



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-30-19</u>	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: Oasis Apartment Building			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <b>5600 Louisburg Road</b>			
Site P.I.N.(s): 1736-15-1636			
Please describe the scope of work. Include any additions, expansions, and change of use. The development consist of the construction of a 3 story building for residential use. The development includes a 50' Parkway setback off Louisburg Road and associated parking and access driveway.			
Current Property Owner/Developer Contact Name: Cozy Homes, LLC/Mohamed Elfadaly			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: Cozy Homes, LLC		Title: Owner/Manger	
Address: 5520 Louisburg Road Raleigh, NC 27616			
Phone #: 919-995-5876		Email: office@conzalpm.com	
Applicant Name: Mohamed Elfadaly			
Company: Cozy Homes, LLC		Address: 5520 Louisburg Road Raleigh, NC 27616	
Phone #: 919-995-5876		Email: office@conzalpm.com	

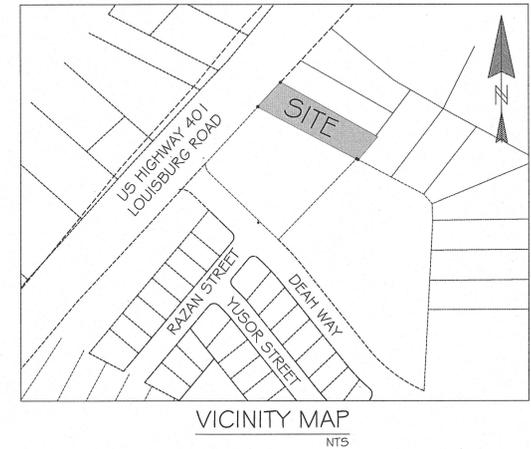
DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): NX-3-PK-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 1,050 sf
Gross site acreage: 0.44	New gross floor area: 7,550 sf
# of parking spaces required: 9	Total sf gross (to remain and new): 7,550 sf
# of parking spaces proposed: 12	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Single-Family	
Proposed use (UDO 6.1.4): Residential	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>0.067</u> Square Feet: <u>2,900</u>	Proposed Impervious Surface: Acres: <u>0.23</u> Square Feet: <u>10,167</u>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: <u>3720171200J</u>	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 6	Total # of hotel units:
# of bedroom units: 1br      2br 6      3br      4br or more	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Jones &amp; Cnossen Engineering, PLLC/Peter Cnossen</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Mohamed Elfadaly</u>	Date: 04/06/21
Printed Name: Mohamed Elfadaly	

# OASIS APARTMENT BUILDING ADMINISTRATIVE SITE REVIEW ASR-0031-2021 & Z-30-19



## Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-496-2590



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Office Use Only: Case #: \_\_\_\_\_ Planned (pm): \_\_\_\_\_

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Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic

### GENERAL INFORMATION

Development name: Oasis Apartment Building

Inside City limits? Yes  No

Property address(es): 5600 Louisburg Road

Site P.I.N. (s): 1736-15-1636

Please describe the scope of work. Include any additions, expansions, and change of use.  
The development consist of the construction of a 3 story building for residential use. The development includes a 50' Parkway setback off Louisburg Road and associated parking and access driveway.

Current Property Owner/Developer Contact Name: Cozy Homes, LLC/Mohamed Elfadaly  
NOTE: please attach purchase agreement when submitting this form.

Company: Cozy Homes, LLC Title: Owner/Manager  
Address: 5520 Louisburg Road Raleigh, NC 27616  
Phone #: 919-995-5876 Email: office@conzalpm.com

Applicant Name: Mohamed Elfadaly  
Company: Cozy Homes, LLC Address: 5520 Louisburg Road Raleigh, NC 27616  
Phone #: 919-995-5876 Email: office@conzalpm.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
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# of parking spaces required: 9	New gross floor area: 7,548 sf
# of parking spaces proposed: 11	Total sf gross (to remain and new): 7,548 sf
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Single-Family	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Residential	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.097 Square Feet: 2,500	Proposed Impervious Surface: Acres: 0.25 Square Feet: 10,360
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: 372917100J	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 6	Total # of hotel units: _____
# of bedrooms units: 1br 2br 3br	4br or more: _____
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/We do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Jones & Crossen Engineering, PLLC/Peter Crossen to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/We have read, acknowledge, and affirm that this project is conforming to all applicable requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Mohamed Elfadaly Date: 04/06/21  
Printed Name: Mohamed Elfadaly

### ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

### ZONING CONDITIONS (Z-30-19):

1. THE FOLLOWING USES SHALL BE PROHIBITED; BAR, NIGHTCLUB, TAVERN, LOUNGE; VEHICLE SALES/RENTAL; AND VEHICLE REPAIR (MINOR).
2. NO MORE THAN 30 DWELLING UNITS SHALL BE PERMITTED.
3. OFFICE USES SHALL NOT EXCEED 30,000 SF. OTHER COMMERCIAL USES SHALL NOT EXCEED 50,000 SF COMBINED.
4. NO SINGLE ESTABLISHMENT SHALL EXCEED 10,000 SF.

### RIGHT-OF-WAY SERVICES NOTES:

1. THERE ARE NO RIGHT-OF-WAY IMPROVEMENTS REQUIRED ALONG THE LOUISBURG ROAD STREET FRONTAGE SO NO TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN FOR LANE AND/OR SIDEWALK CLOSURES ARE NECESSARY.

### SOLID WASTE INSPECTIONS STATEMENT

THE DEVELOPMENT PROPOSES SHARED USE OF THE DUMPSTER AND RECYCLING AREA ON THE OASIS COMMERCIAL BUILDING SITE (ASR-0005-2021) BY AGREEMENT.

### BUILDING/STRUCTURE SETBACKS:

PARKWAY FRONTAGE (PK) - 50'  
FROM PRIMARY STREET - 5'  
FROM SIDE STREET - 5'  
FROM SIDE LOT LINE - 0' OR 6'  
FROM REAR LOT LINE - 0' OR 6'

### PARKING SETBACKS:

PARKWAY FRONTAGE (PK) - 50'  
FROM PRIMARY STREET - 10'  
FROM SIDE STREET - 10'  
FROM SIDE LOT LINE - 0' OR 3'  
FROM REAR LOT LINE - 0' OR 3'

### NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE SITE IS EXEMPT FROM BLOCK PERIMETER UNDER TC-G-19, SECTION 1.A.2.b IN THAT THE DEVELOPMENT IS IN NX ZONING, AND THE SITE IS LESS THAN THE MINIMUM SITE AREA APPLICABLE (5 ACRES).
3. THE SITE IS LOCATED ON A PARKWAY CORRIDOR SO PARKWAY (PK) FRONTAGE IS REQUIRED ALONG LOUISBURG ROAD.
4. THIS DEVELOPMENT IS EXEMPT FOR TREE CONSERVATION AREA UNDER SECTION 9.1.3 AS THERE IS LITTLE TO NO TREE COVER.
5. ALL SITE LIGHTING FOR THIS DEVELOPMENT WILL BE MOUNTED ON THE BUILDING.
6. THE AMENITY AREA REQUIREMENT SHALL BE MET ON THE ROOFTOP OF THE RESIDENTIAL BUILDING.
7. THIS DEVELOPMENT IS EXEMPT FROM STORMWATER REQUIREMENTS PER UDO SECTION 9.2.2.A.1.b.ii.
8. THE MAXIMUM IMPERVIOUS SURFACE AREA PERCENTAGE FOR THIS DEVELOPMENT SHALL NOT EXCEED 65% PER UDO SECTION 9.2.2.A.4.a.
9. PER TC-19-19, THE APARTMENT BUILDING IS NOT REQUIRED TO MEET BUILD-TO AND 2' FLOOR HEIGHT REQUIREMENTS.

