



Administrative Approval Action

Case File / Name: ASR-0031-2023
DSLC - ELEVATION CHURCH

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 13.84 acre site zoned R-1 and within an FWPOD overlay district, is located on the northeast corner of the intersection of Six Forks and Strickland Roads. The site is located at 8916 Six Forks Road, inside the city limits.

REQUEST: This is a proposed 28,765 sf civic building (place of worship).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 18, 2024 by Urban Design Partners.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

2. Review and comply with the recommendations under the ASR-0031-2023 case number.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.



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7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. All applicable well and septic permits are obtained from the Wake County Environmental Services and noted on the plan (or recorded plat) regarding the closure of the existing well and septic system.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

3. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.09 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.

Engineering

2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater



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4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A public infrastructure surety for 45 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of infrastructure.
7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
8. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 20 street trees along Six Forks Road and 25 street trees along Strickland Road for a total of 45 street trees.
9. A WPOD Wooded Area plat shall be recorded with metes and bounds showing the FWPOD Wooded Areas (UDO 9.1.9.B).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspections of all tree conservation areas, FWPOD Wooded Areas, and rights-of-way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 21, 2027

Obtain a valid building permit for the total area of the project, or a phase of the



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project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 02/21/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print) _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building and Development Type (Check all that apply)		Site Transaction History	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____	

GENERAL INFORMATION

Development name: Elevation Church
 Inside City limits? Yes ☒ No ☐
 Property address(es): 8910 Six Forks Rd, Raleigh NC 27615
 Site P.I.N. (s): 1708333316
 The removal of an existing single family residence.
 The development of a 29,042 sf civic building (place of worship).

Current Property Owner(s): Elevation Church	
Company: Elevation Church	Title:
Address: 11416 East Independence Blvd. Matthews, NC 28105	
Phone #: 704-517-1852	Email: ltrotter@elevationchurch.org
Applicant Name (if different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: Elevation Church	Address: 11416 East Independence Blvd. Matthews, NC 28105

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catalin@hcc.edu

Phone #: 704-517-1852 Email: ltrotter@elevationchurch.org

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Austin Easter

Company: MPV Properties, LLC Title: Development Partner

Address: 2400 South Boulevard Suite 300, Charlotte, NC 28203

Phone #: 704-367-5004 Email: AEaster@mpvr.com

Applicant Name: Landon Trotter

Company: Elevation Church Address: 11416 East Independence Blvd. Suite N Matthews, NC

Phone #: 704-517-1852 Email: ltrotter@elevationchurch.org

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-1 - 13.84 acres	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 13.84 acres	Existing gross floor area to be demolished: 3,826 SF
Max # of parking spaces proposed: 336	New gross floor area: 26,765 SF
Max # of parking permitted (7.1-2.3.2 C)(N/A)	Total of gross (to remain and new): 26,765 SF
Owner/Title of the applicant: FWPFO	Proposed # of buildings: 1
Existing use (UDO 6.1-4.1): Residential	Proposed # of stories for each building: 1
Proposed use (UDO 6.1-4.1): Civic (Church)	Proposed # of basement levels (UDO 6.1-7.6.4.6): 0

STORMWATER INFORMATION			
Imperious Area on Parcel(s):		Imperious Area for Compliance (includes ROW):	
Existing (sf)	14,605 SF	Proposed total (sf)	179,284
Existing (sf)		14,605 sf	Proposed total (sf)
179,284			
RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units: N/A		Total # of hotel bedrooms: N/A	
# of bedroom units:	1br	2br	3br
			4br or more
# of lots: N/A			
Is your project a cottage court?		<input type="radio"/> Yes	<input checked="" type="radio"/> No
Is your project a duplex court?		<input type="radio"/> Yes	<input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three

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raleishoc

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements and/or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Uniform Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-750(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: LSG Date: 06/01/2023
 Digitized Name: Landon S. G...

PHOTOGRAPHY, LANGUAGE STUDIES

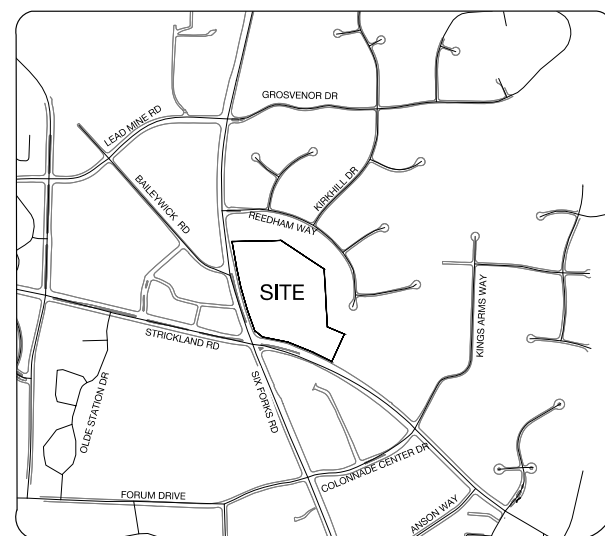
Elevation Church

Raleigh, NC

City of Raleigh - Administrative Site Review

ASR Case Number: ASR-0031-2023

Third Submittal: 01/18/2024



VICINITY MAP 1" = 500'

$$1'' = 500'$$

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE USE OF A LEVEL, ELEVATION, PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. NO WORK WILL BE ALLOWED WITHIN NCDOT RIGHT-OF-WAY! ALL ENCROACHMENT AGREEMENTS ARE REQUIRED.
4. IF CONSTRUCTION PLANS FOR PUBLIC OR PRIVATE UTILITIES SUCH AS UTILITIES SHOWN ON THIS PLAN ARE NOT IDENTICAL TO THE RECORD DRAWING, THE CONTRACTOR SHALL FIRST OBTAIN A PERMIT FROM THE DEPARTMENT FOR THE ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
5. ACCESS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NECESSARY DURING CONSTRUCTION.
6. ALL PROPOSED CURBS AND GUTTER WITHIN PUBLIC RIGHT-OF-WAY SHOWN ON PLANS TO BE "30" CITY OF RALEIGH STANDARD. ALL OTHER CURBS AND GUTTER SHALL BE "36" CITY OF RALEIGH STANDARD. ALL CURBS SHALL BE 2" 401 CONCRETE CURBS AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL SIDEWALKS SHALL BE 36" CITY OF RALEIGH STANDARD. ALL SIDEWALKS SHALL BE 401 CONCRETE UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURBLINE ELEVATION SHALL EXIST IN WHOLE OR PART. OBSTRUCTIONS SHALL BE REMOVED OR NOTED ON THE PLAN. ALL FOLLAGE SHALL BE REMOVED OR NOTED ON THE PLAN.
9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSTEAD TURNING RADIUS OF 20 FEET.
10. TRASH AND CARDBOARD DUMPSTERS ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
11. ALL HVAC UNITS SHALL BE SCREENED FROM THE VIEW OF THE PUBLIC RIGHT OF WAY.
12. CONTRACTOR TO FIELD LOCATION AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND RECORD ALL UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES CONTACTING NC A81 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
13. HANDICAP PARKING SPACE(S) AND NO ACCESSIBLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) OF THE TOTAL DISTRICTS.
14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE, NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY OF ANY PUBLIC OR PRIVATE ENCROACHMENT.
16. THE MINIMUM CURB CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 5 FEET. THE MINIMUM CLEARANCE FROM THE CURB LINE OF ANY SIDEWALK OR ACCESSIBLE DRIVEWAY, NO DRIVEWAYS SHALL ENDOACH ON THIS MINIMUM CURB CLEARANCE.
17. NO ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS.
18. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANY STANDARDS.
19. ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT BE LIMITED TO TELEPHONE CABLES, ELECTRICITY, CABLE, AND FIBER OPTICS SHALL BE PROTECTED AND SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
20. ALL ACCESSIBLE ROUTES MUST BE ACCESSIBLE TO ALL PEOPLE WHO ARE BLIND, HAVE LOW VISION, AND PEOPLE WITH MOBILITY DIFFICULTIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES SHALL BE IDENTIFIED AND SHOWN ON THE PLAN. ALL ACCESSIBLE ROUTES SHALL BE IDENTIFIED AND SHOWN ON THE PLAN. ALL ACCESSIBLE ROUTES SHALL BE IDENTIFIED AND SHOWN ON THE PLAN. ALL ACCESSIBLE ROUTES SHALL BE IDENTIFIED AND SHOWN ON THE PLAN. ALL ACCESSIBLE ROUTES SHALL BE IDENTIFIED AND SHOWN ON THE PLAN.
21. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION.
23. DURING CONSTRUCTION, CONTACT ENGINEERING INSPECTIONS AT 919.906.2450 TO SET UP THE MEETING.
24. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF TRAFFIC DISRUPTION.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
26. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF THE CLOSURE. THE CLOSURE MUST BE IDENTIFIED ON THE PLAN. THE CLOSURE MUST BE IDENTIFIED ON THE PLAN. THE CLOSURE MUST BE IDENTIFIED ON THE PLAN. THE CLOSURE MUST BE IDENTIFIED ON THE PLAN.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES DIVISION.

CONTACT INFORMATION

OWNER:
ELEVATION CHURCH
CONTACT: LONDON TROTTER
ADDRESS: 11416 EAST INDEPENDENCE BLVD.
MATHEWS, NC 28105
PHONE: (704) 246-0800

CIVIL ENGINEER & LANDSCAPE ARCHITECT

URBAN DESIGN PARTNERS PLLC
CONTACT: SALMAN MOAZZAM, P
ADDRESS: 150 FAYETTEVILLE ST
SUITE 1310
RALEIGH, NC 27601
PHONE: 919-275-5002



150 Fayetteville St Ste 1310
Raleigh, NC 27601
P 919.275.5002
cell: 919.275.5002 fax: 919.275.5003

Elevation Church

1416 East Independence Blvd.
Matthews, NC 28105

Elevation Church

Administrative Site Review

Cover Sheet

910 Six Forks Rd Raleigh, NC 27615

NO. DATE BY: REVISIONS:

Project No: 23-BDU-005

Date: 01.18.2024

Sheet No:

C-1.0

LYING AND BEING IN WAKE COUNTY, NORTH CAROLINA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND DESIGNATED AS "TRACT II REV.", CONTAINING 3.06 ACRES, ACCORDING TO MAP ENTITLED "DESCRIPTION - RECOMBINATION OF TRACTS I AND II, PROPERTY OF OLAF WAKEFIELD" DATED 12/18/84, PREPARED BY D. C. SHEARIN, R.L.S. AND RECORDED IN BOOK OF MAPS 1884, PAGE 1886, WAKE COUNTY REGISTRY.

BEING ALL OF TRACT D, CONTAINING 15.06 ACRES, AS SHOWN ON MAP OF RECOMBINATION OF THE OLAF WAKEFIELD ESTATE AS RECORDED IN BOOK OF MAPS 1990, PAGE 573, LESS AND EXCLUDING TRACT D, CONTAINING 3.06 ACRES, AS SHOWN ON A BOUNDARY MAP OF THE OLAF WAKEFIELD ESTATE AS RECORDED IN BOOK OF MAPS 1990, PAGE 268, FOR A TOTAL NET AREA OF

SAVE AND EXCEPT FROM THE FOREGOING TRACTS, THE FOLLOWING PARCELS:

1. BEING ALL THAT RIGHT-OF-WAY TAKEN IN FEE SIMPLE BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION PURSUANT TO 97-CVS-6302 WAKE COUNTY CLERK OF SUPERIOR COURT, SAID AREA BEING DESCRIBED AS "NEW RIGHT OF WAY" IN THAT CERTAIN CONSENT JUDGEMENT DATED APRIL 20, 2000 AND RECORDED IN BOOK 8582, PAGE 2713, WAKE COUNTY REGISTRY.

2. BEING ALL OF THAT CERTAIN RIGHT-OF-WAY DEDICATED TO THE CITY OF RALEIGH BY UNDATED DEED OF EASEMENT RECORDED IN BOOK 6144, PAGE 647, WAKE COUNTY REGISTRY, SAID RIGHT-OF-WAY BEING DEPICTED AS "12' R/W DEDICATION (0.244 ACRES)" ON THAT CERTAIN PLAT RECORDED IN BOOK OF MAPS 1994, PAGE 603, WAKE COUNTY REGISTRY.

