

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type	
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Site Transaction History	
Subdivision case #: _____	
Scoping/sketch plan case #: _____	
Certificate of Appropriateness #: _____	
Board of Adjustment #: _____	
Zoning Case #: Z-30-19	
Administrative Alternate #: _____	
GENERAL INFORMATION	
Development name: Oasis Apartment Building	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 5600 Louisburg Road	
Site P.I.N.(s): 1736-15-1636	
Please describe the scope of work. Include any additions, expansions, and change of use. The development consist of the construction of a 3 story building for residential use. The development includes a 50' Parkway setback off Louisburg Road and associated parking and access driveway.	
Current Property Owner/Developer Contact Name: Cozy Homes, LLC/Mohamed Elfadaly	
NOTE: please attach purchase agreement when submitting this form.	
Company: Cozy Homes, LLC	Title: Owner/Manger
Address: 5520 Louisburg Road Raleigh, NC 27616	
Phone #: 919-995-5876	Email: office@conzalpm.com
Applicant Name: Mohamed Elfadaly	
Company: Cozy Homes, LLC	Address: 5520 Louisburg Road Raleigh, NC 27616
Phone #: 919-995-5876	Email: office@conzalpm.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): NX-3-PK-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 1,050 sf
Gross site acreage: 0.44	New gross floor area: 7,550 sf
# of parking spaces required: 9	Total sf gross (to remain and new): 7,550 sf
# of parking spaces proposed: 12	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Single-Family	
Proposed use (UDO 6.1.4): Residential	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.067 Square Feet: 2,900	Proposed Impervious Surface: Acres: 0.23 Square Feet: 10,167
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720171200J	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 6	Total # of hotel units:
# of bedroom units: 1br 2br 6 3br 4br or more	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Jones & Crossen Engineering, PLLC/Peter Crossen to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: *Mohamed Elfadaly*

Date: 04/06/21

Printed Name: Mohamed Elfadaly

The map illustrates the location of a 'SITE' (shaded area) in relation to 'US HIGHWAY 401 LOUISBURG ROAD' and several streets: 'RAZAN STREET', 'YUSOR STREET', and 'DEAH WAY'. The map includes dashed lines for roads and solid lines for property boundaries.

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)			
SITE DATA		BUILDING DATA	
Zoning district (if more than one, please provide the acreage of each): NX-3-PK-CU		Existing gross floor area (not to be demolished): 0	
Gross site acreage: 0.44		Existing gross floor area to be demolished: 1,050 sf	
# of parking spaces required: 9		New gross floor area: 7,548 sf	
# of parking spaces proposed: 11		Total sqt of gross (to be built and new): 7,548 sf	
Overlay District (if applicable): Existing Use (UDO 6.1.4): Single-Family		Proposed # of buildings: 1	
Proposed use (UDO 6.1.4): Residential		Proposed # of stories for each: 3	

STORMWATER INFORMATION			
Existing Impervious Surface: Acres: 0.002		Proposed Impervious Surface: Acres: 0.25	
Square Feet: 2,500		Square Foot: 10,560	
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please provide: Atmosol scale: _____ Flood study: _____ FEMA Map Panel #: 37201100CJ _____			
Neuse River Buffer		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
		Wetlands	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

