

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: Roers Companies		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:	Total # of hotel bedrooms:		
# of bedroom units: 1br <u>36</u> 2br <u>108</u> 3br <u>37</u> 4br or more _____			
# of lots:	Is your project a cottage court?	Yes	No
	A frequent transit development?	Yes	No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Kevin Sturgeon*

Date: 5/12/2023

Printed Name: Kevin Sturgeon



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: <u>Z-46-22</u> Design Alternate #: _____	

GENERAL INFORMATION

Development name: Old Poole Multifamily

Inside City limits? Yes No

Property address(es): 4900 Old Poole Rd, Raleigh, NC 27610

Site P.I.N.(s): 1733027023

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Multifamily development with amenity area and surface parking.

Current Property Owner(s): Joan Broadwell Wilkerson

Company: _____ Title: _____
 Address: 422 Safe Harbor, Newport, NC 28570
 Phone #: 919-573-1392 Email: buttons357@aol.com

Applicant Name (if different from owner. See "who can apply" in instructions): _____
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Roers Companies Address: Two Carlson Parkway #400, Plymouth, MN 55447

Page 1 of 3 REVISION 1.23.23
 raleighnc.gov

Phone #: 651-395-0684 Email: kevin.sturgeon@roerscompanies.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Kevin Sturgeon

Company: Roers Companies Title: Developer
 Address: Two Carlson Parkway #400, Plymouth, MN 55447
 Phone #: 651-395-0684 Email: kevin.sturgeon@roerscompanies.com

Applicant Name: Roers Companies
 Company: Roers Companies Address: Two Carlson Parkway #400, Plymouth, MN 55447
 Phone #: 651-395-0684 Email: kevin.sturgeon@roerscompanies.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): RX-5-PL-CU	Existing gross floor area (not to be demolished): 0
Gross site acreage: 13.55 AC	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 330	New gross floor area: 240,253.38
Max # parking permitted (7.1.2.C): 408	Total of gross (to remain and new): 240,253.38
Overlay District (if applicable): N/A	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Open	Proposed # of stories for each: 5
Proposed use (UDO 6.1.4): Residential	Proposed # of basement levels (UDO 1.5.7.A.6) 1

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) 0 Proposed total (sf) 186,665	Impervious Area for Compliance (includes ROW): Existing (sf) 0 Proposed total (sf) 231,421

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 181	Total # of hotel bedrooms:
# of bedroom units: 1br 36 2br 108 3br 37 4br or more:	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

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APPLICANT SIGNATURE BLOCK

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Signature: Kevin Sturgeon Date: 5/12/2023
 Printed Name: Kevin Sturgeon

Old Poole Rd. Multifamily

4900 Old Poole Road, Raleigh, NC 27610
 City of Raleigh - Administrative Site Review
 Submittal: 05/12/2023
 ASR Number: ASR-XXXX-2023



VICINITY MAP 1" = 500'-0"

DEVELOPMENT SUMMARY			
TAX PARCEL ID #:	1733027023	VEHICULAR PARKING:	NONE
TOTAL SITE AREA:	13.55 AC (± 590,367 SF)	MIN.:	
EXISTING ZONING:	RX-5-PL-CU	0-1 BR MAX:	1.5 SPACE/UNIT (36X1.5 = 54)
REZONING CASE NUMBER:	Z-46-22	2 BR MAX:	2.25 SPACE/UNIT (108X2.25 = 243)
EXISTING USE:	VACANT	3 BR MAX:	3 SPACE/UNIT (37X3 = 111)
PROPOSED USE:	MULTI-FAMILY	MAX ALLOWED:	408 SPACES
PRIMARY STREET:	OLD POOLE ROAD	PROVIDED:	330 SPACES (INCLUDES 8 ADA SPACES)
BUILDING UNIT DATA:		BICYCLE PARKING:	
BUILDING UNITS (TOTAL):	181	REQUIRED:	
1 BEDROOM:	36	LONG-TERM:	52 (1 SPACE / 7 BR ; 363/7 = 52)
2 BEDROOM:	108	SHORT-TERM:	10 (1 SPACE / 20 UNITS ; 181/20 = 9.05)
3 BEDROOM:	37	PROVIDED:	
GROSS SF:	240,253 SF	LONG-TERM:	52 SPACES
		SHORT-TERM:	10 SPACES

CONTACT INFORMATION

DEVELOPER:
 ROERS COMPANIES
 CONTACT: KEVIN STURGEON
 ADDRESS: 110 CHESHIRE LANE, SUITE 120
 MINNETONKA, MN 55305
 PHONE: 651-395-0684

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
 URBAN DESIGN PARTNERS PLLC
 CONTACT: SALMAN MOAZZAM, PE
 ADDRESS: 150 FAYETTEVILLE ST. SUITE 1310
 RALEIGH, NC 27601
 PHONE: 919-275-5002

ARCHITECT:
 MOSELEY ARCHITECTS
 CONTACT: TOM LIEBEL, FAIA, LEED FELLOW
 ADDRESS: 1414 KEY HIGHWAY, 2ND FLOOR
 BALTIMORE, MD 21230
 PHONE: 410-539-4300

Sheet Index

Sheet Number	Sheet Title
C-1.0	Cover Sheet
---	Site Survey
C-2.1	Demolition Plan
C-2.2	Tree Conservation Area Plan
C-3.0	Site Plan
C-4.0	Grading Plan
C-4.1	Storm Drainage Infrastructure
C-5.1	BMP Plan & Details
C-6.0	Utility Plan
C-8.0	Site Specifications & Details
C-8.1	Site Specifications & Details
C-8.2	Site Specifications & Details
LS-1.0	Landscape Plan
LS-2.0	Landscape Notes & Details
LS-2.1	Landscape Details
A4.1.1	Architectural Elevations
A4.1.2	Architectural Elevations

- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - NO WORK WILL BE ALLOWED WITHIN NCDOT ROW UNTIL ALL ENCROACHMENT AGREEMENTS ARE APPROVED BY NCDOT.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURBS FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMP SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.



150 Fayetteville St Ste 1310
 Raleigh, NC 27601
 P 919.275.5002
 urbandesignpartners.com

nc firm no: P-2671 sc coa no: C-03044

PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY

05/12/2023

Roers Companies
 110 Cheshire Lane, Suite 120
 Minnetonka, MN 55305

Old Poole Rd. Multifamily Administrative Site Review Cover Sheet

4900 Old Poole Rd., Raleigh, NC 27610

NO. DATE BY: REVISIONS:

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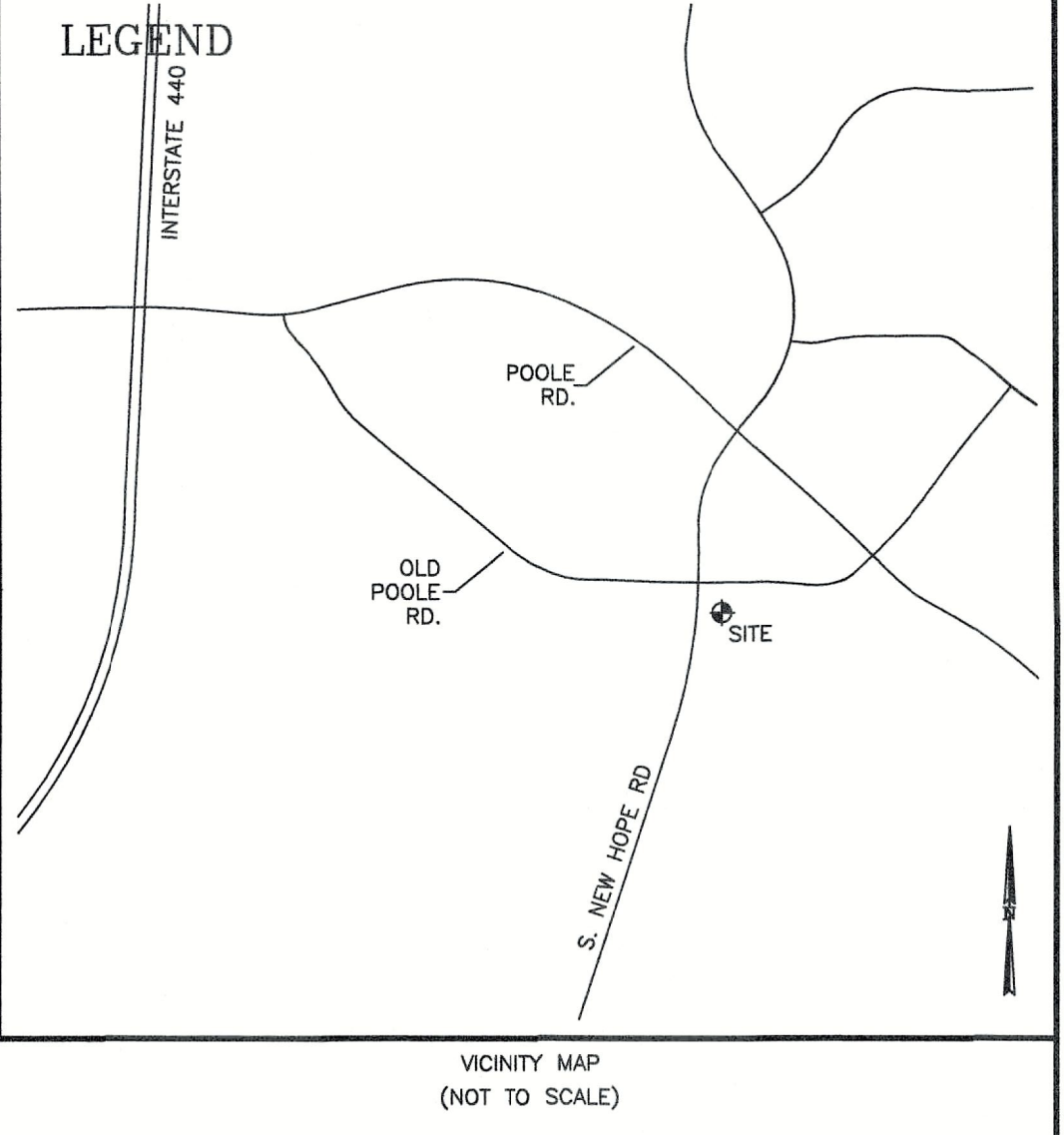
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Date: 05/12/2023

Sheet No:

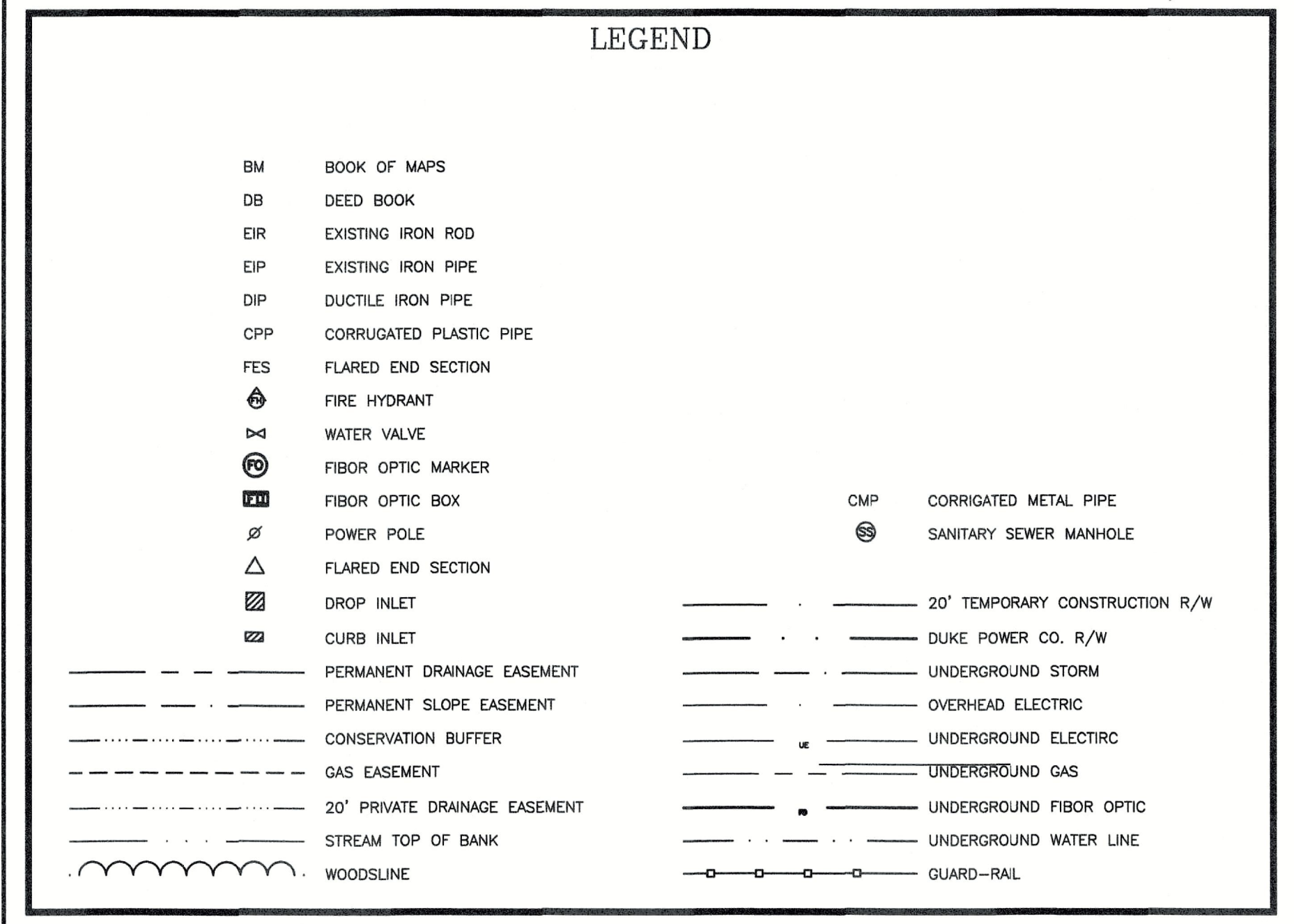
C-1.0

CURVE		CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BRG	CHORD
C1	17°28'10"	2346.83	715.55	360.57	N08°41'21"E	712.78
C2	4°48'48"	2238.83	187.92	84.02	N18°01'02"E	187.88



ALL LINEAR DIMENSIONS HEREON ARE SHOWN IN FEET AND DECIMALS OF A FOOT.
 ALL AREAS CALCULATED BY COORDINATE COMPUTATION.
 NO N.C. GRID MONUMENT RECOVERED WITHIN 2000'.
 N.C. GRID HORIZONTAL AND VERTICAL LOCATION BASED ON VRS SURVEY USING THE PHYSICAL REFERENCE GPS BASE STATION "BASE". HORIZONTAL DATUM NAD 83 (2011), VERTICAL DATUM NAVD 88.
 SUBJECT PROPERTY IS ZONED: R-8
 SETBACKS REQ:
 FRONT: 10'
 SIDE (STREET): 10'
 REAR: 20'
 THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL(S): 3720172600J
 EFFECTIVE DATE(S): 05/02/2006

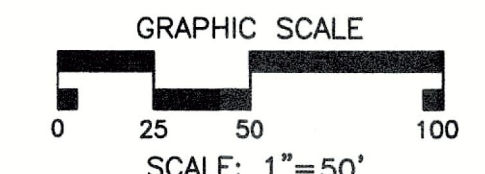
NOTE:
 TOTAL AREA (INCLUDING OVERLAP AREA): 590,367 SF OR 13.553 ACRES
 OVERLAP AREA: 2,572 SF OR 0.058 ACRES



DURHAM COUNTY, NORTH CAROLINA
 RONALD D. CARPENTER
 SEAL
 L-2458
 PROFESSIONAL LAND SURVEYOR
 20.22
 I certify that this map was drawn under my supervision from an actual survey made under my supervision. DEED DESCRIPTION RECORDED IN BOOK 13331 PAGE 1541. THAT THE AREA OF PRECISION AS CALCULATED BY ANY CONTROL LINE AS DRAWN FROM INFORMATION FOUND IN BOOK 13331 PAGE 1541. THAT THE AREA OF PRECISION AS CALCULATED BY LATITUDES AND DEPARTURES IS 1/10,000. THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 20.22 DAY OF MAY 2022.

DURHAM COUNTY, NORTH CAROLINA
 L. RONALD D. CARPENTER
 SEAL
 L-2458
 PROFESSIONAL LAND SURVEYOR
 20.22
 I certify that this map was drawn under my supervision from an actual survey made under my supervision. DEED DESCRIPTION RECORDED IN BOOK 13331 PAGE 1541. THAT THE AREA OF PRECISION AS CALCULATED BY ANY CONTROL LINE AS DRAWN FROM INFORMATION FOUND IN BOOK 13331 PAGE 1541. THAT THE AREA OF PRECISION AS CALCULATED BY LATITUDES AND DEPARTURES IS 1/10,000. THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY HAND AND SEAL THIS 20.22 DAY OF MAY 2022.

BOUNDARY AND TOPOGRAPHIC SURVEY FOR
4900 OLD POOLE RD & NEW HOPE RD.
 4900 OLD POOLE ROAD & NEW HOPE ROAD
 MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA
 3715 University Drive
 Durham, NC 27707-2646
 (919) 490-2929
 FAX (919) 490-8185
 NC LICENSE C-0536
 Date: 05/05/2022
 Scale: 1"=50'
 Job No: 22015.00
 Revision:



DEMOLITION NOTES:

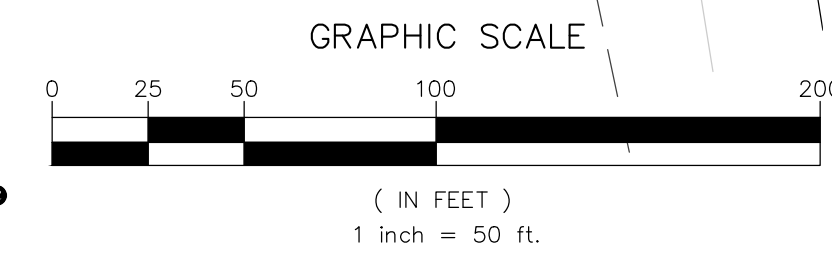
- EXISTING INFORMATION ON THIS PLAN WAS TAKEN FROM A SURVEY PREPARED BY:
TRIANGLE SURVEYORS
3715 UNIVERSITY DRIVE,
DURHAM, NC 27707
919-490-2929
- CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND SEQUENCING OF DEMOLITION OR RELOCATION OF UTILITIES WITH APPLICABLE UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" (TEL: 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."
- CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
- ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO START OF DEMOLITION.
- EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO START OF DEMOLITION.
- IF ANY ITEMS ARE DESIGNATED TO BE SALVAGED AND/OR RE-USED, THEY SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
- WHERE UTILITIES "TO BE REMOVED" IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXECUTE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC.) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, SIDEWALK, AND CURB AND GUTTER TO REMAIN AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN PRE-CONSTRUCTION PHOTO DOCUMENTATION TO SHOW THAT NO DAMAGES OCCURRED.
- ALL MATERIALS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- WHERE UTILITIES ARE SHOWN "TO BE REMOVED," CONTRACTOR SHALL INCLUDE NECESSARY PLUG OR VALVES TO ENSURE UTILITY LINES TO REMAIN WILL CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.
- CONTRACTOR TO HAVE ALL PHASE 1 EROSION CONTROL IN PLACE BEFORE SITE DEMOLITION OCCURS.

DEMOLITION LEGEND:

- MILL AND OVERLAY LIMITS
- EXISTING HARDSCAPE TO BE REMOVED
- EXISTING GUARDRAIL TO BE REMOVED
- EXISTING UTILITIES TO BE REMOVED (INCLUDING THEIR CORRESPONDING STRUCTURES)
- EXISTING TREES TO BE REMOVED
- EXISTING UTILITY STRUCTURE TO BE REMOVED



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



150 Fayetteville St Ste 1310
Raleigh, NC 27601
P 919.275.5002
urbandesignpartners.com
nc firm no: P-2671 sc csa no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY
05/12/2023

Roers Companies
110 Cheshire Lane, Suite 120
Minnetonka, MN 55305

**Old Poole Rd. Multifamily
Administrative Site Review**
Demolition Plan
4900 Old Poole Rd., Raleigh, NC 27610

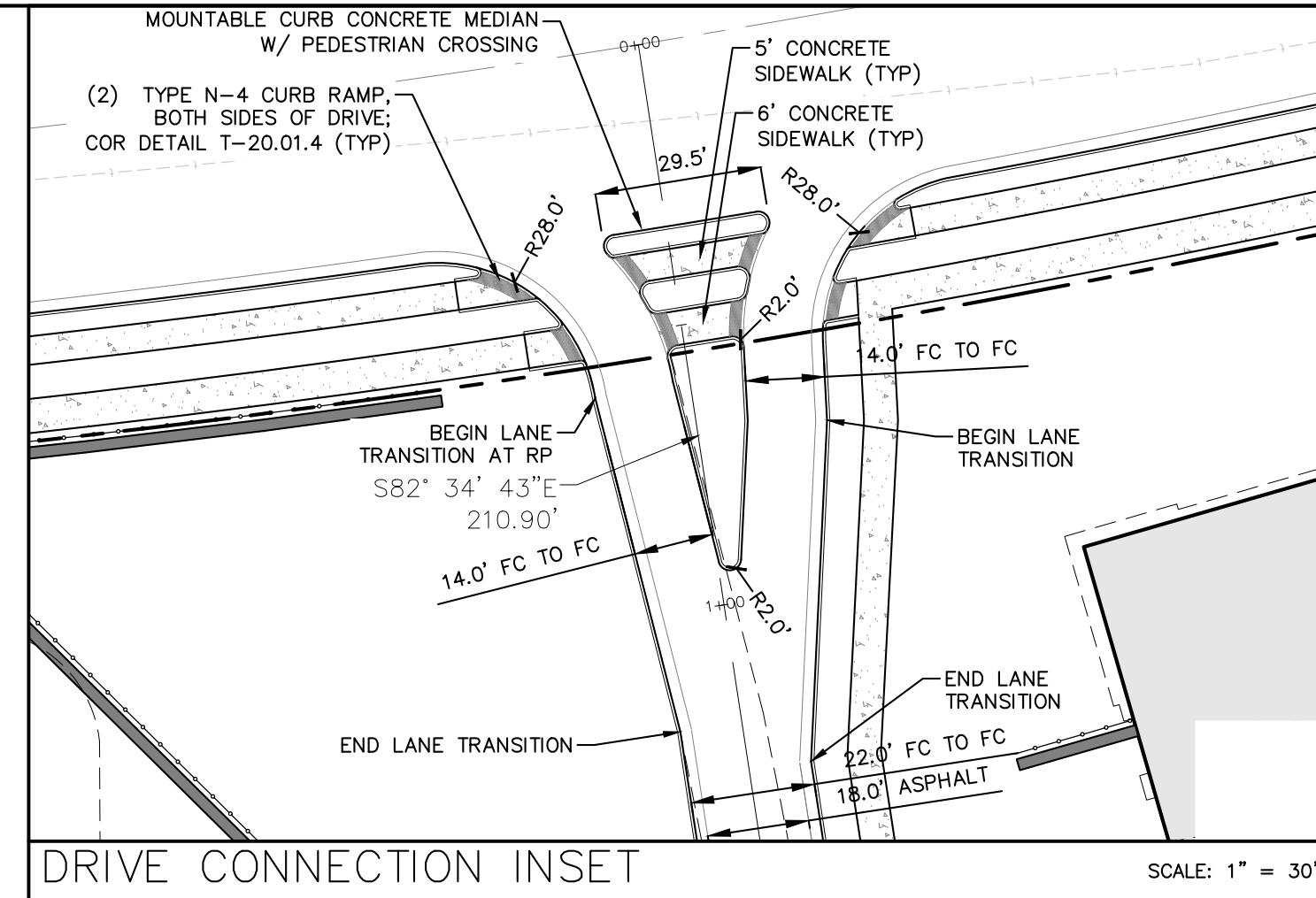
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Project No: 22-RDU-003
Date: 05/12/2023
Sheet No:

C-2.1

DEVELOPMENT SUMMARY

TAX PARCEL ID #:	1733027023	RALEIGH UDO SEC. 3.2.4 RX- STANDARDS, CONT.:	RALEIGH UDO SEC. 3.2.4 RX- STANDARDS, CONT.:	RALEIGH UDO SEC. 3.4.5 PARKING LIMITED (-PL) STANDARDS:	VEHICULAR PARKING:
TOTAL SITE AREA:	13.55 AC (± 590,367 SF)	BUILDING/STRUCTURE SETBACKS:	PARKING SETBACKS:	BUILD TO:	MIN.: NONE
EXISTING ZONING:	RX-5-PL-CU	PRIMARY STREET (MIN.):	SIDE LOT LINE (MIN.):	PRIMARY STREET BUILD TO (MIN/MAX):	1.5 SPACE/UNIT (36X1.5 = 54)
REZONING CASE NUMBER:	Z-46-22	PRIMARY STREET PROVIDED:	SIDE LOT LINE PROVIDED:	BUILDING WIDTH IN PRIMARY BUILD TO (MIN.):	2.25 SPACE/UNIT (108X2.25 = 243)
EXISTING USE:	VACANT	SIDE STREET (MIN.):	REAR LOT LINE (MIN.):	BUILDING WIDTH IN PRIMARY BUILD TO PROVIDED:	3 SPACE/UNIT (37X3 = 111)
PROPOSED USE:	MULTI-FAMILY	SIDE STREET PROVIDED:	REAR LOT LINE PROVIDED:	PROVIDED:	408 SPACES
PRIMARY STREET:	OLD POOLE ROAD	SIDE LOT LINE (MIN.):	HEIGHT:	BUILDING UNIT DATA:	330 SPACES (INCLUDES 8 ADA SPACES)
RALEIGH UDO SEC. 3.2.4 RX- STANDARDS:		SIDE LOT LINE PROVIDED:	PRINCIPAL BUILDING (MAX):	BUILDING UNIT (TOTAL):	
LOT DIMENSIONS:		REAR LOT LINE (MIN.):	PRINCIPAL BUILDING PROVIDED:	181	
AREA (MIN.):	7,500 SF	REAR LOT LINE PROVIDED:	TRANSPARENCY:	1 BEDROOM:	36
AREA PROVIDED:	SITE AREA		GROUND STORY (MIN.):	2 BEDROOM:	108
WIDTH (MIN.):	N/A		GROUND STORY PROVIDED:	3 BEDROOM:	37
OUTDOOR AMENITY AREA (MIN.):	1.36 AC (10% SITE)		UPPER STORY (MIN.):		
OUTDOOR AMENITY AREA PROVIDED:	1.36 AC MIN.		UPPER STORY PROVIDED:		
			BLANK WALL (MAX):		
			BLANK WALL PROVIDED:		

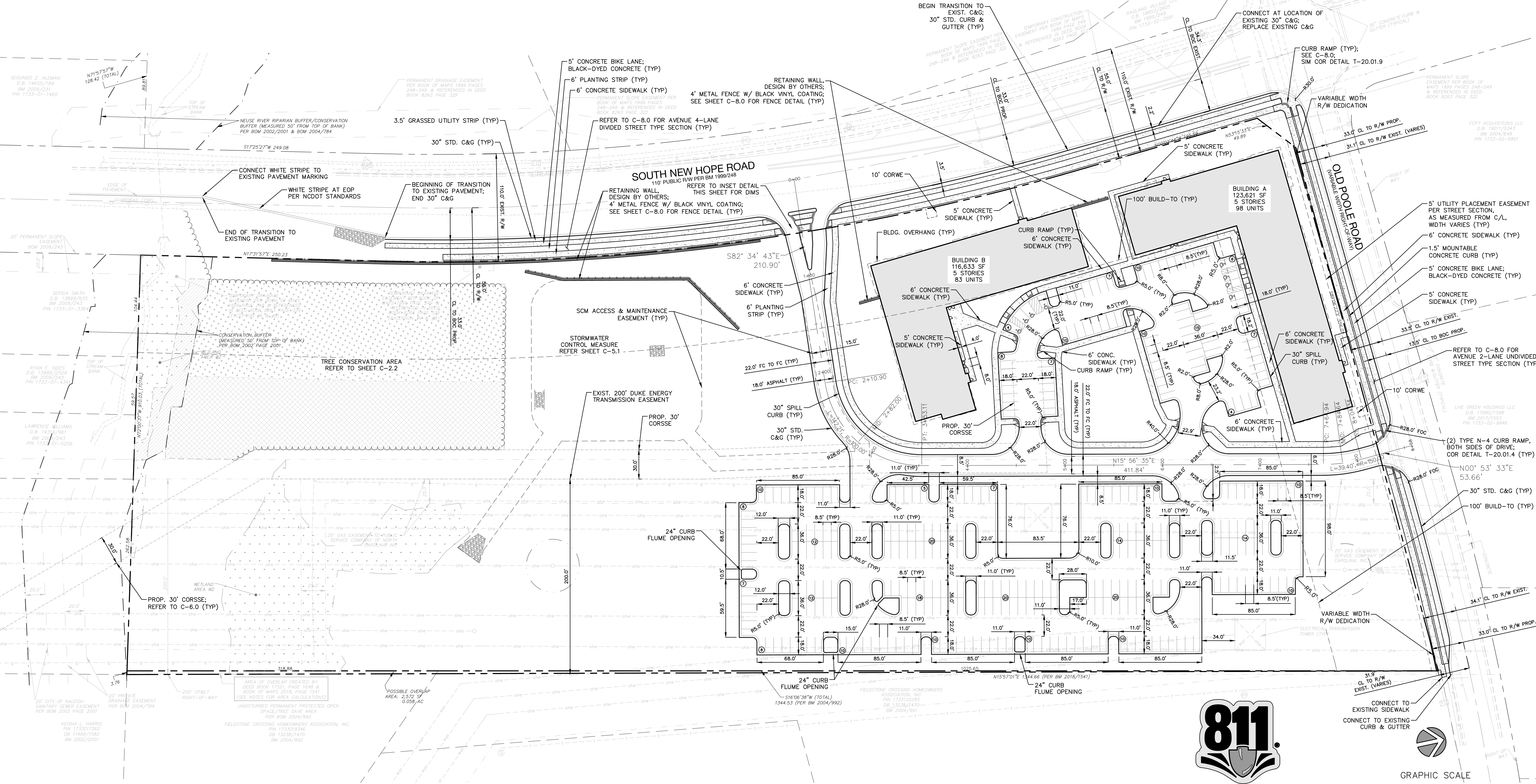


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no firm no: P-2671 sc coa no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