### SITE DATA

PROJECT NAME	OASIS APARTMENT BUILDING
PROJECT ADDRESS	5600 LOUISBURG ROAD
PREPARED BY CONTACT INFORMATION	JONES & CROSSEN ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - 919-387-1174 FAX - 919-387-3375 CONTACT PERSON - PETER D. CROSSEN
DEVELOPER CONTACT INFORMATION	COZY HOMES, LLC 5520 LOUISBURG RD. RALEIGH, NC 27616 PHONE - (919) 995-5876 EMAIL - OFFICE@CONZALPM.COM CONTACT PERSON - MOHAMED ELFADALY
CURRENT PROPERTY ZONING	NX-3-PK-CU
WAKE COUNTY PINS	1736-15-1636
TOTAL SITE AREA	0.44 AC / 19,049 SF
EXISTING SITE USE	SINGLE FAMILY
PROPOSED SITE USE	MULTI-UNIT RESIDENTIAL/APARTMENT
MAXIMUM NUMBER OF RESIDENTIAL UNITS	30
PROPOSED NUMBER OF RESIDENTIAL UNITS	6
PROPOSED NUMBER OF BEDROOMS	12 (6 UNITS X 2 BEDROOMS/UNIT)
PROPOSED BUILDING SQUARE FOOTAGE	7,548 SF
MAXIMUM ALLOWED BUILDING HEIGHT	50'
PROPOSED BUILDING HEIGHT	36.5'
MAXIMUM NUMBER OF STORIES	3
PROPOSED NUMBER OF STORIES	3
AUTOMATIC FIRE PROTECTION	NO
AMENITY AREA REQUIRED	0.04 AC / 1,905 SF (10.0%)
AMENITY AREA PROVIDED	0.04 AC / 1,949 SF (10.2%)
FEMA FLOODPLAIN INFORMATION	MAP #3720171200J (DATED MAY 2, 2006) PROJECT IS NOT WITHIN 100 YEAR FLOODPLAIN.

### PARKING SUMMARY

VEHICLE PARKING  
BASIS OF DETERMINATION - RESIDENTIAL  
1.5 PER 2 BEDROOM UNIT (VEHICLE PARKING)  
SHARED PARKING AGREEMENT (SHORT TERM BICYCLE PARKING)  
NONE REQUIRED (LONG TERM BICYCLE PARKING)  
TOTAL SPACES REQUIRED - 9 SPACES (6 UNITS X 1.5 SPACES/UNIT)  
TOTAL SPACES PROVIDED - 11 SPACES  
TOTAL HANDICAP SPACES REQUIRED - 1 SPACE  
TOTAL HANDICAP SPACES PROVIDED - 1 SPACE  
TOTAL SHORT TERM BICYCLE PARKING REQUIRED - 4 SPACES  
TOTAL SHORT TERM BICYCLE PARKING PROVIDED - 4 SPACES

### ADMINISTRATIVE SITE REVIEW SHEET INDEX

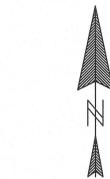
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	PRELIMINARY DEMOLITION PLAN
4	PRELIMINARY SITE LAYOUT PLAN
5	PRELIMINARY GRADING & STORMWATER PLAN
6	PRELIMINARY UTILITY PLAN
7	DETAIL SHEET
LA-1	PRELIMINARY LANDSCAPE PLAN
A-2	PRELIMINARY BUILDING ELEVATION
A-3	PRELIMINARY BUILDING FLOOR PLAN
A-4	PRELIMINARY BUILDING SUMMARY TABLES
A-5	PRELIMINARY ADA ACCESSIBILITY SHEET
F-1	PRELIMINARY ROOF PLAN
D-1	SHARED DUMPSTER DOCUMENT

