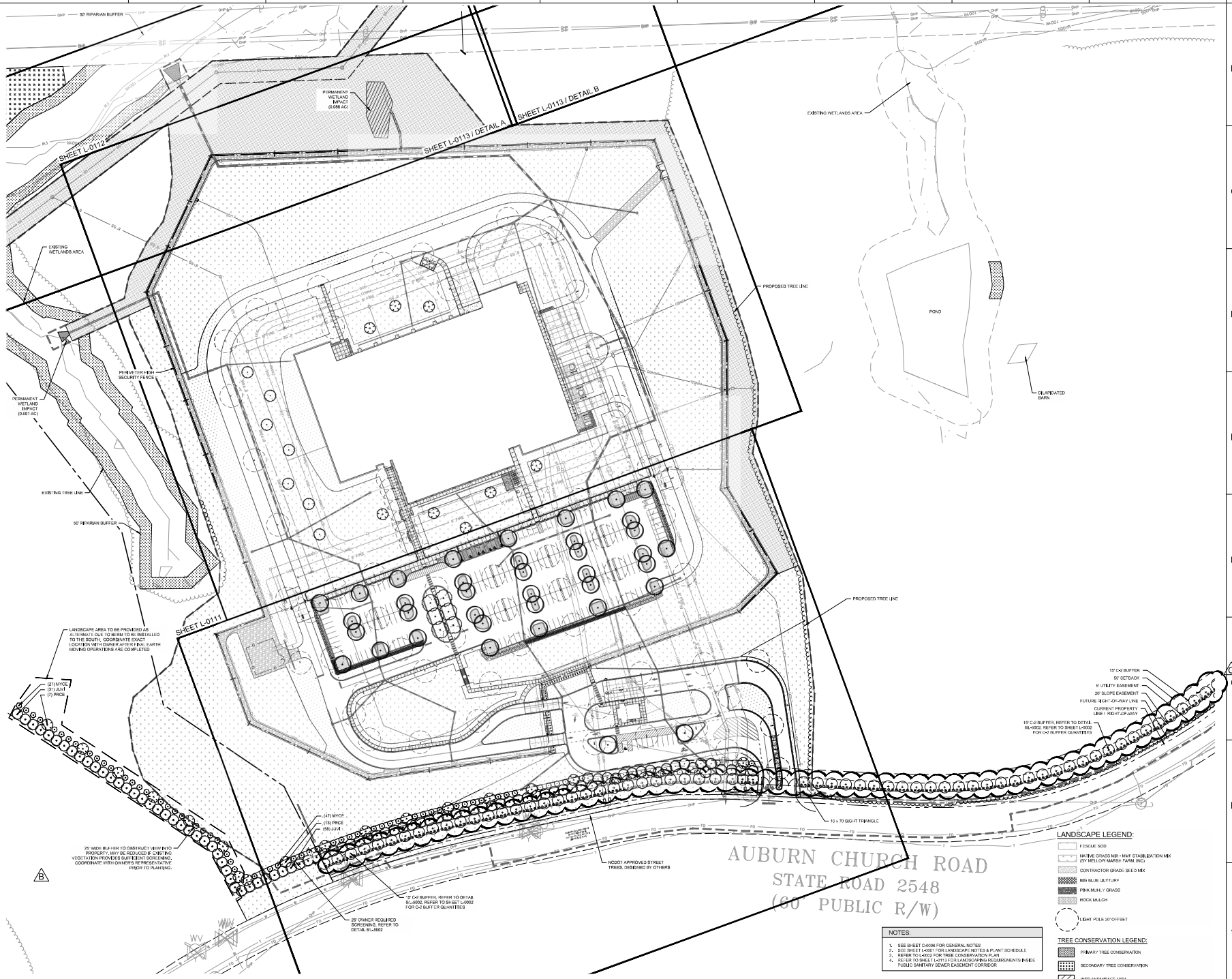
PROJECT NO. C18056.00
DRAWING NUMBER
CFD-NC4401-CU-0112-180040
ELECTRONIC FILE NAME CU0110.DWG
DRAWN BY: –
CHKD BY: –
E-MAIL: –

