



# Administrative Approval Action

Case File / Name: ASR-0031-2021  
DSLCL - Oasis Apartment Building

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the east side of Louisburg Rd/US Hwy 401, north Deah Way at 5600 Louisburg Road. This lot is outside the city limits.

**REQUEST:** Development of a 0.44 acre/19,049 sf tract, zoned NX-3-PK CU into a proposed 7,548 gross sf 3-story, multi-unit apartment building consisting of 6 units, 2 bedrooms in each unit.

Z-30-19 - Zoning Conditional Uses - 3600 Louisburg Rd.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 14, 2021 by Jones & Crossen Engineering, PLLC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Comply with all conditions applicable to Z-30-19.
2. Demonstrate compliance with UDO Section 7.4.10. by providing a lighting plan detail for the proposed wall packs.
3. A detail or grading plan is provided for the proposed retaining walls with the Site Permit Review plan set.

### **Stormwater**

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Cross Access Agreements Required

☒ Utility Placement Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## Public Utilities

3. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions. This site's SPR cannot be approved until the adjacent site's SPR has been approved showing the waterline extension to this site and dedication of waterline easement has occurred on that site. The adjacent site is ASR-0005-2021. Should that development not proceed, revisions to the water connection for ASR-0031-2021 will be required.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Record a shared refuse agreement between 5600 & 5520 Louisburg Rd for Oasis Apartments & Oasis Mixed-Use developments, and include a copy of the document with or as a part of the plan set.
2. A demolition permit shall be obtained.



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3. Comply with all conditions of Z-30-19.

## Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
5. A fee-in-lieu for 1' width of sidewalk (71 LF) along Louisburg Road shall be paid to the City of Raleigh (UDO 8.1.10).
6. A cross access agreement among the lots identified as PINs 1736-15-0535 and 1736-15-1636 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

## Public Utilities

7. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
8. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## *The following are required prior to issuance of building occupancy permit:*

### General

1. Prior to all occupancy permits issuance, a cross access and certificate occupancy has been approved and issued for 5520 Louisburg (ASR-0005-2020 - Oasis Mixed Used Retail/Apts).
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. All street lights and street signs required as part of the development approval are installed.

### Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



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**3-Year Expiration Date:** January 27, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 09/30/2021  
Development Services Dir/Designee  
Staff Coordinator: **Jermont Purifoy**

[illegible][illegible]

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.



1. THE FOLLOWING USES SHALL BE PROHIBITED; BAR, NIGHTCLUB, TAVERN, LOUNGE; VEHICLE SALES/RENTAL; AND VEHICLE REPAIR (MINOR).
2. NO MORE THAN 30 DWELLING UNITS SHALL BE PERMITTED.
3. OFFICE USES SHALL NOT EXCEED 30,000 SF. OTHER COMMERCIAL USES SHALL NOT EXCEED 50,000 SF COMBINED.
4. NO SINGLE ESTABLISHMENT SHALL EXCEED 10,000 SF

I. THERE ARE NO RIGHT-OF-WAY IMPROVEMENTS REQUIRED ALONG THE LOUISBURG ROAD STREET FRONTAGE SO NO TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN FOR LANE AND/OR SIDEWALK CLOSURES ARE NECESSARY.

THE DEVELOPMENT PROPOSES SHARED USE OF THE DUMPSTER AND RECYCLING AREA ON THE OASIS COMMERCIAL BUILDING SITE (ASR-0005-2021) BY AGREEMENT.

PARKWAY FRONTAGE (PK) - 50'	PARKWAY FRONTAGE (PK) - 50'
FROM PRIMARY STREET - 5'	FROM PRIMARY STREET - 10'
FROM SIDE STREET - 5'	FROM SIDE STREET - 10'
FROM SIDE LOT LINE - 0' OR 6'	FROM SIDE LOT LINE - 0' OR 3'
FROM REAR LOT LINE - 0' OR 6'	FROM REAR LOT LINE - 0' OR 3'

PARKWAY FRONTAGE (PK) - 50'  
FROM PRIMARY STREET - 10'  
FROM SIDE STREET - 10'  
FROM SIDE LOT LINE - 0' OR 3'  
FROM REAR LOT LINE - 0' OR 3'

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF KANSAS STANDARDS AND SPECIFICATIONS.