05/12/2023



Roers Companies
110 Chestshire Lane, Suite 120
Minnetonka, MN 55305

**Old Poole Rd. Multifamily
Administrative Site Review**

Site Plan
4900 Old Poole Rd., Raleigh, NC 27610

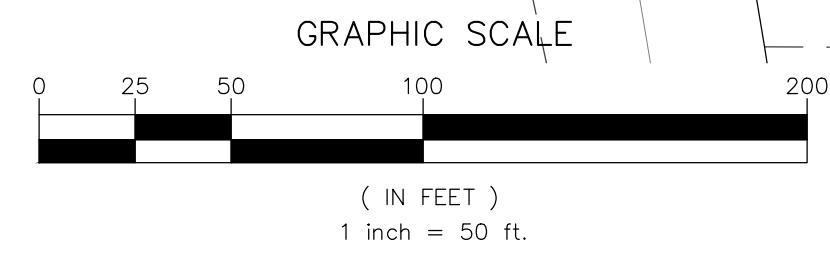
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Old Poole Rd. Multifamily Administrative Site Review

Grading Plan
4900 Old Poole Rd., Raleigh, NC 27610

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-003
Date: 05/12/2023
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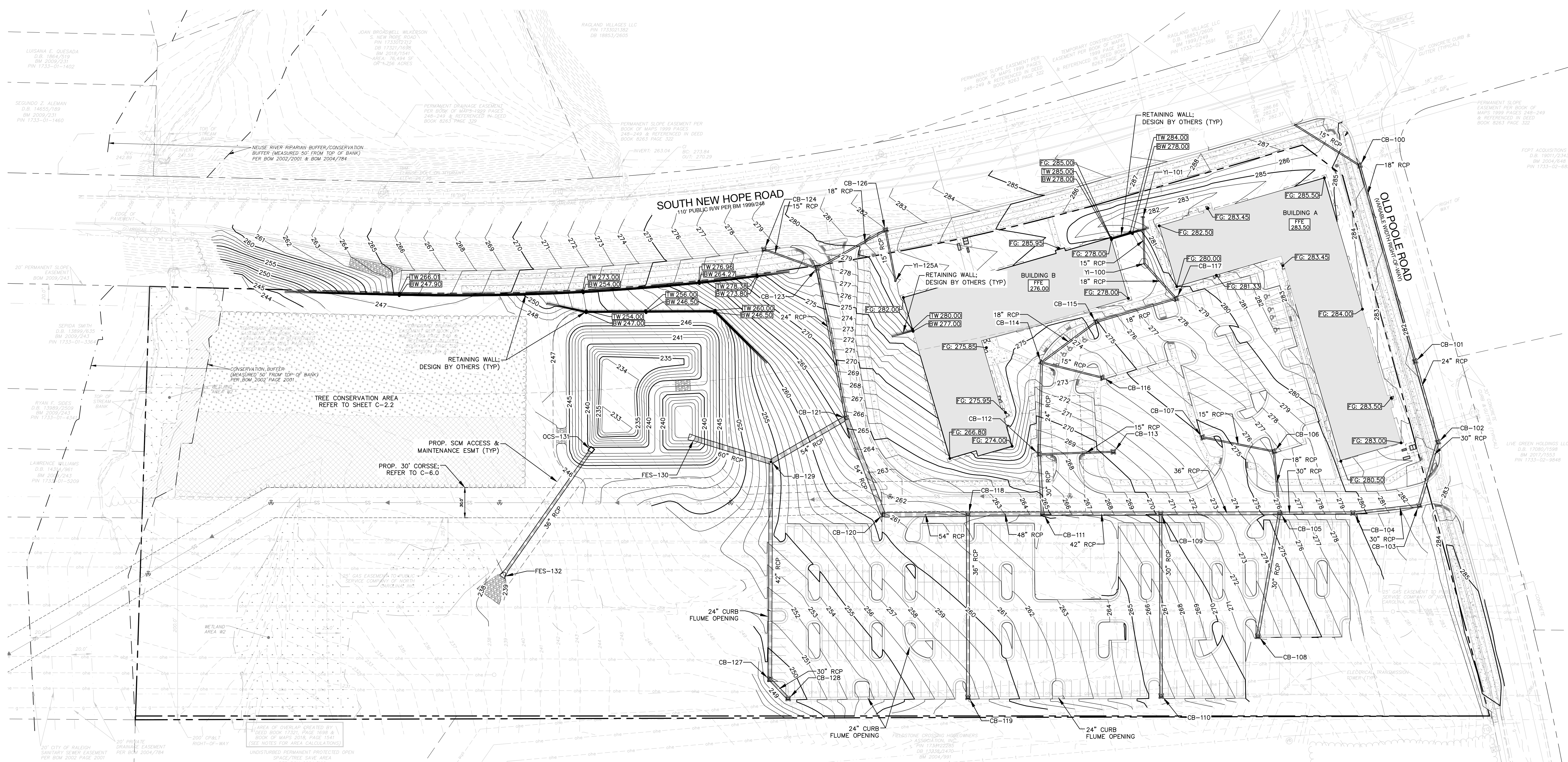
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GRADING LEGEND:	
TOP OF CURB	TC
BOTTOM OF CURB	BC
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF STAIRS	TS
BOTTOM OF STAIRS	BS
BREAK POINT	BP
HIGH POINT	HP
LOW POINT	LP
YARD INLET	YI

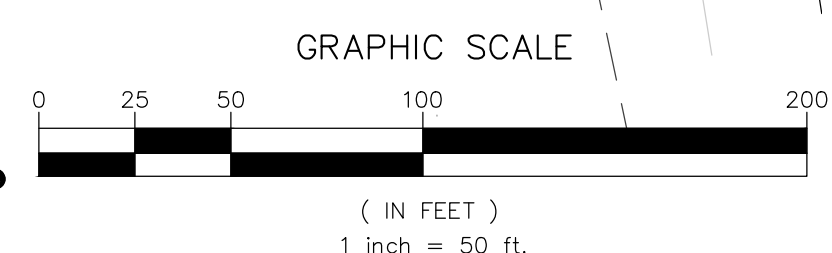
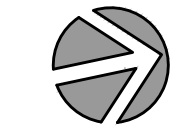
GRADING AND STORM DRAINAGE NOTES:

- ANY GRADING DONE BEYOND THE DENEDED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
- ALL FINAL CURB AND STREET GRADES AT INTERSECTIONS SHALL BE COORDINATED WITH INSPECTOR.
- SIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.
- APPROVAL OF CONSTRUCTION DOCUMENTS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION SHALL BE OBTAINED BY CONTRACTOR FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, CONTRACTOR SHALL MAINTAIN A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TIMBER, TRASH, JUNK AND OTHER ACCUMULATIONS.
- THE LOCAL ENGINEERING DEPARTMENT HAS NOT REVIEW AND DOES NOT ASSUME RESPONSIBILITY FOR THE STRUCTURAL STABILITY OF ANY EXISTING OR PROPOSED RETAINING WALLS ON THE SITE.
- ALL SIDEWALKS, STOOPS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT A MINIMUM OF 2%.
- CONTRACTOR SHALL CONTACT INSPECTOR 48 HOURS BEFORE CONSTRUCTION.
- STABILIZE ALL SLOPES GREATER THAN 3:1 WITH JUTE MESH.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK WHICH MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. REFER TO PAYMENT CROSS-SECTION DATA TO ESTABLISH CORRECT SUB-BASE, AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.

IF ANY DISCREPANCY IN ELEVATION, AS NOTED ON THE GRADING PLAN, OCCURS ON SITE DURING CONSTRUCTION THE GENERAL CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY.



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STORM NETWORK STRUCTURES	
STRUCTURE ID	STRUCTURE DETAILS
CB-100	RIM: 283.93 INV IN: 278.93 () INV OUT: 278.43 (CB-101)
CB-101	RIM: 281.41 INV IN: 275.91 (CB-100) INV OUT: 274.91 (CB-102)
CB-102	RIM: 282.33 INV IN: 274.28 (CB-101) INV OUT: 274.28 (CB-103)
CB-103	RIM: 282.26 INV IN: 273.79 (CB-102) INV OUT: 273.79 (CB-104)
CB-104	RIM: 279.35 INV IN: 271.85 (CB-103) INV OUT: 271.35 (CB-105)
CB-105	RIM: 275.86 INV IN: 267.86 (CB-104) INV IN: 268.10 (CB-106) INV IN: 265.91 (CB-108) INV OUT: 265.91 (CB-109)
CB-106	RIM: 276.70 INV IN: 268.57 (CB-107) INV OUT: 268.57 (CB-105)
CB-107	RIM: 274.36 INV OUT: 269.11 (CB-106)
CB-108	RIM: 271.84 INV OUT: 266.84 (CB-105)
CB-109	RIM: 270.22 INV IN: 261.22 (CB-105) INV IN: 259.01 (CB-110) INV OUT: 259.01 (CB-111)
CB-110	RIM: 265.37 INV OUT: 260.37 (CB-109)
CB-111	RIM: 264.61 INV IN: 255.61 (CB-109) INV IN: 256.61 (CB-112) INV OUT: 255.61 (CB-118)
CB-112	RIM: 267.31 INV IN: 259.81 (CB-114) INV IN: 262.31 (CB-113) INV OUT: 259.31 (CB-111)
CB-113	RIM: 270.68 INV OUT: 265.68 (CB-112)
CB-114	RIM: 273.36 INV IN: 267.36 (CB-115) INV IN: 267.34 (CB-116) INV OUT: 265.86 (CB-112)
CB-115	RIM: 274.94 INV IN: 268.94 (CB-117) INV OUT: 268.94 (CB-114)
CB-116	RIM: 273.31 INV OUT: 267.81 (CB-114)
CB-117	RIM: 278.65 INV IN: 270.93 (YI-100) INV OUT: 270.93 (CB-115)
CB-118	RIM: 262.06 INV IN: 253.06 (CB-111) INV IN: 250.60 (CB-119) INV OUT: 250.60 (CB-120)
CB-119	RIM: 257.47 INV OUT: 251.97 (CB-118)

STORM NETWORK STRUCTURES	
STRUCTURE ID	STRUCTURE DETAILS
CB-120	RIM: 260.88 INV IN: 249.97 (CB-118) INV OUT: 249.97 (CB-121)
CB-121	RIM: 265.58 INV IN: 249.20 (CB-120) INV IN: 259.08 (CB-123) INV OUT: 249.20 (JB-129)
CB-123	RIM: 277.69 INV IN: 271.69 (CB-126) INV IN: 272.69 (CB-124) INV OUT: 271.19 (CB-121)
CB-124	RIM: 278.56 INV OUT: 273.56 (CB-123)
CB-126	RIM: 281.96 INV IN: 276.48 (YI-125A) INV OUT: 275.96 (CB-123)
CB-127	RIM: 248.91 INV IN: 241.88 (CB-128) INV OUT: 240.91 (JB-129)
CB-128	RIM: 249.08 INV OUT: 242.08 (CB-127)
FES-130	RIM: 242.00 INV IN: 236.42 (JB-129)
FES-132	RIM: -1.34 INV IN: -4.76 (OCS-131)
JB-129	RIM: 250.78 INV IN: 244.82 (CB-121) INV IN: 239.29 (CB-127) INV OUT: 239.29 (FES-130)
OCS-131	RIM: 240.39 INV OUT: -3.83 (FES-132)
YI-100	RIM: 276.78 INV IN: 271.78 (YI-101) INV OUT: 271.28 (CB-117)
YI-101	RIM: 280.91 INV OUT: 275.91 (YI-100)
YI-125A	RIM: 281.86 INV OUT: 276.86 (CB-126)

STORM NETWORK PIPES				
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
CB-100	CB-101	15" RCP	76.72 LF	2.75%
CB-100	CB-101	18" RCP	202.03 LF	1.25%
CB-101	CB-102	24" RCP	83.26 LF	0.75%
CB-102	CB-103	30" RCP	65.78 LF	0.75%
CB-103	CB-104	30" RCP	66.30 LF	2.93%
CB-104	CB-105	30" RCP	72.82 LF	4.78%
CB-105	CB-109	36" RCP	118.09 LF	3.98%
CB-106	CB-105	18" RCP	61.63 LF	0.75%
CB-107	CB-106	15" RCP	72.08 LF	0.75%
CB-108	CB-105	30" RCP	123.93 LF	0.75%
CB-109	CB-111	42" RCP	117.32 LF	2.90%
CB-110	CB-109	30" RCP	181.05 LF	0.75%
CB-111	CB-118	48" RCP	74.06 LF	3.45%
CB-112	CB-111	30" RCP	59.34 LF	4.54%
CB-113	CB-112	15" RCP	73.64 LF	4.57%
CB-114	CB-112	24" RCP	91.16 LF	6.63%
CB-115	CB-114	18" RCP	67.73 LF	2.34%
CB-116	CB-114	15" RCP	62.22 LF	0.75%
CB-117	CB-115	18" RCP	82.47 LF	2.41%
CB-118	CB-120	54" RCP	83.97 LF	0.75%

STORM NETWORK PIPES				
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
CB-119	CB-118	36" RCP	181.75 LF	0.75%
CB-120	CB-121	54" RCP	103.05 LF	0.75%
CB-121	JB-129	54" RCP	86.40 LF	5.07%
CB-123	CB-121	24" RCP	151.10 LF	8.01%
CB-124	CB-123	15" RCP	55.90 LF	1.56%
CB-126	CB-123	18" RCP	78.12 LF	5.46%
CB-127	JB-129	42" RCP	215.84 LF	0.75%
CB-128	CB-127	30" RCP	26.29 LF	0.75%
JB-129	FES-130	60" RCP	78.96 LF	3.64%
OCS-131	FES-132	36" RCP	154.11 LF	0.60%
YI-100	CB-117	18" RCP	46.89 LF	0.75%
YI-101	YI-100	15" RCP	46.04 LF	8.97%
YI-125A	CB-126	15" RCP	51.47 LF	0.75%



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Old Poole Rd. Multifamily Administrative Site Review

Storm Drainage Infrastructure 4900 Old Poole Rd., Raleigh, NC 27610



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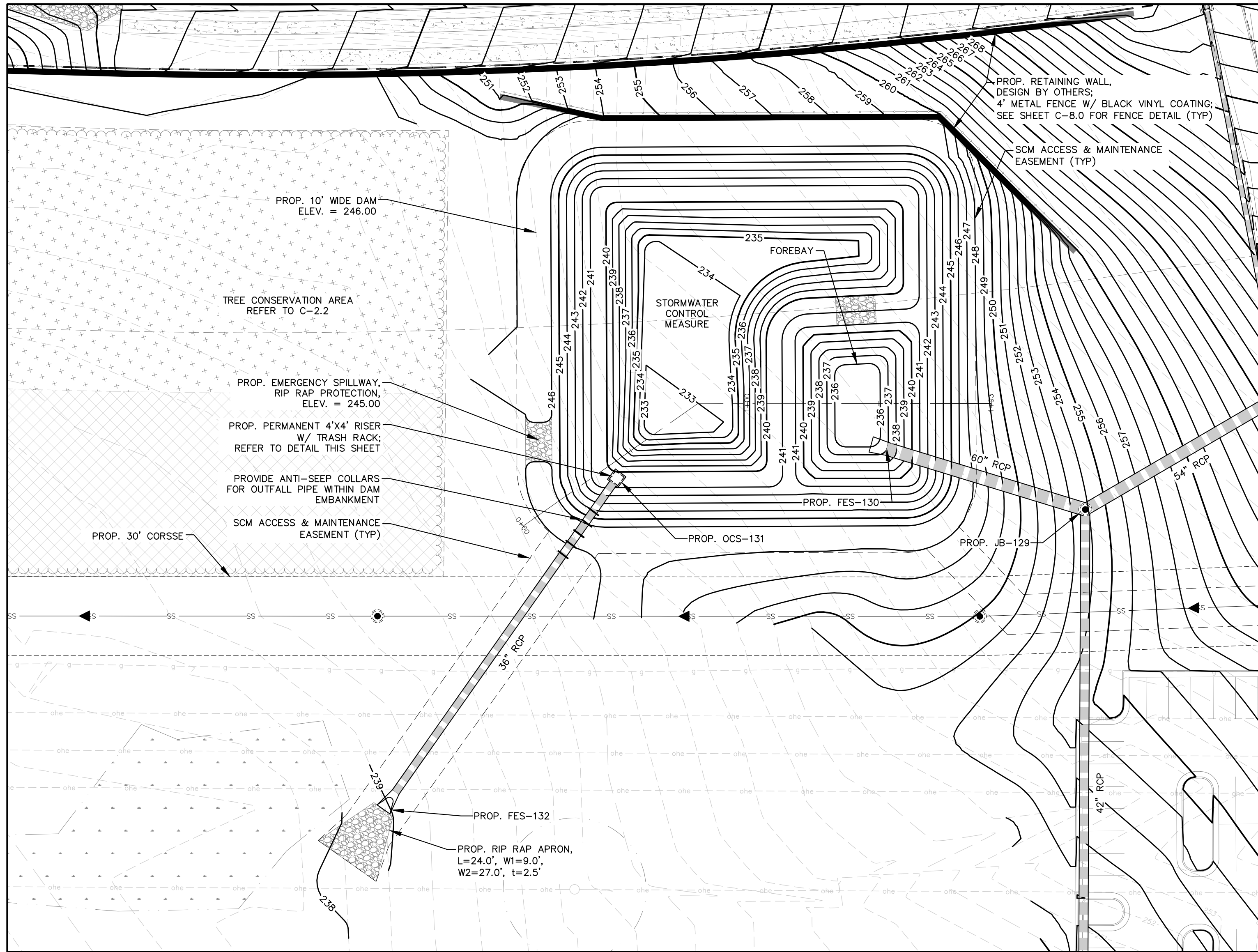
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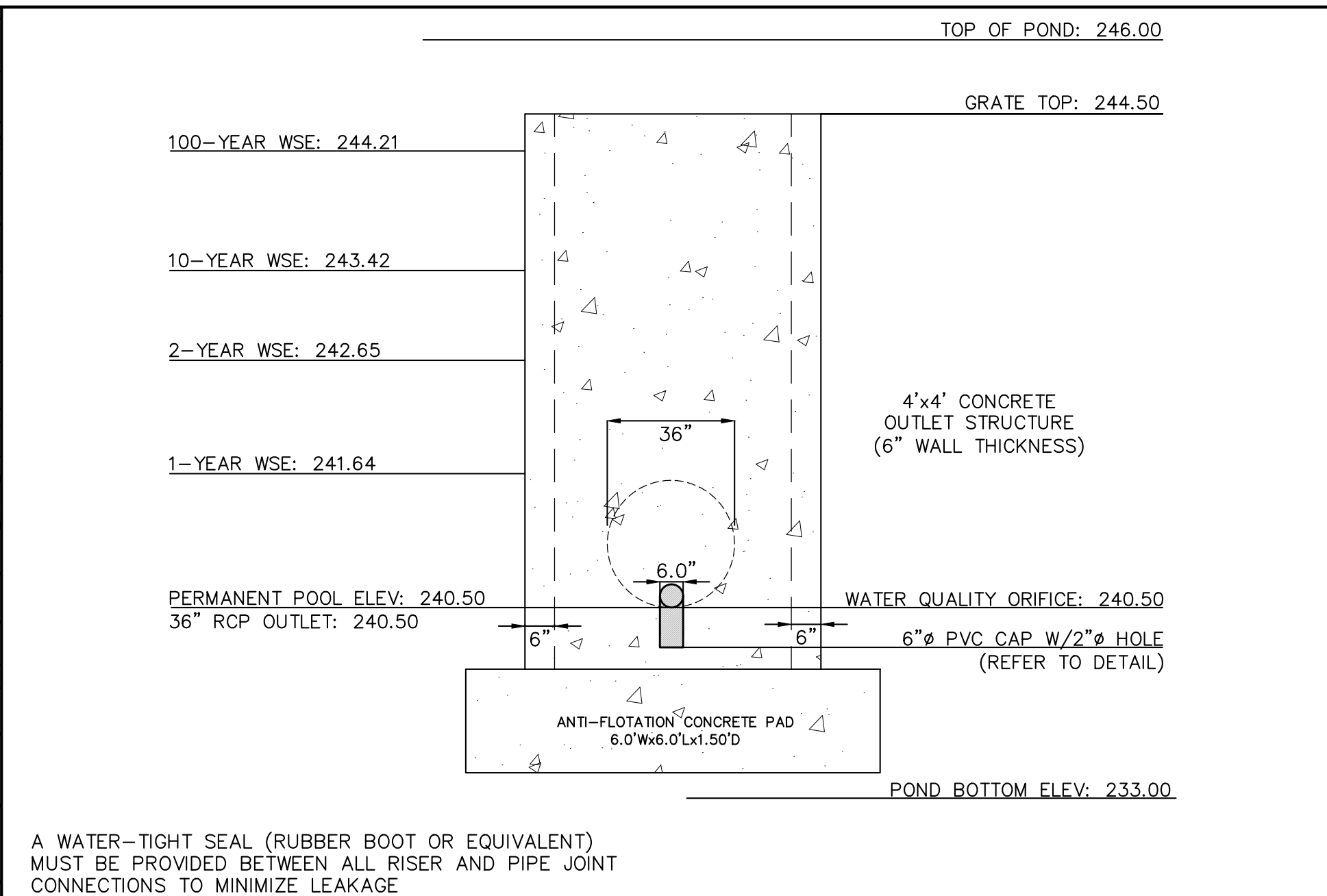
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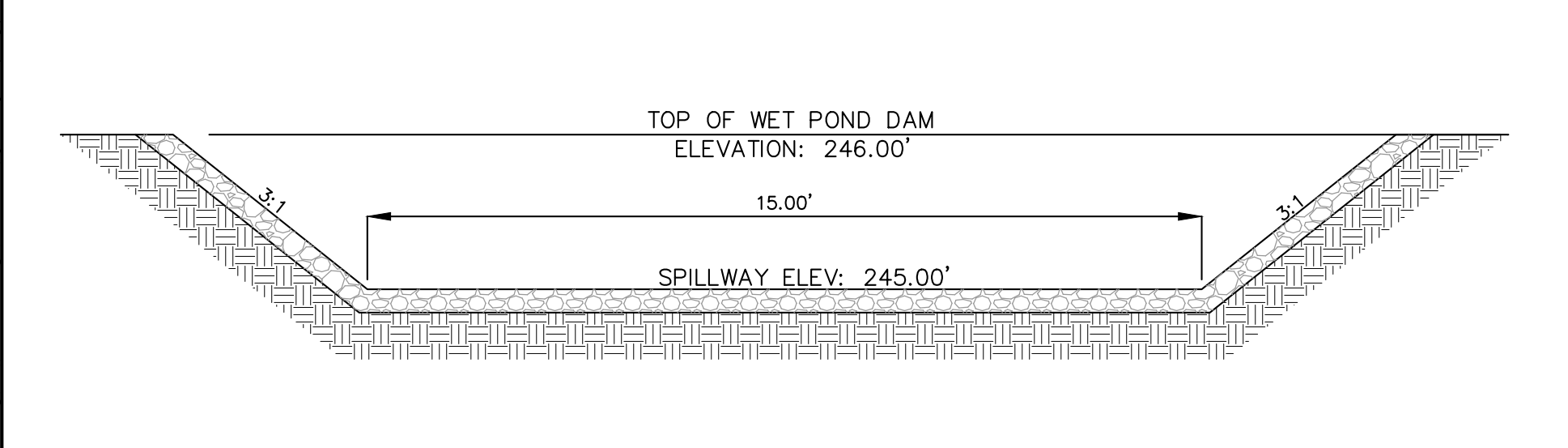
PLAN VIEW: WET POND

SCALE: 1" = 30'



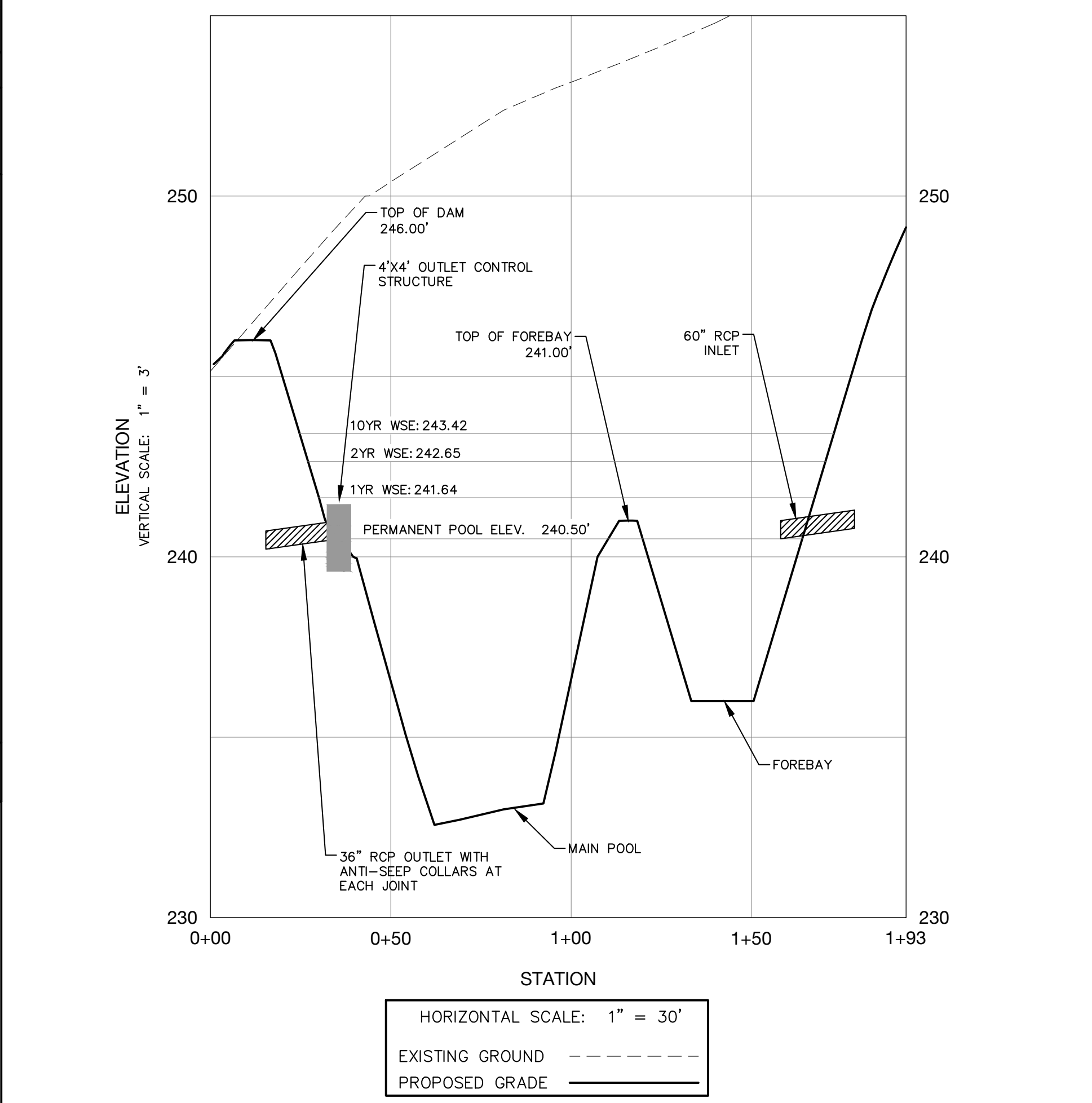
SECTION VIEW: OUTLET CONTROL STRUCTURE

SCALE: NTS



DETAIL: SPILLWAY

SCALE: NTS



SECTION: WET POND

BMP INSET TABLE - WET POND

SITE INFORMATION	
DRAINAGE AREA:	9.69 AC
TOTAL IMPERVIOUS AREA:	5.35 AC
IMPERVIOUS RATIO:	55.1%
SITE IMPERVIOUS AREA:	5.00 AC
DESIGN RAINFALL:	1-INCH
Rv:	0.612
STORAGE VOLUMES	
SURFACE AREA:	9,487 @ PPE
PERMANENT POOL ELEV:	240.50
LITTORAL SHELF ELEV:	240.00
LITTORAL SHELF WIDTH:	6 FT
LITTORAL SHELF SLOPE:	6:1
FOREBAY 1	
SURFACE AREA:	2554 SF @ TOP
VOLUME REQUIRED:	6,333 CF
VOLUME PROVIDED:	6,654 CF
DEPTH:	5 FT
WET POND	
PERM. POOL AREA REQUIRED:	7,030 SF
SURFACE AREA PROVIDED:	9,487 SF
PERM POOL ELEV:	240.50
TOP OF POND:	246.00
BOTTOM OF MAIN POOL:	233.00
OUTLET DIAMETER:	15 INCH
SPILLWAY ELEVATION:	245.00
SPILLWAY WIDTH:	15.00 FT

GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
	PERIMETER DIKES, SWALES, DITCHES, AND SLOPES	7 DAYS
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPE ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES FLATTER THAN 3:1	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY
BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE
COMPLIANCE IMPRACTICABLE.