SHEET TITLE
ENLARGED UTILITY PLAN - EAST

SHEET NO.
CU-0112

E1 SIZE DWG: PLOT SIZE (30x42)

FOR CONSTRUCTION



NOTES:

1. SEE SHEET C-0006 FOR GENERAL NOTES
2. SEE SHEET L-0001 FOR LANDSCAPE NOTES & PLANT SCHEDULE
3. REFER TO L-0002 FOR TREE CONSERVATION PLAN
4. REFER TO SHEET L-0113 FOR LANDSCAPING REQUIREMENTS INSIDE PUBLIC SANITARY SEWER EASEMENT CORRIDOR

LANDSCAPE LEGEND:

- FESCUE SOD
- NATIVE GRASS MIX - MWF STABILIZATION MIX (BY WETLOWN MARSH FARM INC)
- CONTRACTOR GRADE SEED MIX
- BIG BLUE LILYTURF
- PINK MUHLY GRASS
- ROCK MULCH
- LIGHT POLE 20' OFFSET

TREE CONSERVATION LEGEND:

- PRIMARY TREE CONSERVATION
- SECONDARY TREE CONSERVATION
- WETLAND IMPACT AREA

DRAWING NO.
CFD-NC4401-L-0110-180040

WALTER

Safety Expectations:

ILLNESS ZERO INJURY

- Reduce Risk
- Remove Exposures to Hazards
- Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
101 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE # C-1051
WWW.STEWARTINC.COM
PROJECT # C18056

0 30 60 120 NORTH

SCALE: 1"=60'

SEAL

MARK	DATE	DRAWN BY	REVISIONS
			NOT FOR CONSTRUCTION
			100% CONSTRUCTION DOCUMENTS
			ADDENDUM 1
			ADDENDUM 2
			100% CONSTRUCTION DOCUMENTS

PROJECT NO: C18056.00

DRAWING NUMBER
CFD-NC4401-L-0110-180040

ELECTRONIC FILE NAME: L0110.DWG

DRAWN BY: --

CHKD BY: --

E-MAIL: --

SHEET TITLE:
OVERALL LANDSCAPE PLAN

SHEET NO.
L-0110

NOT FOR CONSTRUCTION

E1 SIZE DWG: PLOT SIZE (30x42)

SHEET L-0111

SHEET L-0112

(74) ILGS

PLANTING BED EDGE, TYP. REFER TO DETAIL 1L-5002

(183) LIMB

(8) ACFR

(106) DICI

(33) VIDA

ROCK MULCH #1, TYP., REFER TO DETAIL 7L-5001

(36) ULPB

(27) VIDA

(63) ILGS

20' 8" LIGHT POLE CLEARANCE, TYP.

(2) ULPB

AUBURN CHURCH ROAD
STATE ROAD 2946
AVENUE & LANE DIVIDED
(80' PUBLIC R/W)

50' SETBACK

20' SLOPE EASEMENT
5' UTILITY PLACEMENT EASEMENT
FUTURE RIGHT OF WAY
PROPERTY LINE

LANDSCAPE LEGEND:

- FESCUE SOD
- NATIVE GRASS MIX - MMF STABILIZATION MIX (BY MELLOW MARSH FARM INC)
- CONTRACTOR GRADE SEED MIX
- BIG BLUE LILYTURF
- PINK MUHLY GRASS
- ROCK MULCH
- LIGHT POLE 20' OFFSET

TREE CONSERVATION LEGEND:

- PRIMARY TREE CONSERVATION
- SECONDARY TREE CONSERVATION
- WETLAND IMPACT AREA

NOTES:

1. SEE SHEET C-0006 FOR GENERAL NOTES
2. SEE SHEET L-0001 FOR LANDSCAPE NOTES & PLANT SCHEDULE
3. REFER TO L-0002 FOR TREE CONSERVATION PLAN
4. REFER TO SHEET L-0113 FOR LANDSCAPING REQUIREMENTS INSIDE PUBLIC SANITARY SEWER EASEMENT CORRIDOR

DRAWING NO.
CFD-NC4401-L-0111-180040

WALTER

Safety Expectations:

ILLNESS ZERO INJURY

- Reduce Risk
- Remove Exposures to Hazards
- Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