THE SITE IS EXEMPT FROM BACK-FORMER UNDER 16-1.9. SECTION 1.3.2.3.A AND 1.3.2.3.B THAT REQUIRE THE INSTALLATION OF A 6" MINIMUM THICKNESS CONCRETE SLAB ON GRADE WITH AN AREA APPLICABLE AS ABOVE.

THE SITE IS EXEMPTED FROM THE REQUIREMENT FOR A 20' SIDE SETBACK (IF FRONTAGE IS REQUIRED) ALONG LOUISBOURG ROAD.

THIS DEVELOPMENT IS EXEMPT FROM TREE CONSERVATION AREA (UNDER SECTION 9.1.3.1.2) AND TREE REMOVAL PERMITS (UNDER SECTION 9.1.3.1.2).

ALL SITE LIGHTING FOR THIS DEVELOPMENT WILL BE MOUNTED ON THE BUILDING.

THE ADULTERY AREA REQUIREMENT SHALL BE MET ON THE ROOFTOP OF THE RESIDENTIAL BUILDING.

THIS DEVELOPMENT IS EXEMPT FROM STORMWATER REQUIREMENTS PER UNDER SECTION 9.2.2.1.3.A.

THE MINIMUM IMPERVIOUS SURFACE AREA PERCENTAGE FOR THIS DEVELOPMENT SHALL NOT EXCEED 6.2% FOR LOT SIZE 5,222.4 A.C.

PER 16-1.9.1.8, THE ADULTERY BUILDING IS NOT REQUIRED TO MEET BUILD-TO-RENT AND ADULTERY REQUIREMENTS.



SITE DATA	
PROJECT NAME	GASB APARTMENT BUILDING
PROJECT ADDRESS	5620 LOUISBURG ROAD
PREPARED CONTACT INFORMATION	JONES & KNOXSON ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA, 27502 PHONE : 919-307-1174 FAX : 919-307-3375 CONTACT PERSON: PETER D. KNOXSON
DEVELOPER CONTACT INFORMATION	COZY HOMES, LLC 5520 LOUISBURG RD. RALEIGH, NC 27616 PHONE : (919) 995-5576 EMAIL : OFFICE@COZYHOMES.COM MOBILE: MICHAEL E. RADZKY
CURRENT PROPERTY ZONING	NO-3-C-FCU
WARE COUNTY PIN5	17336-15-1-636
TOTAL SITE AREA	0.44 AC / 19,249.5 SF
DISTING. SITE USE	SINGLE FAMILY
PROPOSED SITE USE	MULTIFAMILY RESIDENTIAL/APARTMENT
MAXIMUM NUMBER OF RESIDENTIAL UNITS	30
PROPOSED NUMBER OF RESIDENTIAL UNITS	30
PROPOSED NUMBER OF BEDROOMS	126 UNITS (2 X BEDROOM/UNIT)
PROPOSED BUILDING SQUARE FOOTAGE	7,546 SF
MAXIMUM ALLOWED BUILDING HEIGHT	36'5"
PROPOSED BUILDING HEIGHT	36'5"
MAXIMUM NUMBER OF STORIES	3
PROPOSED NUMBER OF STORIES	3
AUTOMATIC FIRE PROTECTION	NO
AMENITY AREA REQUIRED	0.04 AC @ 1,935 SF (10.0%)
AMENITY AREA PROVIDED	0.04 AC @ 1,949 SF (10.2%)
REMA FLOODPLAIN INFORMATION	MAP #3720 (7/1/2010) DATE MAR 2, 2006 PROJECT IS NOT WITHIN 100 YD FLOOD PLAIN