ALL OF THE GRANTOR'S RIGHT, TITLE, AND INTEREST, WITHOUT WARRANTY, IN AND TO ANY AREA LOCATED WITHIN THE RIGHTS-OF-WAY OF SIX FORKS ROAD (SR 1005) AND STRICKLAND ROAD (SR 1829), SPECIFICALLY INCLUDING THOSE AREA DESCRIBED IN THE FOLLOWING INSTRUMENTS:

- A. BEING ALL OF THAT CERTAIN RIGHT-OF-WAY DEDICATED TO THE CITY OF RALEIGH BY UNDATED DEED OF EASEMENT RECORDED IN BOOK 6144, PAGE 647, WAKE COUNTY REGISTRY, AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 1994, PAGE 603, WAKE COUNTY REGISTRY.

- B. BEING ALL OF THAT CERTAIN RIGHT-OF-WAY DEDICATED TO THE CITY OF RALEIGH BY DEED OF EASEMENT, DATED OCTOBER 27, 2000 AND RECORDED IN BOOK 8728, PAGE 325, WAKE COUNTY REGISTRY, AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2000, PAGES 1329-1337, INCLUSIVE, WAKE COUNTY REGISTRY.

THAT CERTAIN 13.838 ACRE PARCEL OF LAND AS DESCRIBED IN BOOK 16407, PAGES 2101-2104 IN THE WAKE COUNTY REGISTRY, NORTH CAROLINA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN EXISTING RIGHT-OF-WAY MONUMENT ON THE EASTERN
RIGHT-OF-WAY OF SIX FORKS ROAD AND THE NORTHERN RIGHT-OF-WAY LINE
OF STRICKLAND ROAD, SAID POINT BEING NORTH 65° 17' 23" EAST, 24481.26
FEET FROM NCGS SURVEY MONUMENT "ANNE LAKE 3", SAID MONUMENT HAVING
NAD GRID COORDINATES (NAD83 - 2001) OF N: 772886.57, E: 2080781.90,
THENCE FROM SAID BEGINNING POINT, ALONG THE EASTERN RIGHT-OF-WAY
LINE OF SIX FORKS ROAD, THE FOLLOWING FIVE (5) COURSES AND DISTANCES;

1. NORTH 18° 27' 51" WEST, A DISTANCE OF 192.65 FEET TO AN EXISTING RIGHT-OF-WAY MONUMENT; THENCE -
2. NORTH 15° 57' 58" WEST, A DISTANCE OF 193.64 FEET TO AN EXISTING RIGHT-OF-WAY MONUMENT; THENCE -
3. NORTH 12° 11' 01" WEST, A DISTANCE OF 183.19 FEET TO AN EXISTING RIGHT-OF-WAY MONUMENT; THENCE -
4. NORTH 10° 18' 04" WEST, A DISTANCE OF 166.17 FEET TO AN EXISTING RIGHT-OF-WAY MONUMENT; THENCE -
5. NORTH 08° 17' 48" WEST, A DISTANCE OF 81.08 FEET TO AN EXISTING RIGHT-OF-WAY MONUMENT; THENCE -

ALONG THE SOUTHERN BOUNDARY LINE OF THE SUBDIVISION OF REEDHAM
HANS PHASE 1 (BOOK 1981, PAGE 1002) NORTHERLY 83° 16' EAST;
DISTANCE OF 471.77 FEET TO AN EXISTING IRON PIPE, THENCE SOUTH 56° 33'
30" EAST, A DISTANCE OF 439.39 FEET TO AN EXISTING IRON PIPE, THENCE
SOUTH 03° 04' 04" EAST, A DISTANCE OF 463.11 FEET TO AN EXISTING IRON
PIPE, THENCE SOUTH 66° 44' 41" EAST, A DISTANCE OF 157.97 FEET TO AN
EXISTING IRON PIPE, SAID POINT BEING A COMMON CORNER OF LANDS NOW OR
FORMERLY OF THE NORTH RALEIGH CHURCH OF THE NAZARENE; THENCE FROM
SAID POINT SOUTHEASTLY 30° 00' 00" EAST, A DISTANCE OF 100.00 FEET TO AN
EXISTING IRON PIPE, THENCE ALONG THE NORTHERN RIGHT-OF-WAY LINE OF
STICKLAND ROAD THE FOLLOWING SIX (6) CURVES AND DISTANCES:

1. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 13110.05 FEET, AN ARC LENGTH OF 45.38 FEET, AND A CHORD BEARING AND DISTANCE OF NORTH 01° 00' 30" WEST 45.38 FEET TO A POINT; THENCE -
2. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 15861.75 FEET, AN ARC LENGTH OF 133.78 FEET, AND A CHORD BEARING AND DISTANCE OF NORTH 64° 37' 03" WEST 133.75 FEET TO A POINT; THENCE -
3. NORTH 67° 31' 35" WEST, A DISTANCE OF 102.81 FEET TO A POINT; THENCE -
4. NORTH 67° 52' 48" WEST, A DISTANCE OF 124.16 FEET TO A POINT; THENCE -
5. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1694.02 FEET, AN ARC LENGTH OF 223.59 FEET, AND A CHORD BEARING AND DISTANCE OF NORTH 78° 24' 40" WEST 225.42 FEET TO A POINT; THENCE -
6. NORTH 51° 12' 42" WEST, A DISTANCE OF 84.75 FEET TO THE POINT AND PLACE OF BEGINNING, CONTAINING 602,766 SQUARE FEET OR 13,836 ACRES MORE OR LESS.

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COMMITMENT NO.: 22-2723
EFFECTIVE DATE: OCTOBER 12, 2022

1040-1041, 1042-1043, 1044-1045, 1046-1047, 1048-1049, 1050-1051, 1052-1053, 1054-1055, 1056-1057, 1058-1059, 1060-1061, 1062-1063, 1064-1065, 1066-1067, 1068-1069, 1070-1071, 1072-1073, 1074-1075, 1076-1077, 1078-1079, 1080-1081, 1082-1083, 1084-1085, 1086-1087, 1088-1089, 1090-1091, 1092-1093, 1094-1095, 1096-1097, 1098-1099, 1100-1101, 1102-1103, 1104-1105, 1106-1107, 1108-1109, 1110-1111, 1112-1113, 1114-1115, 1116-1117, 1118-1119, 1120-1121, 1122-1123, 1124-1125, 1126-1127, 1128-1129, 1130-1131, 1132-1133, 1134-1135, 1136-1137, 1138-1139, 1140-1141, 1142-1143, 1144-1145, 1146-1147, 1148-1149, 1150-1151, 1152-1153, 1154-1155, 1156-1157, 1158-1159, 1160-1161, 1162-1163, 1164-1165, 1166-1167, 1168-1169, 1170-1171, 1172-1173, 1174-1175, 1176-1177, 1178-1179, 1180-1181, 1182-1183, 1184-1185, 1186-1187, 1188-1189, 1190-1191, 1192-1193, 1194-1195, 1196-1197, 1198-1199, 1200-1201, 1202-1203, 1204-1205, 1206-1207, 1208-1209, 1210-1211, 1212-1213, 1214-1215, 1216-1217, 1218-1219, 1220-1221, 1222-1223, 1224-1225, 1226-1227, 1228-1229, 1230-1231, 1232-1233, 1234-1235, 1236-1237, 1238-1239, 1240-1241, 1242-1243, 1244-1245, 1246-1247, 1248-1249, 1250-1251, 1252-1253, 1254-1255, 1256-1257, 1258-1259, 1260-1261, 1262-1263, 1264-1265, 1266-1267, 1268-1269, 1270-1271, 1272-1273, 1274-1275, 1276-1277, 1278-1279, 1280-1281, 1282-1283, 1284-1285, 1286-1287, 1288-1289, 1290-1291, 1292-1293, 1294-1295, 1296-1297, 1298-1299, 1300-1301, 1302-1303, 1304-1305, 1306-1307, 1308-1309, 1310-1311, 1312-1313, 1314-1315, 1316-1317, 1318-1319, 1320-1321, 1322-1323, 1324-1325, 1326-1327, 1328-1329, 1330-1331, 1332-1333, 1334-1335, 1336-1337, 1338-1339, 1340-1341, 1342-1343, 1344-1345, 1346-1347, 1348-1349, 1350-1351, 1352-1353, 1354-1355, 1356-1357, 1358-1359, 1360-1361, 1362-1363, 1364-1365, 1366-1367, 1368-1369, 1370-1371, 1372-1373, 1374-1375, 1376-1377, 1378-1379, 1380-1381, 1382-1383, 1384-1385, 1386-1387, 1388-1389, 1390-1391, 1392-1393, 1394-1395, 1396-1397, 1398-1399, 1400-1401, 1402-1403, 1404-1405, 1406-1407, 1408-1409, 1410-1411, 1412-1413, 1414-1415, 1416-1417, 1418-1419, 1420-1421, 1422-1423, 1424-1425, 1426-1427, 1428-1429, 1430-1431, 1432-1433, 1434-1435, 1436-1437, 1438-1439, 1440-1441, 1442-1443, 1444-1445, 1446-1447, 1448-1449, 1450-1451, 1452-1453, 1454-1455, 1456-1457, 1458-1459, 1460-1461, 1462-1463, 1464-1465, 1466-1467, 1468-1469, 1470-1471, 1472-1473, 1474-1475, 1476-1477, 1478-1479, 1480-1481, 1482-1483, 1484-1485, 1486-1487, 1488-1489, 1490-1491, 1492-1493, 1494-1495, 1496-1497, 1498-1499, 1500-1501, 1502-1503, 1504-1505, 1506-1507, 1508-1509, 1510-1511, 1512-1513, 1514-1515, 1516-1517, 1518-1519, 1520-1521, 1522-1523, 1524-1525, 1526-1527, 1528-1529, 1530-1531, 1532-1533, 1534-1535, 1536-1537, 1538-1539, 1540-1541, 1542-1543, 1544-1545, 1546-1547, 1548-1549, 1550-1551, 1552-1553, 1554-1555, 1556-1557, 1558-1559, 1560-1561, 1562-1563, 1564-1565, 1566-1567, 1568-1569, 1570-1571, 1572-1573, 1574-1575, 1576-1577, 1578-1579, 1580-1581, 1582-1583, 1584-1585, 1586-1587, 1588-1589, 1590-1591, 1592-1593, 1594-1595, 1596-1597, 1598-1599, 1600-1601, 1602-1603, 1604-1605, 1606-1607, 1608-1609, 1610-1611, 1612-1613, 1614-1615, 1616-1617, 1618-1619, 1620-1621, 1622-1623, 1624-1625, 1626-1627, 1628-1629, 1630-1631, 1632-1633, 1634-1635, 1636-1637, 1638-1639, 1640-1641, 1642-1643, 1644-1645, 1646-1647, 1648-1649, 1650-1651, 1652-1653, 1654-1655, 1656-1657, 1658-1659, 1660-1661, 1662-1663, 1664-1665, 1666-1667, 1668-1669, 1670-1671, 1672-1673, 1674-1675, 1676-1677, 1678-1679, 1680-1681, 1682-1683, 1684-1685, 1686-1687, 1688-1689, 1690-1691, 1692-1693, 1694-1695, 1696-1697, 1698-1699, 1700-1701, 1702-1703, 1704-1705, 1706-1707, 1708-1709, 1710-1711, 1712-1713, 1714-1715, 1716-1717, 1718-1719, 1720-1721, 1722-1723, 1724-1725, 1726-1727, 1728-1729, 1730-1731, 1732-1733, 1734-1735, 1736-1737, 1738-1739, 1740-1741, 1742-1743, 1744-1745, 1746-1747, 1748-1749, 1750-1751, 1752-1753, 1754-1755, 1756-1757, 1758-1759, 1760-1761, 1762-1763, 1764-1765, 1766-1767, 1768-1769, 1770-1771, 1772-1773, 1774-1775, 1776-1777, 1778-1779, 1780-1781, 1782-1783, 17