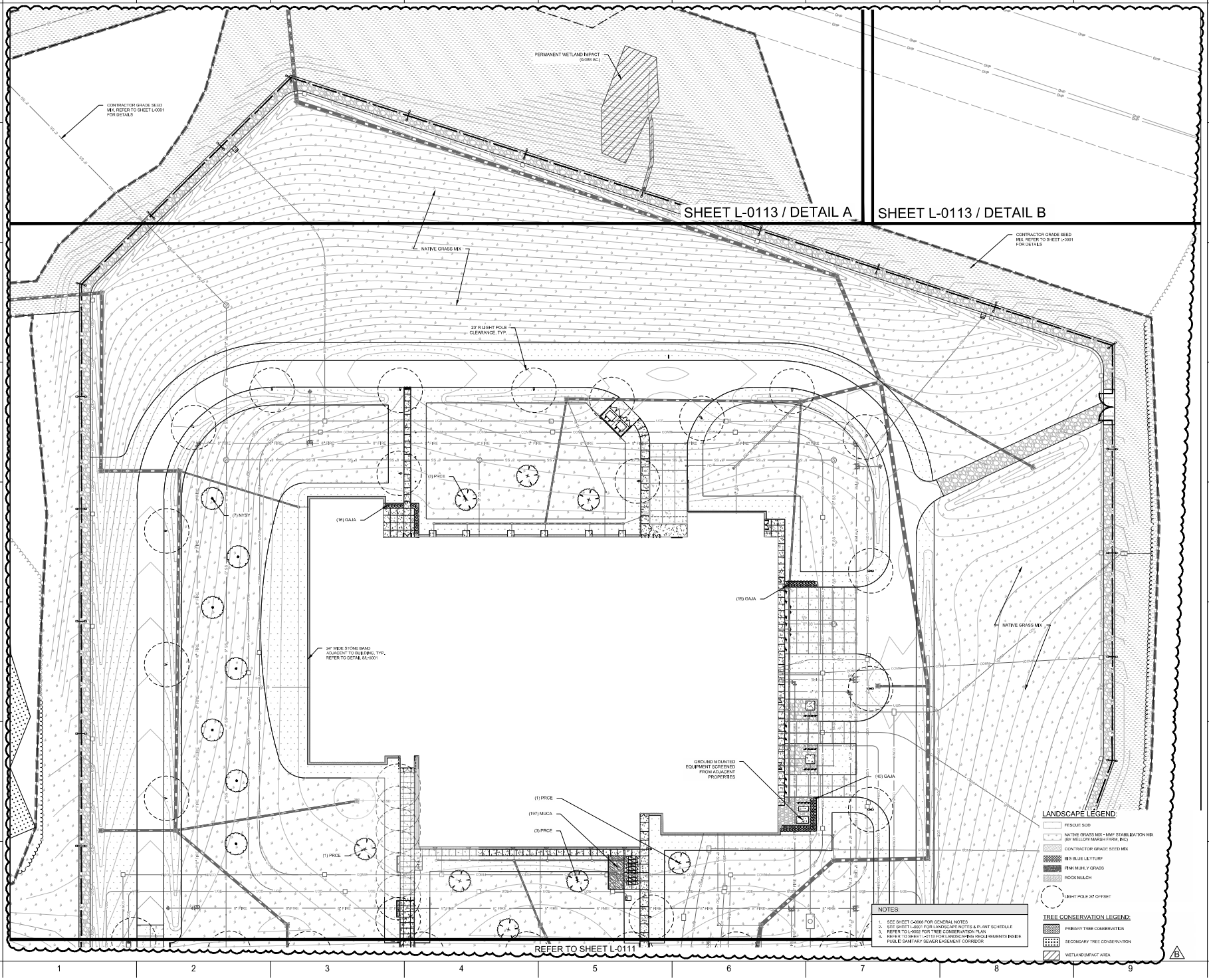
STEWART
101 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE # C-1051
WWW.STEWARTINC.COM
PROJECT # C18056

0 15 30 60 NORTH

SCALE: 1"=30'