VEHICLE PARKING  
BASIS OF DETERMINATION - RESIDENTIAL  
1.5 PER 2 BEDROOM UNIT (VEHICLE PARKING)  
SHARED PARKING AGREEMENT (SHORT TERM BICYCLE PARKING)  
NONE REQUIRED (LONG TERM BICYCLE PARKING)  
TOTAL SPACES REQUIRED - 9 SPACES (6 UNITS X 1.5 SPACES/UNIT)  
TOTAL SPACES PROVIDED - 11 SPACES  
TOTAL HANDICAP SPACES REQUIRED - 1 SPACE  
TOTAL HANDICAP SPACES PROVIDED - 1 SPACE  
TOTAL SHORT TERM BICYCLE PARKING REQUIRED - 4 SPACES  
TOTAL SHORT TERM BICYCLE PARKING PROVIDED - 4 SPACES

1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	PRELIMINARY DEMOLITION PLAN
4	PRELIMINARY SITE LAYOUT PLAN
5	PRELIMINARY GRADING & STORMWATER PLAN
6	PRELIMINARY UTILITY PLAN
7	DETAIL SHEET
LA-1	PRELIMINARY LANDSCAPE PLAN
A-2	PRELIMINARY BUILDING ELEVATION
A-3	PRELIMINARY BUILDING FLOOR PLAN
A-4	PRELIMINARY BUILDING SUMMARY TABLES
F-1	PRELIMINARY ADA ACCESSIBILITY SHEET
F-1	PRELIMINARY ROOF PLAN
D-1	SHARED CUMPSITER DOCUMENT

THIS ADMINISTRATIVE SITE REVIEW SUBMITTAL IS TO APPROVE THE BUILDING FOR USE AS APARTMENTS. THE BUILDING USE COMPLIES WITH ALL CONDITIONS OUTLINED UNDER Z-30-19 BY THE FOLLOWING:

1. NO PROHIBITED USE IS PROPOSED.
2. 12 DWELLING UNITS ARE PROPOSED.
3. NO OFFICE USE IS PROPOSED.
4. NO ESTABLISHMENTS EXCEEDING 10,000 SF IS PROPOSED.

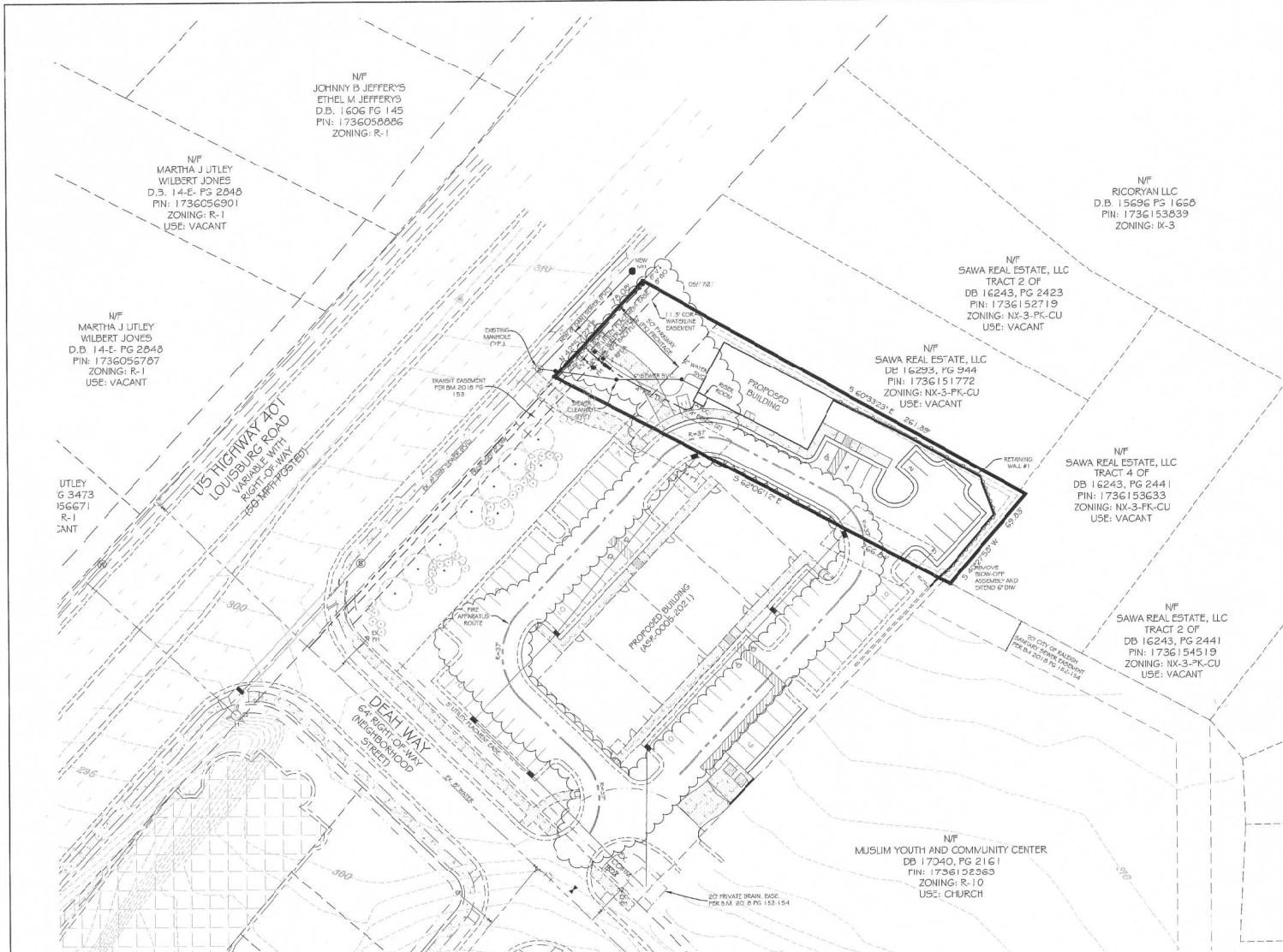
PRELIMINARY PLANS  
NOT FOR CONSTRUCTION