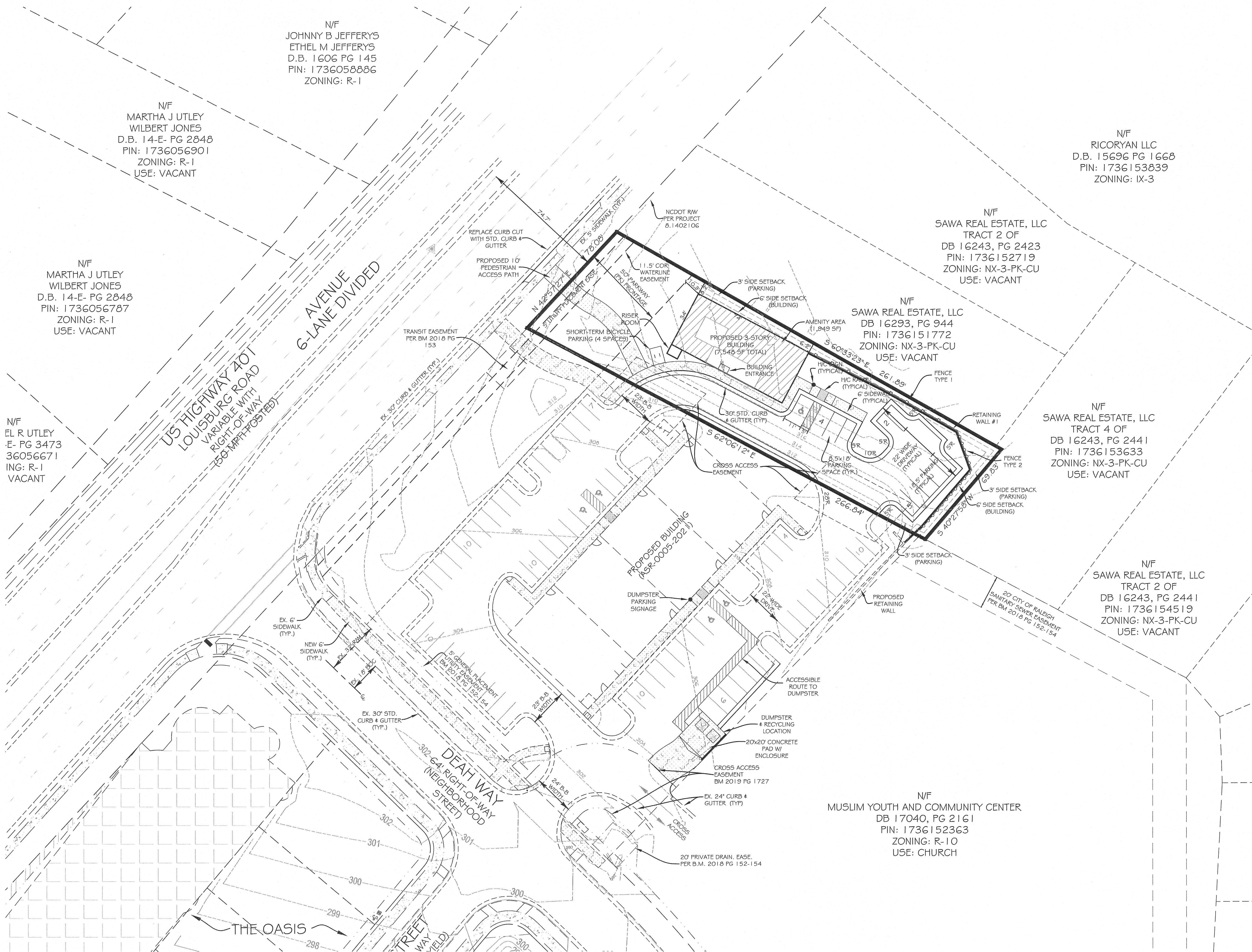
RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units: 6		Total # of hotel units:	
# of bedroom units: 1br		2br or more	
2br 6		3br	
# of lots: 1		Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

SIGNATURE BLOCK	
<p>In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.</p> <p>I hereby designate <u>James C Croston Engineering, PLLC Peter Croston</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p> <p>Signature: <u>Mohamed Alhady</u> Date: 04/05/21</p> <p>Printed Name: Mohamed Alhady</p>	

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REVISION 11.28.20
raleighnc.gov