For Shoulders, Side Ditches, Slopes (3:1 to 2:1):

Date	Type	Planting Rate
Mar 1- Jun 1	Secirca Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Secirca Lespedeza);
Mar 1- Apr 15	Add Tall Fescue	120 lbs/acre
Mar 1- Jun 30	Or add Weeping Love grass	10 lbs/acre
Mar 1- Jun 30	Or add Hulled Common Bermudagrass	25 lbs/acre
Jun 1- Sept 1	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids***	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)
Sept 1- Mar 1	Secirca Lespedeza (unhulled - unscarified) AND Tall Fescue	70 lbs/acre (Secirca Lespedeza); 120 lbs/acre (Tall Fescue)
Nov 1- Mar 1	AND Abruzzi Rye	25 lbs/acre

Seeding Schedule
For Shoulders, Side Ditches, Slopes (Max 3:1):

Date	Type	Planting Rate
Aug 15- Nov 1	Tall Fescue	300 lbs/acre
Nov 1- Mar 1	Tall Fescue & Abruzzi Rye	300 lbs/acre
Mar 1- Apr 15	Tall Fescue	300 lbs/acre
Apr 15- Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1- Aug 15	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids***	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)

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Administrative Site Review
BMP Plan & Details
4900 Old Poole Rd., Raleigh, NC 27610

NO.	DATE	BY	REVISIONS:

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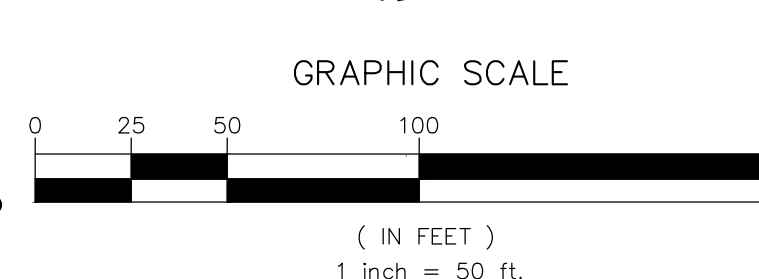
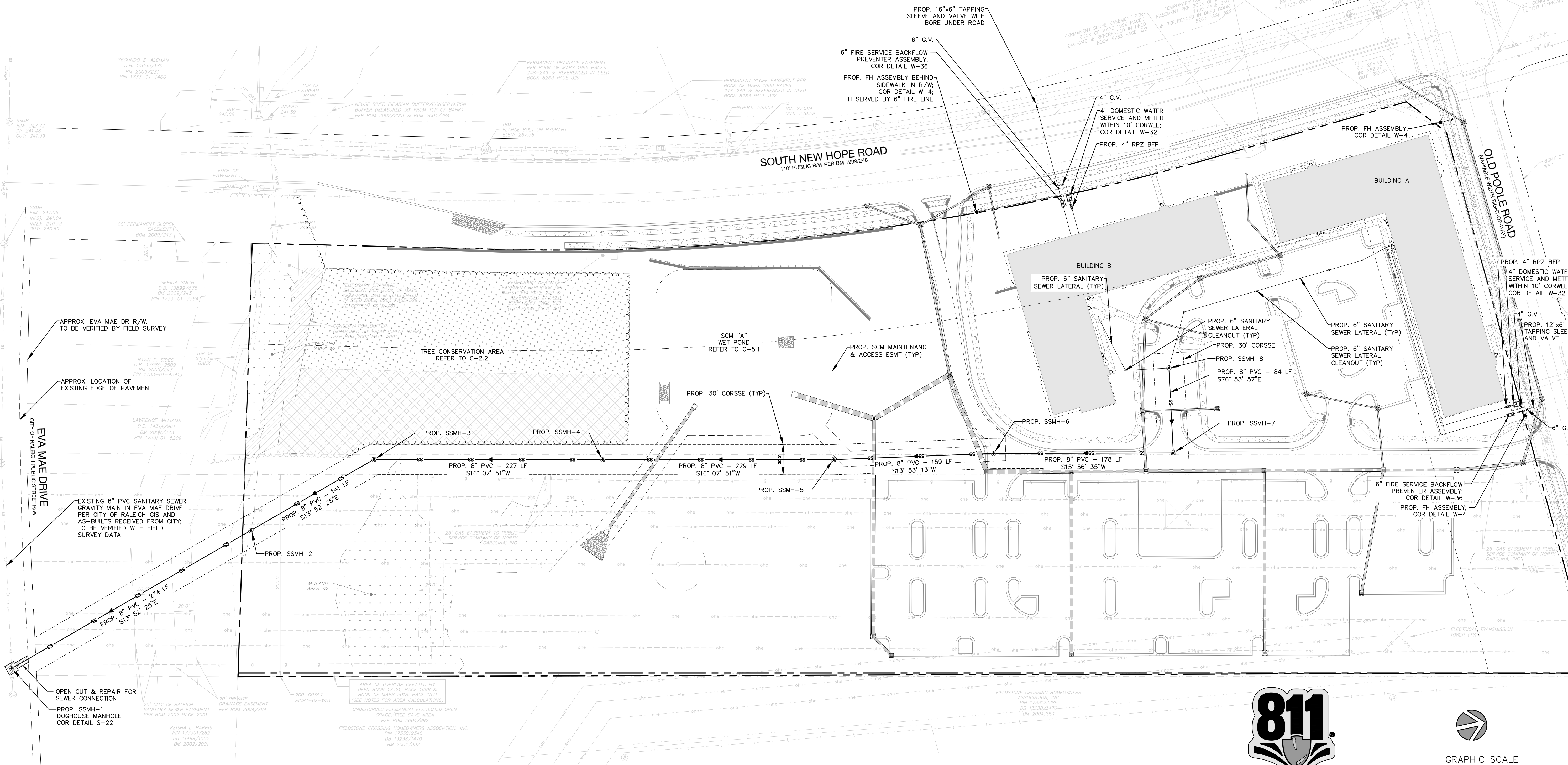
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STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CURRECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DECREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

NOTES:

CORSE = CITY OF RALEIGH SANITARY SEWER EASEMENT
CORWE = CITY OF RALEIGH WATERLINE EASEMENT



150 layetteville st ste 1310
raleigh, nc 27601
p 919.275.5002
urbandesignpartners.com
nc firm no: P-2671 sc coa no: C-03044

PRELIMINARY DRAWING
FOR PRELIMINARY PURPOSES ONLY
05/12/2023

Roers Companies
110 Cheshire Lane, Suite 120
Minnetonka, MN 55305

**Old Poole Rd. Multifamily
Administrative Site Review
Utility Plan**
4900 Old Poole Rd., Raleigh, NC 27610

NO.	DATE	BY	REVISIONS

Project No: 22-RDU-003
Date: 05/12/2023
Sheet No:

C-6.0

Long Islander #300
Residential Series Scale: NTS

Matching Gate Options

Long Islander Fence & Gate
#3000 Arched Rail Option Scale: NTS

Long Islander Single Walk Gate
#3000 Straight Rail Option Scale: NTS

Long Islander Double Walk Gate
#3000 Straight Rail Option Scale: NTS

iDeal

DRAWING NOTES:
1. ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.
2. FRAME SHALL BE A MINIMUM WEIGHT OF 120 LBS. WITHIN PUBLIC ROW AND 160 LBS. WITHIN EASEMENTS.
3. COVER SHALL WEIGH A MINIMUM OF 120 LBS.
4. ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACE SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

STANDARD CLASS "A" MANHOLE
SW-10.05

CITY OF RALEIGH
CURB RAMPS
GENERAL NOTES

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROVIAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/12 (1:12) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

DETECTABLE WARNING SURFACE (TYP.)
NON-WALKABLE SURFACE
4' X 6' LANDING (TYP.)
5' SIDEWALK
6' SIDEWALK
5' BIKEWAY
3.5' BUFFER

STOP BAR
BIKE-EXING
PEDE-EXING

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

CURB RAMPS AT CURB-LEVEL BIKEWAY CROSSINGS
T-20.01.9

CITY OF RALEIGH
CURB RAMPS
GENERAL NOTES

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CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

CURB RAMP NOTES
T-20.01.8

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

DETECTABLE WARNING SURFACE DETAIL
T-20.04.1

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

DETECTABLE WARNING SURFACE DETAIL
T-20.04.1

FRONT ELEVATION
TRANSVERSE EXPANSION JOINT

3. 30" CURB & GUTTER
2. 30" VALLEY TYPE GUTTER

MEDIAN CURB AND GUTTER
SIDE ELEVATION

MEDIAN CURB AND GUTTER
(NON-MOUNTABLE)

SPILL CURB DETAIL

NOTES:
1. 10" MAXIMUM BETWEEN DUMMY JOINTS.
2. 12" EXPANSION JOINT EVERY 50'.
3. 3000 PSI CONCRETE MINIMUM. 4" SLUMP MAXIMUM.
4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1008.2 OF NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL #66.01. THE JOINT MATERIAL SHALL CONFORM TO SECTION 1008.2 OF NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
6. REFER TO NCDOT DETAIL #66.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

CURB AND GUTTER
T-10.26.1

TYPICAL MH FOR STORM SEWER

PIPE SIZE	MH DIAMETER
12-24"	4'-0"
30-42"	5'-0"
48"	6'-0"
54"	6'-0"

SECTION A-A
SECTION B-B
SECTION C-C

NOTES:
1. DEPTH MEASURED FROM TOP OF CASTING TO INVERT OF MANHOLE.
2. PRECAST MANHOLE COMPONENTS SHALL MEET ASTM-C478 REQUIREMENTS.
3. SEE STANDARD SW-10.10 FOR MANHOLE COVER DETAIL.
4. DOMESTIC CASTINGS REQUIRED WITHIN STREET RIGHT-OF-WAY.

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

STANDARD CLASS "A" MANHOLE
SW-10.05

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

STANDARD STORM MANHOLE COVER
SW-10.10

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

COVER FOR PIPES WITHIN THE R.O.W. MINIMUM PIPE CLEARANCE FROM INVERT TO SUBGRADE

PIPE SIZE (IN)	CLEARANCE DISTANCE (IN)
15	2.1
18	2.7
24	3.3
30	3.9
36	4.4
42	4.9
48	5.4
54	6.0
60	6.5
66	7.0
72	7.6

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
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BEDDING FOR STORMWATER RCP PIPES
SW-10.14

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

CONCRETE BIKEWAY
T-30.01.2

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

ASPHALT PAVEMENT PATCH AND RCP PIPE BACKFILL
T-10.05

TYPICAL ASPHALT CROSS SECTION
HEAVY DUTY ASPHALT CROSS SECTION

NOTES:
1. GEOTECHNICAL ENGINEER SHALL REVIEW AND APPROVE ASPHALT PAVEMENT AND CONCRETE DESIGN PER ACTUAL SOIL CONDITIONS AND OWNERS LOADING REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
2. HEAVY DUTY ASPHALT PAVEMENT SHALL BE PROVIDED FOR ALL FIRE APPARATUS ACCESS ROADS AND DESIGNED TO SUPPORT AN 80,000LB LOAD.

PAVEMENT CROSS SECTION
SCALE: NTS

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

STREET PAVEMENT DESIGN
T-10.19

GENERAL	SIDEWALK
WALKWAY TYPE	3" 59.5B
BIKEWAY TYPE	4" 119.0B
PLANTING TYPE	10" ABC
TREE SPACING	40' O.C. AVG
PARKING TYPE	NONE

CITY OF RALEIGH STANDARD DETAIL
DATE: 02/07/10
NOT TO SCALE

STREET PAVEMENT DESIGN
T-10.14

GENERAL	SIDEWALK
WALKWAY TYPE	3" 59.5B
BIKEWAY TYPE	4" 119.0B
PLANTING TYPE	10" ABC
TREE SPACING	40' O.C. AVG
PARKING TYPE	NONE

URBAN DESIGN PARTNERS

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urbanpartners.com

nc firm no: P-2671 sc cca no: C-03044

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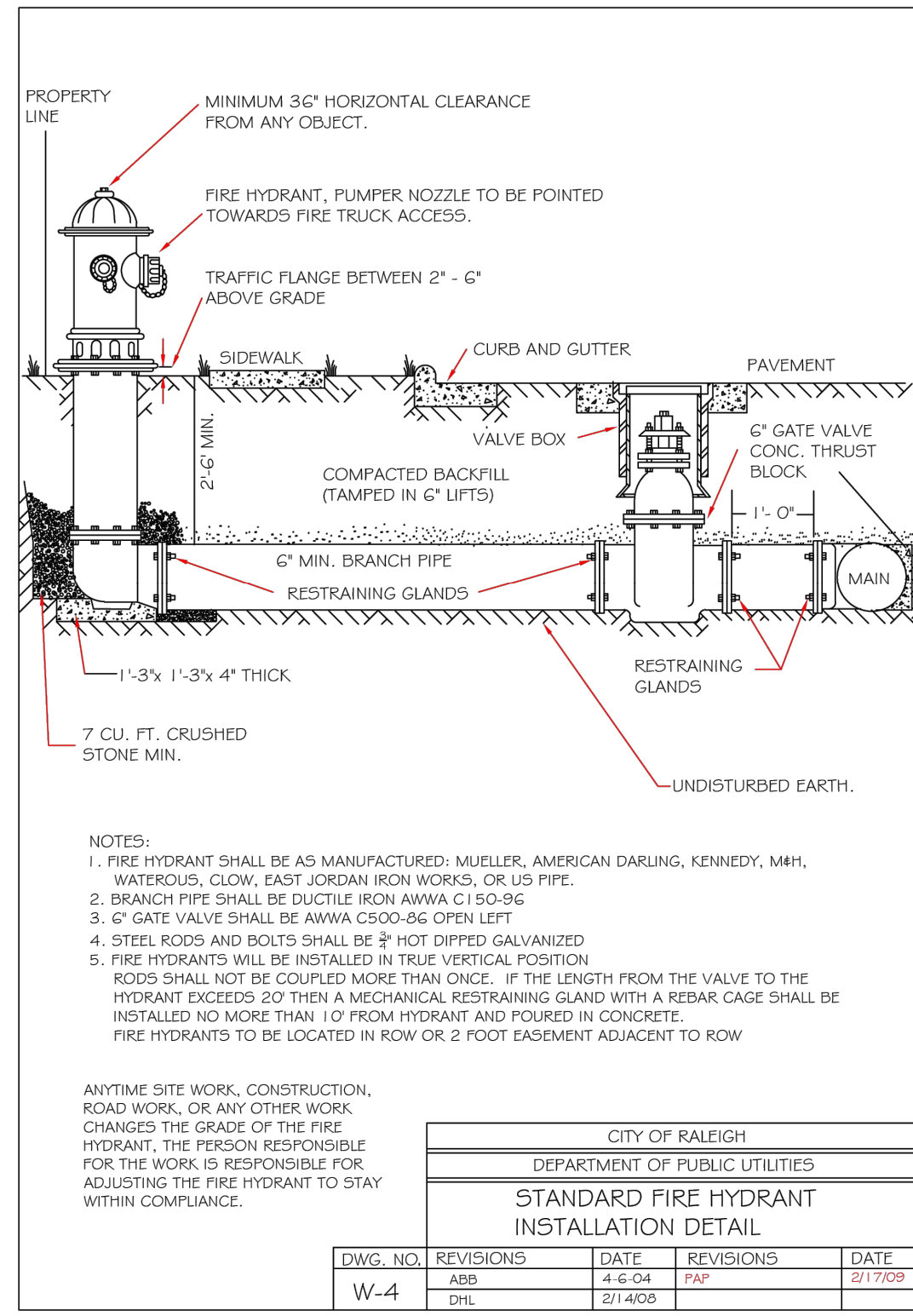
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Old Poole Rd. Multifamily
Administrative Site Review

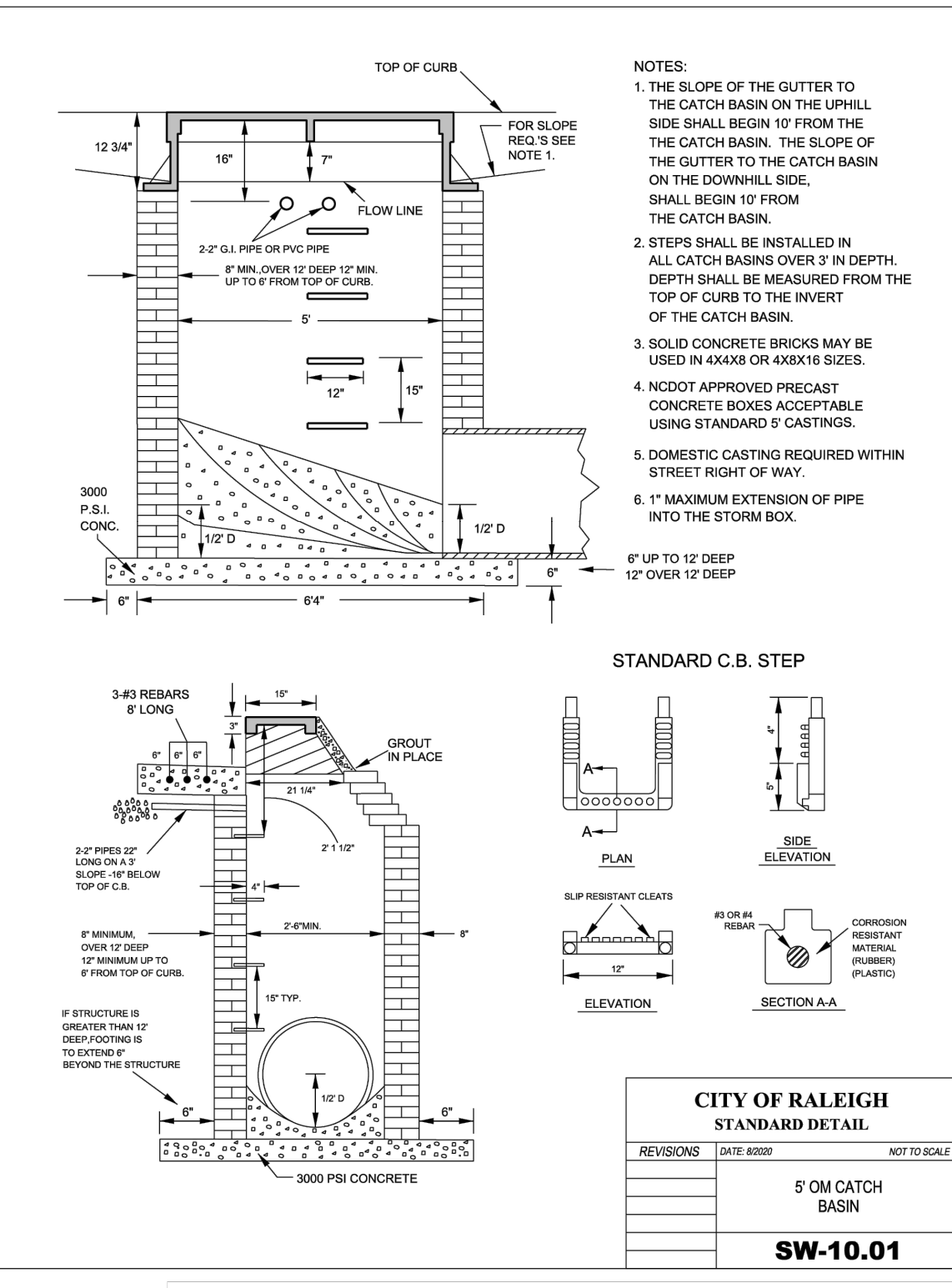
Site Specifications & Details
4900 Old Poole Rd., Raleigh, NC 27610

NO. DATE: BY: REVISIONS:

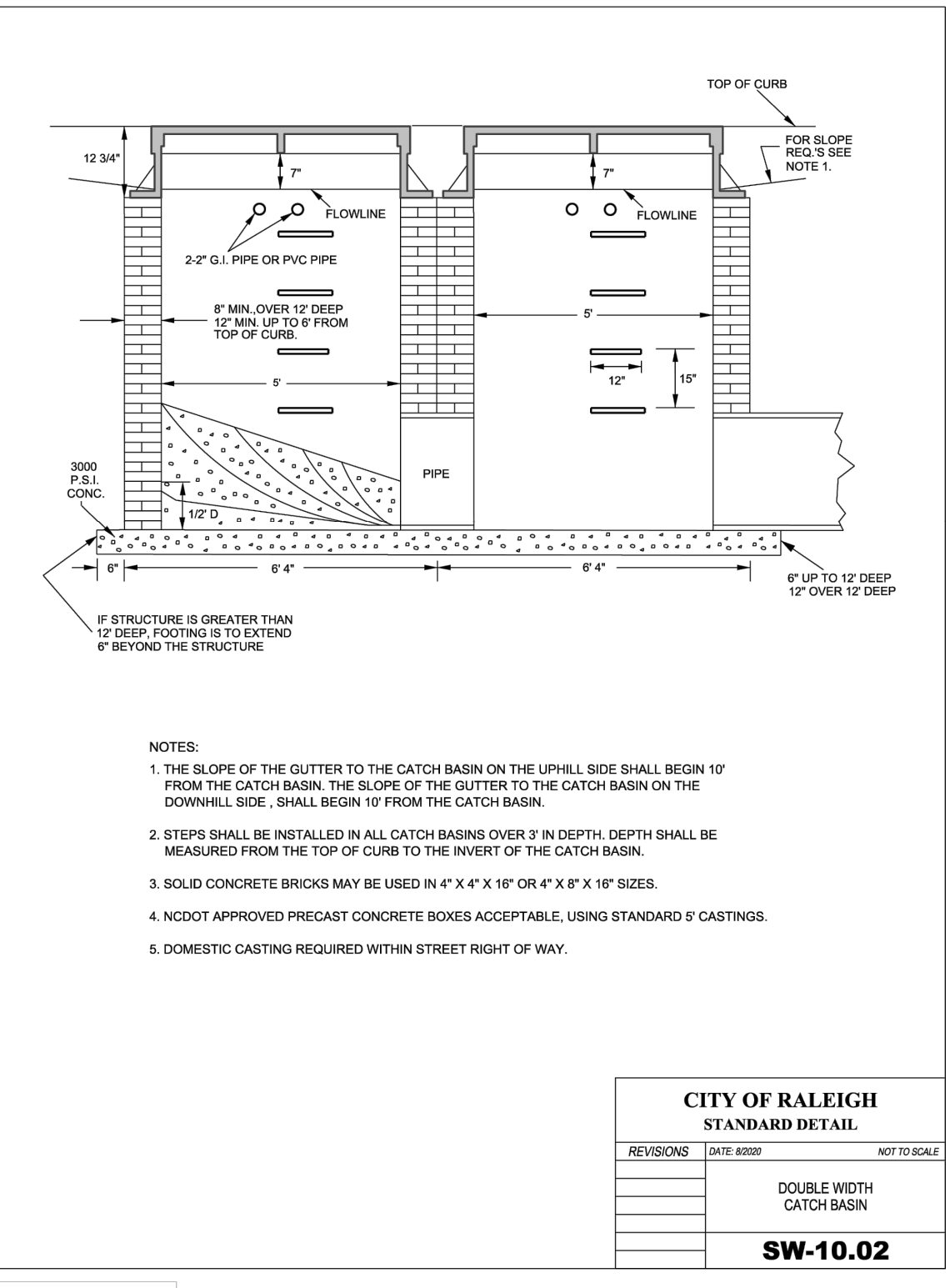
Project No: 22-RDU-003
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Sheet No: **C-8.0**



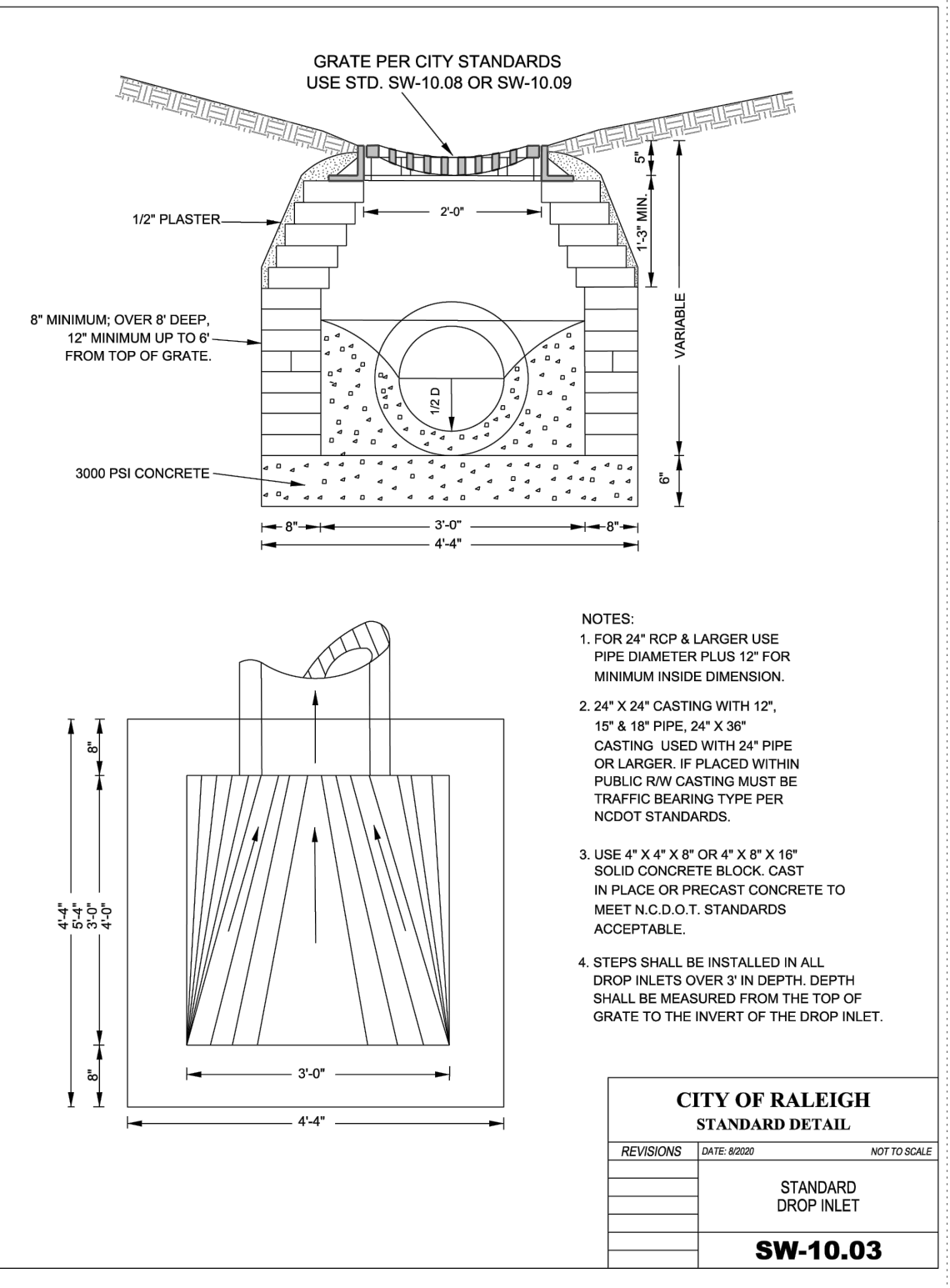
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD FIRE HYDRANT INSTALLATION DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-4	ADD	4-6-04	FAP	2/17/09	
	CHG	3/14/08			