- NOTES:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  2. BOUNDARY, TOPOGRAPHIC AND EXISTING CONDITION INFORMATION FOR THE SITE WAS TAKEN FROM A DIGITAL FILE PROVIDED BY RALEIGH, NC.
  3. SITE INFORMATION OBTAINED FROM THE SITE BOUNDARY WAS TAKEN FROM A DIGITAL FILE FOR THE OASIS DEVELOPMENT PROVIDED BY THE OWNER.
  4. NO FINAL LOTS 1500 PAVED ON THIS SITE PER FEMA MAP NUMBER 37001 (75000) DATED MAY 2, 2006.
  5. CONTRACTOR SHALL HAVE NORTH CAROLINA OR CALL (1-800-632-4249) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  6. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  7. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRICAL, GAS, CABLE TV AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. LOCATIONS OF EXISTING UTILITIES ARE SHOWN FOR THESE UTILITIES UNDERGROUND.
  8. CERTIFICATE OF COMPLIANCE FOR BACKFLOW PREVENTION DEVICES SHALL BE REQUIRED AT BUILDING PERMIT.
- STANDARD UTILITY SPECIFICATIONS:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE: CONDUIT HANDBOOK, CURRENT EDITION.
  2. UTILITY SEPARATION REQUIREMENTS:  
A. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN APPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, THROUGH SANITARY SEWER PIPE SHALL BE SPECIFIED & NOTED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL. B. INSULATING WATER BODIES: SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL SEPARATIONS ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.  
C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR A SANITARY SEWER PASSES OVER A WATERMAIN, OR MATERIALS OR STEEL ENCASUREMENT DETECTED 16" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO MAINTAIN SEPARATION.  
D. 4.5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES UNLESS OF MATERIAL IS SPECIFIED FOR SANITARY SEWER.  
E. SANITARY 8" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & STORM DRAIN CROSSINGS. MINIMUM 24" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIAL & A CONCRETE CRACK REPAIR IF WALL CLEARANCE PER CONDO DETAIL 10-41 & 10-42.  
F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN APPROVED PLAN WORK PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER SEWER SERVICE TO EXISTING RESIDENCES & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  4. 3.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAIN & STORM SEWER MAINS. 4.0 MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  5. IF THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING PAY AT WALL & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONDO HANDBOOK PROCEDURE.
  6. INSTALL SANITARY WATER SERVICES WITH VENTERS IN A COR AND EASEMENT AS SHOWN ON THE PLANS. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR COLD CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  7. INSTALL ALL PVC SEWER SERVICES AT 1" OR MINIMUM GRADE AS SHOWN ON THE PLANS. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LONGER THAN 1.0 ABOVE THE NEXT VERTICAL MANHOLE.
  8. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  9. EXISTING RECORD DRAWINGS ARE REQUIRED FOR ALL UTILITIES WORK INCLUDING MANHOLE DEPTH AND LOCATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR MORE INFORMATION.
  10. EXISTING RECORD DRAWINGS ARE REQUIRED FOR ALL UTILITIES WORK INCLUDING MANHOLE DEPTH AND LOCATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR MORE INFORMATION.
  11. EXISTING RECORD DRAWINGS ARE REQUIRED FOR ALL UTILITIES WORK INCLUDING MANHOLE DEPTH AND LOCATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR MORE INFORMATION.
  12. EXISTING RECORD DRAWINGS ARE REQUIRED FOR ALL UTILITIES WORK INCLUDING MANHOLE DEPTH AND LOCATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR MORE INFORMATION.
  13. EXISTING RECORD DRAWINGS ARE REQUIRED FOR ALL UTILITIES WORK INCLUDING MANHOLE DEPTH AND LOCATION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTACT THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR MORE INFORMATION.