TO: ELEVATION CHURCH, A NORTH CAROLINA NON-PROFIT CORPORATION AND
MOREHEAD TITLE COMPANY, THEIR SUCCESSORS AND/OR ASSIGNS;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARDS DETAIL REQUIREMENTS FOR THE ALTA/NSPS LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS ON FEBRUARY 23, 2021 AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(i), 7(c), & 11(a), 11(b), 13, 14, 15, 17, 18, 19, 20 OF THE TABLE "A" THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF CERTIFICATION. THE UNDERSIGNED FURTHER CERTIFIES THAT IN THIS PROFESSIONAL CAPACITY, THE SURVEYOR JOINED IN THE STATE OF NORTH CAROLINA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

Walter S. K. 01/05/2024

WALTER B. KEEVER, PLS P-2181

01/25/2024

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS

- CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE OF THE CURRENT SURVEY.
- REQUIREMENTS ARE MET - **NOT A MATTER OF SURVEY**
1. **RIGHTS OF** CO-ASSESSMENTS FOR SUBSEQUENT YEARS, NOT YET PAID AND PAYABLE TAXES OR ASSESSMENTS FOR THE YEAR 2022 ARE DUE AND PAYABLE BUT NOT YET DELINQUENT. **NOT A MATTER OF SURVEY**
2. **RIGHTS OF** STRUCTURE ENCROACHMENT BY ANY OTHER MATTER SHOWN ON MAP OF PLAT RECORDED IN:
- BOOK OF MAPS 1550, PAGES 248 AND 313. - **SHOWN ON SURVEY**
- BOOK OF MAPS 1584, PAGE 1861. - **SHOWN ON SURVEY, LINES WERE VACATED BY BOOK OF MAPS 1894, PAGE 1896.**
- BOOK OF MAPS 1584, PAGES 373 AND 1920. - **SHOWN ON SURVEY**
- BOOK OF MAPS 1585, PAGES 373 AND 1920. - **SHOWN ON SURVEY**
- BOOK OF MAPS 1894, PAGE 823. - **SHOWN ON SURVEY**
- BOOK OF MAPS 1986, PAGE 1039. - **SHOWN ON SURVEY**
- BOOK OF MAPS 2022, PAGE 1039. - **SHOWN ON SURVEY**
3. **RIGHTS OF** WAY TO THE NORTH CAROLINA STATE HIGHWAY COMMISSION RECORDED BY:
- EASEMENTS TO CAROLINA POWER AND LIGHT COMPANY RECORDED IN:
- BOOK 1716, PAGE 1716. - **BLANKET IN NATURE, NOT FLOTTABLE**
- BOOK 1774, PAGE 761. - **BLANKET IN NATURE, NOT FLOTTABLE**
- BOOK 1858, PAGE 683. - **3P EASEMENT, NOT FLOTTABLE**
- BOOK 1830, PAGE 426. - **BLANKET IN NATURE, NOT FLOTTABLE**
- BOOK 2127, PAGE 426. - **3P EASEMENT, NOT FLOTTABLE**
- BOOK 2595, PAGE 433. - **BLANKET IN NATURE, NOT FLOTTABLE**
- BOOK 2551, PAGE 1861. - **BLANKET IN NATURE, NOT FLOTTABLE**
- BOOK 2583, PAGE 251. - **BLANKET IN NATURE, NOT FLOTTABLE**
- BOOK 2742, PAGE 342. - **BLANKET IN NATURE, NOT FLOTTABLE**
4. **EASEMENTS TO** THE CITY OF RALEIGH RECORDED IN:
- BOOK 4872, PAGE 32 AND 816. - **APPROX. LOCATION SHOWN ON SURVEY**
- BOOK 1447, PAGE 647. - **SHOWN ON SURVEY**
- BOOK 6144, PAGE 647. - **SHOWN ON SURVEY, REFERENCES BOOK OF MAPS 1994, PG. 828. - RW DEDICATION**
- BOOK 1231, PAGE 828. - **SHOWN ON SURVEY**
- BOOK 6728, PAGES 325, 326, AND 333. - **SHOWN ON SURVEY**
5. **RIGHTS OF** HIGH REVENUE TO THE NORTH CAROLINA STATE HIGHWAY COMMISSION JUDGEMENT RECORDED IN BOOK 8582, PAGE 2715. - **SHOWN ON SURVEY, REFERENCES BOOK OF MAPS 1994, PAGE 1899.**
6. **RIGHTS OF** PORT OF RALEIGH TO THE NORTH CAROLINA STATE HIGHWAY COMMISSION RECORDED IN BOOK 10025 AND STRICKLAND ROAD (SR 1826). - **SHOWN ON SURVEY, NOT FLOTTABLE**
7. **RIGHTS OF** PORT OF RALEIGH TO THE NORTH CAROLINA STATE HIGHWAY COMMISSION SHORTAGES OR OVERAGES IN THE ACREAGE OF LAND. - **BLANKET IN NATURE, NOT FLOTTABLE**
8. **RIGHTS OF** TENANTS IN POSSESSION UNDER RECORDED LEASE(S). - **NOT A MATTER OF SURVEY**
9. **ANY DISCREPANCY** CONFLICT, ACCESS, SETBACK IN AREA OR BOUNDARY DISCREPANCY, CONFLICT, ACCESS, SETBACK, ENCROACHMENT, OVERLAP, SETBACK, EASEMENT OR CLAIM OF EASEMENT, RIPARIAN RIGHT AND TITLE TO LAND WITHIN ROADS, WAYS, RAILROADS, WATERCOURSES, BURIAL GROUNDS, CEMETERIES, OR OTHER AREAS OF THE SURVEY, OR ANY OTHER MEAN HIGHER THAN ROAD OR WITHIN THE BOUNDS OF ANY ADJOINING BODY OF WATER OR OTHER AREAS OF THE SURVEY, OR ANY OTHER MATTER THAT WOULD BE DISCLOSED BY A CURRENT INSPECTION AND ACCURATE AND COMPLETE LAND SURVEY OF THE LAND. - **BLANKET IN NATURE, NOT FLOTTABLE**

1. ALL DISTANCES, BEARINGS AND COORDINATES SHOWN HEREON ARE REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM

2. (US SURVEY FOOT) AND ARE RELATIVE TO NAD83 AND DEONIALS THEREOF. THE POINT OF BEGINNING OF THE SURVEY IS THE CORNER OF THE SECTION 24.
3. TOTAL PROPERTY AREA IS 13.834 ACRES (602,786.51 SF) AND DETERMINED BY COORDINATE COMPUTATION.
4. THIS SURVEY IS MADE FOR THE BENEFIT OF A TITLE REPORT, PREPARED BY MOREHEAD TITLE COMPANY, COMMITMENT NUMBER 22-2782, EFFECTIVE DATE OF 02/12/2022.
5. THIS SURVEY WAS CONDUCTED AND NOT SHOWN HEREON MAY EXIST. IT IS THE OWNERS/TENANTS RESPONSIBILITY TO VERIFY THE LOCATION OF ANY EXISTING UTILITIES OR STRUCTURES. THE SURVEYOR HAS NO RESPONSIBILITY TO ASSUME RESPONSIBILITY FOR MISIDENTIFICATION OR OMISSION OF UNDERGROUND UTILITIES.
6. THIS SURVEY ONLY SHOWS EXTERIOR STRUCTURES OR INTERIOR SPACES SUCH AS FOOTINGS, FOUNDATIONS, VAULTS, OR BASEMENTS WAS PERFORMED AS PART OF THIS SURVEY AND THIS PLAN SHOULD NOT BE CONSTRUED AS A BASIS FOR CONSTRUCTION OF ANY STRUCTURES.
7. FIELD WORK WAS PERFORMED ON NOVEMBER 24, 2022.
8. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FEDERAL FLOOD PLAIN ACT AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 3720170800JUN, PLUM 1708, EFFECTIVE DATE MAY 1, 2020.
9. THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING OR STRUCTURE COLLAPSE OR ANY ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
10. NO EVIDENCE OF GEMETERIES OR BURIAL, GROUNDS AND/OR POLE SLOID WASTE WERE OBSERVED OR ANY ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
11. THERE WERE NO REGULAR PLANNING SPACES AND/OR DESIGNATED HANGAR OR LANDING PLACES ON SITE AT THE TIME OF THE SURVEY.
12. BUILDING DIMENSIONS ARE EXTERIOR DIMENSIONS AT GROUND LEVEL. BUILDING DIMENSIONS ARE NOT SHOWN AT THE GROUND LEVEL. THE HEIGHT OF THE BUILDING SHOWN HAS BEEN LABELLED WHERE THE MEASUREMENT WAS TAKEN.
13. NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR ANY ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
14. THE SURVEY DEPICTS THE SAME LAND AS IN THE TITLE COMMITMENT, AND THE SURVEY LEGAL DESCRIPTION IS THE SAME AS THE INSURED LEGAL DESCRIPTION OF THE SUBJECT PROPERTY.
15. THE LEGAL DESCRIPTION OF THE SUBJECT PROPERTY CLOSURES AND VARIATIONS, AND THE SURVEYOR HAS NO KNOWLEDGE OF ANY RECORDS OR CLAIMS RELATING TO THE SURVEYING PARCELS.

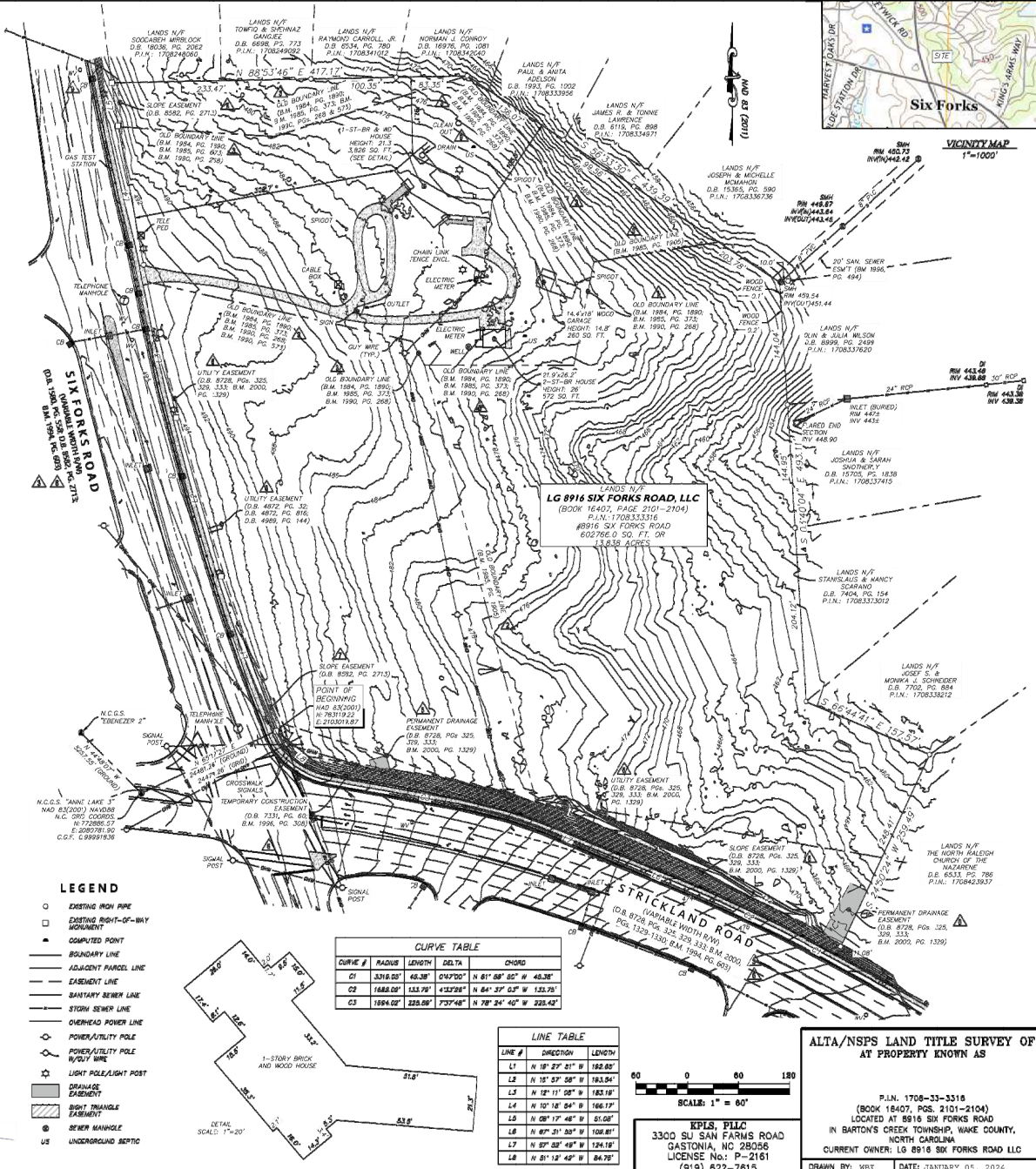
4. WALTER B. KEEVER, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 18407, PAGE 2101-2104); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DASHED LINES DRAWN FROM THE ADJACENT SURVEYED SOURCES AS SHOWN HEREON; THAT THE PLAT OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:13,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 20th DAY OF

January 2024.