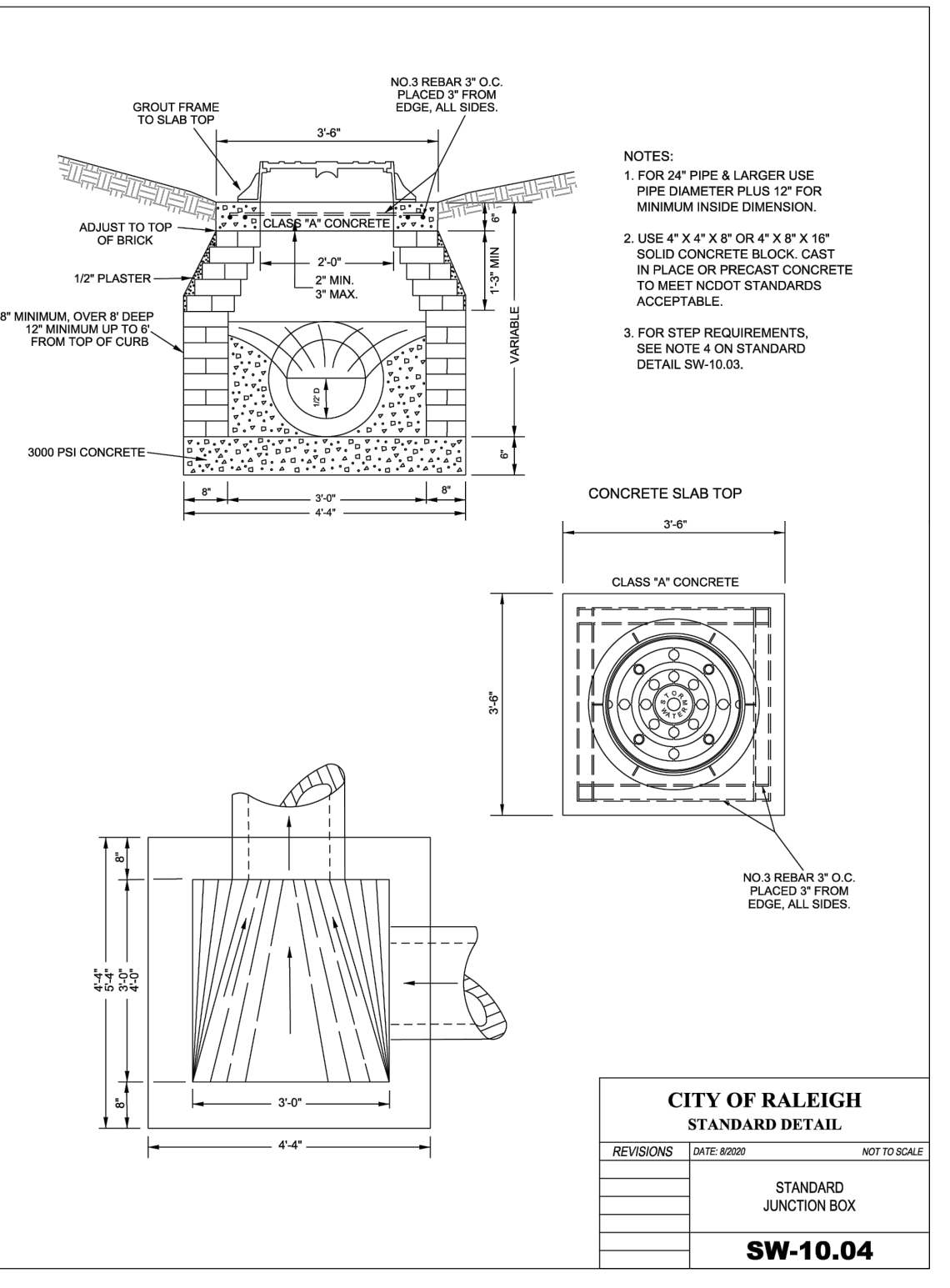
CITY OF RALEIGH STANDARD DETAIL					
REVISIONS	DATE	BY	APP'D	DATE	
					5' 0" CATCH BASIN
					SW-10.01



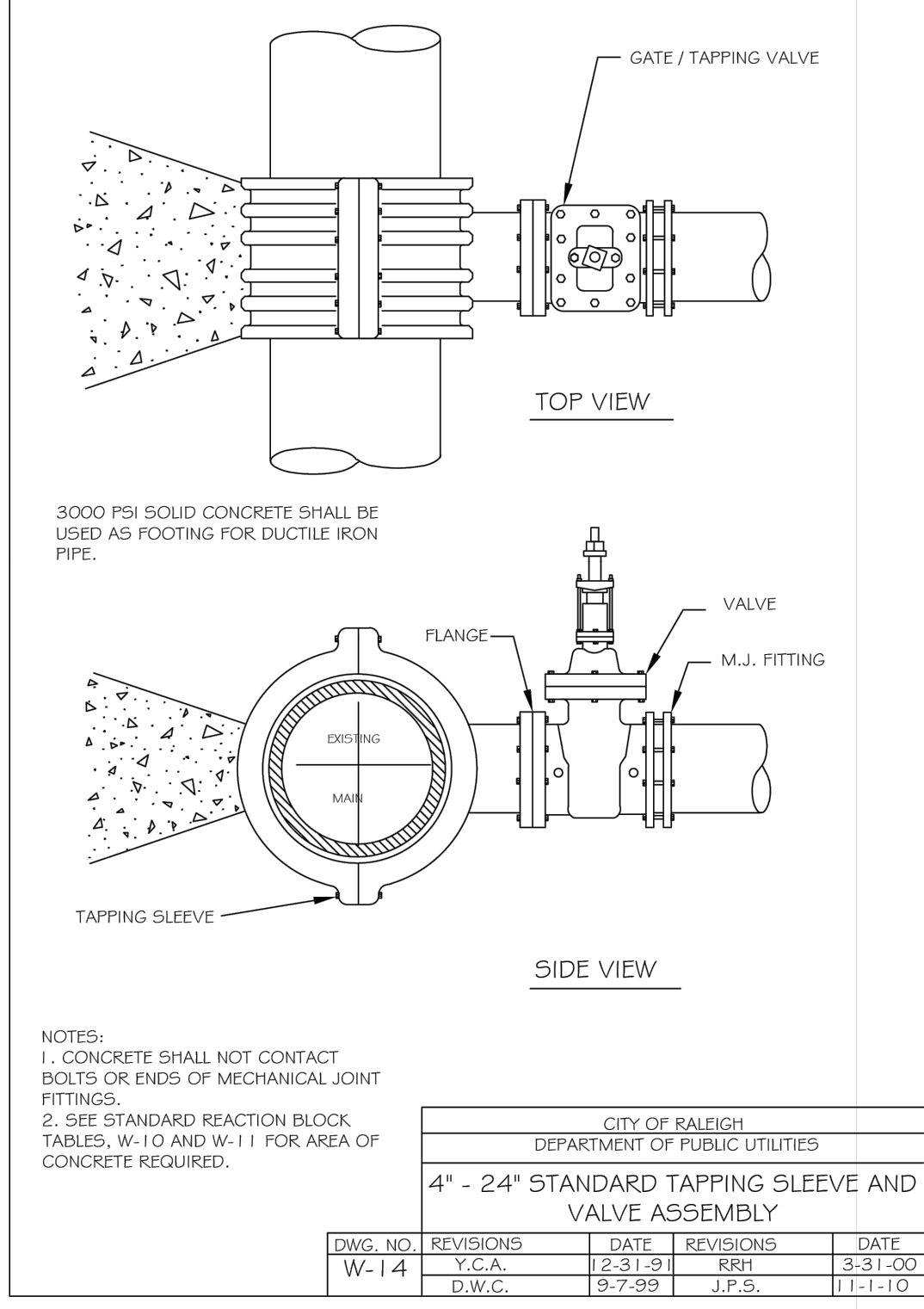
CITY OF RALEIGH STANDARD DETAIL					
REVISIONS	DATE	BY	APP'D	DATE	
					DOUBLE WIDTH CATCH BASIN
					SW-10.02



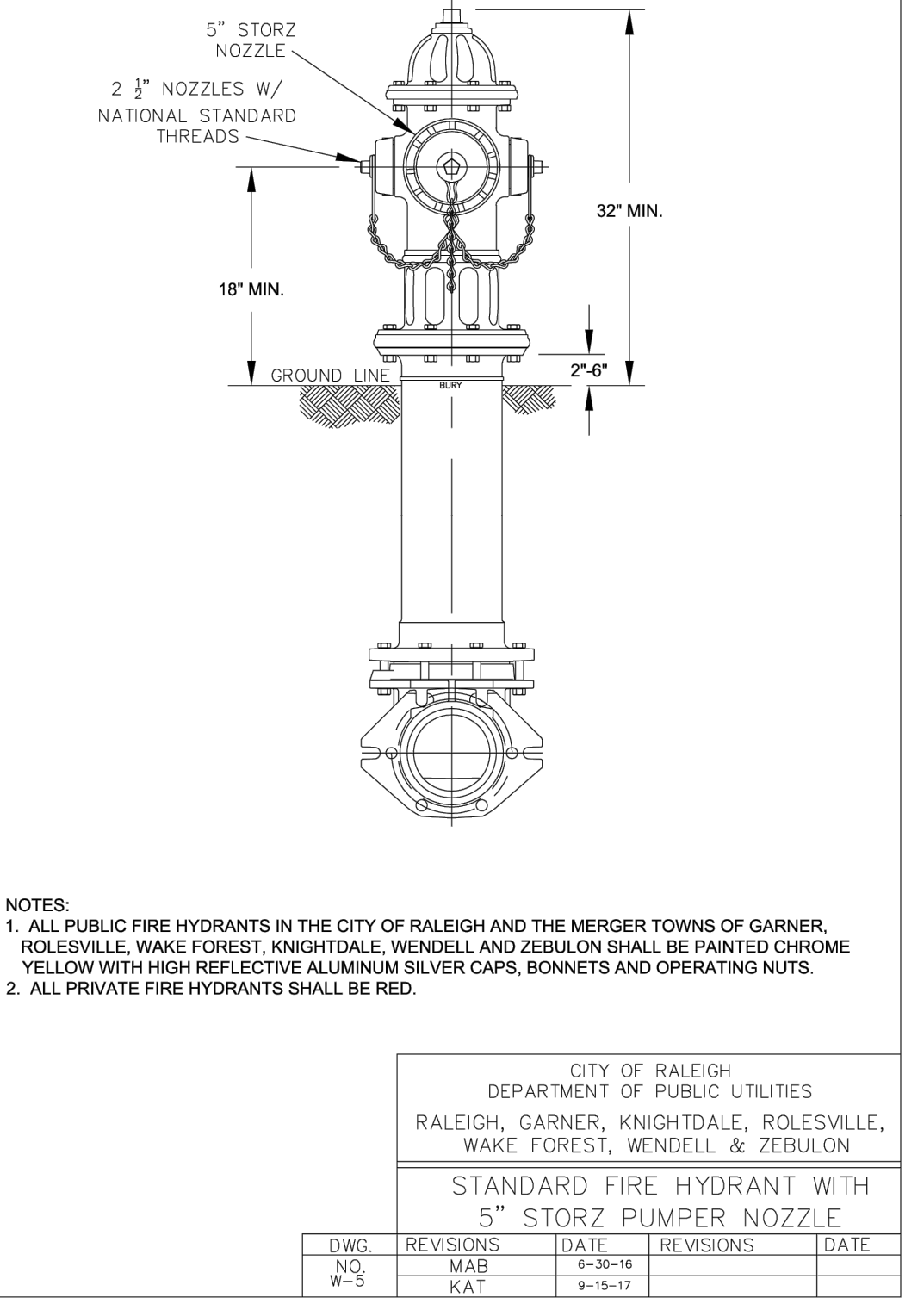
CITY OF RALEIGH STANDARD DETAIL					
REVISIONS	DATE	BY	APP'D	DATE	
					STANDARD DROP INLET
					SW-10.03



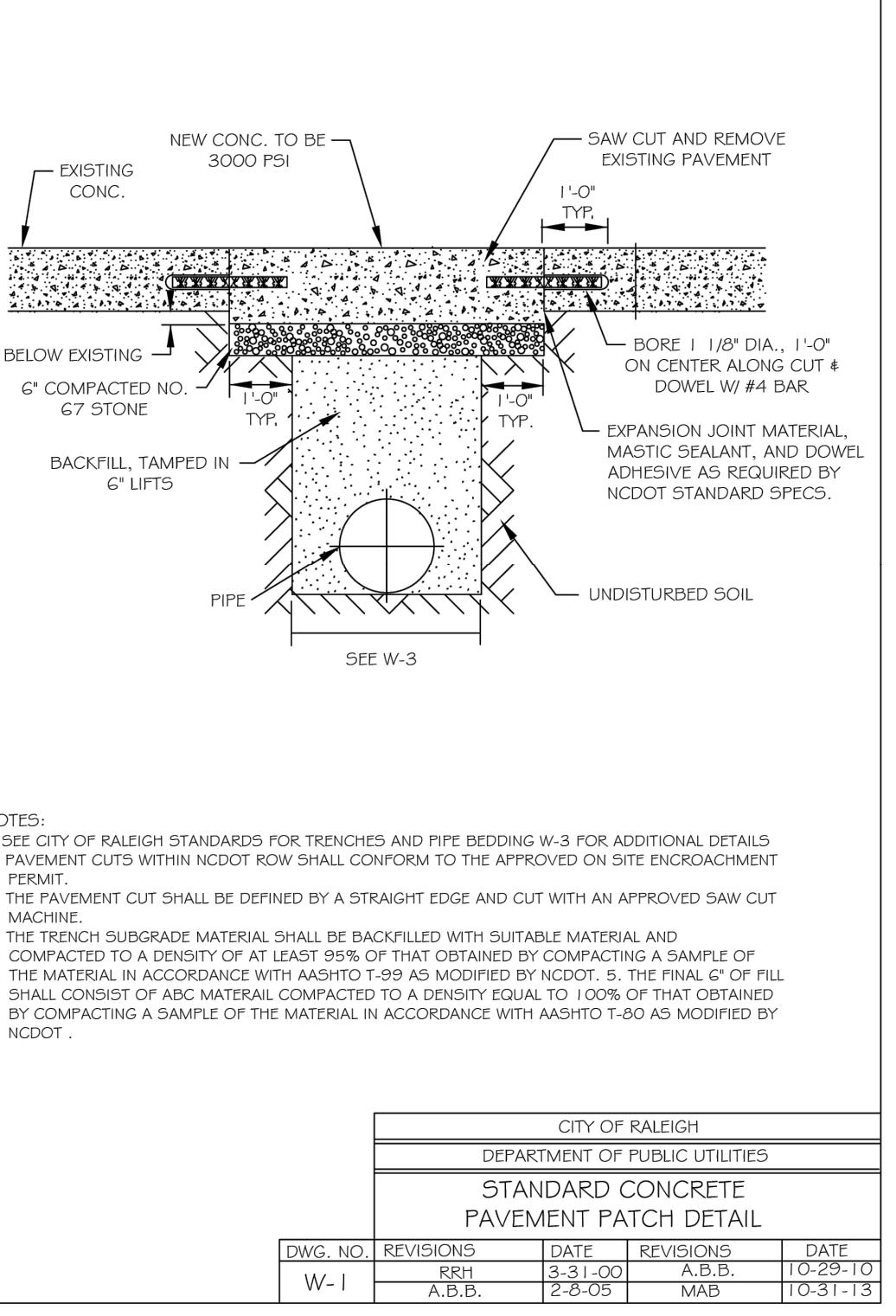
CITY OF RALEIGH STANDARD DETAIL					
REVISIONS	DATE	BY	APP'D	DATE	
					STANDARD JUNCTION BOX
					SW-10.04



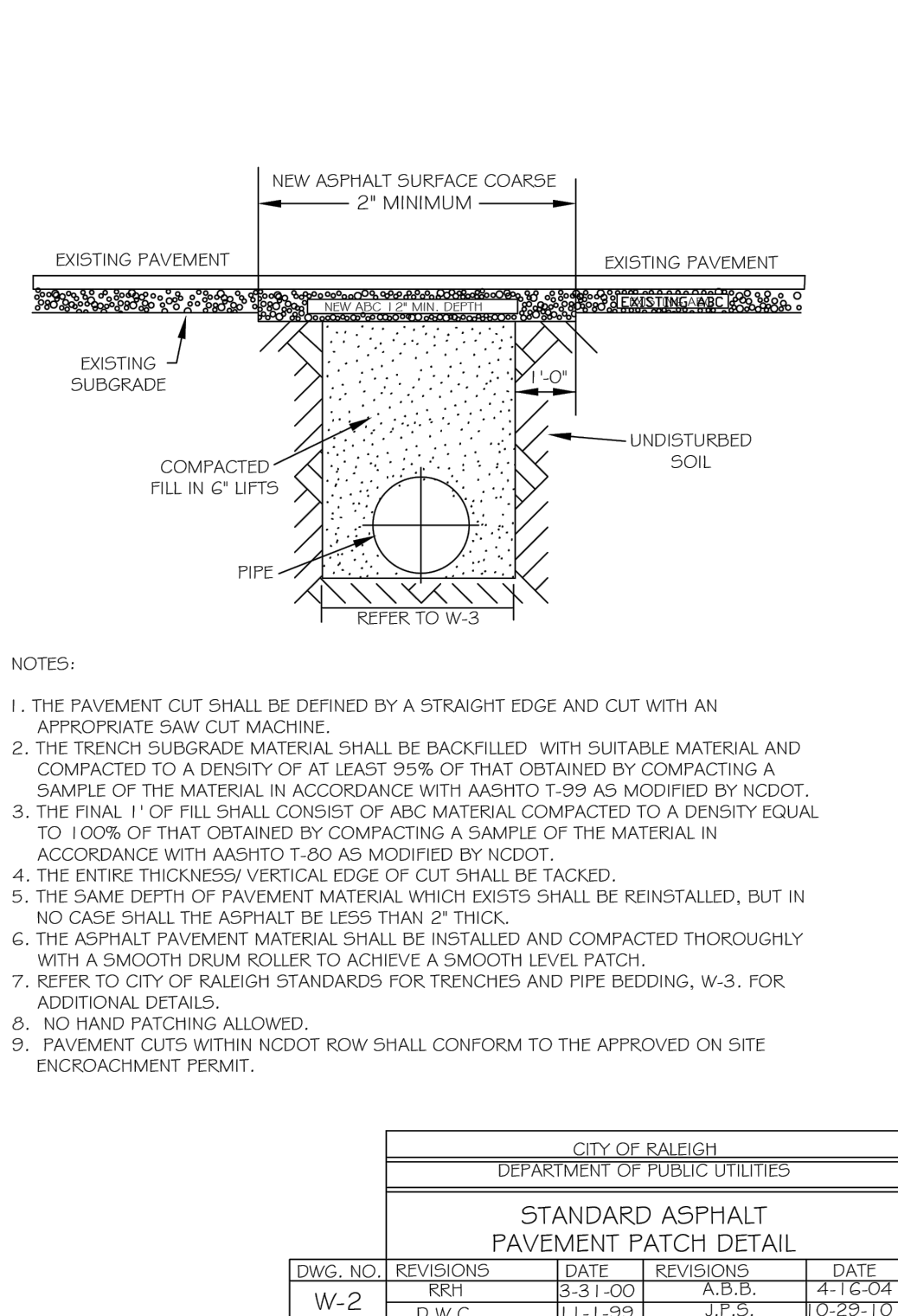
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-14	Y.C.A.	2-31-91	RRH	3-31-00	
	D.W.C.	9-7-99	J.P.S.	11-1-10	



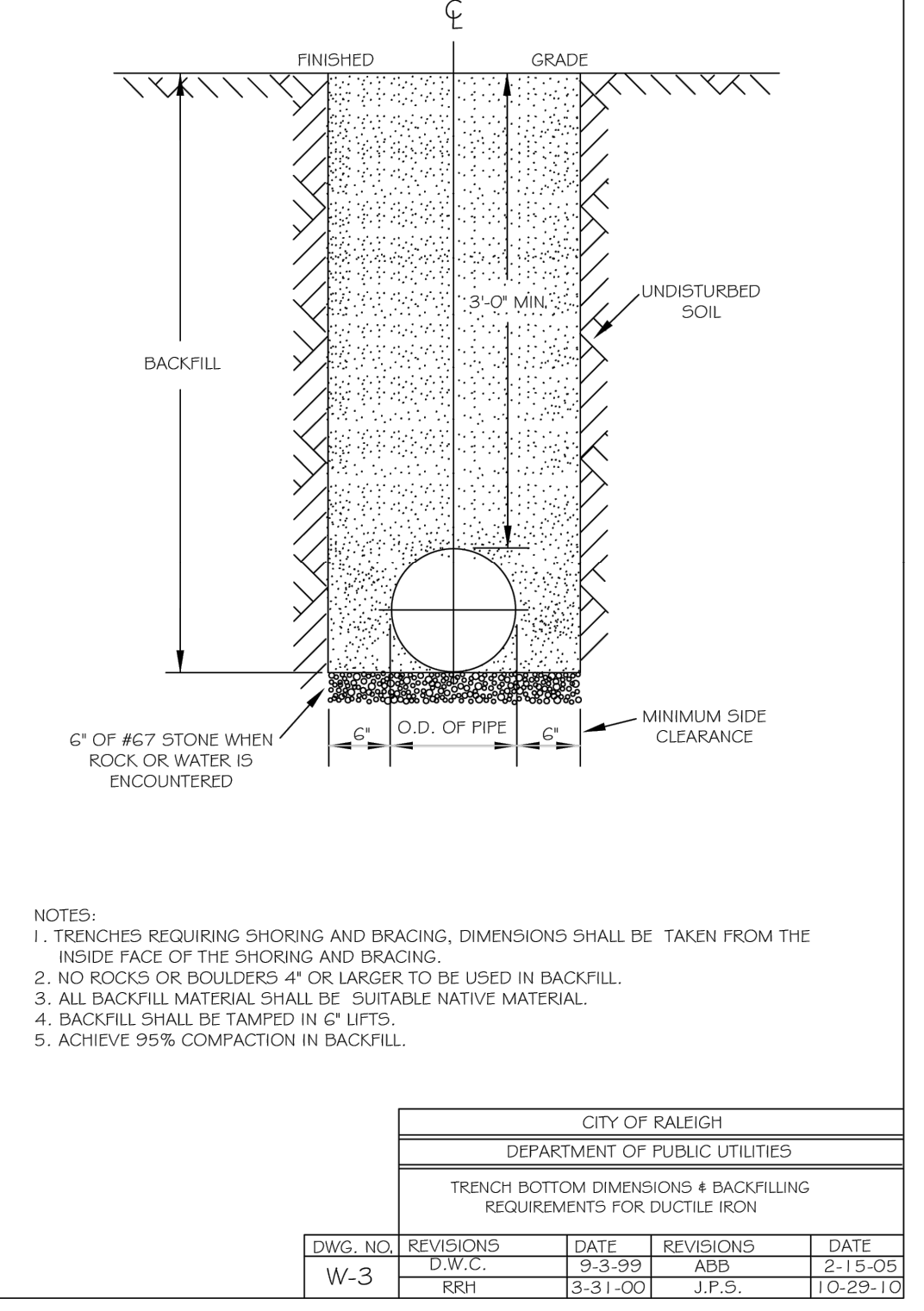
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
RALEIGH, GARNER, KNIGHTDALE, ROLESVILLE, WAKE FOREST, WENDELL & ZEBULON					
STANDARD FIRE HYDRANT WITH 5" STORJ PUMPER NOZZLE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-5	MAB	9-30-16			
	KAT	9-15-17			



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD CONCRETE PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-1	RRH	3-31-00	A.B.B.	10-29-10	
	A.B.B.	2-8-05	MAB	10-31-13	



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD ASPHALT PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-2	RRH	3-31-00	A.B.B.	4-16-04	
	D.W.C.	11-1-99	J.P.S.	10-29-10	



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-3	D.W.C.	9-3-99	ABB	2-15-05	
	RRH	3-31-00	J.P.S.	10-29-10	