**ATTENTION CONTRACTORS:**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THIS PLAN, IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE CITY OF RALEIGH AND THE PUBLIC UTILITIES DEPARTMENT. ALL SEPARATIONS AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. LOCATIONS OF EXISTING UTILITIES ARE SHOWN FOR THESE UTILITIES UNDERGROUND.

FAILURE TO NOTIFY WITHIN 48 HOURS PRIOR TO BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REPAIRS AND/OR REMOVAL OF SERVICE PROVIDED NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INITIAL A DOWNSTREAM FLOOD PLANE REQUIRED PANS ON THIS SITE OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REPAIRS AND/OR REMOVAL OF SERVICE PROVIDED NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION



**Jones & Crossen**  
ENGINEERING, PLLC  
Civil Engineering | Construction Management | Land Planning

221 N. SALEM ST.  
SUITE 001  
PO BOX 1062  
APEX, NC 27502  
Office: 919-367-1174  
Registration: P-0151  
www.jonescrossen.com

OASIS APARTMENT BUILDING  
ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH

PRELIMINARY UTILITY PLAN

DATE: 1"=30' PXC

DATE: APRIL 6, 2021

DESIGNER: 1st CYCLE REVIEW

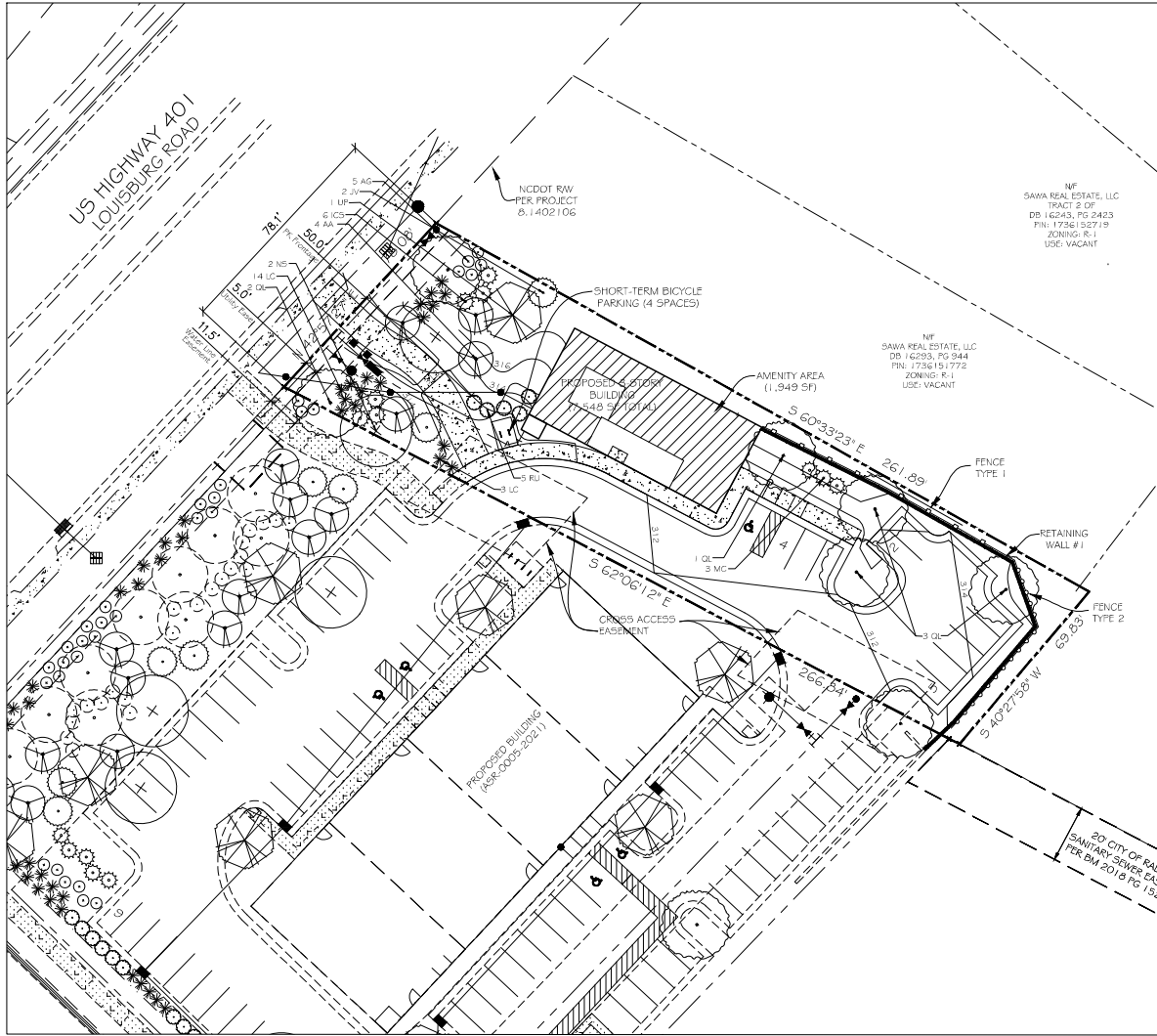
CHECKER: 2nd CYCLE REVIEW

DATE: 3rd CYCLE REVIEW

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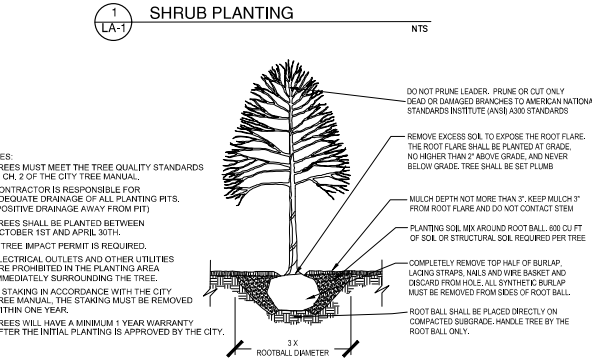
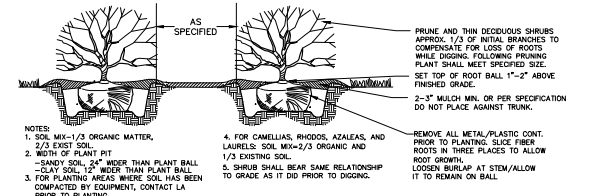




PLANTING NOTES:  
1. All plant materials to comply with American Standard for Nursery Stock ANSI Z60.  
2. Plant locations to be approved in field prior to installation.  
3. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.  
4. Establish plant bed configurations. Landscape Architect to approve bed layout in field.  
5. Install plants and mulch beds with 4" of pine straw.  
6. Areas disturbed by grading to be seeded and strawed.  
7. Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications.  
8. Areas damaged from plant relocation or other activities of Landscape Contractor to be re-seeded and established at no additional cost to the owner.  
9. All plant material shown is minimum required by the City Code.