WALTER R. KEEFER

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

L-5244

ALTA/NSPS LAND TITLE SURVEY OF
AT PROPERTY KNOWN AS

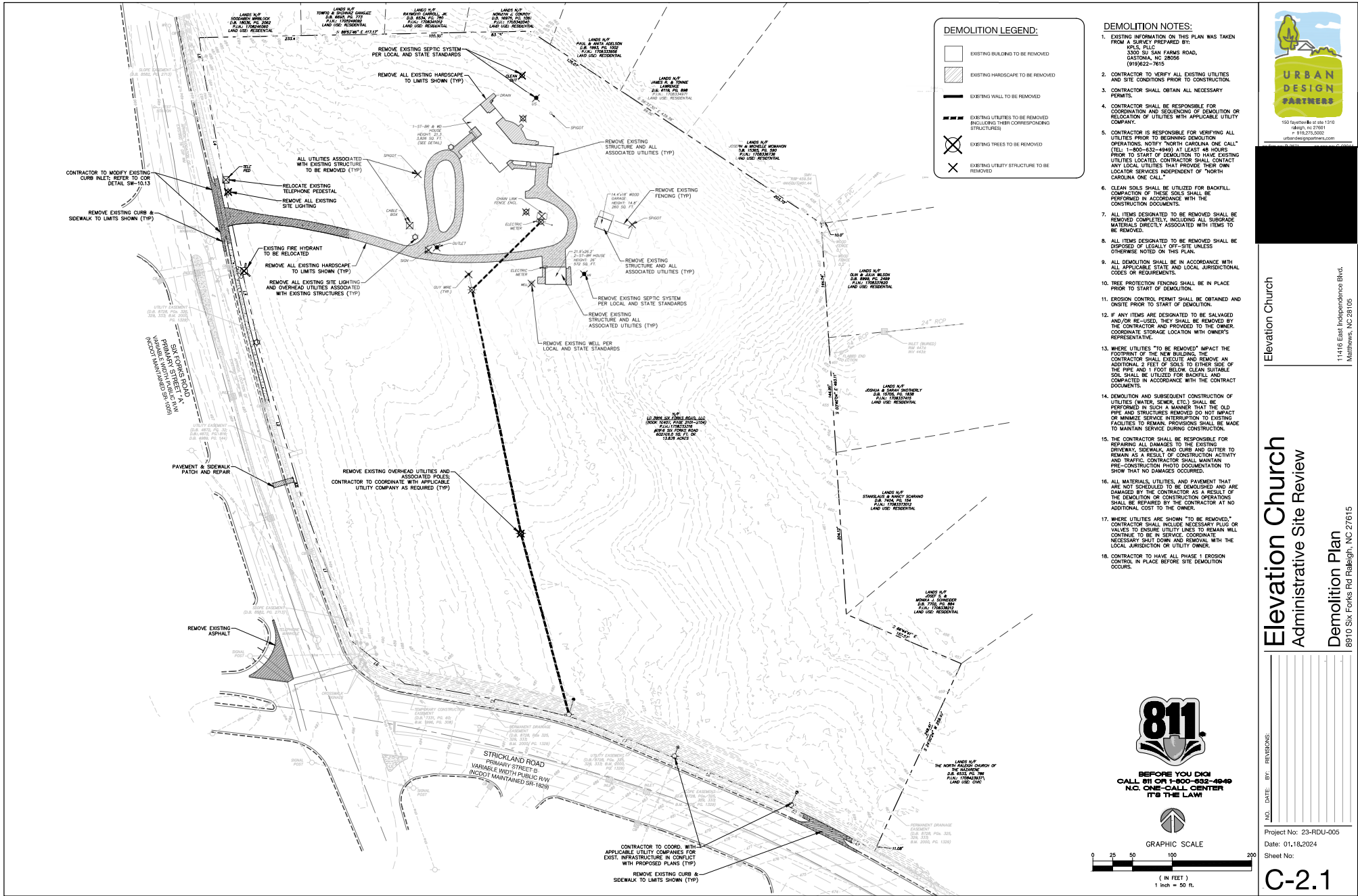
1000

P.L.N. 1708-33-3318
(BOOK 18407, PGS. 2101-2104)

LOCATED AT 8916 SIX FORKS ROAD
IN BARTON'S CREEK TOWNSHIP, WAKE COUNTY,
NORTH CAROLINA

CURRENT OWNER: LG 8916 SIX FORKS ROAD LLC

DRAWN BY: WBT	DATE: JANUARY 05, 2024
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Elevation Church

Elevation Church Administrative Site Review

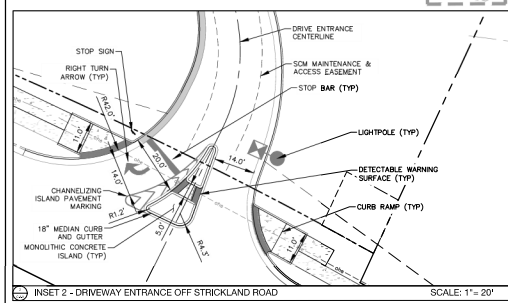
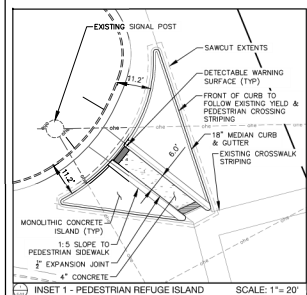
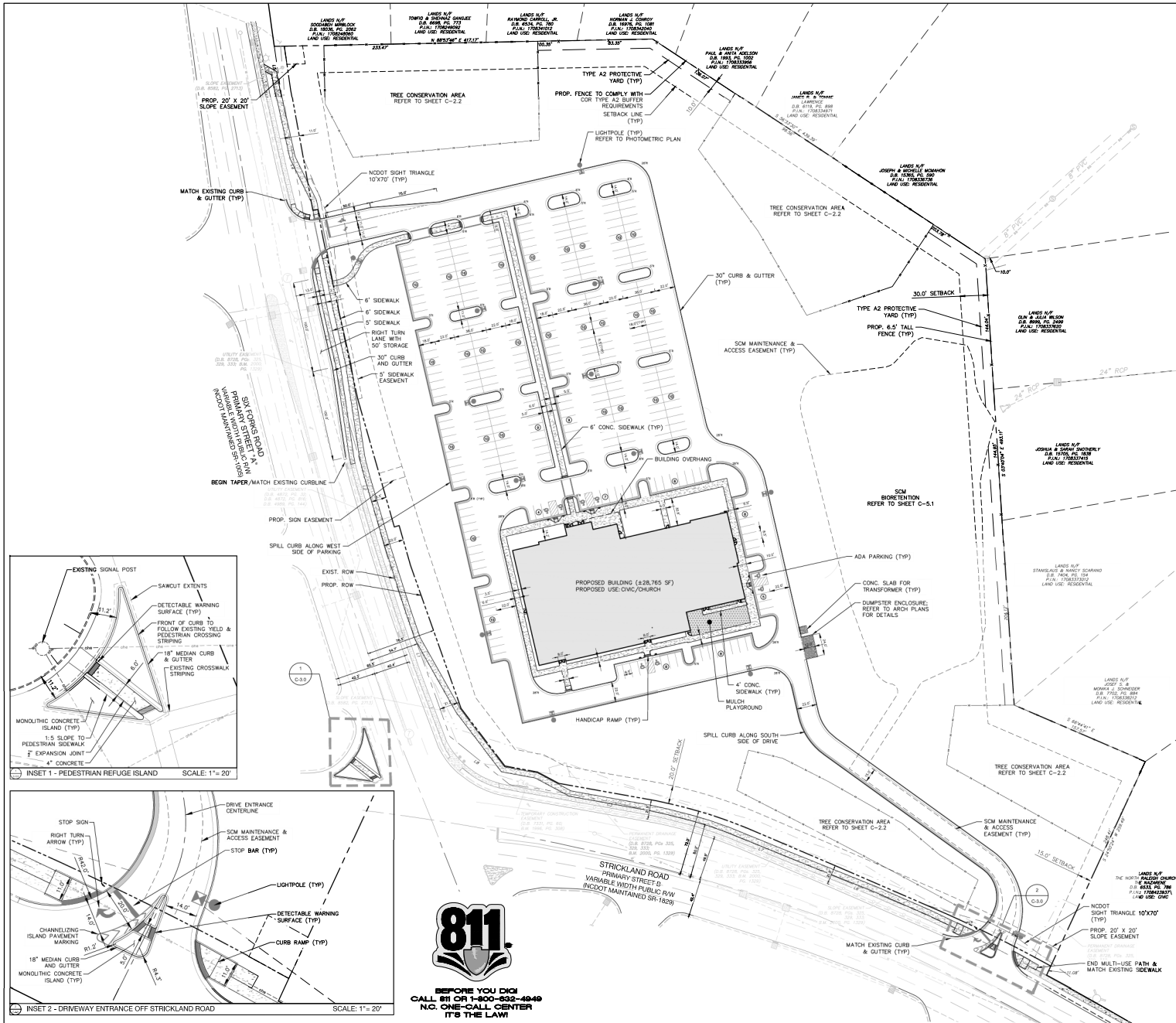
11416 East Independence Blvd.
Matthews, NC 28105

Demolition Plan
8910 Six Forks Rd Raleigh, NC 27615

NO.	DATE	BY	REVISIONS

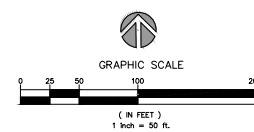
Project No: 23-RDU-005
Date: 01.18.2024
Sheet No:

C-2.1



SITE DATA	
TAX PARCEL ID #:	1708-33-3316-00
TOTAL SITE AREA:	13.84 AC (862,796 SF)
ROW DEDICATION:	0.31 AC (22,026 SF)
NET SITE AREA:	13.33 AC (880,740 SF)
EXISTING ZONING:	R-1
EXISTING LAND USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	CHURCH (CNC)
BUILDING GFA:	28,765 SF
ANNEXATION ORDINANCE NUMBER:	2023-455
DEVELOPMENT SUMMARY	
LOT DIMENSIONS	
LOT AREA:	13.84 AC
STRUCTURE SETBACKS	
PRIMARY STREET SETBACK:	20' MIN.
SIDE STREET SETBACK:	20' MIN.
SIDE LOT LINE SETBACK:	15' MIN.
REAR LOT LINE SETBACK:	30' MIN.
PARKING SETBACKS	
PRIMARY STREET SETBACK:	20' MIN.
SIDE STREET SETBACK:	10' MIN.
SIDE/REAR LOT LINE SETBACK:	10' MIN.
BUILDING HEIGHT	
PRINCIPLE BUILDING:	40' STORIES MAX.
BUILDING HEIGHT:	25'
ACCESSORY STRUCTURE:	20' MAX
PARKING	
VEHICULAR PARKING:	
REQUIRED:	N/A (NO MAX)
PROPOSED:	336 SPACES
BICYCLE PARKING:	
REQUIRED:	N/A (NOT REQUIRED)
PROPOSED:	6 SPACES
FALLS WATERSHED PROTECTION OVERLAY DISTRICT	
IMPERVIOUS AREA MAXIMUM:	30%
IMPERVIOUS AREA PROVIDED:	28.3%
BUILDING PARKING:	28,765 SF (0.66 AC)
SIDEWALK:	131,542 SF (3.03 AC)
TOTAL IMPERVIOUS:	10,145 SF (0.23 AC)
REQUIRED NATURAL RESOURCE BUFFER YARD:	N/A
PROVIDED NATURAL RESOURCE BUFFER YARD:	N/A
REQUIRED WOODED AREA:	40.0% MIN.
PROVIDED WOODED AREA:	40.0%