URBAN DESIGN PARTNERS
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 Raleigh, NC 27601
 P 919.275.5002
 urbandesignpartners.com
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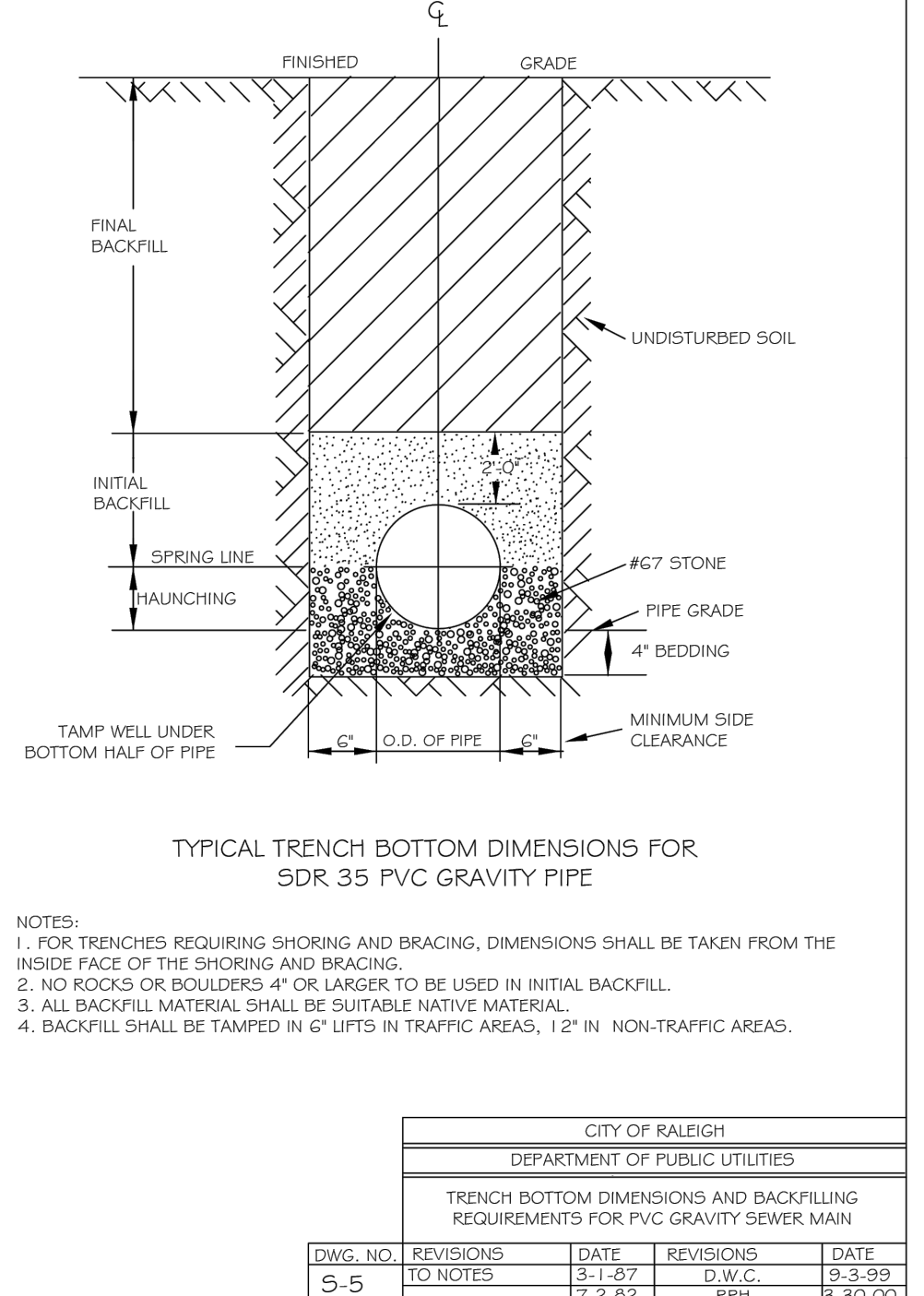
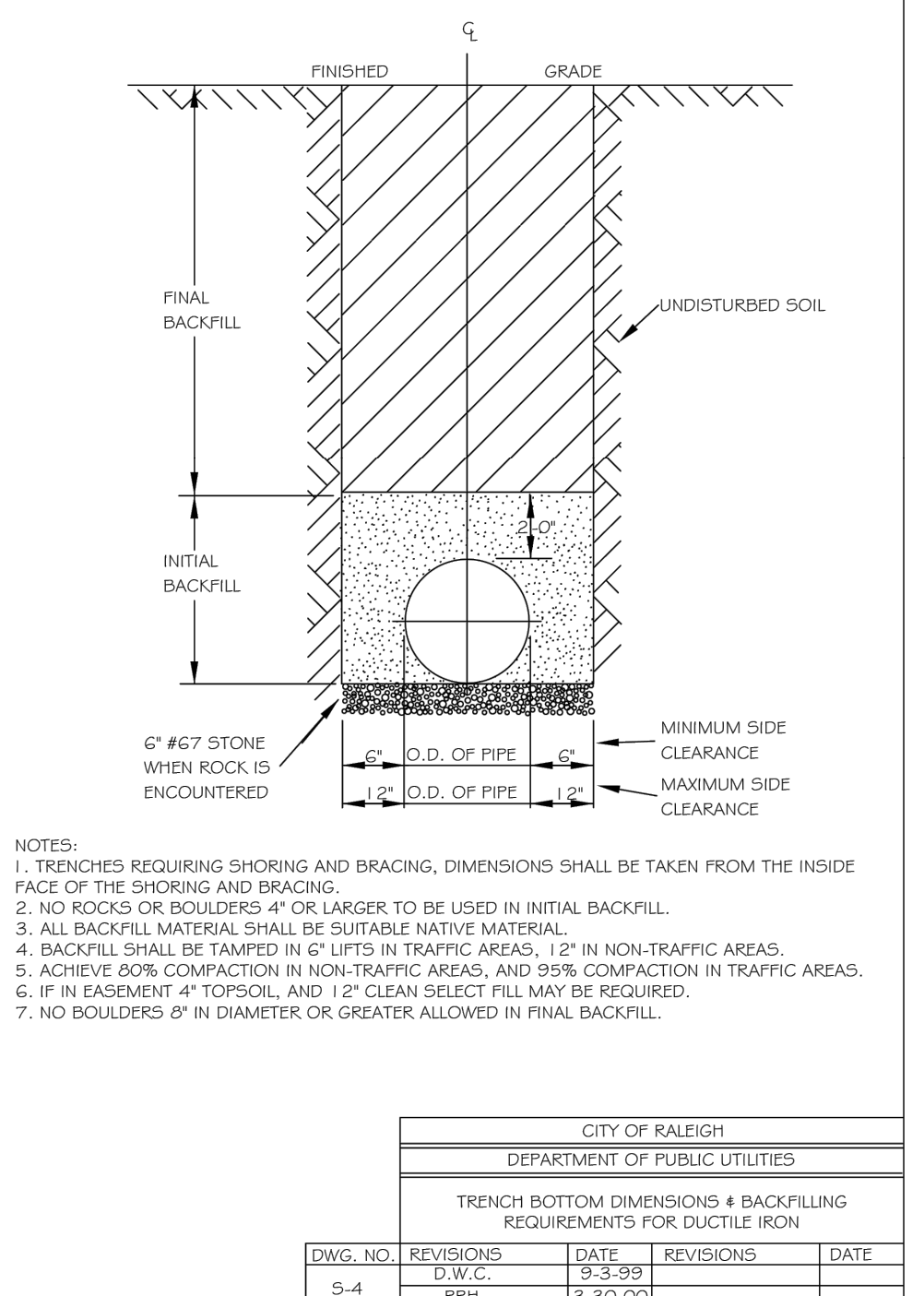
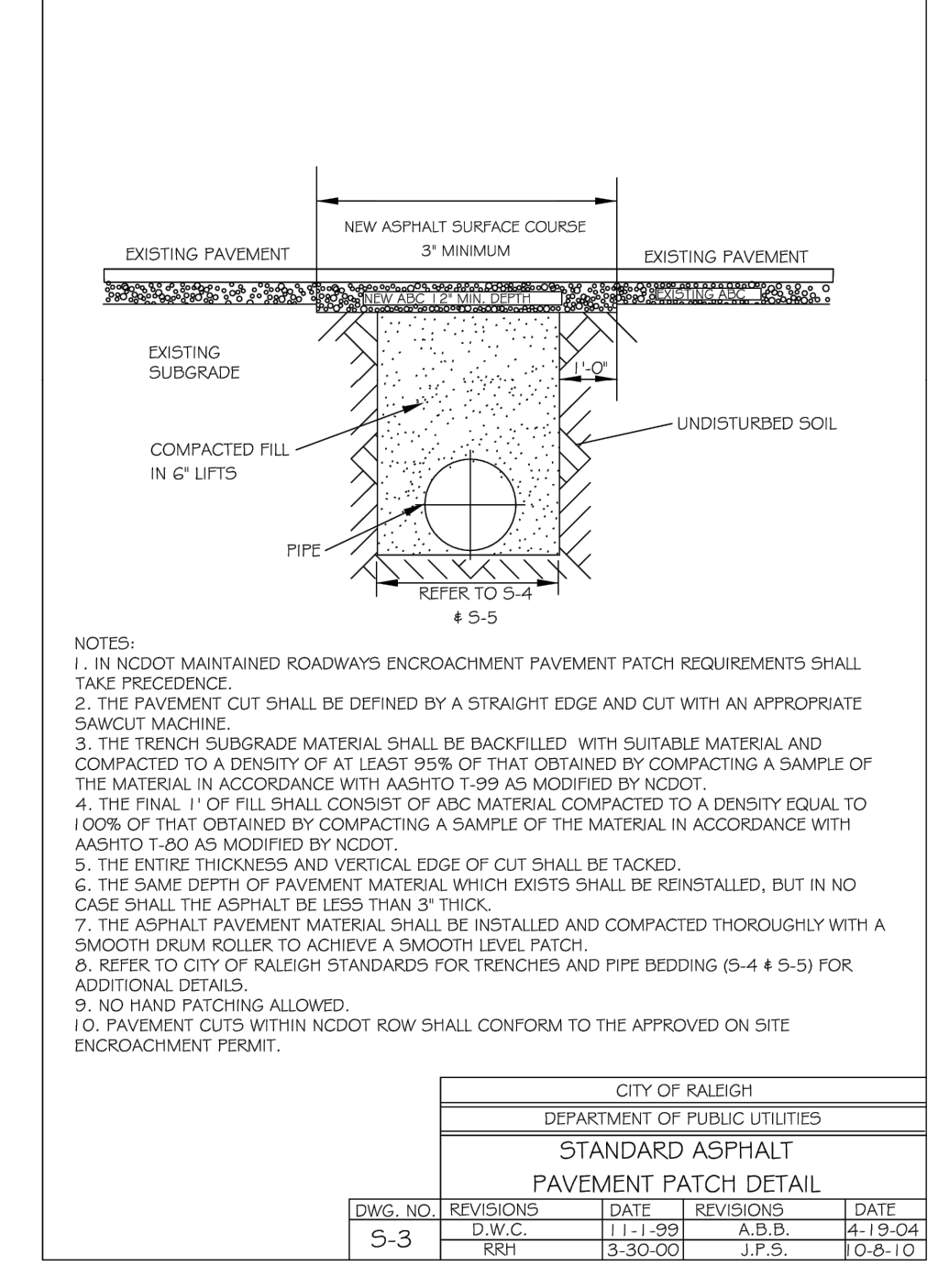
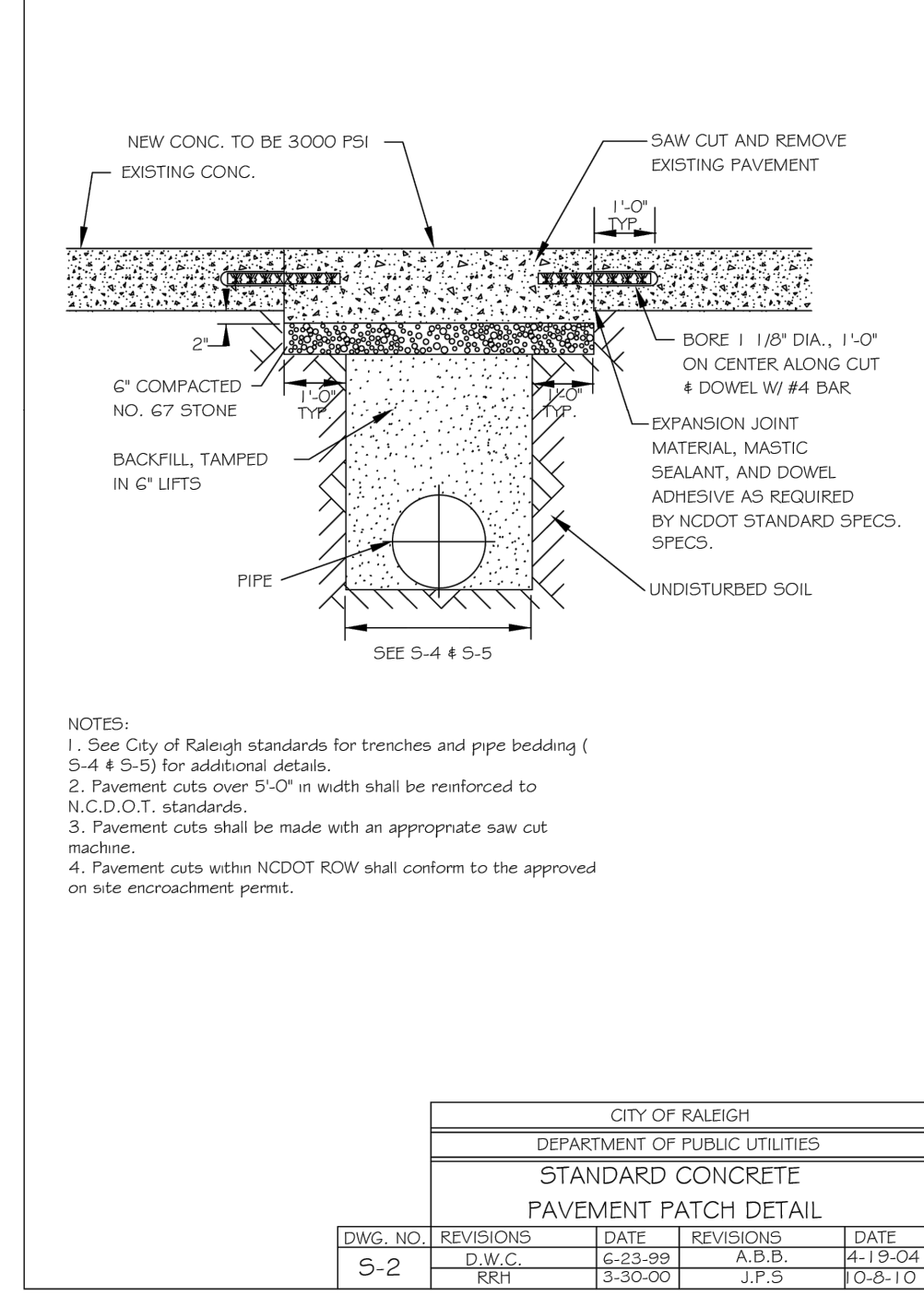
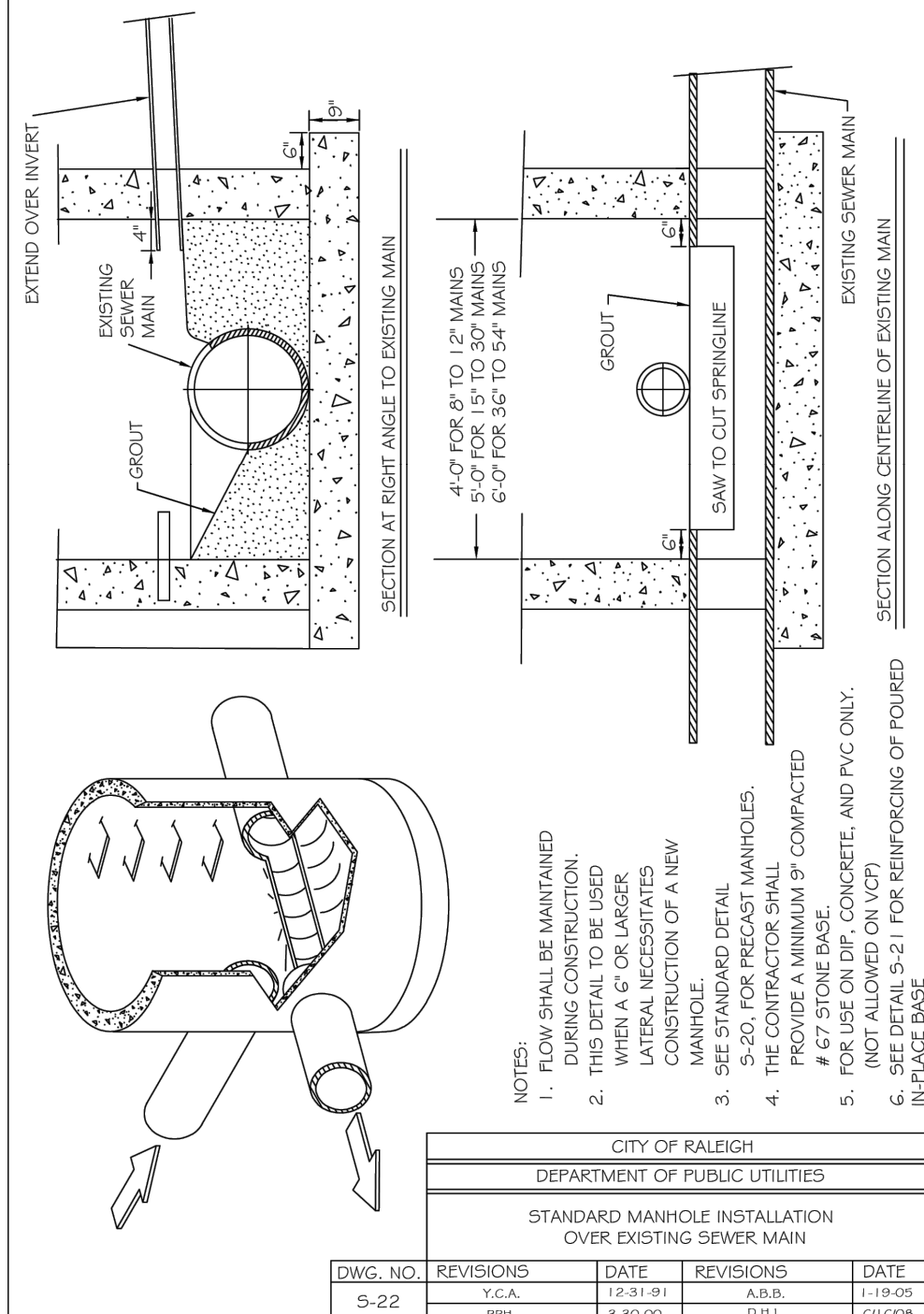
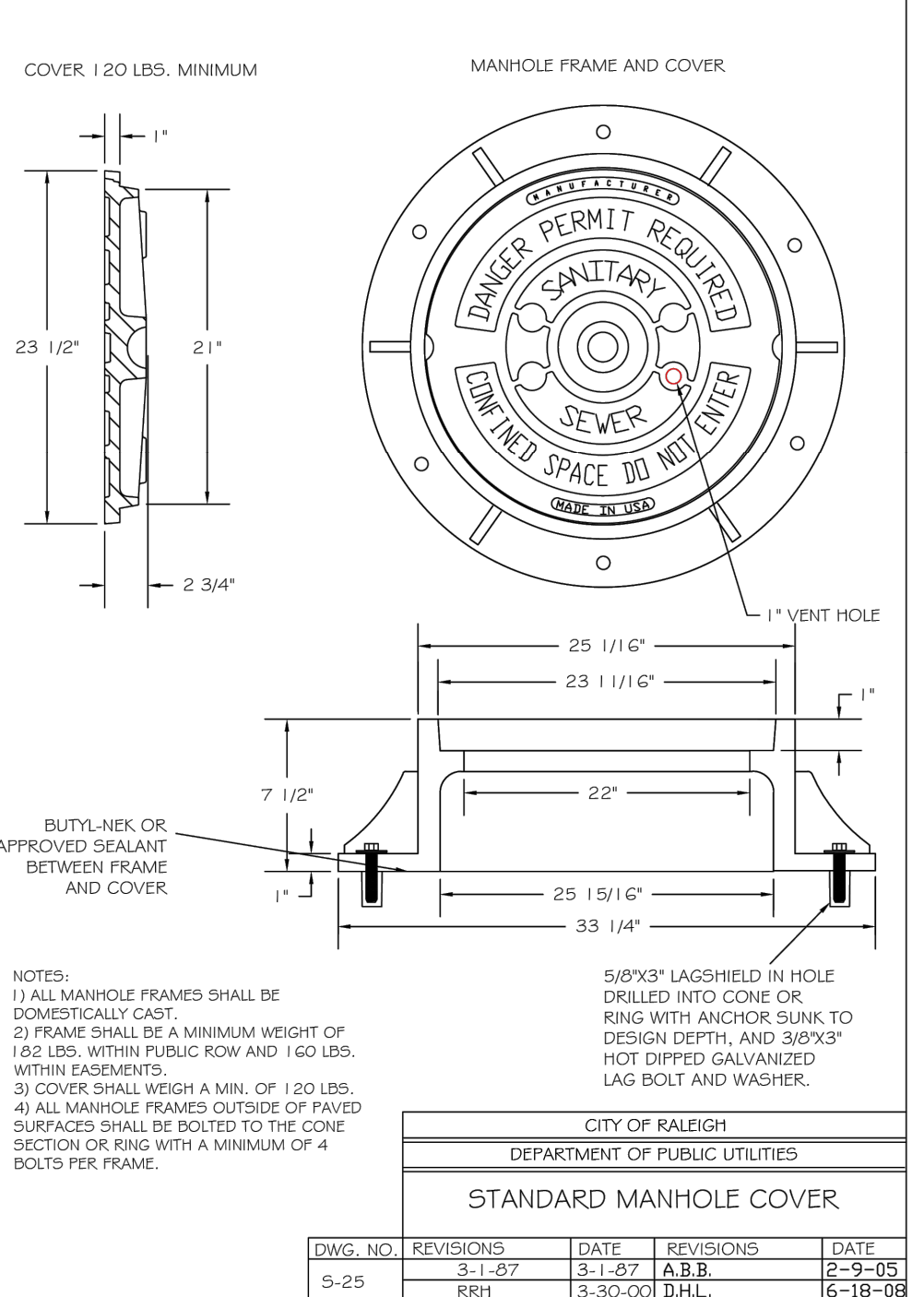
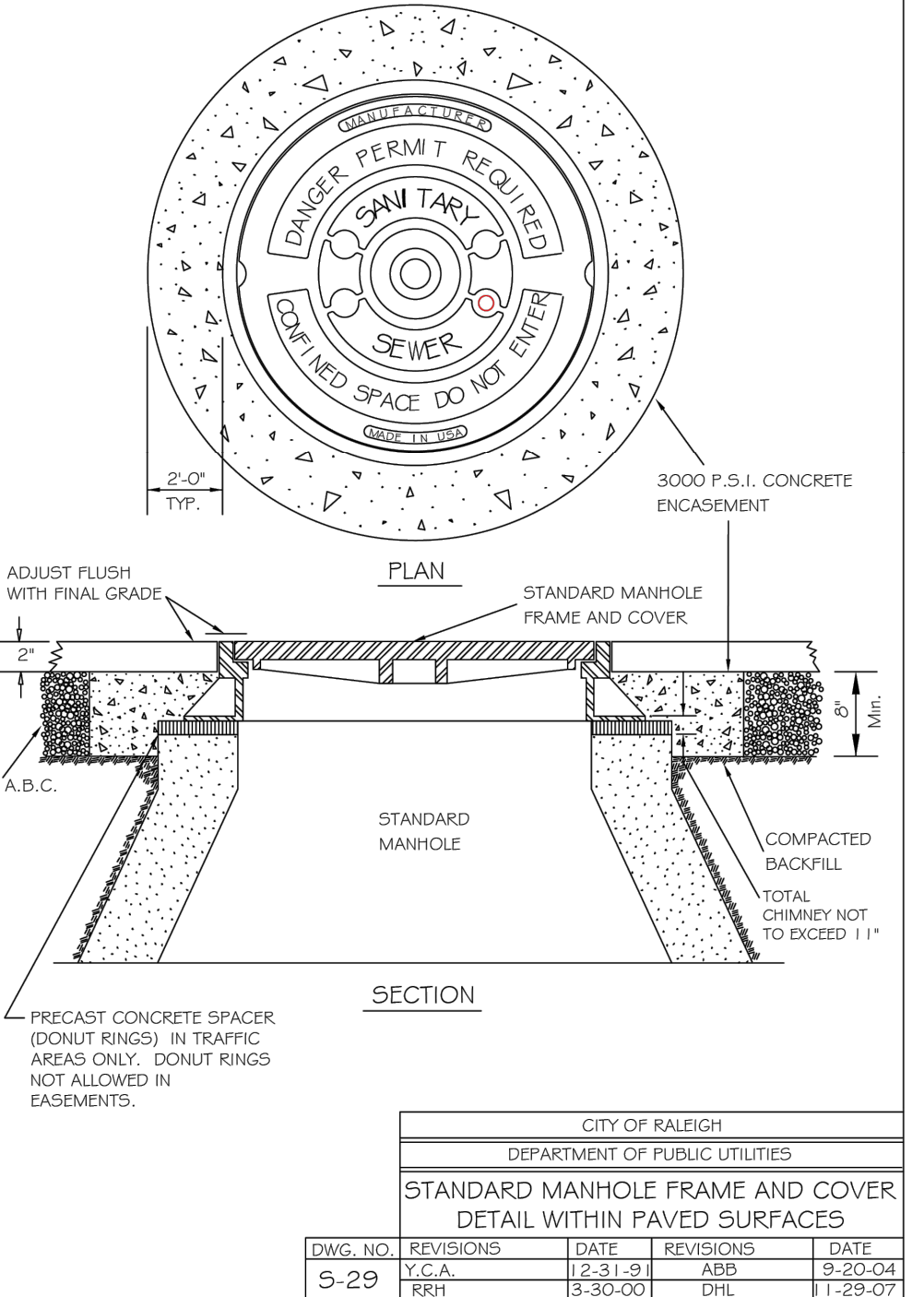
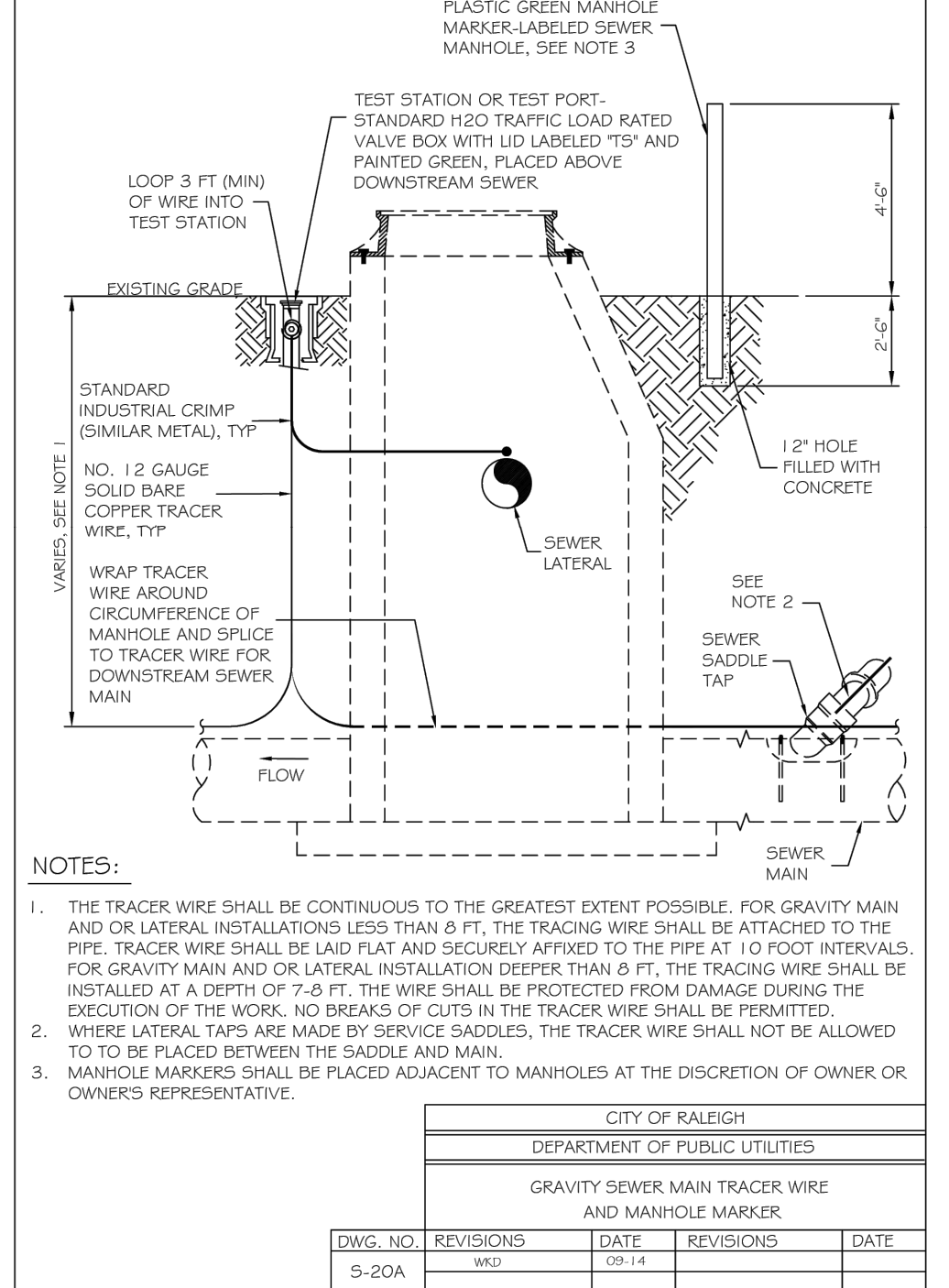
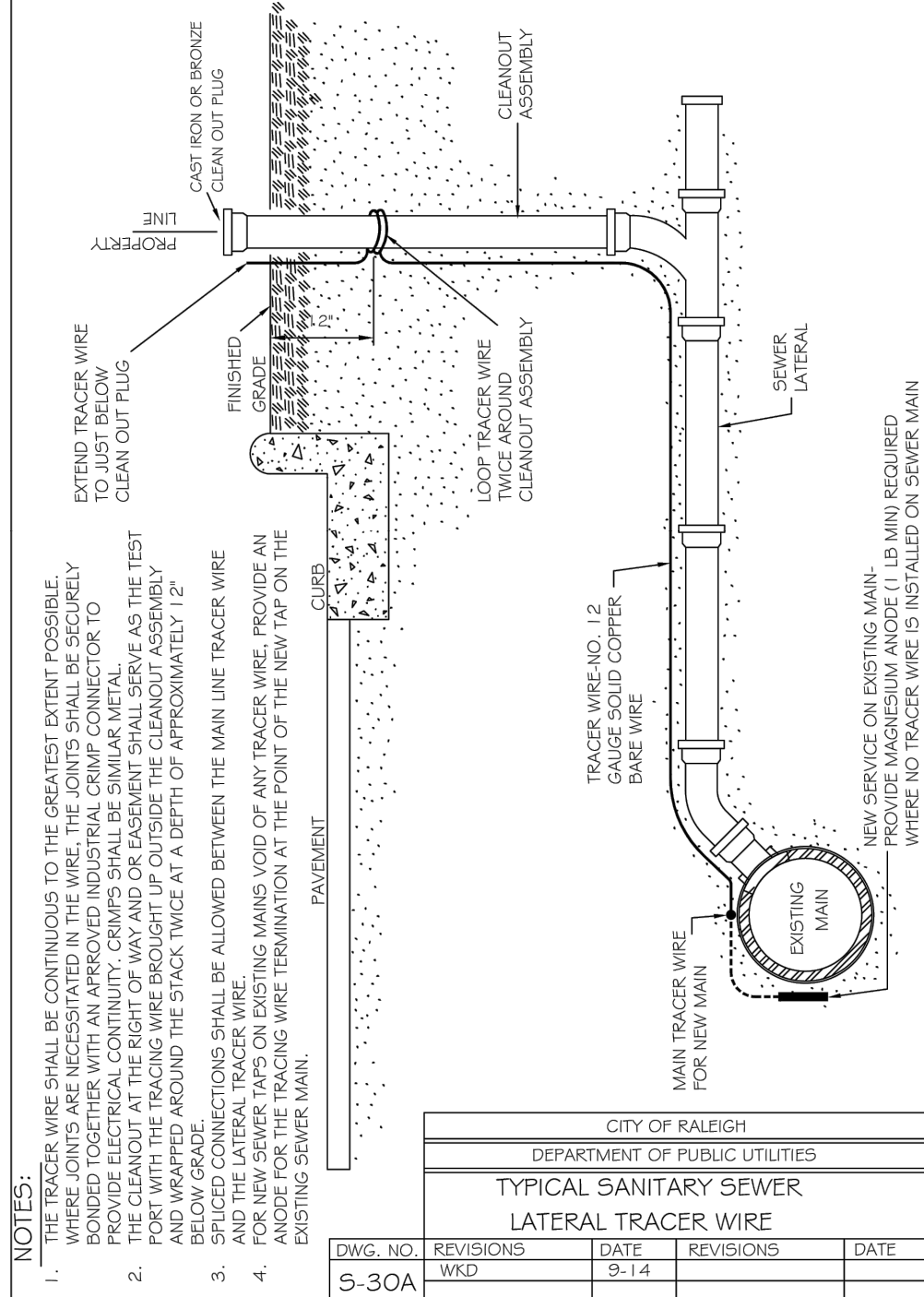
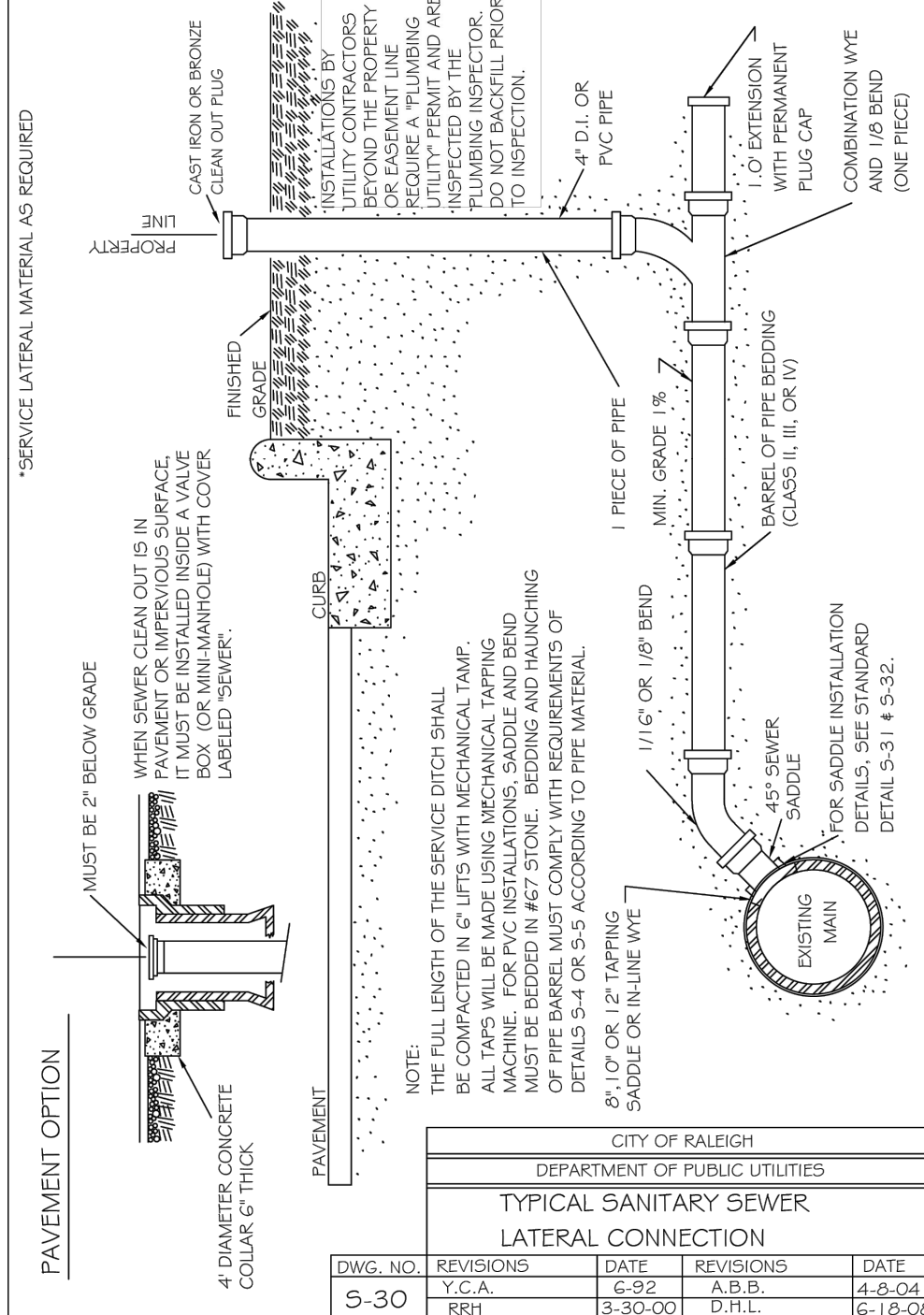
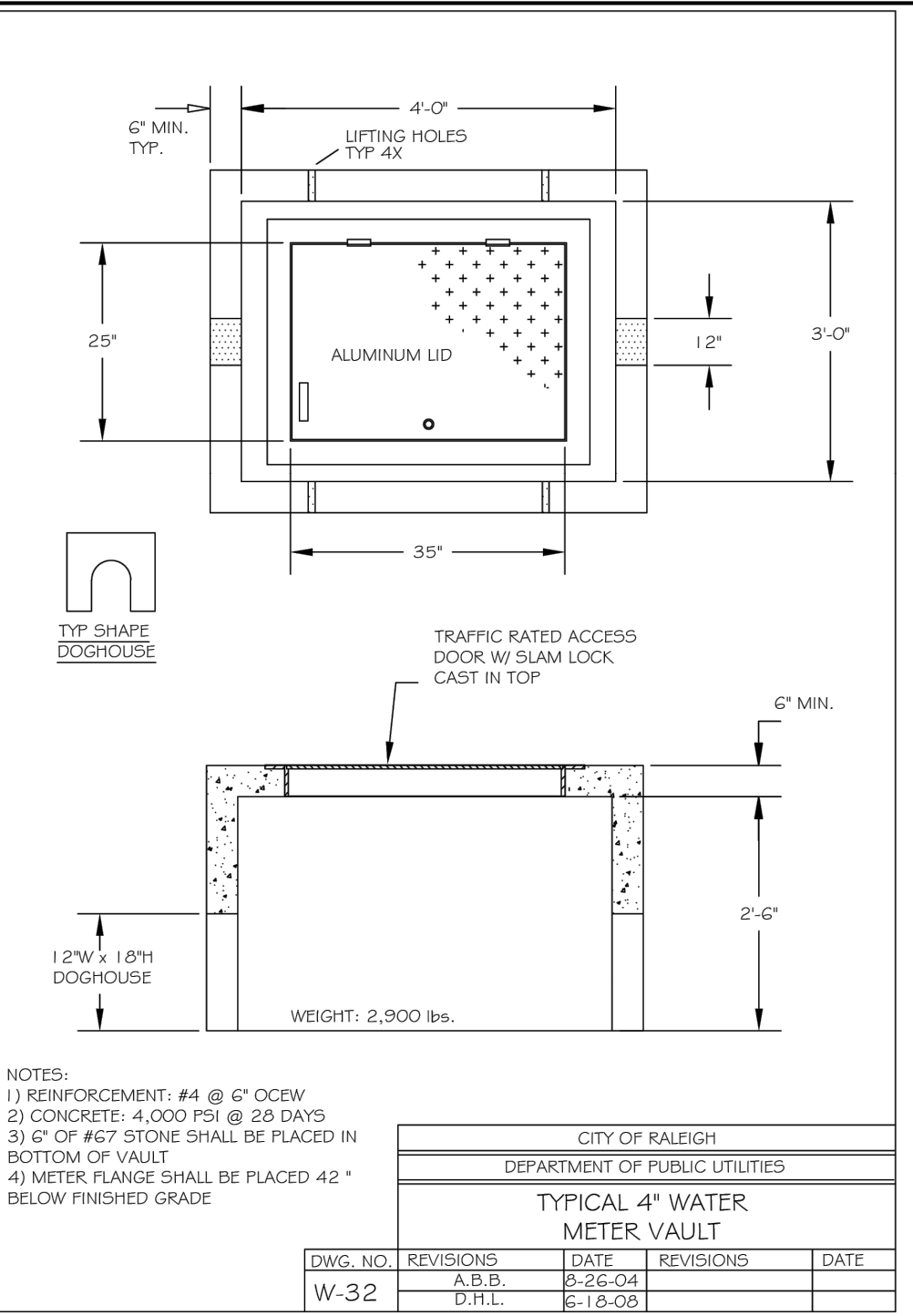
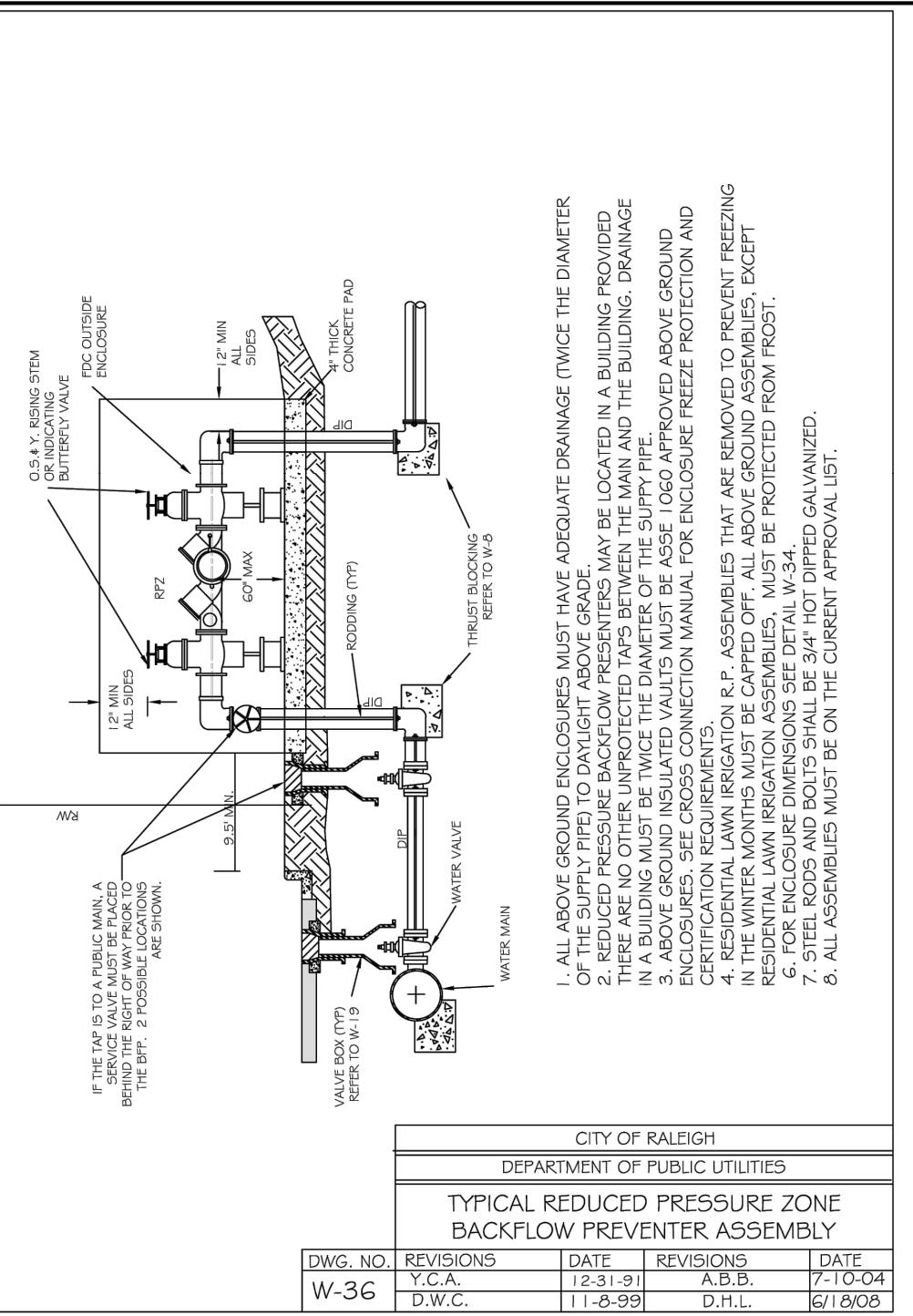
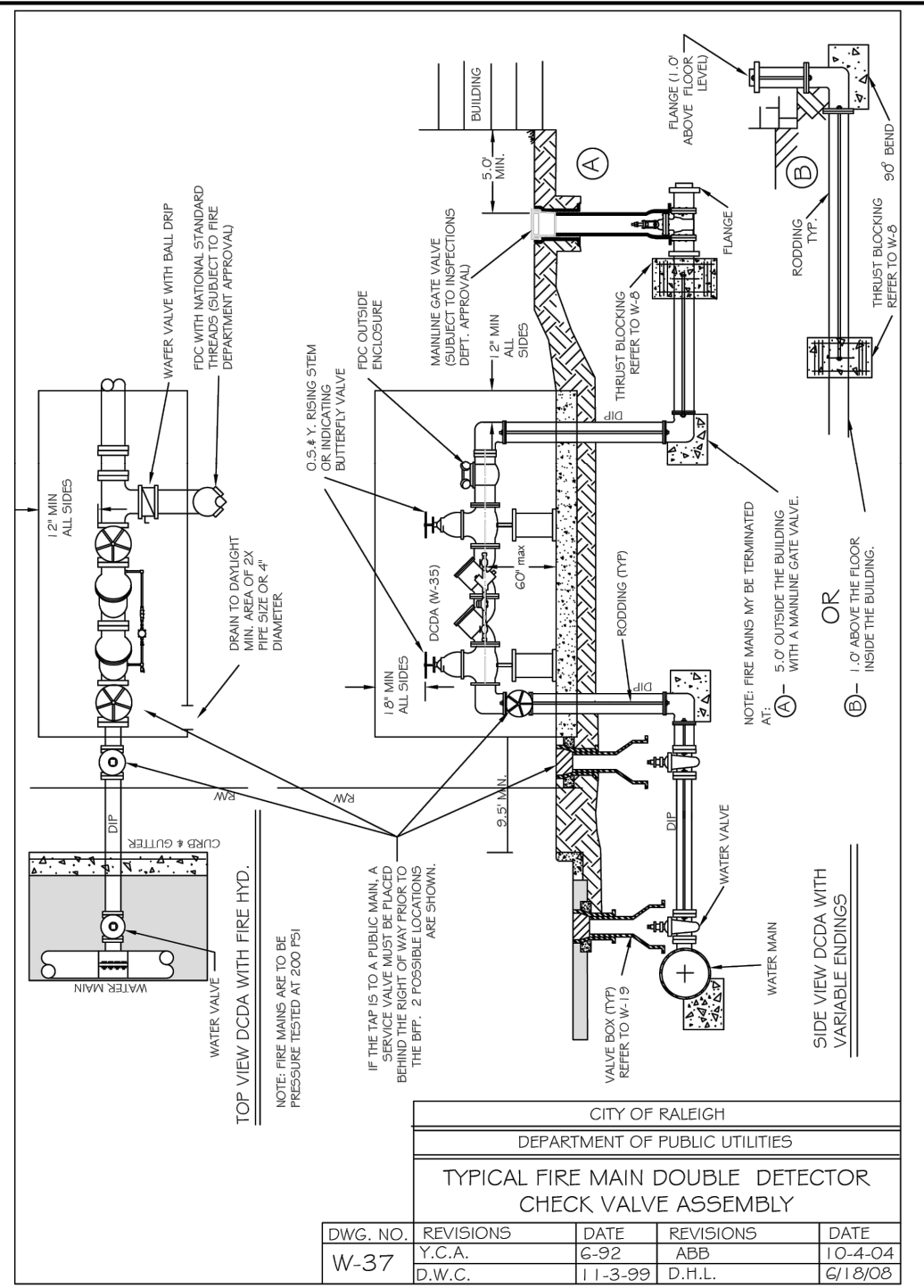
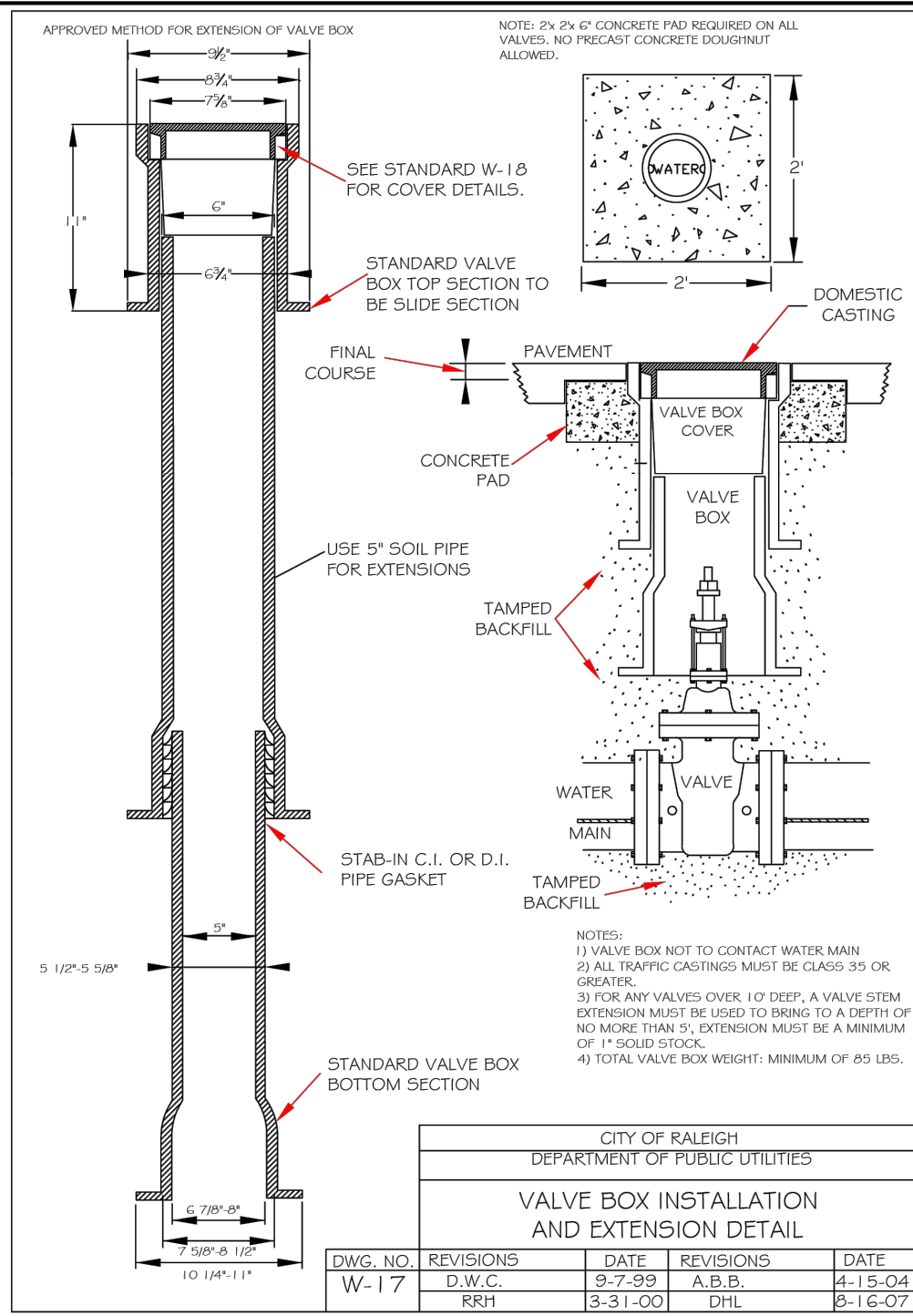
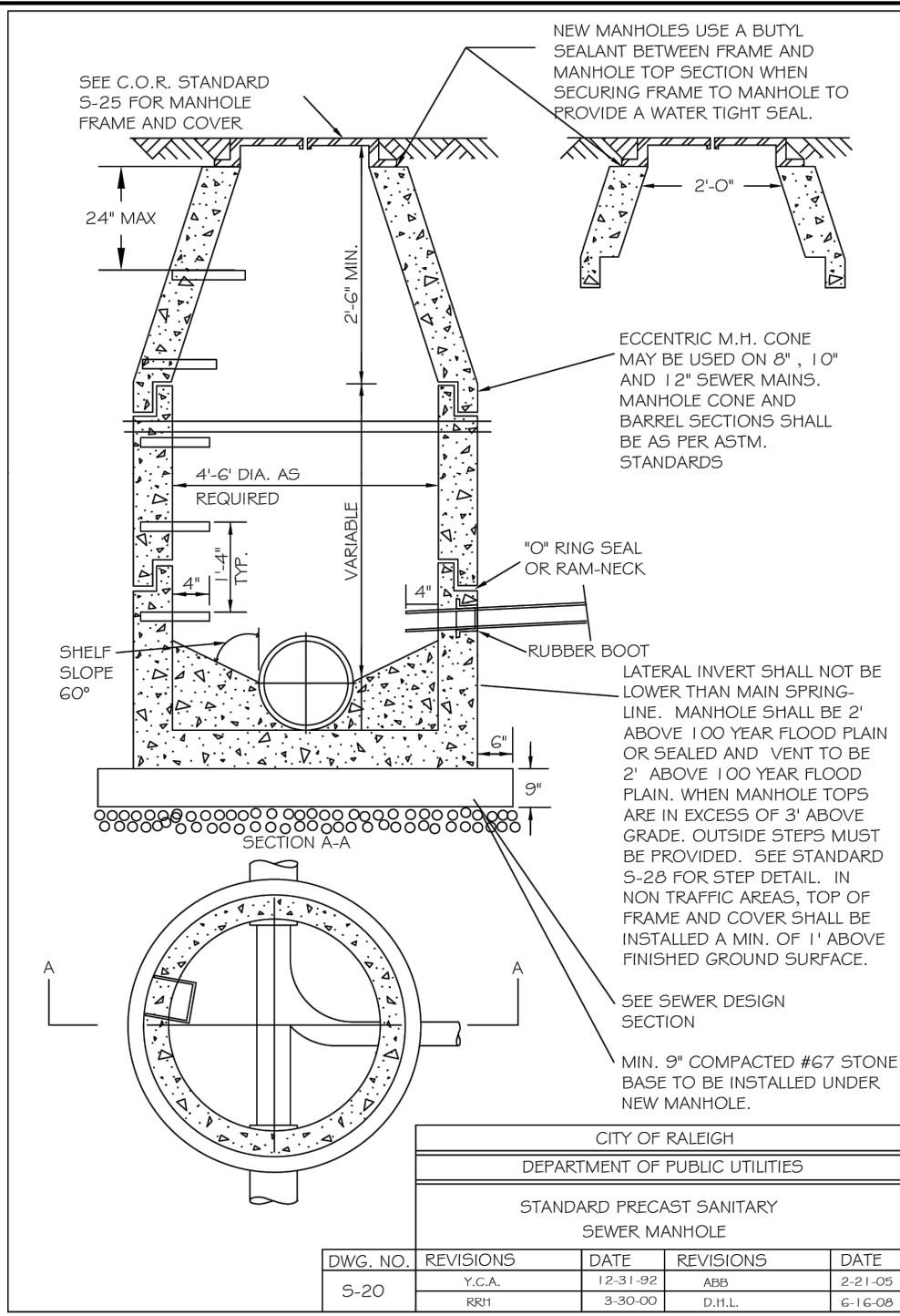
**Old Poole Rd. Multifamily
 Administrative Site Review**