ASR-0031-2021



- NOTES:
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITION INFORMATION FOR THE SITE WAS TAKEN FROM A DIGITAL FILE PROVIDED BY RWK, PA.
 3. SITE INFORMATION OUTSIDE THE SITE BOUNDARY WAS TAKEN FROM A DIGITAL FILE FOR THE OASIS DEVELOPMENT PROVIDED BY THE OWNER.
 4. NO FEMA MAPPED FLOOD PLAINS EXIST ON THIS SITE PER FEMA MAP NUMBER 3720173600J DATED MAY 2, 2006.
 5. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 6. THE MINIMUM CORNER CLEARANCE FROM CURB LINE TO INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY.
 7. ALL HVAC UNITS SHALL BE LOCATED ON THE ROOF AND SCREENED FROM OFF-SITE VIEW.
 8. THE AMENITY AREA REQUIREMENT SHALL BE MET ON THE ROOFTOP OF THE RESIDENTIAL BUILDING.
 9. A FEE-IN-LIEU FOR 1' WIDTH OF SIDEWALK ALONG LOUISBURG ROAD SHALL BE REQUIRED.
 10. THIS DEVELOPMENT WILL UTILIZE THE DUMPSTER & RECYCLING AREA PROVIDED ON THE OASIS COMMERCIAL BUILDING SITE (ASR-0005-2021) BY AGREEMENT.

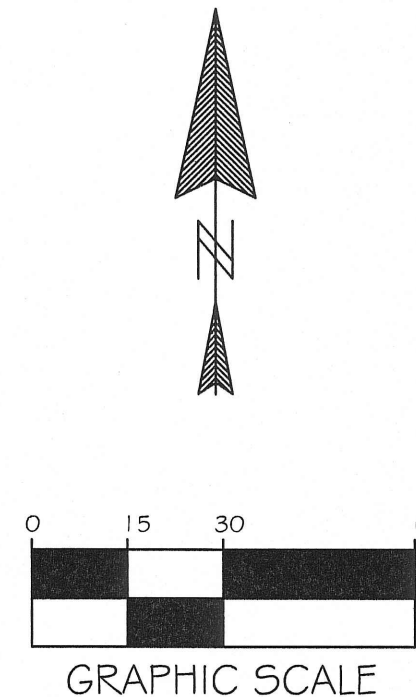
BUILDING INFORMATION

1st FLOOR RESIDENTIAL FOOTPRINT - 34'x74'L
2nd FLOOR RESIDENTIAL FOOTPRINT - 34'x74'L
3rd FLOOR RESIDENTIAL FOOTPRINT - 34'x74'L

AMENITY AREA

AMENITY AREA REQUIRED = 0.04 AC/1,905 SF (10.0%)
AMENITY AREA PROVIDED = 0.04 AC/1,949 SF (10.2%)