SEAL

MARK	DATE	DRAWN BY	REVISIONS
			FOR CONSTRUCTION DOCUMENTS
			FOR REVIEW
			FOR REVIEW
			FOR REVIEW



DRAWING NO.
CFD-NC4401-L-0112-180040

WALTER

Safety Expectations:
ILLNESS ZERO INJURY
Reduce Risk
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

STEWART
501 N. TRYON ST., SUITE 1400
CHARLOTTE, NC 28202
T 704.334.7626
FIRM LICENSE #: C-1051
WWW.STEWARTINC.COM
PROJECT #: C18056

0 15 30 60 NORTH
SCALE: 1"=30'

SEAL

SUBMIT	DATE	DRAWN BY	REVISIONS
	07/26/21	KDC	CONSTRUCTION DOCUMENTS
	05/24/21	KDC	
	05/03/21	KDC	90% CONSTRUCTION DOCUMENTS

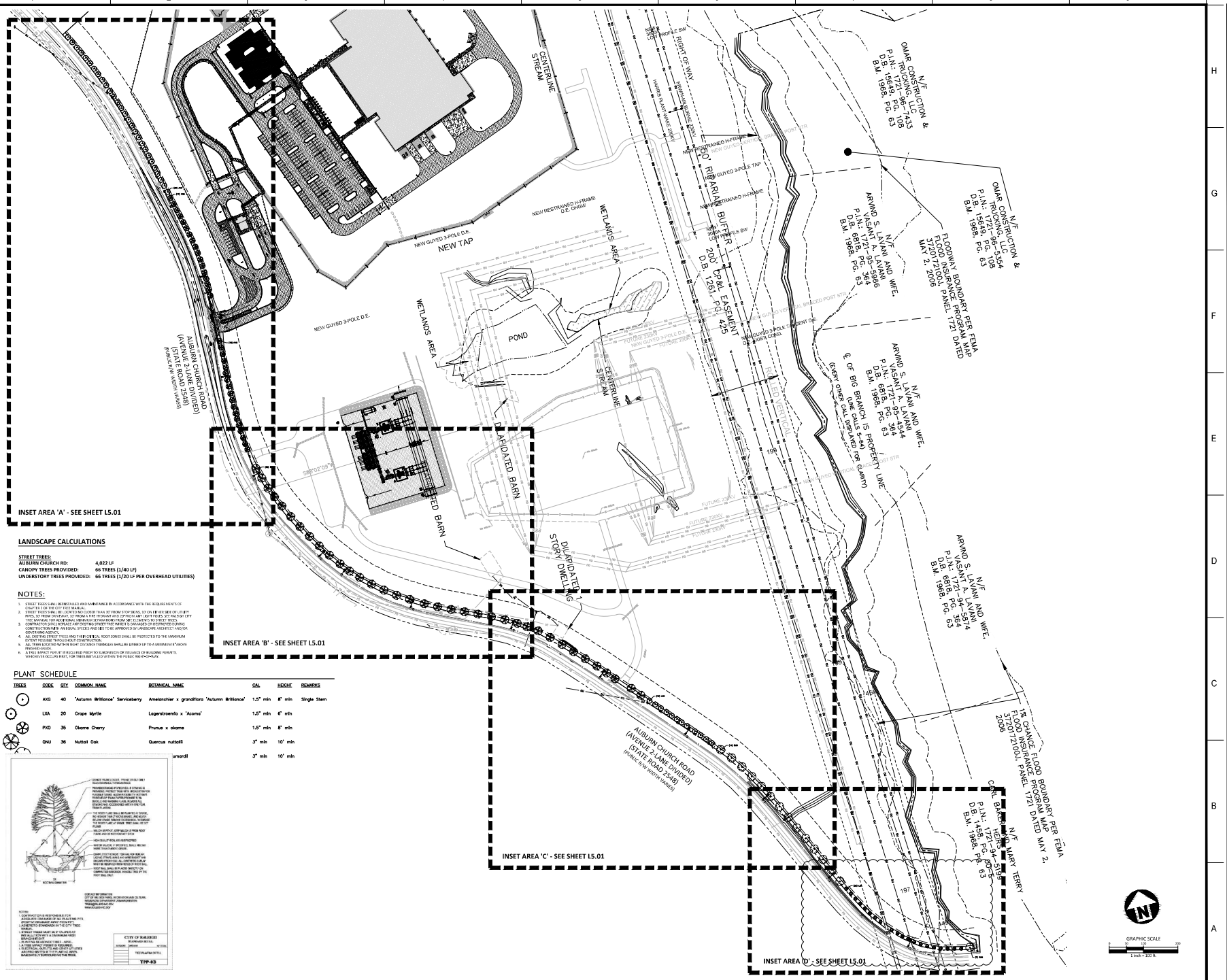
PROJECT NO: C18056.00
DRAWING NUMBER
CFD-NC4401-L-0112-180040
ELECTRONIC FILE NAME: L0110.DWG
DRAWN BY: –
CHKD BY: –
E-MAIL: –