SITE PLAN LEGEND:	
PROF. STD. 30" C&G	PROPOSED BUILDING
PROF. SPILL CURB	HEAVY DUTY CONCRETE WITH ABILITY TO SUPPORT 80,000 LBS
PROPERTY BOUNDARY	LIGHT DUTY CONCRETE / CONCRETE SIDEWALK
TREE SAVE LINE	
RIGHT OF WAY LINE	
SETBACK LINE	
EASEMENT LINE	



Elevation Church

Elevation Church Administrative Site Review

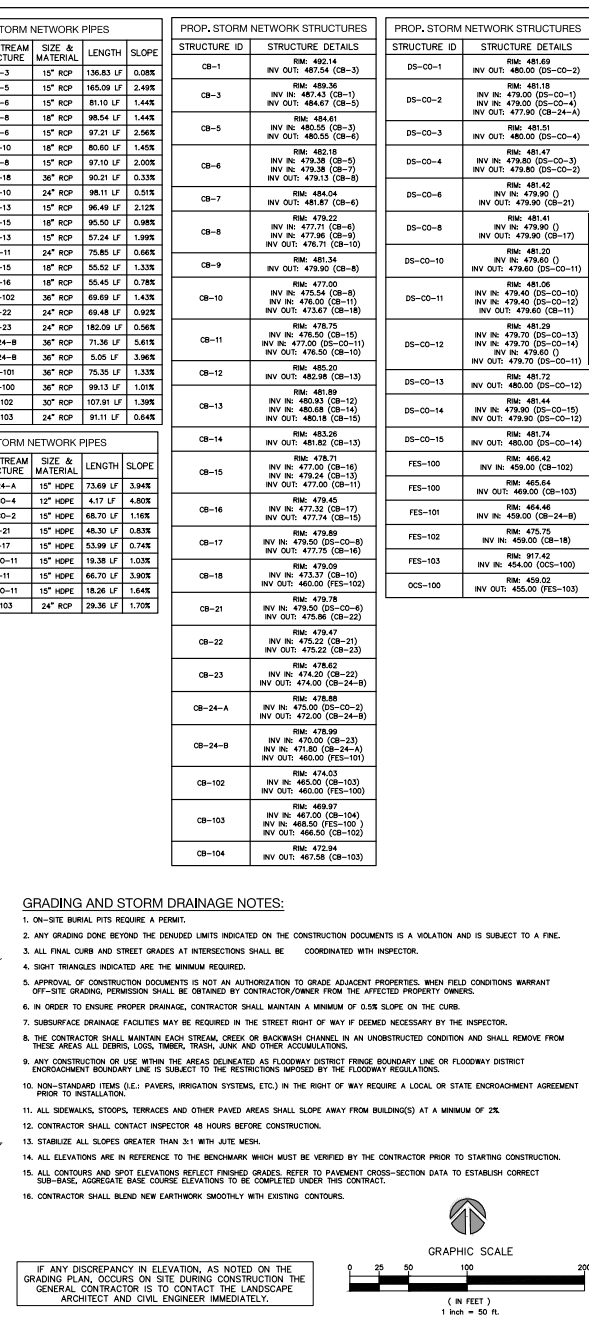
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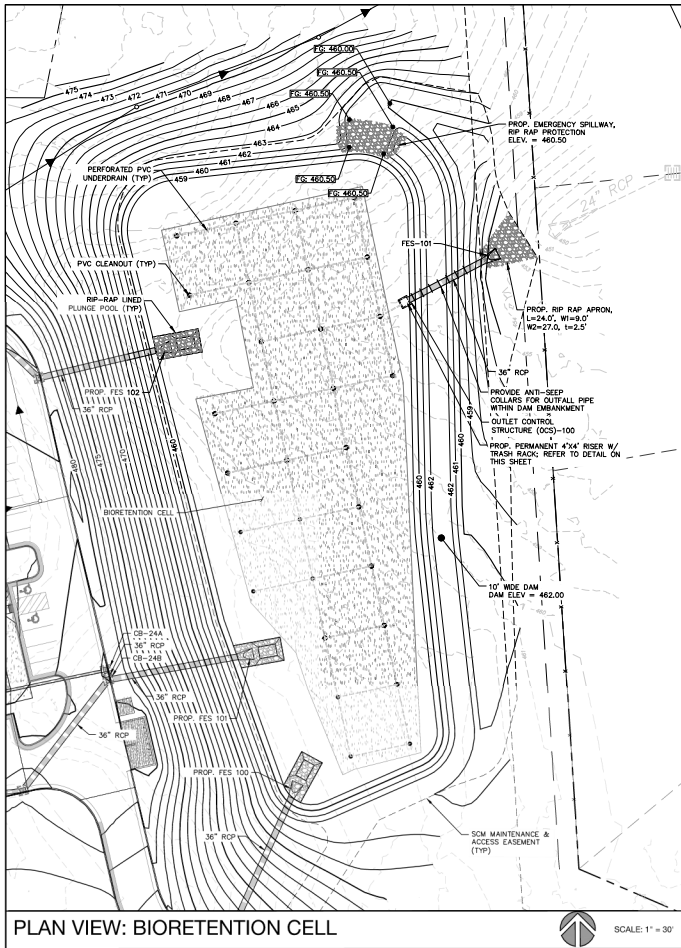
8910 Six Forks Rd Raleigh, NC 27615

NO. DATE: BY: REVISIONS

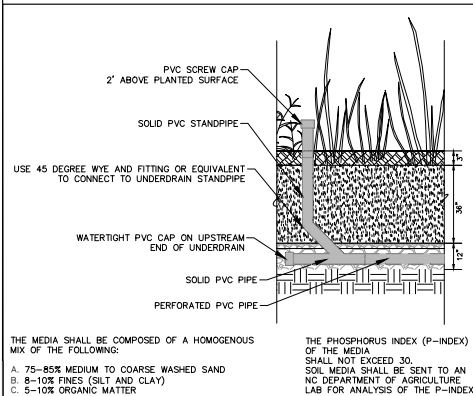
Project No: 23-RDU-005
Date: 01/18/2024
Sheet No:

C-3.0

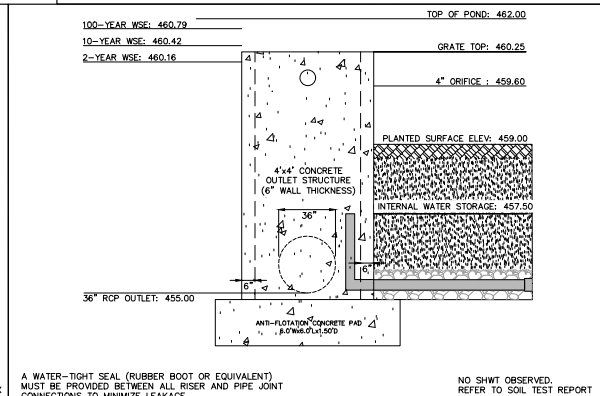




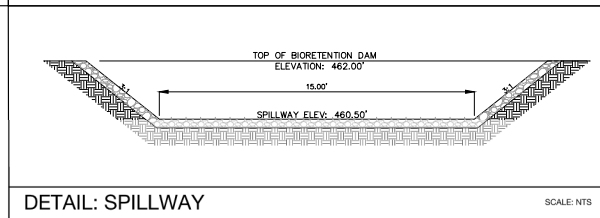
BMP INSET TABLE - BIORETENTION	
SITE INFORMATION	
PROJECT NAME:	ELEVATION CHURCH
LAND USE/DEVELOPMENT TYPE:	CIVIC/CHURCH
DRAINAGE AREA (AC):	8.93 AC
IMPERVIOUS AREA:	3.92 AC
IMPERVIOUS PERCENTAGE:	29.50%
DESIGN RAINFALL:	1.4-INCH (90TH PERCENTILE STORM)
STORAGE VOLUMES	
DESIGN VOLUME (WQV):	17,802 CF
HEIGHT ABOVE PLANTING SURFACE:	0.53 FT
SURFACE AREA:	37,381 SF @WQV
BIORETENTION	
SURFACE AREA PROVIDED:	1.00 AC
OUTLET DIAMETER:	36 INCH
SPILLWAY ELEVATION:	460.50
SPILLWAY WIDTH:	15 FT



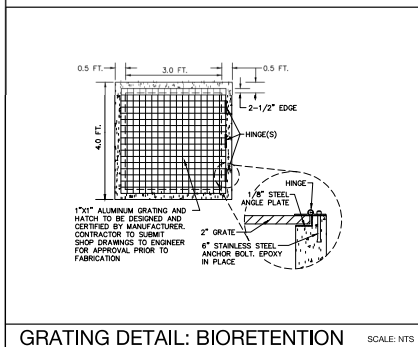
DETAIL: BIORETENTION SECTION



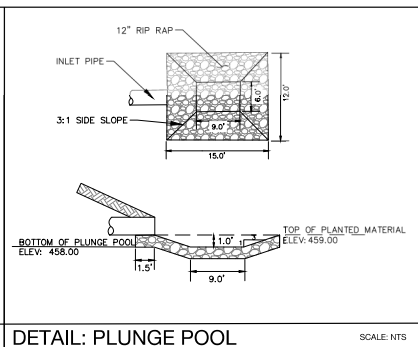
SECTION VIEW: OUTLET CONTROL STRUCTURE



DETAIL: SPILLWAY



GRATING DETAIL: BIORETENTION



DETAIL: PLUNGE POOL

Seeding Schedule			
For Shoulders, Side Ditches, Slopes (Max 3:1):			
Date	Type	Planting Rate	
Mar 1	Tall Fescue	300 lbs/acre	
Aug 15	Tall Fescue	300 lbs/acre	
Nov 1	Tall Fescue and Abruzzi Rye	300 lbs/acre	
Mar 1	Tall Fescue	300 lbs/acre	
Apr 15	Hulled Common	25 lbs/acre	
Jun 30	Bermudagrass	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browtop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)	
Jul 15	Tall Fescue and Browtop	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browtop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)	
Aug 15	Millet or Sorghum-Sudan Hybrids	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browtop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)	

For Shoulders, Side Ditches, Slopes (3:1 to 2:1):		
Date	Type	Planting Rate
Mar 1	Serenoa Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Serenoa Lespedeza);
Jun 1	And Tall Fescue	120 lbs/acre
Mar 1	Or add Weeping Love grass	10 lbs/acre
Jun 30	Or add Hulled Common	25 lbs/acre
Jun 30	Bermudagrass	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browtop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)
Jul 1	Tall Fescue and Browtop	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browtop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)
Aug 1	Serenoa Lespedeza (unhulled - scarified) AND Tall Fescue	70 lbs/acre (Serenoa Lespedeza); 120 lbs/acre (Tall Fescue)
Nov 1	AND Abruzzi Rye	25 lbs/acre

GROUND STABILIZATION		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DICES, SWALES, DITCHES, AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQM) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPE ARE 3:1 OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES FLATTER THAN 3:1	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQM ZONES)
EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.		