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



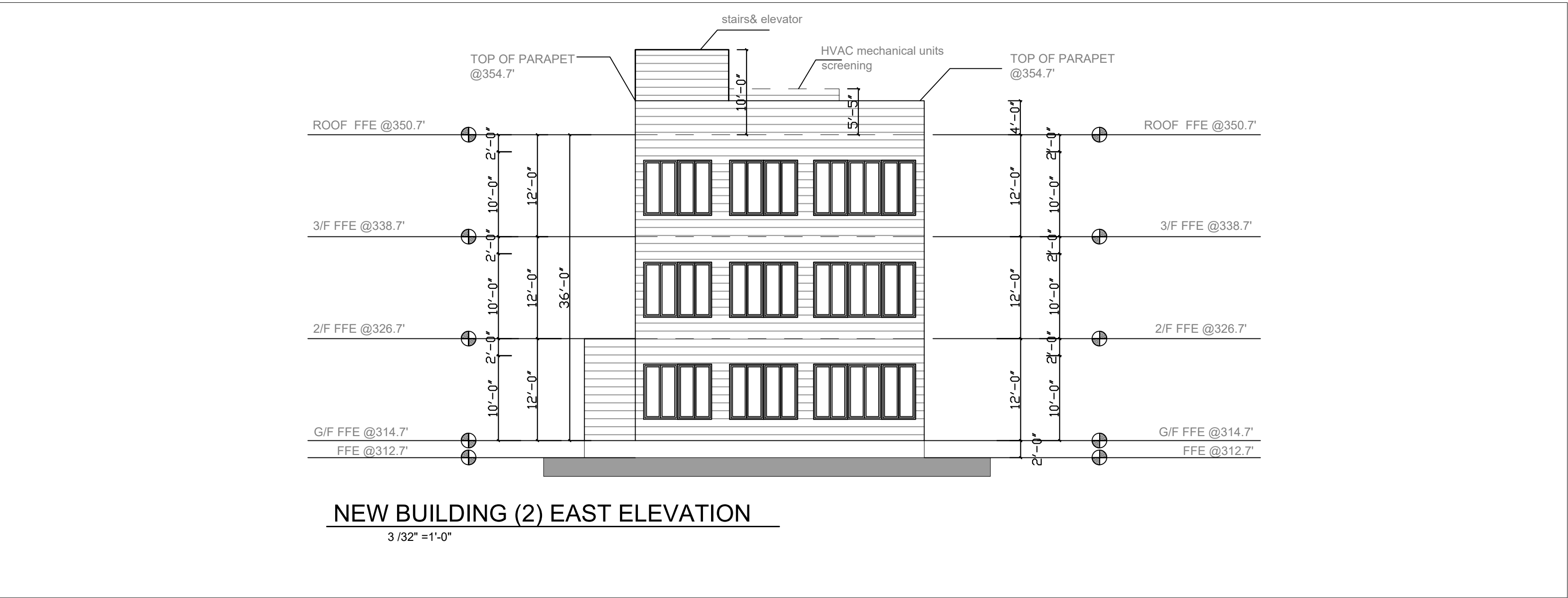
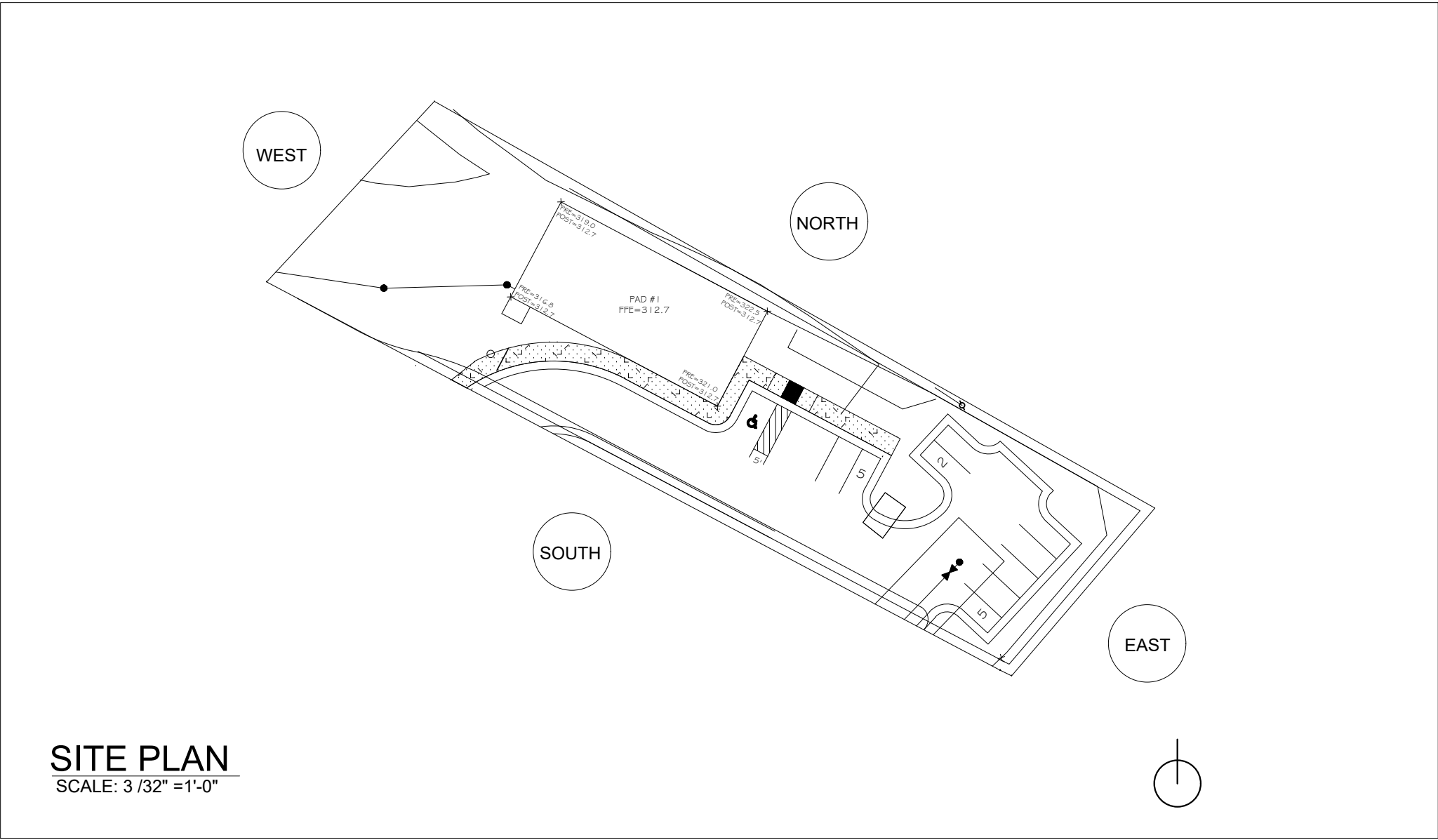
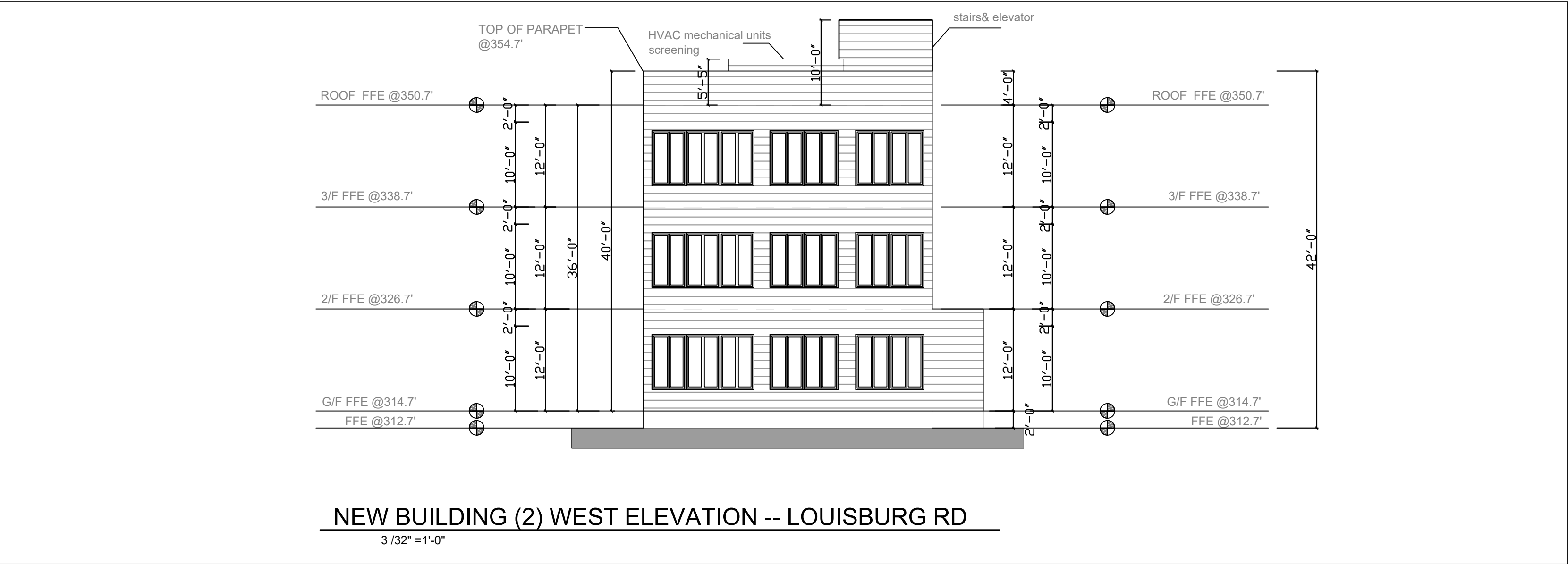
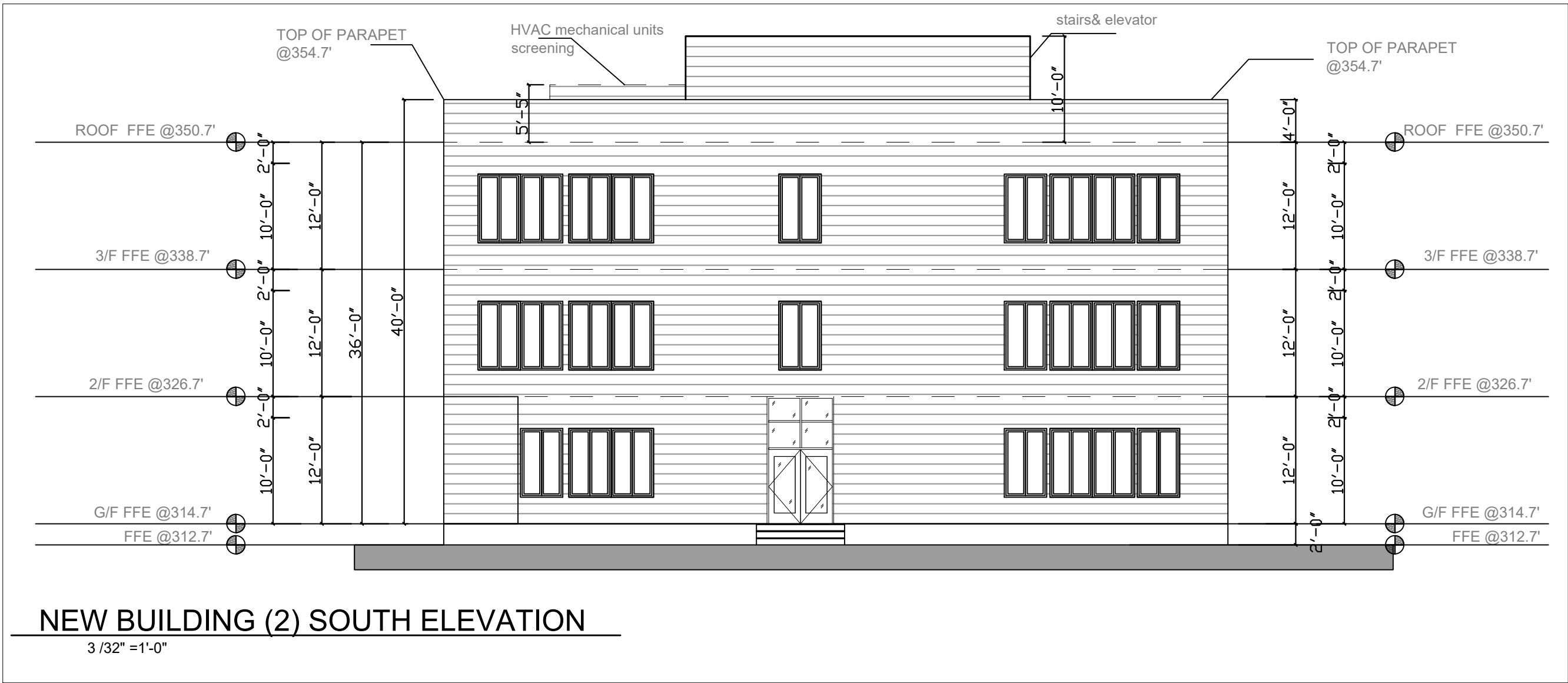