Site Specifications & Details
 4900 Old Poole Rd., Raleigh, NC 27610

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-003
 Date: 05/12/2023
 Sheet No:

C-8.1



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Raleigh, NC 27601
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urbandesignpartners.com

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Minnetonka, MN 55305

Old Poole Rd. Multifamily Administrative Site Review

Site Specifications & Details

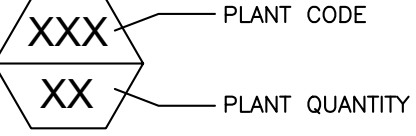
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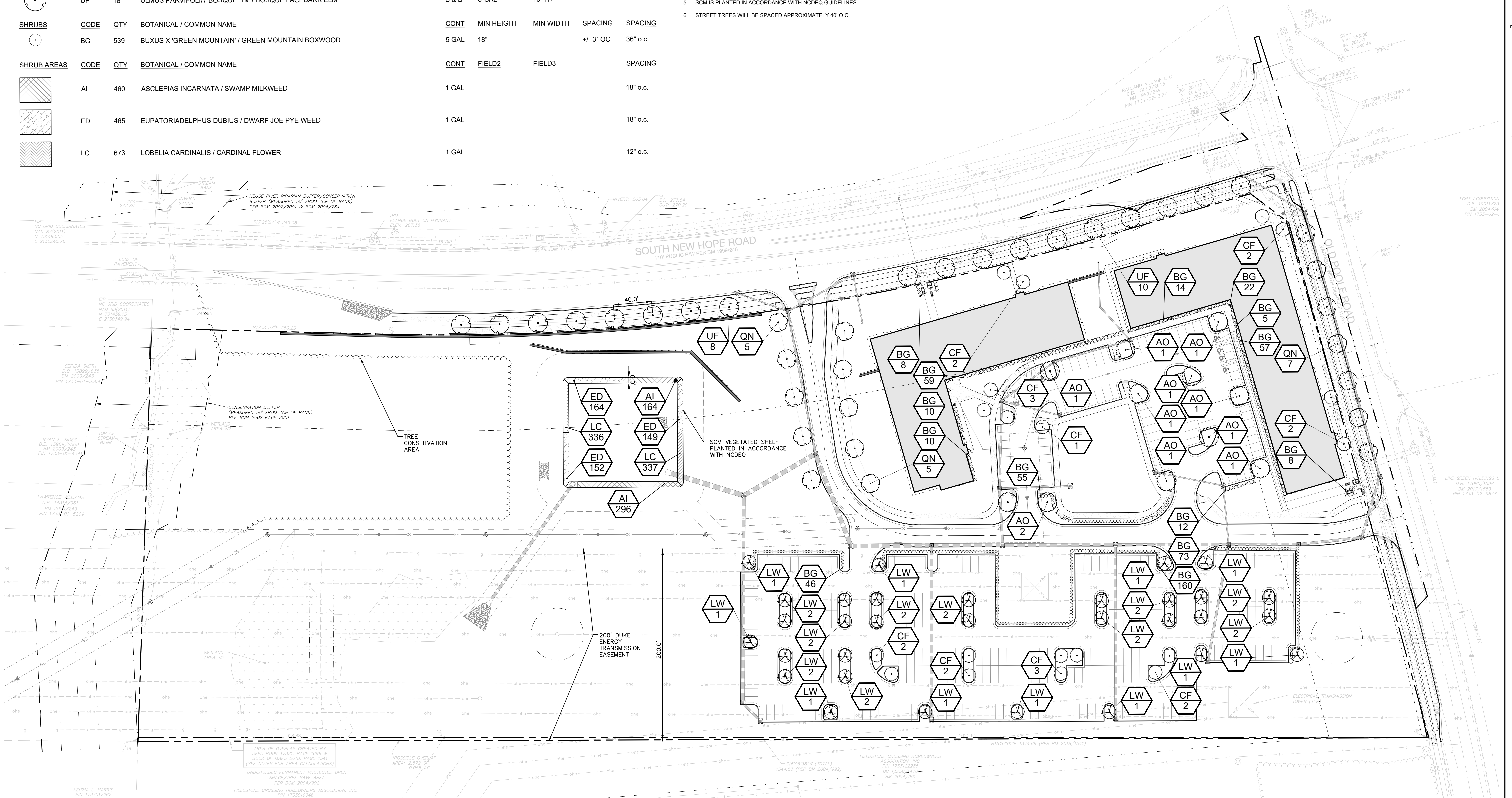
Project No: 22-RDU-003
Date: 05/12/2023
Sheet No:
C-8.2

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
	AO	11	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	B & B	3" CAL	10' HT	
	CF	19	CERCIS CANADENSIS 'FOREST PANSY' / FOREST PANSY EASTERN REDBUD	B & B	2" CAL	8' HT	
	LW	31	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE MULTI-TRUNK	B & B	1" PER CANE	6'-8" H	
	QN	17	QUERCUS NUTTALLII / NUTTALL OAK	B & B	3" CAL	10' HT	
	UF	18	ULMUS PARVIFOLIA 'BOSQUE' TM / BOSQUE LACEBARK ELM	B & B	3" CAL	10' HT	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	MIN HEIGHT	MIN WIDTH	SPACING
	BG	539	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	5 GAL	18"	+/- 3" OC	36" o.c.
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	FIELD2	FIELD3	SPACING
	AI	460	ASCLEPIAS INCARNATA / SWAMP MILKWEED	1 GAL			18" o.c.
	ED	465	EUPATORIADELPHUS DUBIUS / DWARF JOE PYE WEED	1 GAL			18" o.c.
	LC	673	LOBELIA CARDINALIS / CARDINAL FLOWER	1 GAL			12" o.c.