SHEET TITLE
ENLARGED LANDSCAPE PLAN EAST

SHEET NO.
L-0112

E1 SIZE DWG: PLOT SIZE (30x42)

FOR CONSTRUCTION



LANDSCAPE CALCULATIONS

STREET TREES:
AUBURN CHURCH RD: 4,022 LF
CANOPY TREES PROVIDED: 66 TREES (1/40 LF)
UNDERSTORY TREES PROVIDED: 66 TREES (1/20 LF PER OVERHEAD UTILITIES)

NOTES:

1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
2. STREET TREES SHALL BE PLANTED NO MORE THAN 30' FROM STOP SIGNS, 10' ON EITHER SIDE OF UTILITY POLES, 10' FROM DRIVEWAYS, 20' FROM A FIRE HYDRANT AND 20' FROM ANY LIGHT POLES. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL MINIMUM SEPARATIONS FROM SITE ELEMENTS TO STREET TREES.
3. CONTRACTOR SHALL REPLACE ANY EXISTING STREET TREE WHICH IS DAMAGED OR DESTROYED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR GOVERNING AUTHORITY.
4. ALL EXISTING STREET TREES AND THEIR CRITICAL ROOT ZONES SHALL BE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
5. ALL TRIM LOCATED WITHIN RIGHT OF WAY SHALL BE LIMITED UP TO A MINIMUM 8' ABOVE FINISHED GRADE.
6. A PRE-IMPACT REPORT REQUIRED PRIOR TO SUBDIVISION OR ISSUANCE OF BUILDING PERMITS WHICHEVER OCCURS FIRST, FOR TREES INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	REMARKS
	AXG	40	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	1.5" min	8' min	Single Stem
	LXA	20	Crape Myrtle	Lagerstroemia x 'Acoma'	1.5" min	6' min	
	PXO	35	Okame Cherry	Prunus x okame	1.5" min	8' min	
	QNU	36	Nuttall Oak	Quercus nuttallii	3" min	10' min	
			umardii		3" min	10' min	

WALTER
MAILING ADDRESS:
P.O. BOX 1007
CHARLOTTE, NC 28201

Safety Expectations:

ILLNESS ZERO INJURY
Remove Exposures to Hazards
Reinforce Safe Behavior

McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
Phone: 919. 361. 5000
Fax: 919. 361. 2269
License #: C-0293, C-187
www.mcadamsco.com

Gensler
214 North Tryon Street
Suite 2320
Charlotte, NC 28202
United States
T 704.377.2725
F 704.377.2807

STEWART
151 N. TYRON ST. SUITE 1400
CHARLOTTE, NC 28202
T 704.331.7505
F 704.331.7507
NC LICENSE # C-0891
SC LICENSE # C-00392
PROJECT # C16058

SEAL

PROJECT WALTER
4401 AUBURN CHURCH ROAD
RALEIGH, NORTH CAROLINA 27610

OFFSITE IMPROVEMENTS

MARK	DATE	DRAWN BY	ISSUE/DESCRIPTION
1	4-3-2020	DAA	RESPONSE TO CITY OF RALEIGH COMMENTS
2	5-14-2020	DAA	RESPONSE TO CITY OF RALEIGH COMMENTS