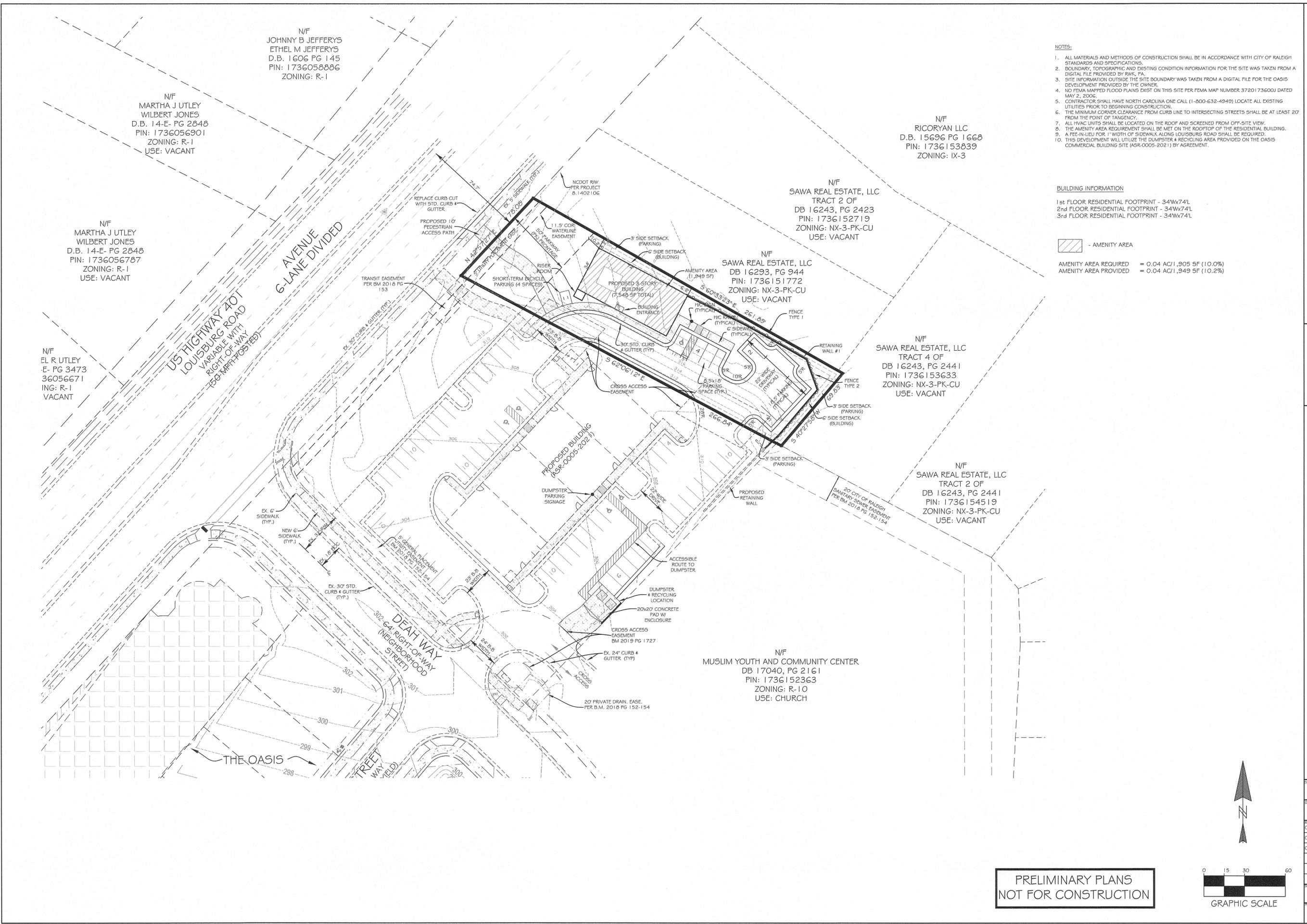
### NARRATIVE

THIS ADMINISTRATIVE SITE REVIEW SUBMITTAL IS TO APPROVE THE BUILDING FOR USE AS APARTMENTS. THE BUILDING USE COMPLIES WITH ALL CONDITIONS OUTLINED UNDER Z-30-19 BY THE FOLLOWING:

1. NO PROHIBITED USE IS PROPOSED.
2. 12 DWELLING UNITS ARE PROPOSED.
3. NO OFFICE USE IS PROPOSED.
4. NO ESTABLISHMENTS EXCEEDING 10,000 SF IS PROPOSED.