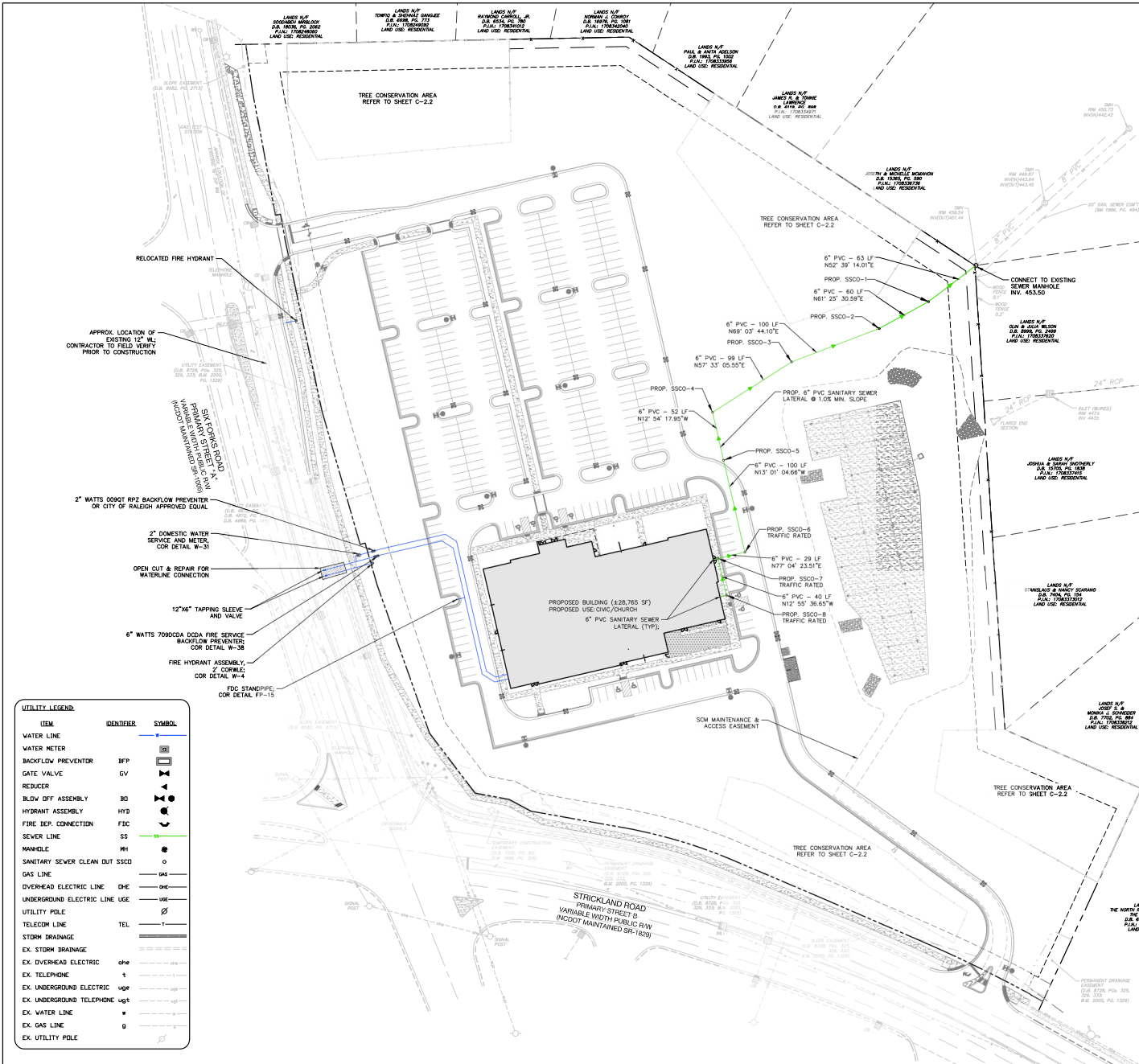
150 Fayetteville St. Ste. 1310
Raleigh, NC 27601
P: 919.275.5000
info@urbandesignpartners.com

Elevation Church
11416 East Independence Blvd.
Matthews, NC 28105

Elevation Church
Administrative Site Review
SCM Plan & Details
8910 Six Forks Rd Raleigh, NC 27615

Project No: 23-RDU-005
Date: 01.18.2024
Sheet No:

C-5.1

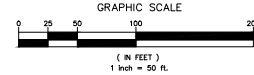


STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONCORD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A SEPARATION OF 120" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPUMPED RESERVOIR USED AS A SOURCE OF DRINKING WATER.
 - b. ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, EXISTING SANITARY SEWER PIPE SHALL BE DELETED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 27" FROM A PRIVATE WELL OR 30" FROM A PUBLIC WELL.
3. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED BY THE WATER MAIN IN A SEPARATE TRENCH WITH THE SEPARATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITY DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIMETER TO OUTSIDE DIMETER.
4. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, CIP MATERIALS OR STEEL ENCLOSURE EXTENDS 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
5. 3" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
6. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY CIP MATERIALS & A CONCRETE CHIMNEY WITH 6" MIN. CLEARANCE PER CONCORD DETAIL W-1 & W-9.
7. IF ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
8. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AUTHORIZED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
9. DEVELOPERS SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S PRIVATE PROPERTY.
10. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
11. 3" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4" MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
12. IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN DEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING 6" & 8" MAINS & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONCORD HANDBOOK PROCEDURE.
13. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'0" WATERLINE ASSUMED MINIMUM 4" CONCRETE NOTE & THE APPLICABLE RESPONSIBILITY TO PROTECT THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
14. INSTALL 4" PVC SEWER SERVICES @ 12% MINIMUM GRADE WITH CLEANSOUTS LOCATED AT ROW OR EASEMENT IN EACH DIRECTION TO INSURE FEET MINIMUM.
15. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEAREST UPSTREAM MANHOLE.
16. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCEM, USACE &/or FEMA FOR ANY WETLAND BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS. RESPECTFULLY, PRIOR TO CONSTRUCTION.
17. NCEM / FLOODPLAIN ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR FLOODPLAIN ROW PRIOR TO CONSTRUCTION.
18. GRADE INTERFERENCE / OIL WATER SEPARATOR SETTING CALCULATIONS & INSTALLATION PREPARATIONS SHALL BE APPROVED BY THE CONCORD FLOOD PROGRAM COORDINATOR PRIOR TO BEGAINING OF A BUILDING PERMIT. CONTACT STEPHEN CANNALLY AT: 919.976.2344 OR STEPHEN.CANNALLY@RALEIGHNC.GOV FOR MORE INFORMATION.
19. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DECREE OF HEALTH HAZARD INVOLVING ASSESSMENT OF THE RISKS COVERING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
20. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
21. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS-CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
22. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH "IN-TRENCH" AND "PRE-TEST" TESTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHENEVER MORE INFORMATION IS REQUIRED, CONTACT CROSS-CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
23. NOTICE FOR PROJECTS WITH REPLACE OR OVERLAP MAINS IF THE CITY'S REIMBURSEMENT FOR AN OVERLAP MAIN OR MAIN MAIN REPLACEMENT PROJECT IS \$350,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.

RALEIGH WATER ADDITIONAL NOTES:

1. ANY SANITARY SEWER CLEANSOUT LOCATED IN TRAVELLED WAYS REQUIRED TO BE TRAFFIC RATED CLEANSOUT.



Elevation Church

Elevation Church
Administrative Site Review

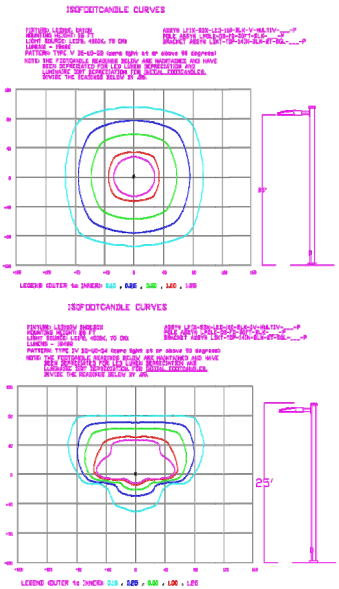
Utility Plan

11416 East Independence Blvd.
Matthews, NC 28105

NO. DATE: BY: REVISIONS:

Project No: 23-RDU-005
Date: 01.18.2024
Sheet No:

C-6.0



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	Raleigh, NC		
	SITE LIGHTING ARRANGEMENT		
	Designed by <u>DUKE ENERGY PROGRESS LIGHTING SOLUTION</u>		
	Reviewed by <u>N. Johnson</u> Scale <u>1" = 50'</u>		
	Date <u>10/02/2023</u> Size <u>Drawing size "D"</u>		
	Description <u>LED Floodlights</u>		
	Drawing No. <u>23-0181B</u> Sht. <u>1</u> OF <u>1</u>		

Rev B	10/02/23	Updated Site Plan. Customer Requested Locations.	NI
Rev A	05/04/23	Customer Requested Locations	NI
NO. DATE	REVISION		BY



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ELEVATION CHURCH

SITE LIGHTING ARRANGEMENT

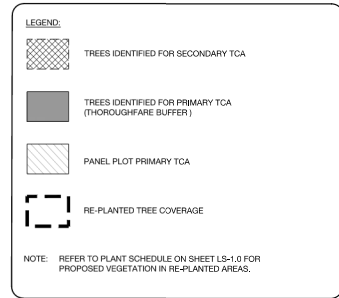
SITE LIGHTING ARRANGEMENT

Designed by: DUKE ENERGY / PROGRESS LIGHTING SOLUTIONS
 Drawn by: N. Johnson Scale: 1" = 50'

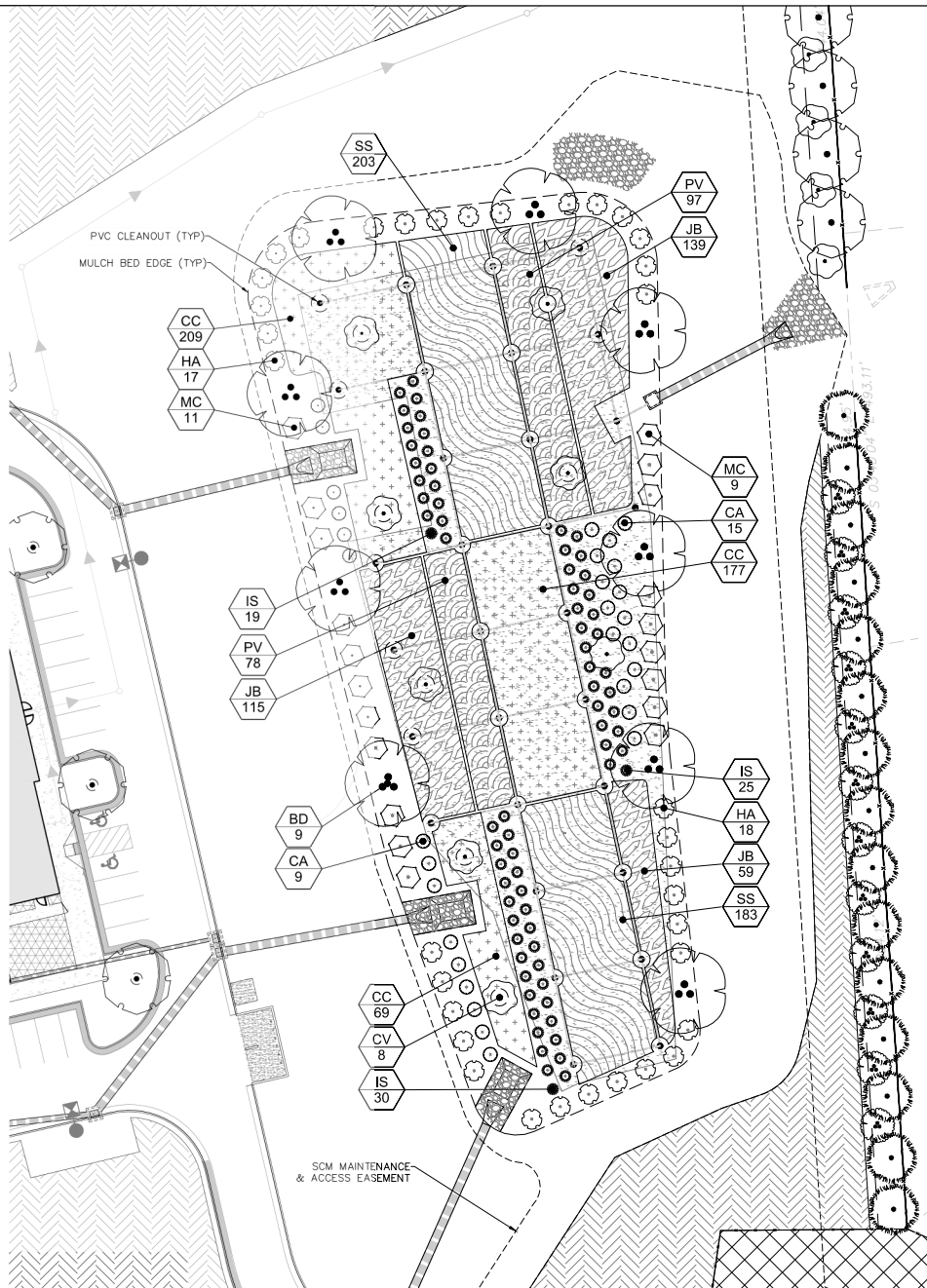
Reviewed by A. Johnson Scale 1 = 50
Date 10/03/2023 Size Drawing size "D"