PROJECT NO: DKE-18190
DRAWING NUMBER
ELECTRONIC FILE NAME: XS1.DWG
DRAWN BY: DAA 3-19-2020
CHKD BY: MAH 3-19-2020
E-MAIL: HAMLETT@MCADAMSCO.COM

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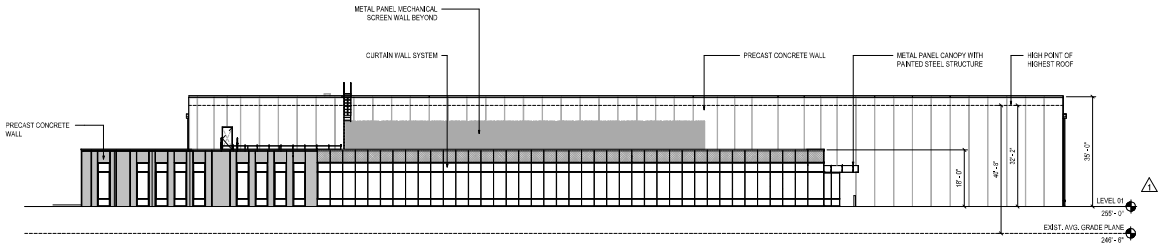
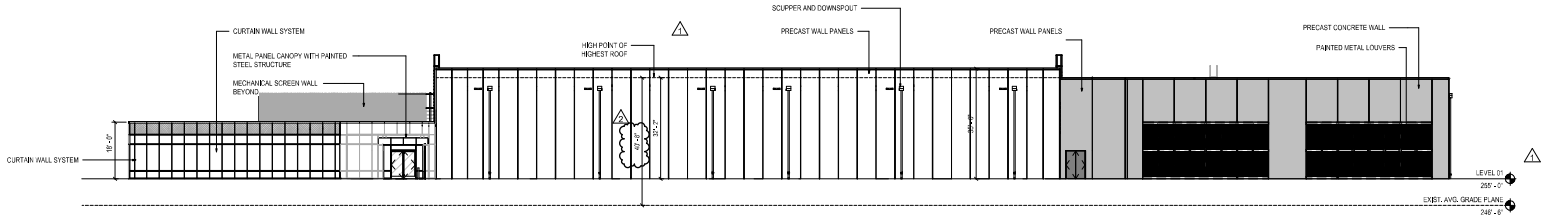
SHEET TITLE:
OVERALL LANDSCAPE PLAN

SHEET NO.
L5.00

NOT FOR CONSTRUCTION



1 **ASR EXTERIOR ELEVATION - N WEST**
SCALE: 1/16" = 1'-0"



2 **ASR EXTERIOR ELEVATION - S WEST**
SCALE: 1/16" = 1'-0"

SHEET NOTES

GENERAL NOTES

RALEIGH UDO REQUIREMENTS - I1-CU
HEAVY INDUSTRIAL, CONDITIONAL USE
GENERAL BUILDING, NON-RESIDENTIAL
FUNCTION: OPERATIONS AND ENGINEERING BUILDING

TRANSPARENCY
NO REQUIREMENTS FOR ZONED USE

BLANK WALL
NO REQUIREMENTS FOR ZONED USE

STORY
3 STORY MAX (SINGLE STORY BUILDING)
1 STORY ACTUAL

HEIGHT
MAX HEIGHT: 50'
MIN HEIGHT: N/A

MAIN BUILDING
39' - 0" ACTUAL
40' - 8" ABOVE AVG GRADE PLANE

VISITOR CONTROL CENTER
18' - 10" ACTUAL
20' - 3" ABOVE AVG GRADE PLANE

DRAWING NO.
CFD-NC4401-A-2001A-180040

MAILING ADDRESS:

Safety Expectations:
ILLNESS ZERO INJURY
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

PROJECT WALTER

SEAL

REVISIONS			
MARK	DATE	DRAWN BY	DESCRIPTION

PROJECT NO: [illegible]