- NOTES:**
- IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
 - TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 4" DIAMETER MULCH RING.
 - LIMITS OF IRRIGATION INCLUDE DENOTED LANDSCAPE BEDS, ALL SOD/SEED AREAS, AND TREES NOT LOCATED IN A LANDSCAPE BED.
 - CITY TREE PLANTING AND PRESERVATION NOTES ON SHEET LS-2.0
 - SCM IS PLANTED IN ACCORDANCE WITH NCDEQ GUIDELINES.
 - STREET TREES WILL BE SPACED APPROXIMATELY 40' O.C.



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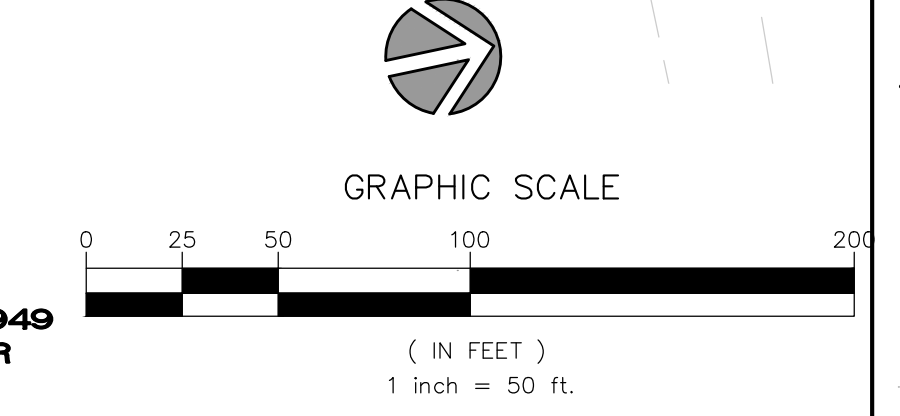
Landscape Plan
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TREE PLANTING & PRESERVATION REQUIREMENTS:

- PLANT MATERIAL**
- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL.
 - REQUIRED STREET TREES SHALL BE 3" IN CALIPER AND BE A MINIMUM OF 10' TALL PER CITY OF RALEIGH CITY TREE MANUAL.
 - ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GIRDLING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO TRUNK CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM CUT WILL NOT BE ACCEPTED.
 - SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
 - ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
 - A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
 - 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
 - ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).
 - TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NCDOT.
- UTILITY ISSUES**
- IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY SPECIALIST TO RESOLVE PRIOR TO UTILITY INSTALLATION.
 - IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
 - ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES.
 - NO LIGHT POLES, UTILITIES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
 - TREES MUST MAINTAIN A MINIMUM DISTANCE OF 20' FROM LIGHT POLES WITHIN THE RIGHT-OF-WAY. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

- TREE SAVE AND PRESERVATION**
- TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
 - SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
 - COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAN.
 - TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.
 - THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
 - ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPANIED WITHOUT MECHANIZED EQUIPMENT.
 - NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.
 - CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT PROTECTED TREES OR TREE SAVE AREAS, INCLUDING TREES LOCATED IN STREET RIGHT OF WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCRoACHING WITHIN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTON, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION CRANES.

- TOPSOIL/PLANTING MIX - MINIMUM REQUIREMENTS:**
- WHERE PAVEMENT CUTOUTS OR RENOVATED SITES ARE REQUIRED AND/OR WHERE NEW PLANTING STRIPS OR ISLANDS ARE REQUIRED, ALL PAVEMENT, CONSTRUCTION DEBRIS AND GRAVEL SUB-BASE MUST BE REMOVED BEFORE PREPARING SOIL AND PLANTING TREES. EXISTING COMPACTED SOIL MUST BE REMOVED AND REPLACED WITH 24" OF TOPSOIL/PLANTING MIX -OR- EXISTING SOIL MAY BE UNCOMPACTED TO A DEPTH OF 24" AND AMENDED TO MEET TOPSOIL STANDARDS FOR THE ENTIRE PLANTING AREA.
 - SOIL IN ALL PLANTING STRIPS OR ISLANDS, WHETHER EXISTING OR NEW (ON NEW OR RENOVATED SITES), MUST MEET THE MINIMUM TOPSOIL/PLANTING MIX SPECIFICATIONS. SOIL AMENDMENTS OR FRESH TOPSOIL/PLANTING MIX ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE ORIGINAL TOPSOIL IS OF POOR QUALITY, HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DURING GRADING.
 - TOPSOIL/PLANTING MIX SHOULD BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT, WITH ADMIXTURE OF SUBSOIL. IT SHOULD BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEUS MATTER. TOPSOIL SHOULD NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.
 - TOPSOIL/PLANTING MIX SHALL HAVE AN ACIDITY RANGE OF PH 5.5-7.0 AND THE FOLLOWING COMPOSITION:
 - CLAY (RED CLAY, WELL PULVERIZED) MINIMUM 10%; MAXIMUM 35%
 - COMPOST/ORGANIC MINIMUM 5%; MAXIMUM 10%
 - SILT MINIMUM 30%; MAXIMUM 50%
 - COARSE SAND (FREE OF ROCKS, 0.5 TO 1.0 MM F) MINIMUM 30%; MAXIMUM 45%

- *ORGANIC MATERIAL SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS.
- ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO INSURE PROPER TREE GROWTH AND SURVIVAL. THE FOLLOWING LEVEL OF NUTRIENT ELEMENTS IS RECOMMENDED FOR PROPER GROWTH:
 - CALCIUM 55 - 80%
 - MAGNESIUM 10 - 30%
 - POTASSIUM 5 - 8%

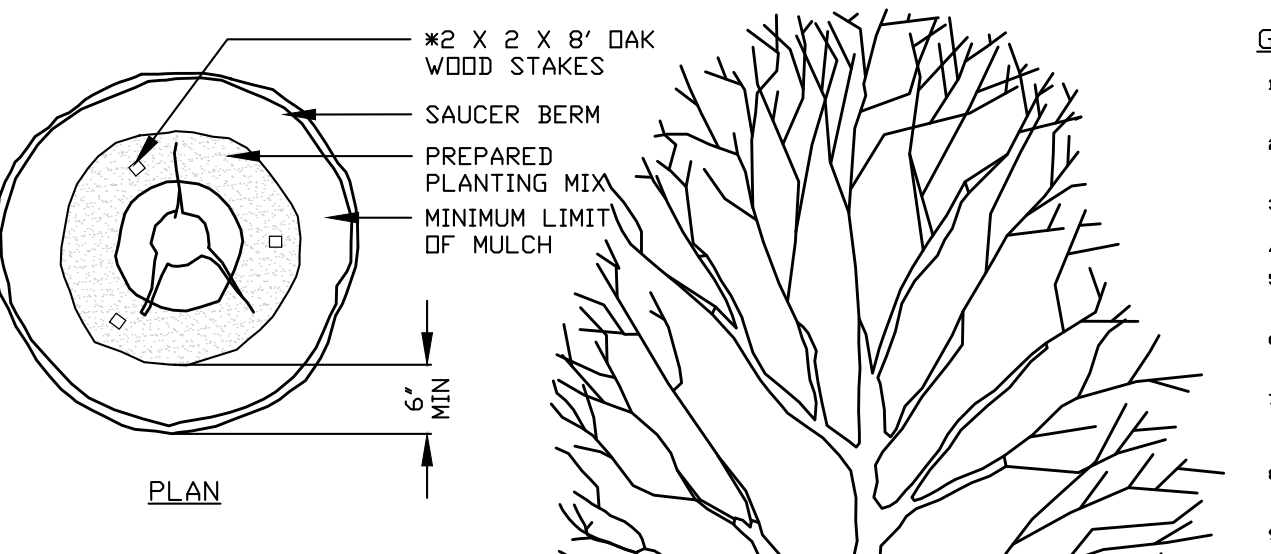
GENERAL PLANTING NOTES:

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVARS AND/OR VARIETIES AS INDICATED ON THE PLANT SCHEDULE. ANY SUBSTITUTIONS INSTALLED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL BE REJECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIALS DUE TO ON SITE CONDITIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL ARE SUBJECT TO RELOCATION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS SHALL BE SPECIMEN QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY STOCK AND SHALL CONFORM TO THE CODE OF STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- HEIGHT AND SPREAD DIMENSION SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50% OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
- SHADE TREES SHALL HAVE A STRONG CENTRAL LEADER UNLESS OTHERWISE SPECIFIED.
- LEAVES MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCULENCE PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
- PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
- PROVIDE 4" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE SINGLE HAMMERED HARDWOOD MULCH (UNLESS NOTED OTHERWISE). IT SHALL BE CLEAN, FRESH, AND FREE OF STICKS, BRANCHES, SOIL OR OTHER FOREIGN MATERIAL.
- BACKFILL PLANTING MIXTURE SHALL BE ONE PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR SHRUB BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT AT NURSERY OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BID SUBMITTAL IF REQUESTED BY LANDSCAPE ARCHITECT OR OWNER.
- THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL PROVIDE ONE COPY OF THE TEST RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED AS INDICATED BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
- FERTILIZER SHALL BE A COMPLETE FERTILIZER; 50% OF NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREA FORM. FERTILIZER SHALL BE DELIVERED TO THE SITE IN STANDARD SIZE UNDRAGED CONTAINERS WHICH SHOW THE HEIGHT, CHEMICAL ANALYSIS, AND MANUFACTURER. IT SHALL BE STORED IN A DRY LOCATION UNTIL ITS USE. FERTILIZER FOR TREES, SHRUBS, AND GROUNDCOVER AREAS SHALL BE A SLOW RELEASE TYPE AND SHALL BE APPLIED AS FOLLOWS:

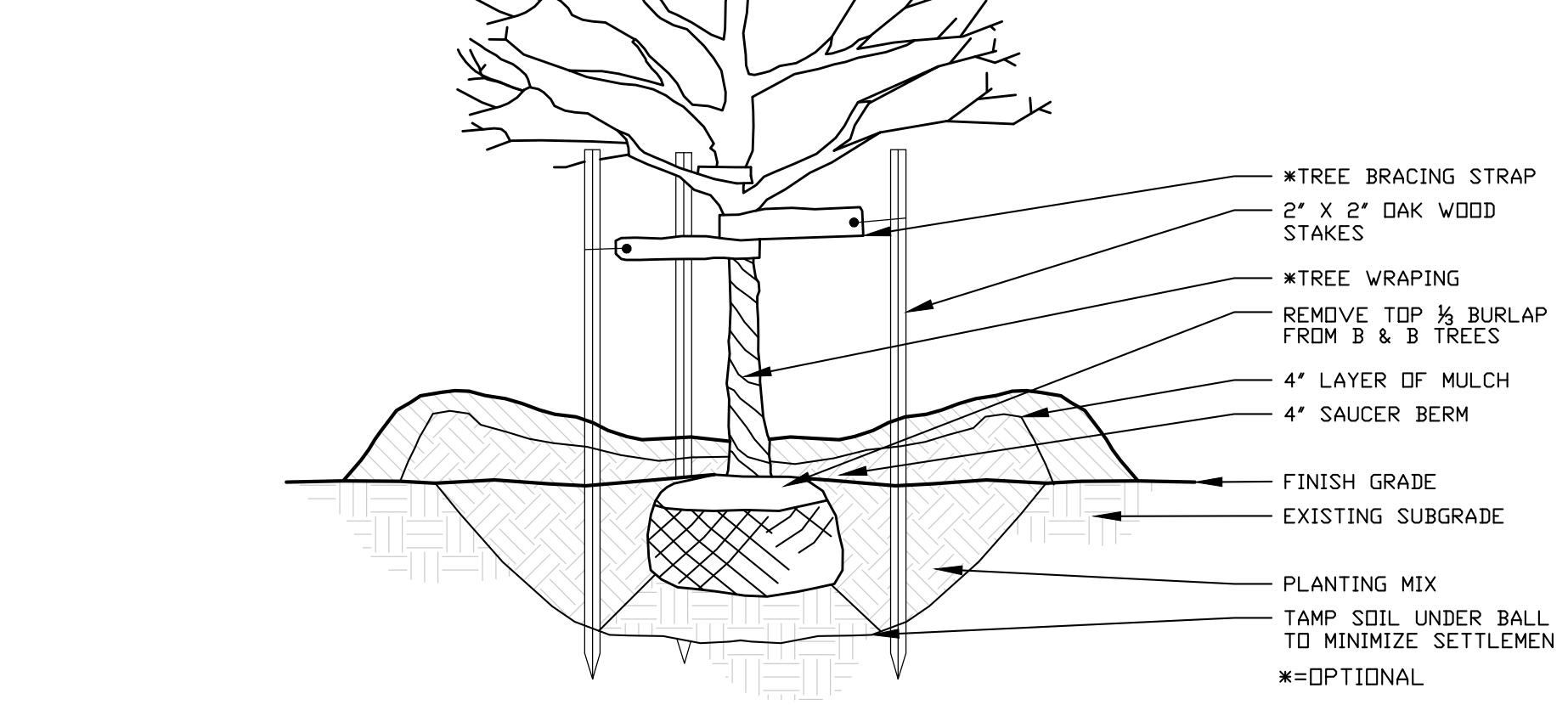
TREES AND SHRUBS		TREES: 1 LB / INCH OF CALIPER
MARCH-MAY	10-10-10	SHRUBS: 1/2 LB / INCH HEIGHT
JUNE-OCTOBER	6-10-10	
NOVEMBER-FEBRUARY	6-12-12	

- LANDSCAPE CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL TREE PITs. IF PITs DO NOT DRAIN WITHIN 30 MINUTES, CONTACT LANDSCAPE ARCHITECT AND DO NOT PLANT THE TREE WITHOUT ON SITE INSPECTION OF DRAINAGE. LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SUBSURFACE DRAIN LINES FROM THE TREE PITs.
- IF SURFACE DRAINAGE IS NOT SUFFICIENT (STANDING WATER) NOTIFY LANDSCAPE ARCHITECT IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIVABILITY OF THE PLANTS.
- ALL UNDERGROUND UTILITIES SHALL BE LOCATED BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UNDERGROUND OR OVERHEAD UTILITY LINES.
- CERTIFICATE OF INSPECTION AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION OF PLANT MATERIALS SHALL ACCOMPANY EACH INVOICE FOR EACH SHIPMENT OF PLANTS. CERTIFICATES SHALL BE FILED WITH LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF MATERIAL. INSPECTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE MATERIAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SUPPLIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THIS PROJECT.
- CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (I.e. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.).
- THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. WITHIN TEN DAYS NOTICE BY THE CONTRACTOR OF SUBSTANTIAL COMPLETION THE LANDSCAPE ARCHITECT WILL INSPECT THE PROPERTY. HE WILL EITHER APPROVE THE WORK FOR THE OWNER'S ACCEPTANCE OR WILL ISSUE A "PUNCH LIST" OF ITEMS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS SOON AS THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.
- AMENDED SOIL MEDIA REQUIREMENTS. A PLANTING MIX MAY BE DEVELOPED THAT WILL BE AN ACCEPTABLE PLANTING MEDIA BY AMENDING THE EXISTING SOIL OR BY REMOVING THE EXISTING SOIL AND REPLACING IT WITH NEW PLANTING MIX. THE PLANTING MIX SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH A MIXTURE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEUS MATTER. IT SHALL CONTAIN NO MAN MADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MIX SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION.

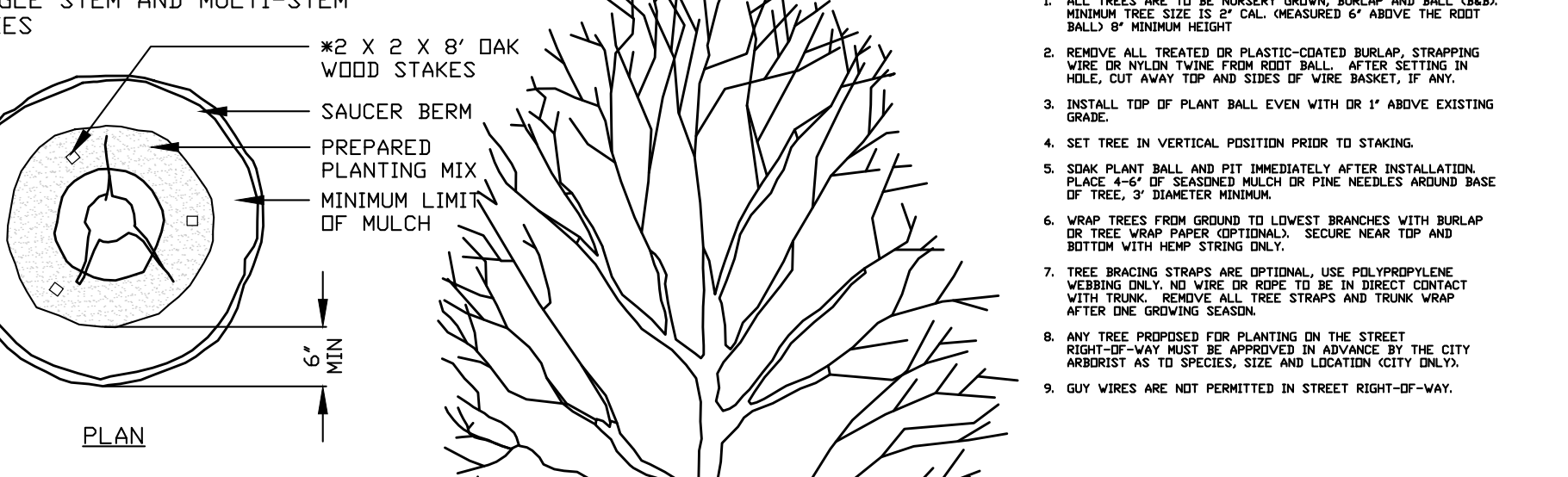
*NOTE: CONTRACTOR TO PROVIDE TEST SAMPLES OF AMENDED SOIL WITH TESTING DATA FOR ALL BED AREAS AMENDED ON SITE. TEST SAMPLES SHALL FALL WITHIN TOLERANCES SHOWN ABOVE. PLANTING SHALL NOT BEGIN UNTIL SOIL HAS BEEN AMENDED AND SOIL TEST SAMPLES HAVE BEEN REVIEWED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT.



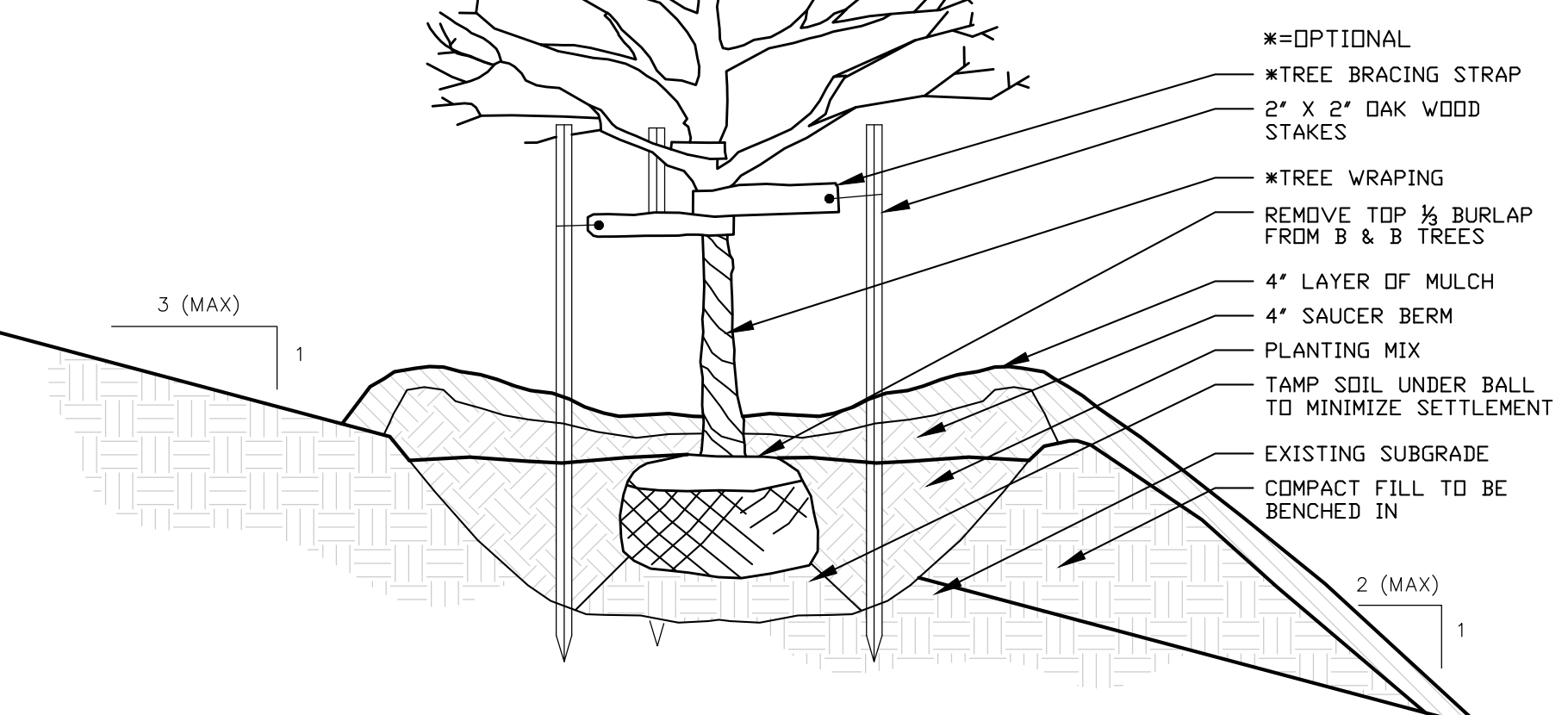
- GENERAL NOTES**
- ALL TREES ARE TO BE NURSERY GROWN BURLAP AND BALL ORB. MINIMUM TREE SIZE IS 2" CAL. MEASURED 6" ABOVE THE ROOT BALL BY MINIMUM HEIGHT.
 - REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING WIRE OR NYLON TWINE FROM ROOT BALL. AFTER SETTING IN HOLE, CUT AWAY TOP AND SIDES OF WIRE BASKET, IF ANY.
 - INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.
 - SET TREE IN VERTICAL POSITION PRIOR TO STAKING.
 - SOAK PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION. PLACE 4" LAYER OF SEASONED MULCH OR PINE NEEDLES AROUND BASE OF TREE, 3" DIAMETER MINIMUM.
 - WRAP TREES FROM GROUND TO LOWEST BRANCHES WITH BURLAP OR TREE WRAP PAPER (OPTIONAL). SECURE NEAR TOP AND BOTTOM WITH NEW STROPS ONLY.
 - TREE BRACING STRAPS ARE OPTIONAL. USE POLYPROPYLENE WEBBING ONLY. NO WIRE OR ROPE TO BE IN DIRECT CONTACT WITH TRUNK. REMOVE ALL TREE STRAPS AND TRUNK WRAP AFTER ONE GROWING SEASON.
 - ANY TREE PROPOSED FOR PLANTING ON THE STREET RIGHT-OF-WAY MUST BE APPROVED IN ADVANCE BY THE CITY ARBORIST AS TO SPECIES, SIZE AND LOCATION (SEE ONLY).
 - GUY WIRES ARE NOT PERMITTED IN STREET RIGHT-OF-WAY.



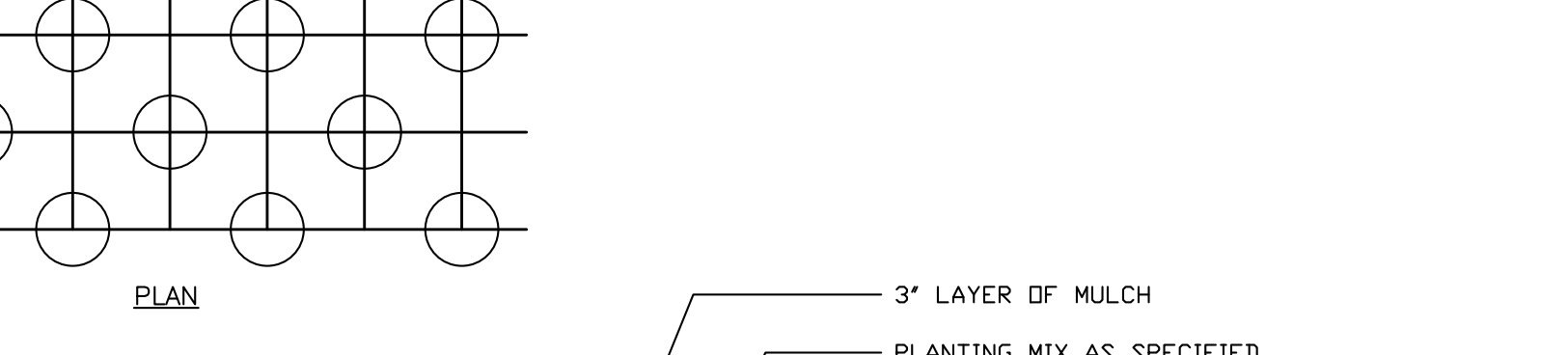
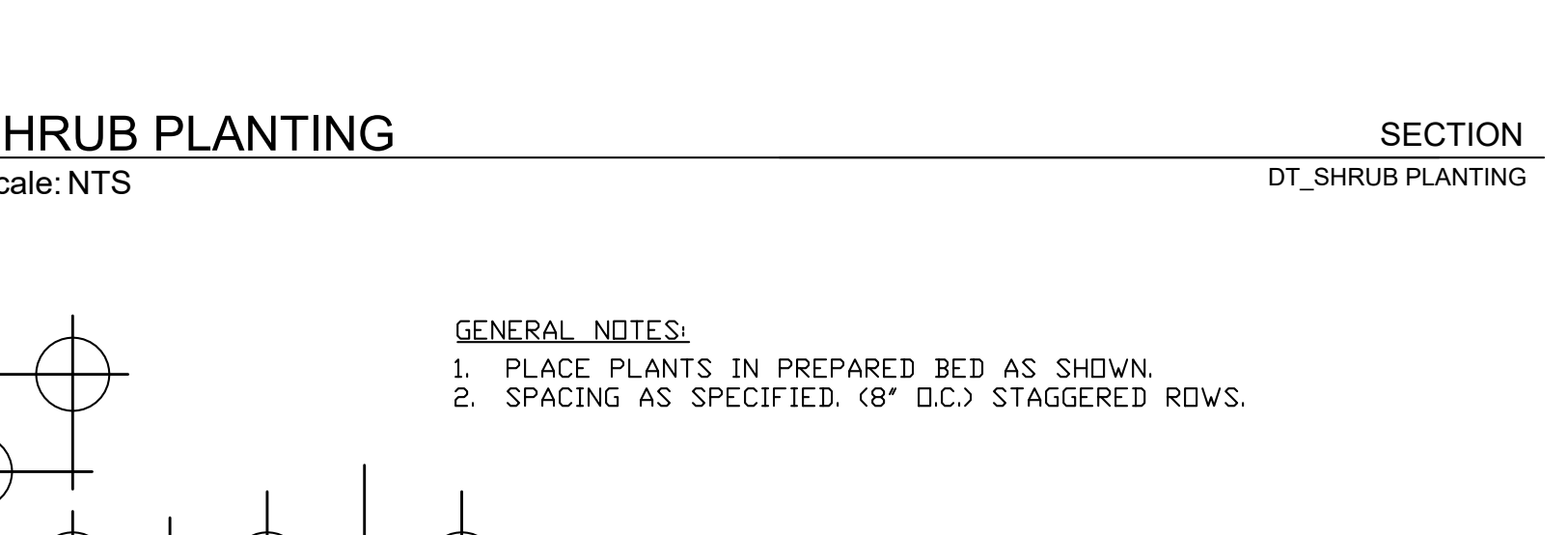
SECTION
DR_SINGLE STEM TREE STAKING



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 - GUY WIRES ARE NOT PERMITTED IN STREET RIGHT-OF-WAY.