Date February Size Extra Large
Examination I RT Shown

Description	23-0181B			Sta	1	Off	1
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LS-1.1



BMP PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
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SHADE TREES

	BD	9	BETULA NIGRA 'SWAMP' / DURA HEATS RIVER BIRCH	B & B	3" MIN.	10' HT
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UNDERSTORY TREES

	CV	8	CHORANTHUS VIRGINICUS / WHITE FRINGETREE	B & B	1.5" MIN.	6' HT
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SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
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SHRUBS

	CA	30	CALLICORPA AMERICANA / AMERICAN BEAUTYBERRY	18" MIN.
	HA	35	HYDRANGEA QUERCIFOLIA 'ALICE' / ALICE OAKLEAF HYDRANGEA	18" MIN.
	BI	74	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERY HOLLY	18" MIN.
	MC	20	MORELLA CERIFERA / WAX MYRTLE	18" MIN.

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
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GROUND COVERS

	CC	455	CAREX CHEROKEENSIS / CHEROKEE SEDGE	1 GAL	48" o.c.
	JB	313	JUNCUS INFLEXUS 'BLUE ARROWS' / BLUE ARROWS JUNCUS	1 GAL	48" o.c.
	PV	175	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	1 GAL	48" o.c.
	SS	386	SCHIZACHYRIUM SCOPARIUM 'THE BLUES' / THE BLUES LITTLE BLUESTEM	1 GAL	48" o.c.

LANDSCAPE REQUIREMENTS:

BIORETENTION CELL PLANTING (NOTED C-3)

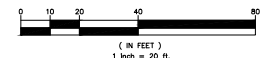
1. BIORETENTION IS PLANTED TO ACHIEVE A MINIMUM OF 75% PLANT COVERAGE WITHIN 5 YEARS AFTER PLANTING.
2. TRIPLE SHREDDED HARDWOOD MULCH SHALL BE USED FOR THE PORTION OF THE CELL THAT WILL BE INUNDATED.
3. MULCH SHALL BE UNIFORMLY PLACED TWO (2) TO FOUR (4) INCHES DEEP.



BEFORE YOU DIG!
CALL 811 OR 1-800-633-4249
N.C. ONE-CALL CENTER
IT'S THE LAW!



GRAPHIC SCALE



Elevation Church

Elevation Church
Administrative Site Review
BMP Planting Plan

8910 Six Forks Rd Raleigh, NC 27615

NO. DATE BY REVISIONS

Project No: 23-RDU-005
Date: 01.18.2024
Sheet No:

LS-1.2

TREE PLANTING & PRESERVATION REQUIREMENTS:

- PLANT MATERIAL**
- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8" TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL.
 - REQUIRED STREET TREES SHALL BE 3" IN CALIPER AND BE A MINIMUM OF 10' TALL PER CITY OF RALEIGH CITY TREE MANUAL.
 - ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS. TREES OF THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE ROBUST ROOT SYSTEMS. TREES WITH MAJOR DEFECTS, SUCH AS CRACKS, HOLEY TRUNKS, OR OTHER DEFECTS, SHALL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE TREE SPECIES, PLANTING MIX, GRADE, AND CUTE DUE TO THE BRANCHING STRUCTURE. TREES SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING, NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE POINT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL, FLARE FROM WILL NOT BE ACCEPTED.
 - SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
 - ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
 - A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE DIVERSITY GUIDELINES.
 - 75% OF REQUIRED TREES MUST BE LARGE, MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
 - ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR FILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).
 - TREES PLANTING ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NODOT.

UTILITY ISSUES

- IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY SPECIALIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
- IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES.
- NO LIGHT POLES, UTILITIES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
- TREES MUST MAINTAIN A MINIMUM DISTANCE OF 20' FROM LIGHT POLES WITHIN THE RIGHT-OF-WAY. SHOW SITE LIGHTING ON LANDSCAPE PLAN.
- TREE SAVE AND PRESERVATION
- TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
- SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
- COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAN.
- TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT THE TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
- THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
- ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
- NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
- CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY GRAVE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT PROTECTED TREES OR TREE SAVE AREAS, INCLUDING TREES LOCATED IN STREET RIGHT OF WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCROACHING WITHIN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTION, TREE TRIMMING, ERECTING AND DEMANTING OF CONSTRUCTION CRANES.

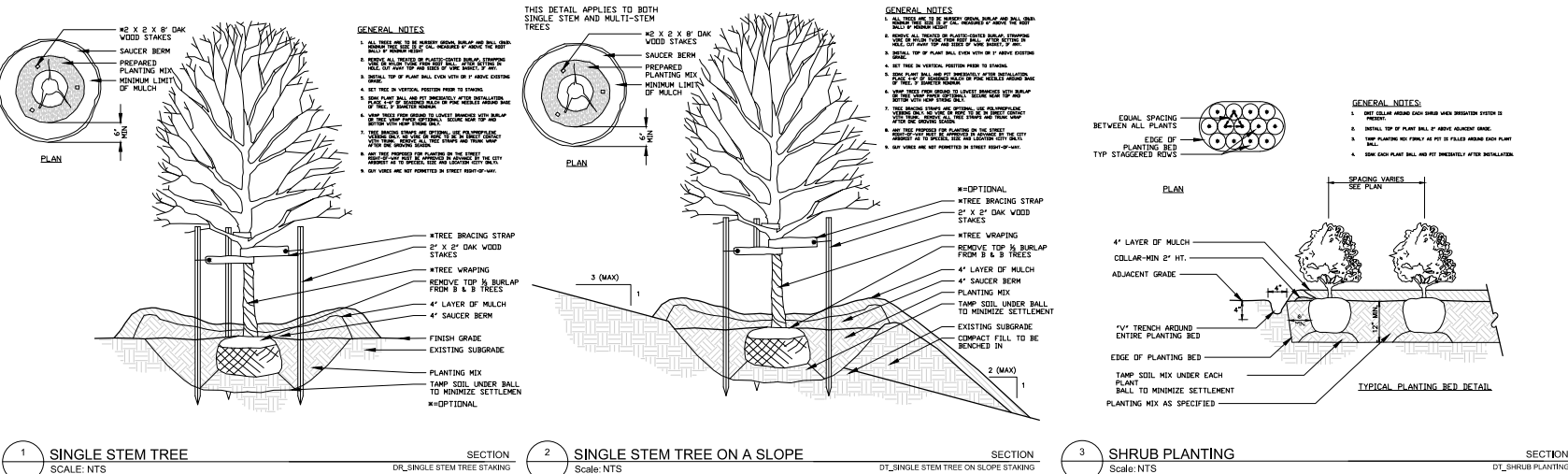
TOPSOIL/PLANTING MIX - MINIMUM REQUIREMENTS:

- WHERE PAVEMENT CUTOUTS ON RENOVATED SITES ARE REQUIRED AND/OR WHERE NEW PLANTING STOPS OR ISLANDS ARE REQUIRED, ALL PAVEMENT, CONSTRUCTION DEBRIS AND GRAVEL, SUB-BASE MUST BE REMOVED BEFORE PREPARING SOIL AND PLANTING TREES. EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITH 24" OF TOPSOIL/PLANTING MIX -OR- EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET TOPSOIL STANDARDS FOR THE ENTIRE PLANTING AREA.
- SOIL IN ALL PLANTING STOPS OR ISLANDS, WHETHER EXISTING OR NEW (ON NEW OR RENOVATED SITES), MUST MEET THE MINIMUM TOPSOIL/PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH TOPSOIL/PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE ORIGINAL TOPSOIL IS OF POOR QUALITY, HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DURING GRADING.
- TOPSOIL/PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT, WITH AMOUNTS OF SUBSOIL IT SHOULD BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. TOPSOIL SHOULD NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
- TOPSOIL/PLANTING MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5-7.0 AND THE FOLLOWING COMPOSITION:
CLAY (RED CLAY, WELL FULVURIZED) MINIMUM 10% MAXIMUM 35%
COMPOST/ORGANIC MINIMUM 5% MAXIMUM 10%
SILT MINIMUM 30% MAXIMUM 50%
COARSE SAND (FREE OF ROCKS, 0.5 TO 1.0 MM F) MINIMUM 30%; MAXIMUM 45%
*ORGANIC MATERIAL SUCH AS SANDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS.
- ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO INSURE PROPER TREE GROWTH AND SURVIVAL. THE FOLLOWING LEVEL OF NUTRIENT ELEMENTS IS RECOMMENDED FOR PROPER GROWTH:
CALCIUM 50 - 80%
MAGNESIUM 10 - 30%
POTASSIUM 5 - 8%

GENERAL PLANTING NOTES:

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVARS AND/OR VARIETIES AS INDICATED ON THE PLANT SCHEDULE. ANY SUBSTITUTIONS INSTALLED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL BE REJECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIALS DUE TO SITE CONDITIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL ARE SUBJECT TO RELOCATION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL BE SPECIMEN QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY STOCK AND SHALL CONFORM TO THE CODE OF STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSEMEN, INC.
- HEIGHT AND SPREAD DIMENSION SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TOP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50% OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL HAVE A STRONG CENTRAL LEADER UNLESS OTHERWISE SPECIFIED.
- LEAVES MUST BE OF MEDIUM FOULAGE, ALL GOOD LEAVES MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCESSION PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
- PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- PROVIDE 4" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE SINGLE HAMMERED HARDWOOD MULCH (UNLESS NOTED OTHERWISE). IT SHALL BE CLEAN, FRESH, AND FREE OF STICKS, BRANCHES, SOIL OR OTHER FOREIGN MATERIAL.
- BAGGELL PLANTING MIXTURE SHALL BE ONE PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR SHRUB BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT AT NURSERY OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT WILL BE THE FINAL JUDGE OF THE QUALITY AND ACCEPTANCE OF MATERIALS AND PLACEMENT. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BID SUBMITTAL IF REQUESTED BY LANDSCAPE ARCHITECT OR OWNER.
- THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL HAVE THE TEST RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED AS INDICATED BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
- FERTILIZER SHALL BE A COMPLETE FERTILIZER; 50% OF NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREAFORM. FERTILIZER SHALL BE DELIVERED TO THE SITE IN STANDARD SIZE (UNBAGGED) CHEMICAL ANALYSIS, AND MANUFACTURER. FERTILIZER SHALL BE STORED IN A DRY LOCATION UNTIL ITS USE. FERTILIZER FOR TREES, SHRUBS, AND GROUNDCOVER AREAS SHALL BE A SLOW RELEASE TYPE AND SHALL BE APPLIED AS FOLLOWS:
TREES AND SHRUBS: 1 LB / INCH OF CALIPER
MARCH-MAY 10-10-10
JUNE-OCTOBER 5-10-10
NOVEMBER-FEBRUARY 6-12-12
- LANDSCAPE CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL TREE PITS. IF PITS DO NOT DRAIN WITHIN 30 MINUTES, CONTACT LANDSCAPE ARCHITECT AND DO NOT PLANT THE TREE WITHOUT ON SITE INSPECTION OF DRAINAGE. LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SUBSURFACE DRAIN LINES FROM THE TREE PITS.
- IF SURFACE DRAINAGE IS NOT SUFFICIENT (STANDING WATER), NOTIFY LANDSCAPE ARCHITECT IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANTS.
- ALL UNDERGROUND UTILITIES SHALL BE LOCATED BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UNDERGROUND OR OVERHEAD UTILITY LINES.
- CERTIFICATE OF INSPECTION AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION OF PLANT MATERIALS SHALL ACCOMPANY EACH INVOICE FOR EACH SHIPMENT OF PLANTS. CERTIFICATES SHALL BE FILED WITH LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF MATERIAL. INSPECTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE MATERIAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SUPPLIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THIS PROJECT.
- CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (I.E. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.).
- THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. TEN DAYS AFTER THE COMPLETION OF SUBSTANTIAL COMPLETION THE LANDSCAPE ARCHITECT WILL INSPECT THE PROPERTY. HE WILL EITHER APPROVE THE WORK FOR THE OWNER'S ACCEPTANCE OR WILL ISSUE A PUNCH LIST OF ITEMS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS WHEN THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.
- AMENDED SOIL MEDIA REQUIREMENTS: A PLANTING MIX MAY BE DEVELOPED THAT WILL BE AN ACCEPTABLE PLANTING MEDIA BY AMENDING THE EXISTING SOIL OR BY REMOVING THE EXISTING SOIL AND REPLACING IT WITH NEW PLANTING MIX. THE PLANTING MIX SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEOUS MATTER. IT SHALL CONTAIN NO MAN MADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.