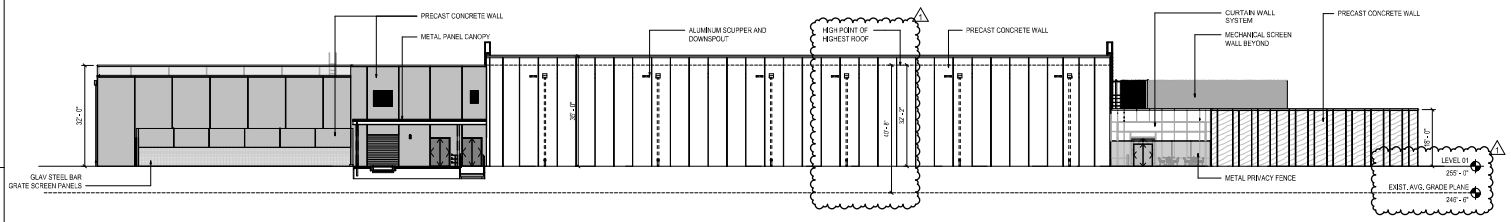
DRAWING NUMBER
CFD-NC4401-A-2001A-180040

ELECTRONIC FILE NAME: [illegible]
DRAWN BY: [illegible]
CHK'D BY: [illegible]
E-MAIL:

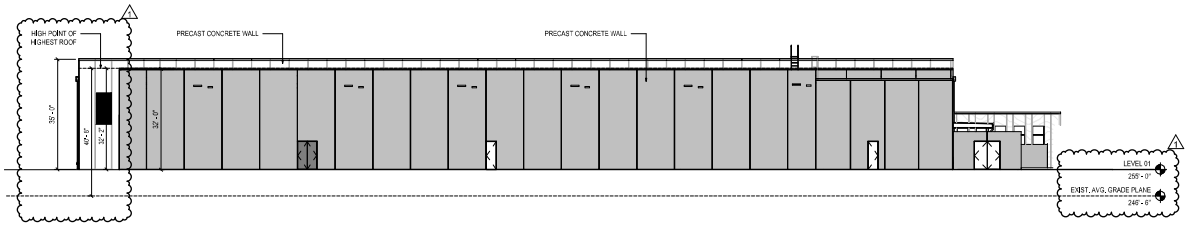
SHEET
BUILDING ELEVATIONS - MAIN BUILDING - ASR

SHEET
A-2001A

NOT FOR CONSTRUCTION



1 **ASR EXTERIOR ELEVATION - N EAST**
SCALE: 1/16" = 1'-0"



2 **ASR EXTERIOR ELEVATION - S EAST**
SCALE: 1/16" = 1'-0"

SHEET NOTES

GENERAL NOTES

RALEIGH UDO REQUIREMENTS - IU-CU
HEAVY INDUSTRIAL, CONDITIONAL USE
GENERAL BUILDING, NON-RESIDENTIAL
FUNCTION: OPERATIONS AND ENGINEERING BUILDING

TRANSPARENCY
NO REQUIREMENT'S FOR ZONED USE

BLANK WALL
NO REQUIREMENT'S FOR ZONED USE

STORY
3 STORY MAX (SINGLE STORY BUILDING)
1 STORY ACTUAL

HEIGHT
MAX HEIGHT: 50'
MIN HEIGHT: N/A

MAIN BUILDING
35' - 0" ACTUAL
40' - 6" ABOVE AVG GRADE PLANE

VISITOR CONTROL CENTER
18' - 10" ACTUAL
22' - 3" ABOVE AVG GRADE PLANE

1

DRAWING NO.
CFD-NC4401-A-2002A-180040

MAILING ADDRESS:

Safety Expectations:
ILLNESS ZERO INJURY
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

PROJECT WALTER

SEAL

REVISIONS			
MARK	DATE	DRAWN BY	DESCRIPTION

PROJECT NO: [illegible]

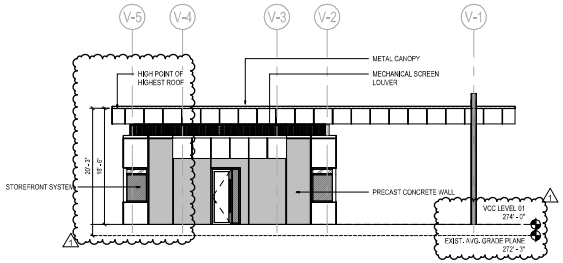
DRAWING NUMBER
CFD-NC4401-A-2002A-180040