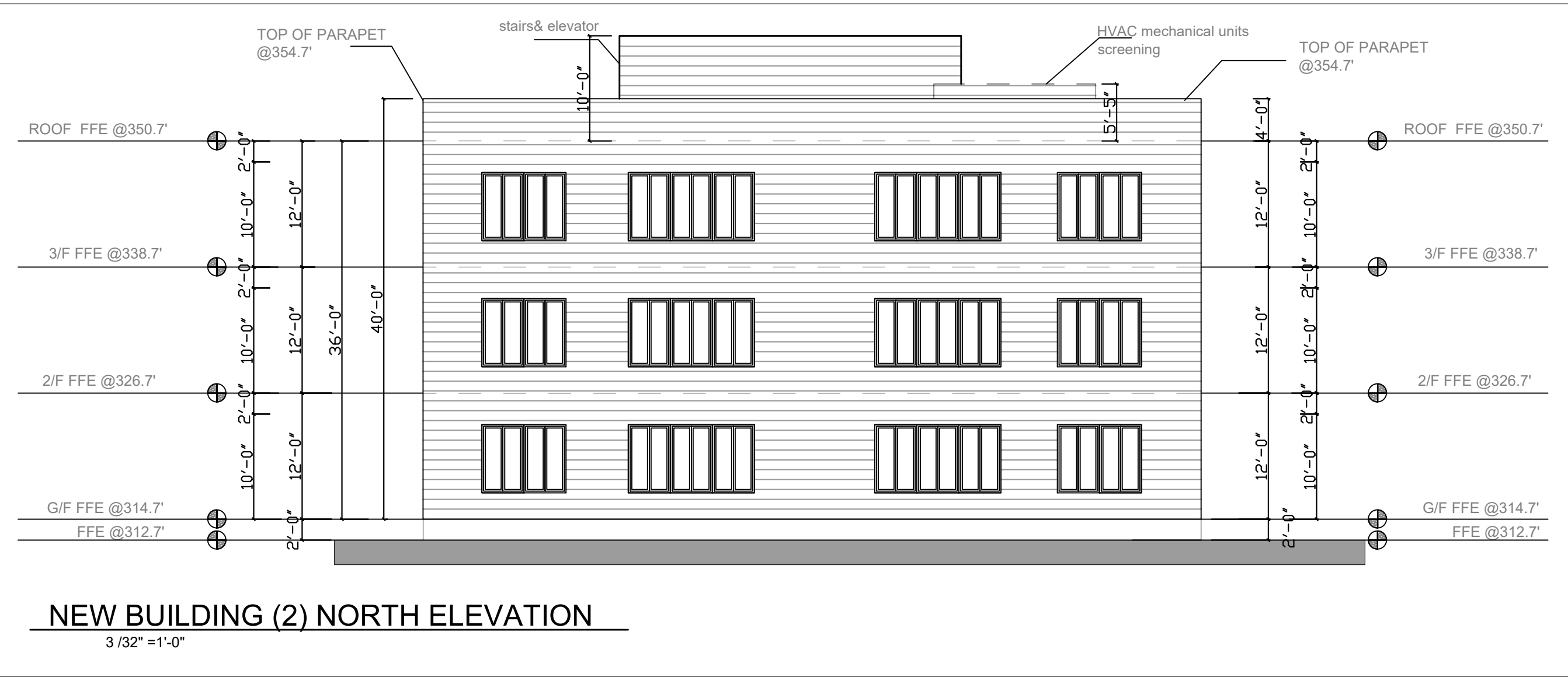


TABLE 1.1: GRADE LEVELS	
FINISHED GRADE ELEV.	312.7'
TOTAL AVERAGE FINISHED GRADE ELEV.	$(312.7' + 312.7' + 312.7' + 312.7') / 4 = 312.7'$
MAXIMUM ALLOWABLE HEIGHT 50'	362.7'
PROPOSED FINISHED ROOF ELEV.	353.2'

TABLE 1.2: WEST ELEVATION GRADE LEVEL	
AVERAGE WEST GRADE ELEV.	$(312.7' + 312.7') / 2 = 312.7'$

NOTE :

Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance



PROJECT FOR:

LOCATION:
LOUISBURG RD, RALEIGH, NC

DEMIANA AIAD
demi@pyramidscontractors.com

(919) 995-5876
office@conzalpm.com

LOUISBURG ROAD COMPLEX

PLAN I.D.

NEW MIXED-USE BUILDING

REVISION	2/24/2021	04/06/2021	5/11/2021						
REVISION 1									
REVISION 2									