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION





- NOTES:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  2. BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITION INFORMATION FOR THE SITE WAS TAKEN FROM A DIGITAL FILE PROVIDED BY RWK, PA.
  3. SITE INFORMATION OUTSIDE THE SITE BOUNDARY WAS TAKEN FROM A DIGITAL FILE FOR THE OASIS DEVELOPMENT PROVIDED BY THE OWNER.
  4. NO FEMA MAPPED FLOOD PLANS EXIST ON THIS SITE PER FEMA MAP NUMBER 3720173600J DATED MAY 2, 2006.
  5. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  6. THE MINIMUM CORNER CLEARANCE FROM CURB LINE TO INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY.
  7. ALL HVAC UNITS SHALL BE LOCATED ON THE ROOF AND SCREENED FROM OFF-SITE VIEW.
  8. THE AMENITY AREA REQUIREMENT SHALL BE MET ON THE ROOFTOP OF THE RESIDENTIAL BUILDING.
  9. A FEE-IN-LIEU FOR 1' WIDTH OF SIDEWALK ALONG LOUISBURG ROAD SHALL BE REQUIRED.
  10. THIS DEVELOPMENT WILL UTILIZE THE DUMPSTER & RECYCLING AREA PROVIDED ON THE OASIS COMMERCIAL BUILDING SITE (ASR-0005-2021) BY AGREEMENT.

**BUILDING INFORMATION**

1st FLOOR RESIDENTIAL FOOTPRINT - 34'x74'L  
 2nd FLOOR RESIDENTIAL FOOTPRINT - 34'x74'L  
 3rd FLOOR RESIDENTIAL FOOTPRINT - 34'x74'L

- AMENITY AREA

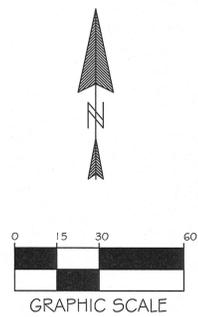
AMENITY AREA REQUIRED = 0.04 AC/1,905 SF (10.0%)  
 AMENITY AREA PROVIDED = 0.04 AC/1,949 SF (10.2%)

221 N. SALEM ST.  
 SUITE 001  
 PO BOX 1062  
 APEX, NC 27502  
 Office: 919-387-1174  
 Registration: P-0151  
 www.jonescrossen.com

OASIS APARTMENT BUILDING  
 ADMINISTRATIVE SITE REVIEW  
 PRELIMINARY SITE LAYOUT PLAN

SCALE	1" = 30'	PDC
DATE	APRIL 6, 2021	
REVISION	05/20/21	1st CYCLE REVIEW
	07/12/21	2nd CYCLE REVIEW
	09/14/21	3rd CYCLE REVIEW
SHEET	4	
PROJECT	2122	

PRELIMINARY PLANS  
 NOT FOR CONSTRUCTION



PROJECT FOR:

LOCATION:  
LOUISBURG RD, RALIGH NC

DEMIANA AIAD  
demi@pyramidscontractors.com

(919) 995-5876  
office@conzalpm.com

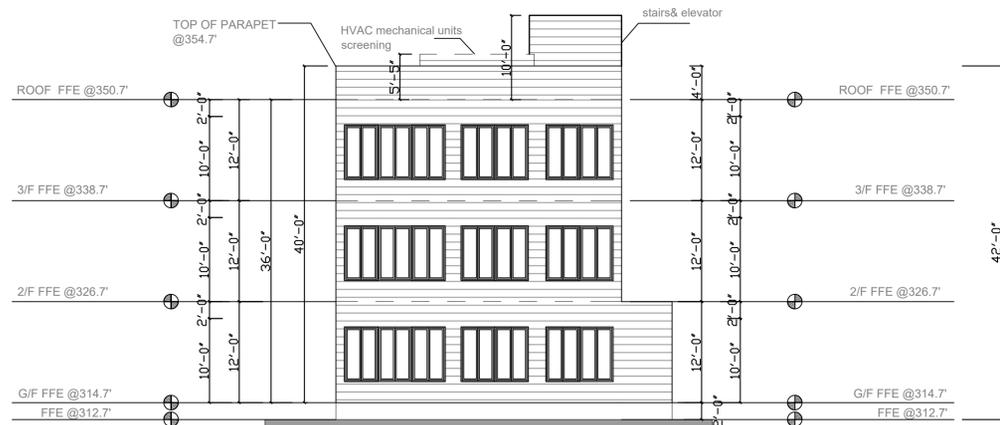
LOUISBURG ROAD COMPLEX

PLAN I.D.

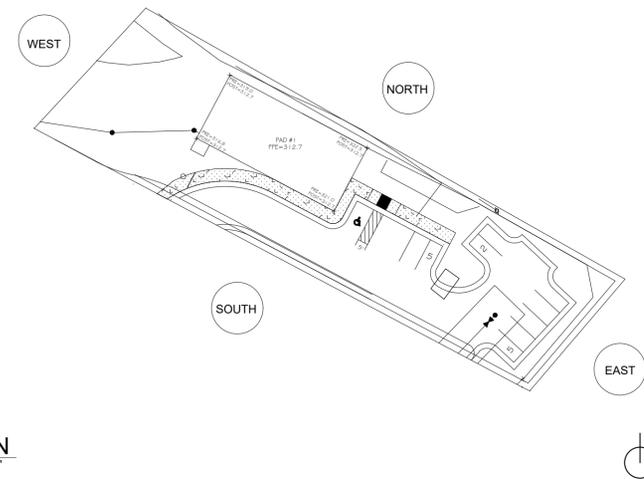
NEW MIXED-USE BUILDING

REVISION	2/24/2021
REVISION 1	04/06/2021
REVISION 2	5/11/2021

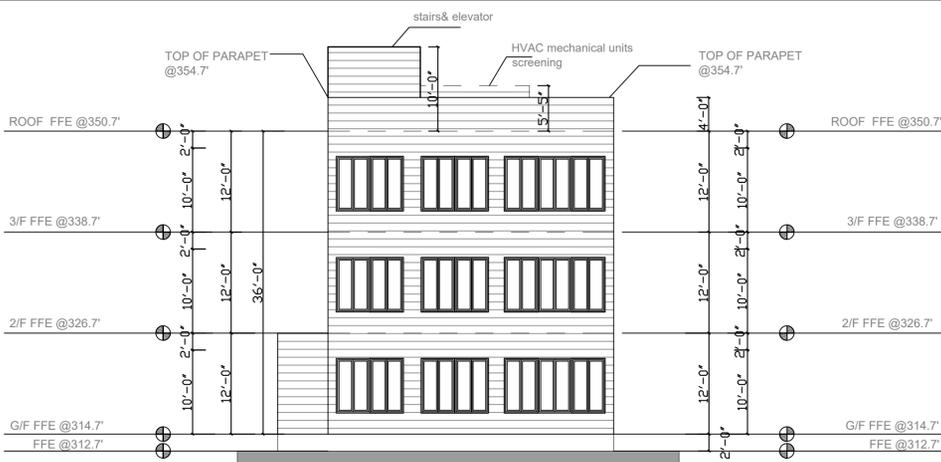
A-2  
SHEET



NEW BUILDING (2) WEST ELEVATION -- LOUISBURG RD  
3/32" = 1'-0"



SITE PLAN  
SCALE: 3/32" = 1'-0"



NEW BUILDING (2) EAST ELEVATION  
3/32" = 1'-0"