ELECTRONIC FILE NAME: [illegible]
DRAWN BY: [illegible]
CHK'D BY: [illegible]
E-MAIL:

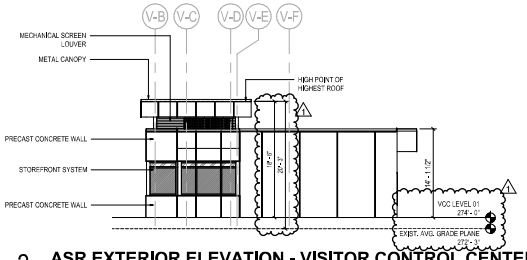
SHEET
BUILDING ELEVATIONS - MAIN BUILDING - ASR

SHEET
A-2002A

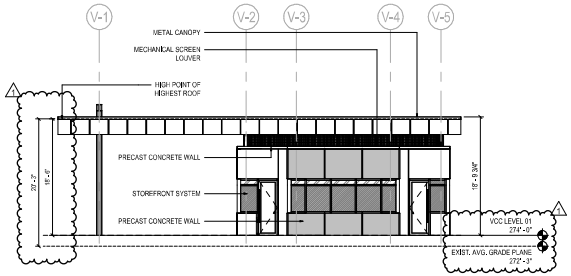
NOT FOR CONSTRUCTION



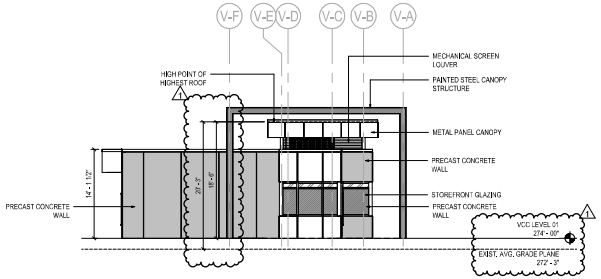
1 **ASR EXTERIOR ELEVATION - VISITOR CONTROL CENTER SOUTH**
SCALE: 1/8" = 1'-0"



2 **ASR EXTERIOR ELEVATION - VISITOR CONTROL CENTER WEST**
SCALE: 1/8" = 1'-0"



3 **ASR EXTERIOR ELEVATION - VISITOR CONTROL CENTER NORTH**
SCALE: 1/8" = 1'-0"



4 **ASR EXTERIOR ELEVATION - VISITOR CONTROL CENTER EAST**
SCALE: 1/8" = 1'-0"

SHEET NOTES

GENERAL NOTES

RALEIGH UDO REQUIREMENTS - IH-CU
HEAVY INDUSTRIAL, CONDITIONAL USE
GENERAL BUILDING, NON-RESIDENTIAL
FUNCTION: OPERATIONS AND ENGINEERING BUILDING

TRANSPARENCY
NO REQUIREMENTS FOR ZONED USE

BLANK WALL
NO REQUIREMENTS FOR ZONED USE

STORY
3 STORY MAX (SINGLE STORY BUILDING)
1 STORY ACTUAL

HEIGHT
MAX HEIGHT: 50'
MIN HEIGHT: N/A

MAIN BUILDING
32' - 0" ACTUAL
40' - 8" ABOVE AVG GRADE PLANE

VISITOR CONTROL CENTER
18' - 10" ACTUAL
26' - 3" ABOVE AVG GRADE PLANE

DRAWING NO.
CFD-NC4401-A-2003A-180040

MAILING ADDRESS

Safety Expectations:
ILLNESS ZERO INJURY
Remove Exposures to Hazards
Reinforce Safe Behavior

Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

PROJECT WALTER

SEAL

REVISIONS			
MARK	DATE	DRAWN BY	DESCRIPTION

PROJECT NO: [illegible]

DRAWING NUMBER
CFD-NC4401-A-2003A-180040

ELECTRONIC FILE NAME: [illegible]

DRAWN BY: [illegible]

CHK'D BY: [illegible]

E-MAIL:

SHEET
BUILDING ELEVATIONS - VISITOR CONTROL CENTER - ASR

SHEET
A-2003A

NOT FOR CONSTRUCTION