City of Raleigh Planting Requirements:  
1) VEHICLE SURFACE AREA:  
Required : Evergreen shrubs screening parking from ROW  
Provided : 2 trees and continuous row of evergreen shrubs  
2) PK FRONTAGE PLANTINGS - LOUISBURG ROAD / HWY 401  
Per Z-030-19, Frontage is Parkway Corridor, planted to SHOD-1 landscape standards.  
Required : 7 Deciduous trees, 3 evergreen trees, 6 understory trees and 32 shrubs / 100 LP of road frontage  
Provided : 78 # total -5 deciduous trees, 2 evergreen trees, 4 understory trees, 25 shrubs.

PLANT SCHEDULE		SIZE AT INSTALL		ROOT		SPACING		SHOD - 1 STDs	
QTY	KEY	BOTANICAL / COMMON NAME						MATURE HEIGHT / SPREAD	
EVERGREEN SHRUB	5	AG	ADONIS A GRANDIFLORA VALEZIOSCOPE / GLOSSY ADONIS	24" HT.	CONT.	4" O.C.		9' within 3 yrs.	
EVERGREEN SHRUB	5	RU	RYTHYDOLIS UNIBELLATA MINGUS / RIDGEL HAWTHORN	18" HT.	CONT.	4" O.C.			
UNDERSTORY TREE	4	AA	ANGLANCKER ARDREIA AUTUMN BRILLIANCE / SERVICEBERRY	1' 5" Cal. 48 HT.	SHB	As shown	15' x 15'		
EVERGREEN SHRUB	17	LC	LOROPETALUM CHINENSIS RUBY / CHINESE PRINCE FLOWER	24" HT.	CONT.	9" O.C.		9' within 3 yrs.	
EVERGREEN TREE	2	JV	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	2' Cal. 1.2' HT.	CONT.	12" O.C. / As shown			
EVERGREEN SHRUB	3	MC	MYRSCE CORYMBOSA / SOUTHERN WAX MYRTLE	36" HT.	CONT.	7" O.C.			
DECIDUOUS SHADE TREE	4	QL	QUERCUS LURATA THORNTONIA / OVERCUP OAK	2' Cal. 1.2' HT.	SHB	As shown	35' x 30'		
DECIDUOUS SHADE TREE	1	UP	ULMUS PARVIFLORA THORNTONIA / CHINESE ELM	2' Cal. 1.2' HT.	SHB	As shown	35' x 30'		
DECIDUOUS SHADE TREE	2	NS	NYSSA SILVATICA WILDFIRE / BLACK GUM	2' Cal. 1.2' HT.	SHB	As shown	35' x 30'		
EVERGREEN SHRUB	6	ICS	ILEX CRISTATA STEEDY / STEEDS JAPANESE HOLLY	24" HT.	CONT.	6" O.C.		9' within 3 yrs.	

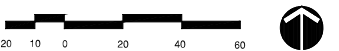


NOTES:  
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.  
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).  
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.  
4. A TREE IMPACT PERMIT IS REQUIRED.  
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.  
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.  
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT / URBAN FORESTER  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