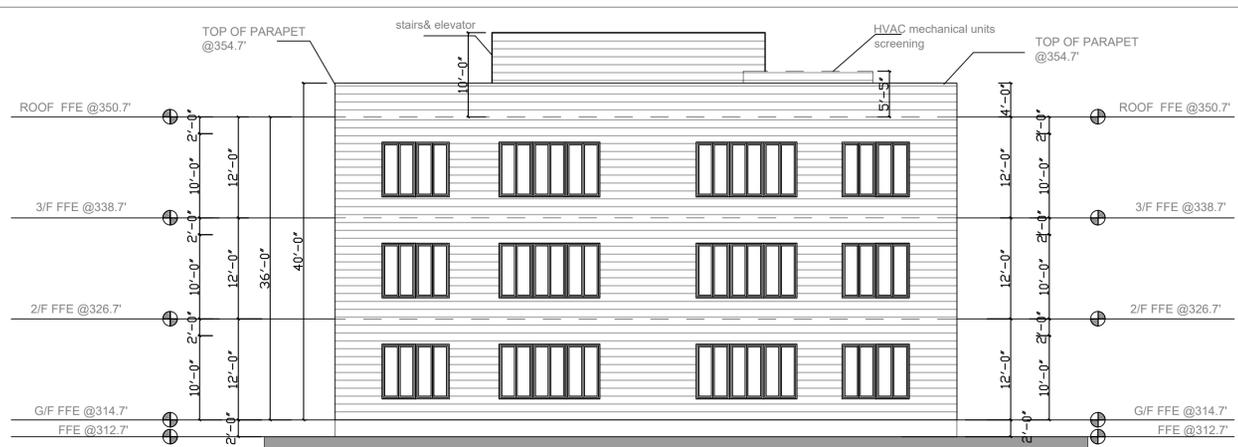
TABLE 1.1: GRADE LEVELS

FINISHED GRADE ELEV.	312.7'
TOTAL AVERAGE FINISHED GRADE ELEV.	$(312.7'+312.7'+312.7'+312.7')/4 = 312.7'$
MAXIMUM ALLOWABLE HEIGHT 50'	362.7'
PROPOSED FINISHED ROOF ELEV.	353.2'

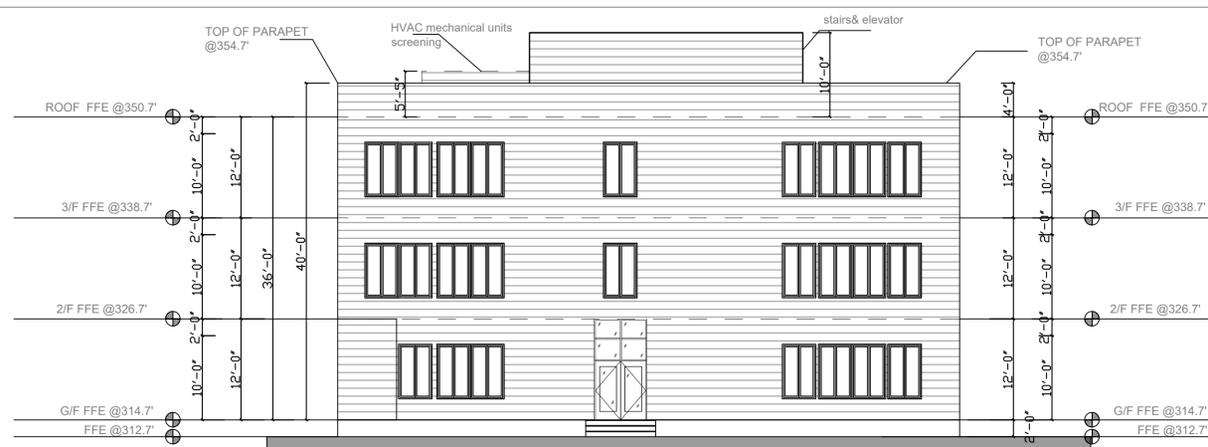
TABLE 1.2: WEST ELEVATION GRADE LEVEL

AVERAGE WEST GRADE ELEV.	$(312.7'+312.7')/2 = 312.7'$
--------------------------	------------------------------

NOTE :  
Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance



NEW BUILDING (2) NORTH ELEVATION  
3/32" = 1'-0"



NEW BUILDING (2) SOUTH ELEVATION  
3/32" = 1'-0"