*NOTE: CONTRACTOR TO PROVIDE TEST SAMPLES OF AMENDED SOIL WITH TESTING DATA FOR ALL BED AREAS AMENDED ON SITE. TEST SAMPLES SHALL FAIL WITHIN TOLERANCES SHOWN ABOVE. PLANTING SHALL NOT BEGIN UNTIL SOIL HAS BEEN AMENDED AND SOIL TEST SAMPLES HAVE BEEN REVIEWED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT.



1 SINGLE STEM TREE
SCALE: NTS

SECTION
DR_SINGLE STEM TREE STAKING

2 SINGLE STEM TREE ON A SLOPE
Scale: NTS

SECTION
DT_SINGLE STEM TREE ON SLOPE STAKING

3 SHRUB PLANTING
Scale: NTS

SECTION
DT_SHRUB PLANTING



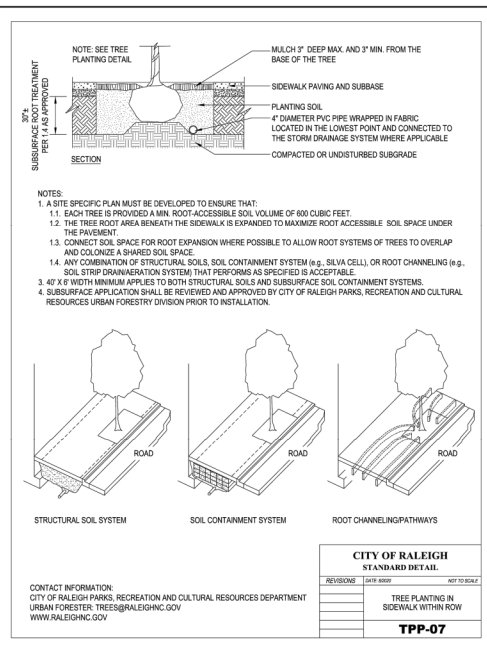
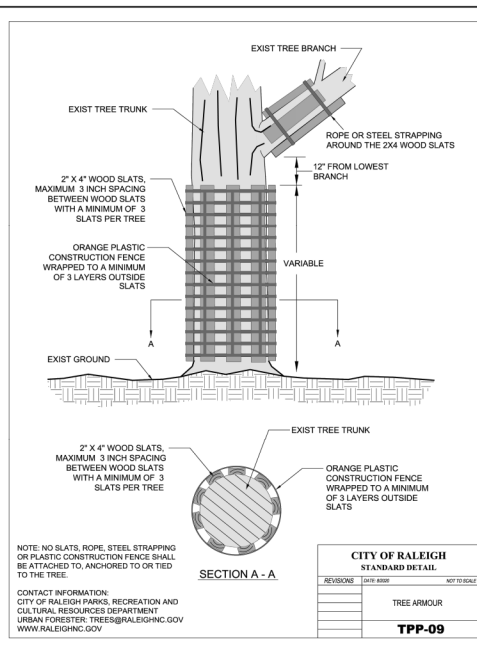
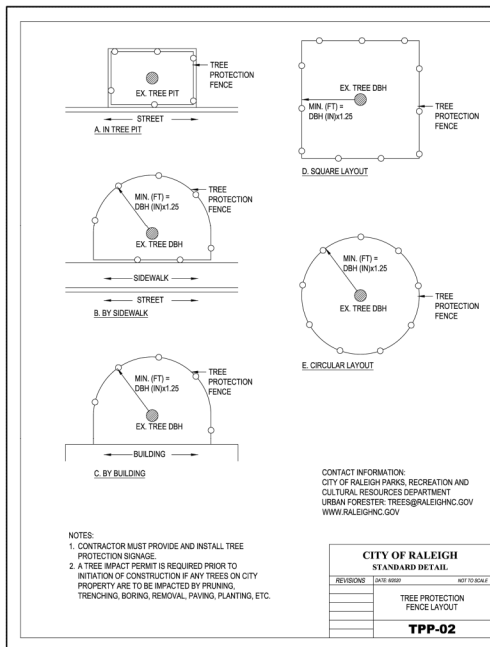
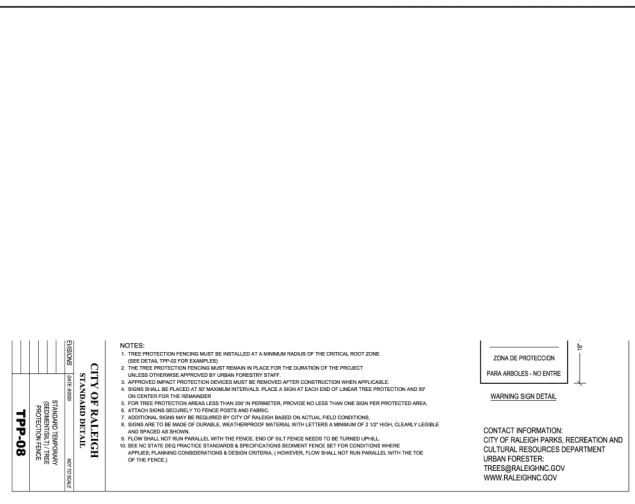
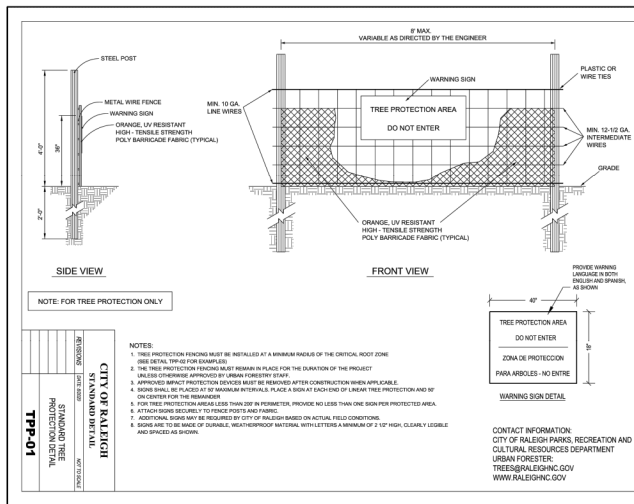
Elevation Church

Elevation Church
Administrative Site Review

Landscape Details
8910 Six Forks Rd Raleigh, NC 27615

Project No: 23-RD005
Date: 01.18.2024
Sheet No:

LS-2.0



NOT FOR
CONSTRUCTION

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Elevation Church Raleigh

Figure 1

.S3P PROJECT: 9800-223620

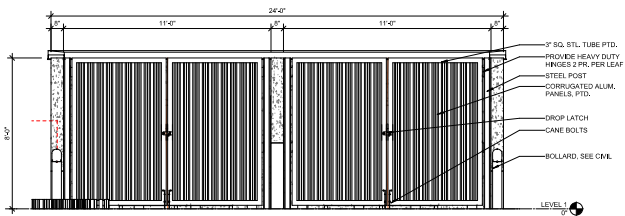
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SHEET NAME:
DUMPSTER
ENCLOSURE PLANS
& DETAILS

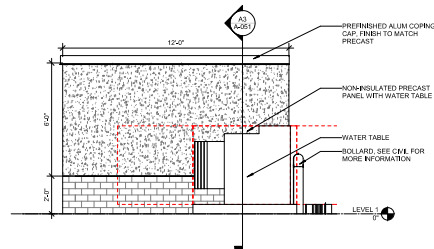
RIG 07-18-2023
UBMISSION:

HEET: **A-051**

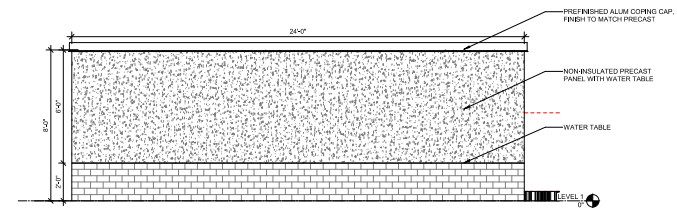
DD-PRICING SET



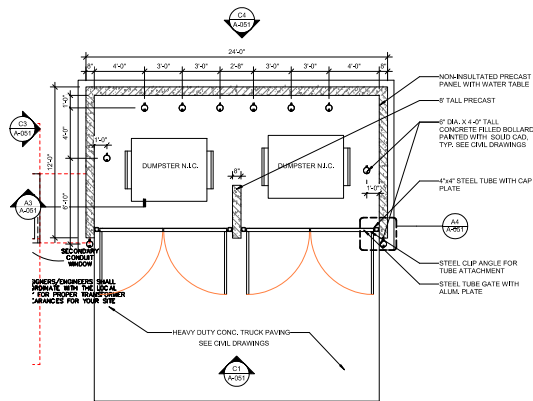
C1 ELEVATION - DUMPSTER ENCLOSURE GATES
3/8" = 1'-0"



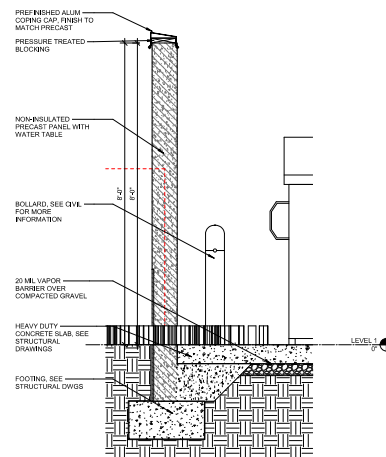
C3 ELEVATION - DUMPSTER ENCLOSURE SIDES
3/8" = 1'-0"



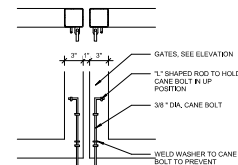
C4 ELEVATION - DUMPSTER ENCLOSURE REAR
30° = 1'40"



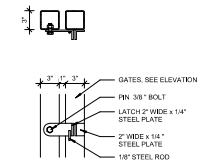
A1 **ENLARGED DUMPSTER PLAN**
1/4" = 1'-0"



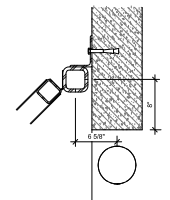
A3 WALL SECTION - DUMPSTER ENCLOSURE
3/4" = 1'-0"



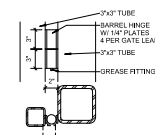
B4 GATE - CANE BOLT DETAIL
1 1/2" = 1'-0"



B5 **GATE - DROP LATCH DETAIL**
1 1/2" = 1'-0"



A4 **GATE JAMB DETAIL**
1 1/2" = 1'-0"



A5 **GATE - HINGE DETAIL**
1 1/2" = 1'-0"