2 LA-1 TREE PLANTING DETAIL  
CITY OF RALEIGH STD DETAIL TPP-03

PLANTING PLAN



Coaly DESIGN  
LANDSCAPE ARCHITECTURE  
Raleigh, NC 27608  
919.539.0812

THE OASIS  
RESIDENTIAL BUILDING  
5600 LOUISBURG ROAD  
RALEIGH, NC

PLANTING PLAN

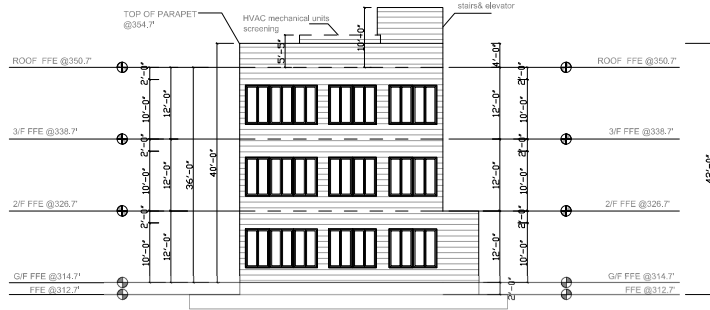
Consultants

Professional Seals

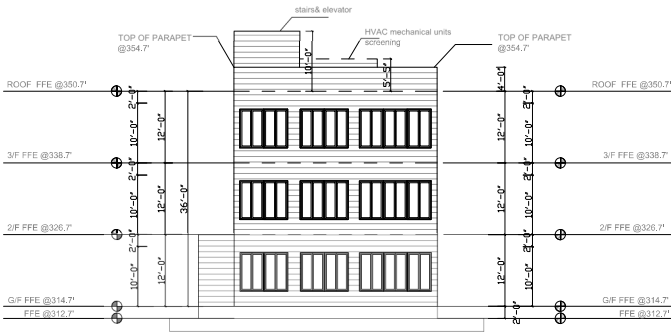
Date Issued:	4.9.21
Scale	1"=20'
Drawn by:	RBS
Checked by:	KJS

Revisions	No.	Description	Date
1	ASR Comments	5.20.21	
2	ASR Comments	6.30.21	
3	ASR Comments	9.13.21	

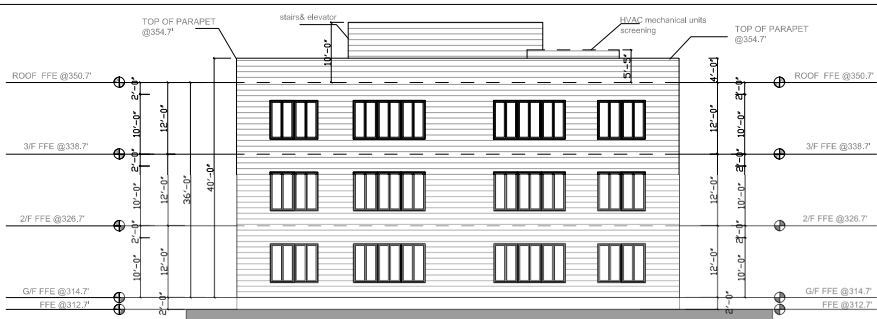
LA-1



**NEW BUILDING (2) WEST ELEVATION -- LOUISBURG RD**  
3/32" = 1'-0"



**NEW BUILDING (2) EAST ELEVATION**  
3/32" = 1'-0"

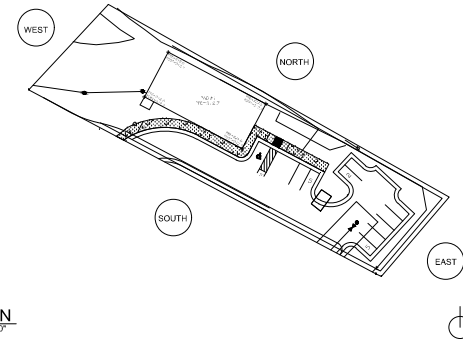


**NEW BUILDING (2) NORTH ELEVATION**  
3/32" = 1'-0"



**NEW BUILDING (2) SOUTH ELEVATION**  
3/32" = 1'-0"

**SITE PLAN**  
SCALE: 3/32" = 1'-0"



**TABLE 1.1: GRADE LEVELS**

FINISHED GRADE ELEV.	312.7'
TOTAL AVERAGE FINISHED GRADE ELEV.	$(312.7' + 312.7' + 312.7' + 312.7') / 4 = 312.7'$
MAXIMUM ALLOWABLE HEIGHT 50'	362.7'
PROPOSED FINISHED ROOF ELEV.	353.2'

**TABLE 1.2: WEST ELEVATION GRADE LEVEL**

AVERAGE WEST GRADE ELEV.	$(312.7' + 312.7') / 2 = 312.7'$
--------------------------	----------------------------------

**NOTE :**  
Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance

PROJECT FOR:

LOCATION:  
LOUISBURG, VA 24503-1000

DEMIANA AIAD  
dem@pyramidecontractors.com

(919) 995-5876  
office@corralpm.com

LOUISBURG ROAD COMPLEX

PLAN I.D.  
NEW MIXED-USE BUILDING

REVISION	2/24/2021
REVISION 1	4/8/2021
REVISION 2	5/11/2021

**A-2**  
SHEET