SECTION
DT_SINGLE STEM TREE ON SLOPE STAKING



SECTION
DT_GROUNDCOVER PLANTING



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PRELIMINARY DRAWING
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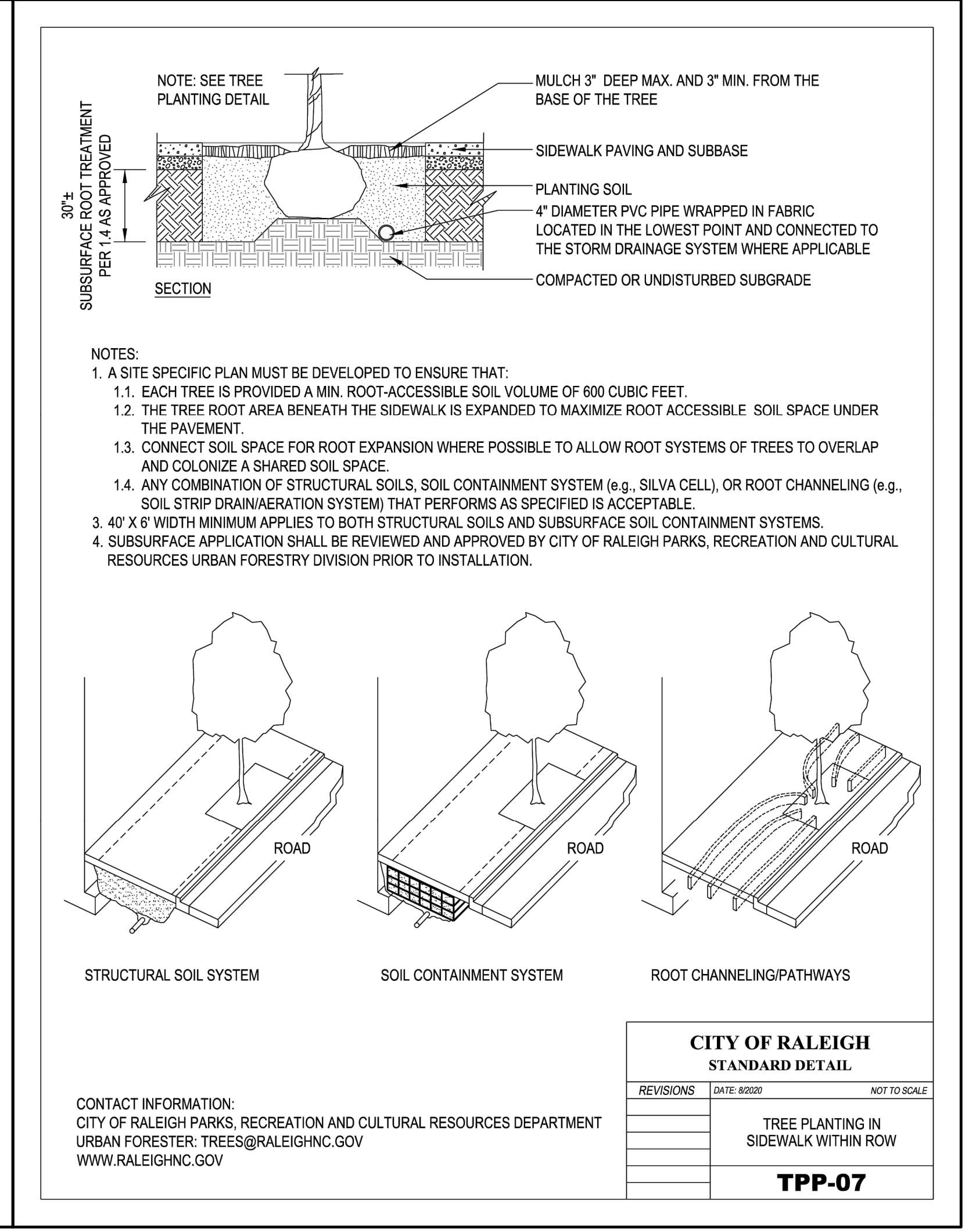
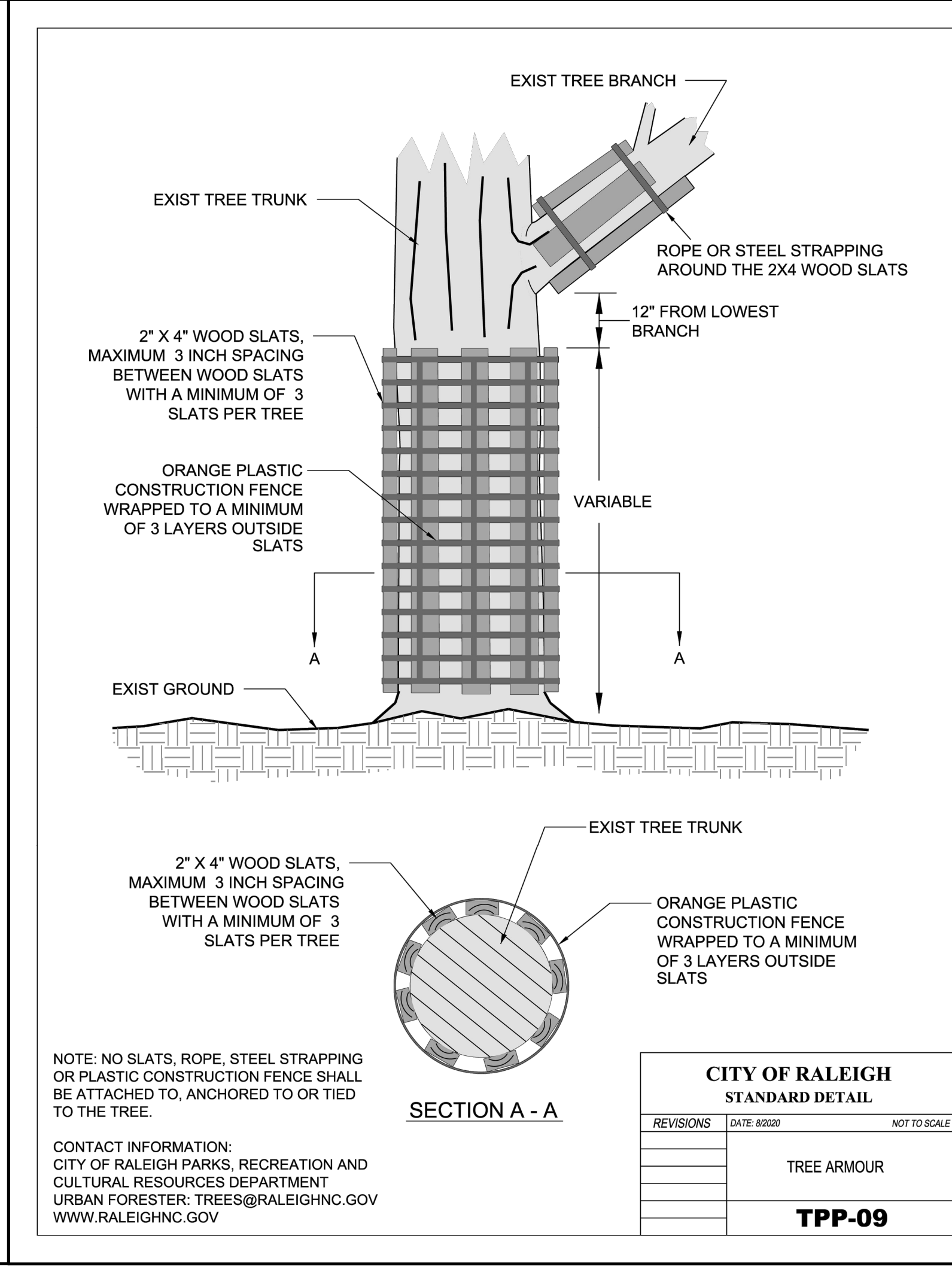
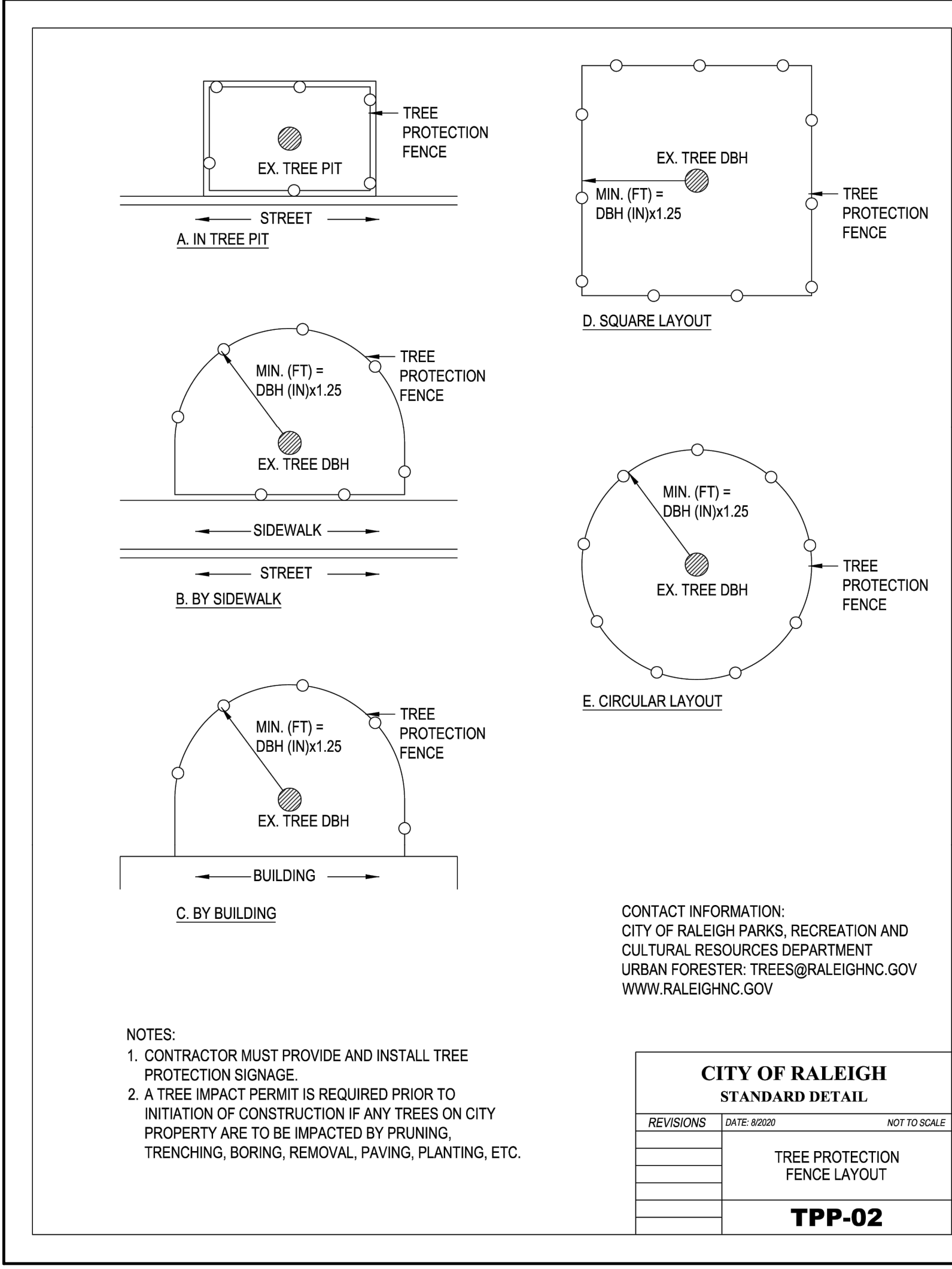
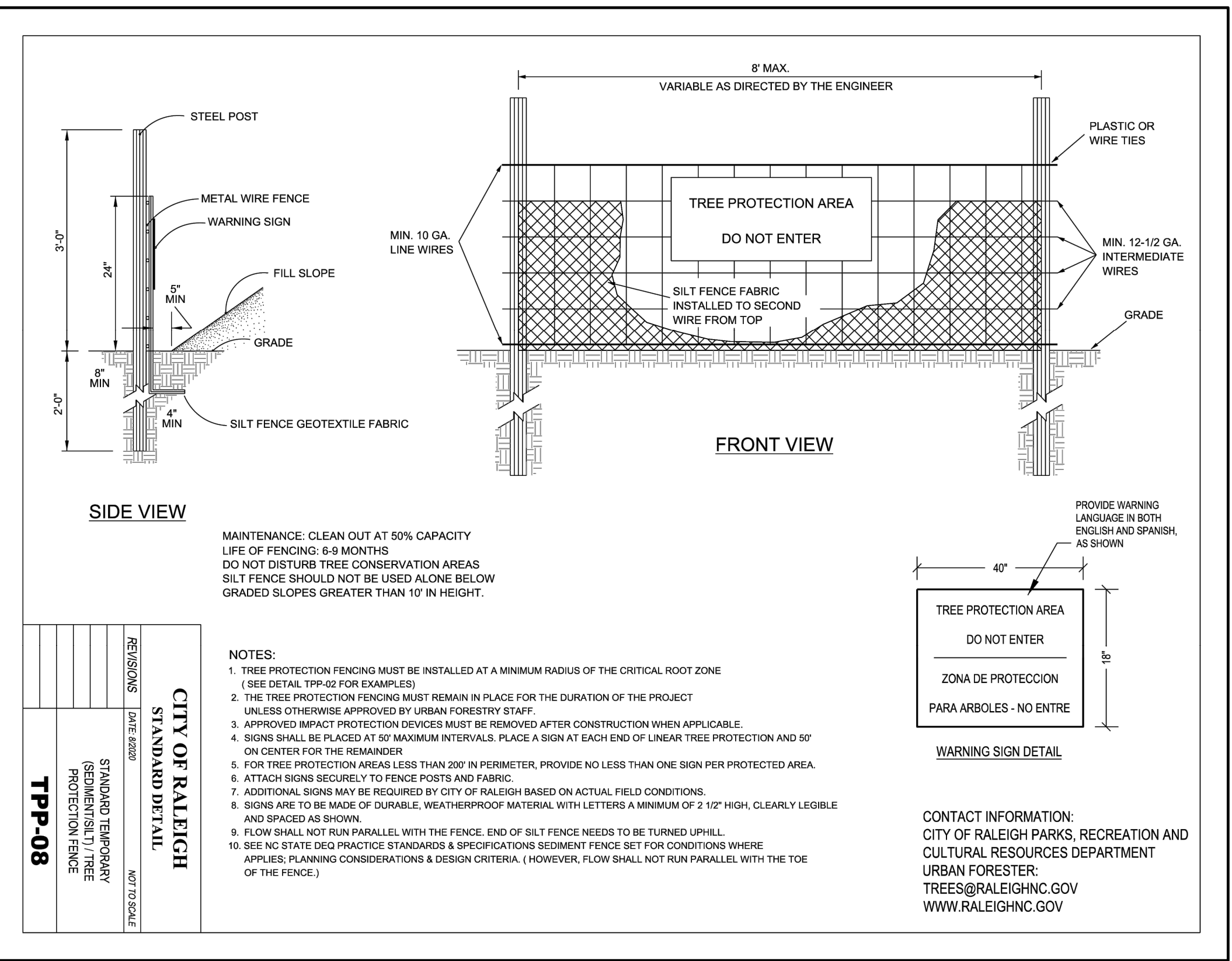
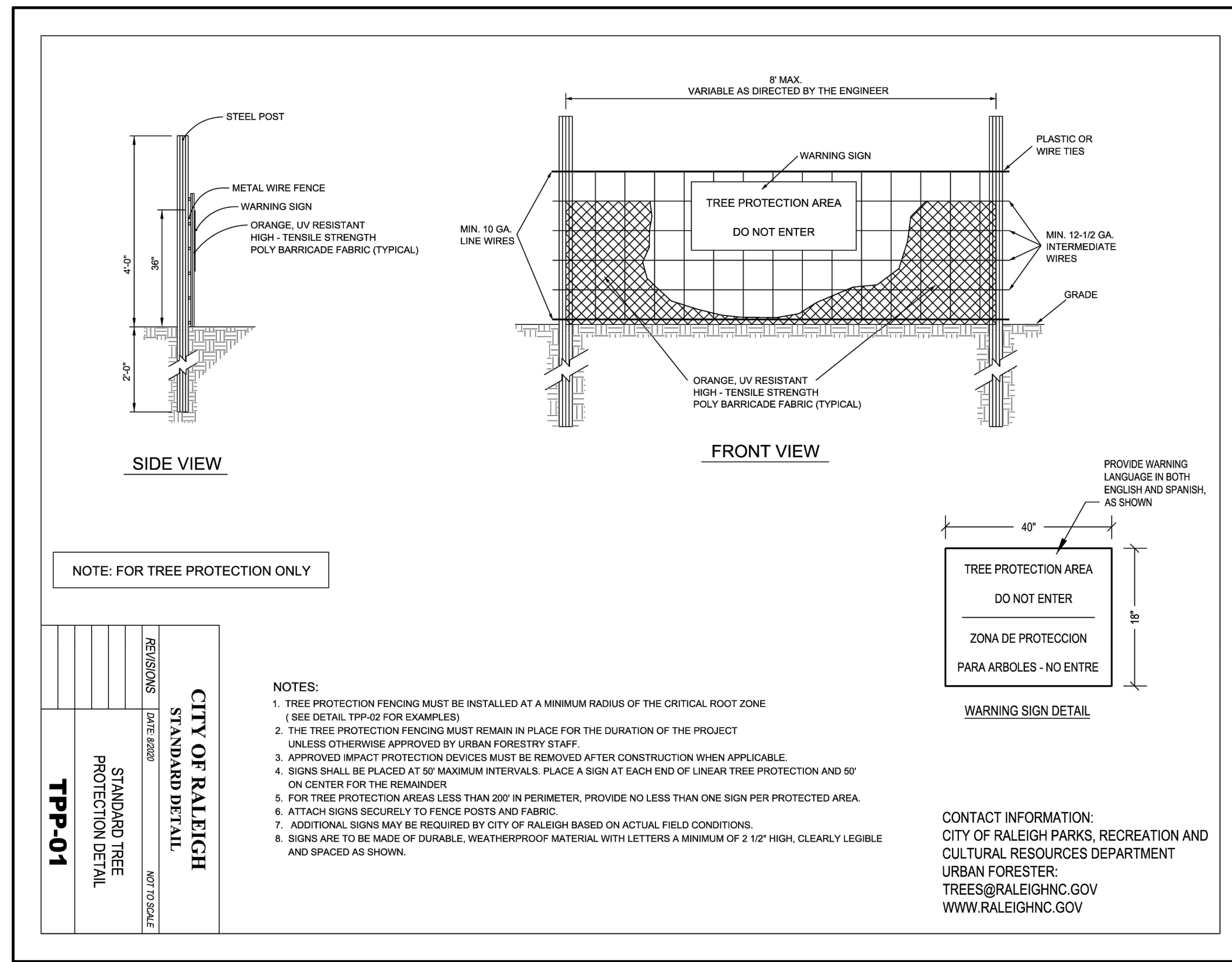
**Old Poole Rd. Multifamily
Administrative Site Review**
Landscape Notes & Details
4900 Old Poole Rd., Raleigh, NC 27610

NO. DATE: BY: REVISIONS:

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Project No: 22-RDU-003
Date: 05/12/2023
Sheet No:

LS-2.0



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raleigh, nc 27601
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05/12/2023

Roers Companies
110 Cheshire Lane, Suite 120
Minnetonka, MN 55305

**Old Poole Rd. Multifamily
Administrative Site Review**
Landscape Details
4900 Old Poole Rd., Raleigh, NC 27610

NO.	DATE:	BY:	REVISIONS:

Project No: 22-RDU-003
Date: 05/12/2023
Sheet No:

GENERAL NOTES

- A. BUILDING FOUNDATIONS MUST HAVE A MINIMUM OF 12" EXPOSED BRICK ABOVE FINISHED GRADE (AFTER LANDSCAPING)
- B. PROVIDE SEAMLESS GUTTERS AND ALUMINUM DRIP EDGES.
- C. ALL ROOF COVERINGS MUST HAVE A MINIMUM 30-YEAR WARRANTY.
- D. ALL WINDOWS WILL BE INSULATED, DOUBLE PANE, VINYL MEETING CURRENT NORTH CAROLINA MODEL ENERGY CODE.

OLD POOLE ROAD

ROERS COMPANIES

4900 Old Poole Rd. Raleigh, NC.

PROJECT NO:	123456
DATE:	August 25, 2022
REVISIONS	
DATE	DESCRIPTION

BUILDING A ELEVATIONS

A4.1.1



4 BUILDING A WEST ELEVATION
 A2.1.1 | A4.1.1 | 1/16" = 1'-0"



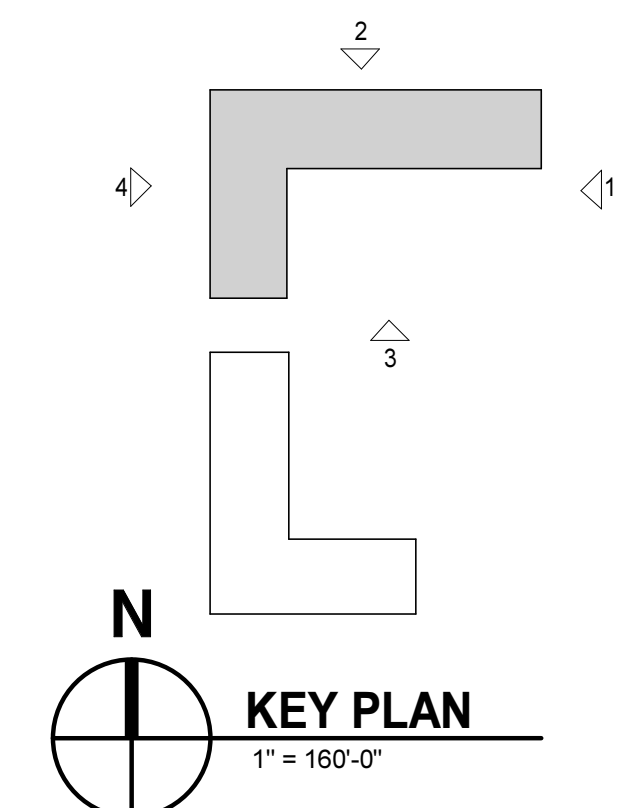
3 BUILDING A SOUTH ELEVATION
 A2.1.1 | A4.1.1 | 1/16" = 1'-0"



2 BUILDING A NORTH ELEVATION
 A2.1.1 | A4.1.1 | 1/16" = 1'-0"



1 BUILDING A EAST ELEVATION
 A2.1.1 | A4.1.1 | 1/16" = 1'-0"

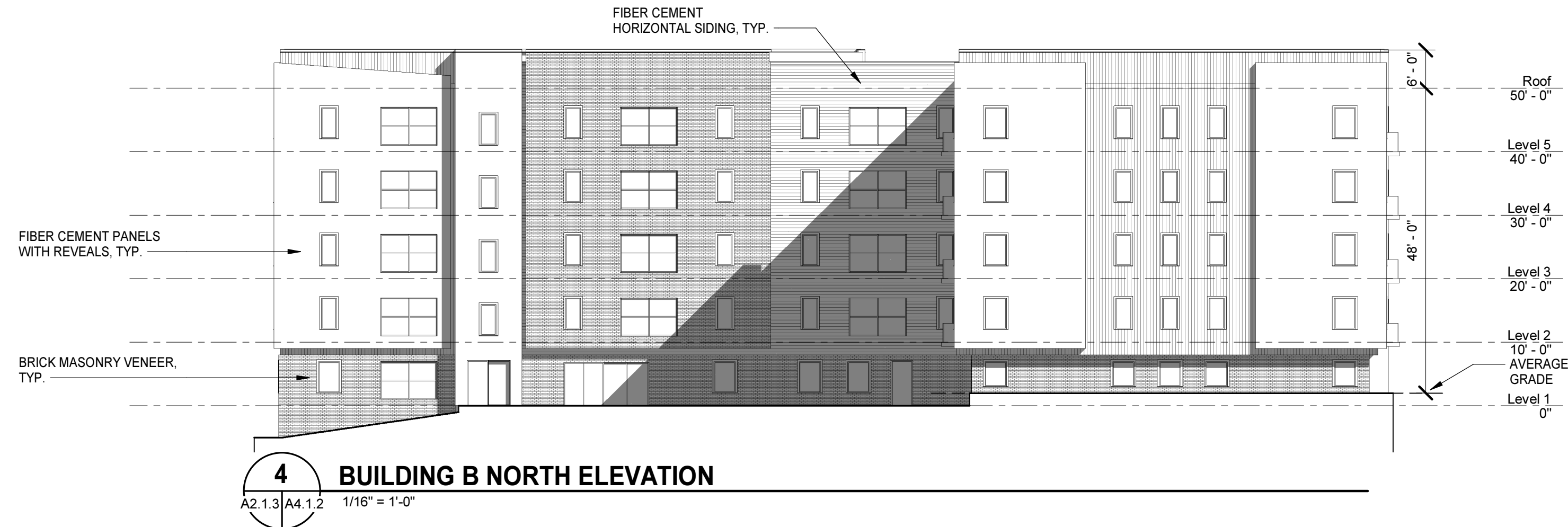


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GENERAL NOTES

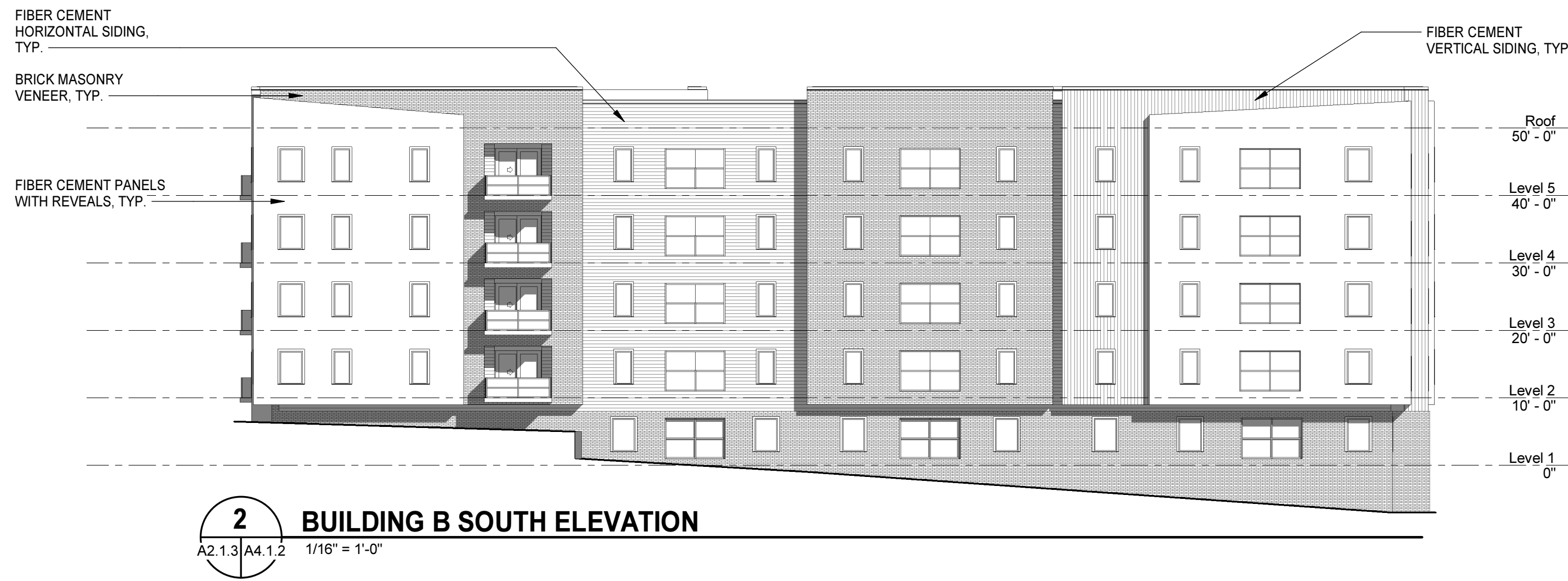
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4 BUILDING B NORTH ELEVATION



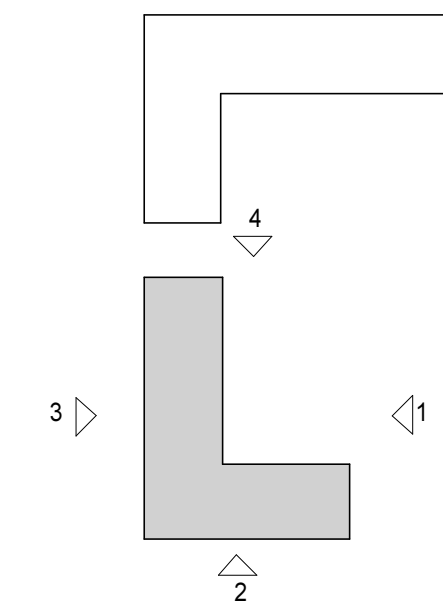
3 BUILDING B WEST ELEVATION



2 BUILDING B SOUTH ELEVATION



1 BUILDING B EAST ELEVATION



KEY PLAN

OLD POOLE ROAD

ROERS COMPANIES

4900 Old Poole Rd. Raleigh, NC.

PROJECT NO:	123456
DATE:	August 25, 2022
REVISIONS	
DATE	DESCRIPTION

BUILDING B ELEVATIONS

A4.1.2