

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

## GENERAL INFORMATION

Development name: \_\_\_\_\_

Inside City limits? Yes  No

Property address(es): \_\_\_\_\_

Site P.I.N.(s): \_\_\_\_\_

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Current Property Owner(s):

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

### Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner:  Lessee or contract purchaser  Owner’s authorized agent  Easement holder

Company: \_\_\_\_\_ Address: \_\_\_\_\_

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 

Date:

Printed Name:

Signature:

Date:

Printed Name:

**Administrative Site Review Application**

Planning and Development Customer Service Center • One Exchange Place, Suite 405 | Raleigh, NC 27601 | 919-996-2000



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.B. Please check the appropriate building types and include the plan checklist document when submitting.  
 Office Use Only: Case # \_\_\_\_\_ Planner (print): \_\_\_\_\_  
 Please review UDO Section 10.2.B. to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached	General
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use
<input type="checkbox"/> Townhouse	Civic
<input type="checkbox"/> Apartment	College Court
<input type="checkbox"/> Tiny house	Frequent Transit
<input type="checkbox"/> Open lot	Development Option

**GENERAL INFORMATION**

Development name: 320 W. Cabarrus  
 Inside City limits? Yes  No   
 Property address(es): 320 W. Cabarrus Street  
 Site P.I.N. (s): 1703570151  
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 New 3-story mixed-use building with associated surface parking and utilities

**Current Property Owner(s):** NORTH CAROLINA RAILROAD COMPANY  
 Company: NORTH CAROLINA RAILROAD COMPANY | Title: Registered Agent  
 Address: 2809 Highwoods Blvd  
 Phone #: 919-954-7601 | Email: \_\_\_\_\_  
**Applicant Name (if different from owner. See "who can apply" in instructions):** Jonathan Balderson  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
 Company: McAdams | Address: 621 Hillsborough St, Suite 500, Raleigh NC 27603

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 Revision 08/13/16  
 raleighnc.gov

Phone #: 919-884-6353 | Email: jason.vamer@redgate-rc.com  
**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**  
**Developer Contact:** Jason Vamer | Title: Project Manager  
 Company: Redgate | Title: Project Manager  
 Address: 501 Fayetteville St, Suite 220, Raleigh 27601  
 Phone #: 919-884-6353 | Email: jason.vamer@redgate-rc.com  
**Applicant Name:** Jonathan Balderson  
 Company: McAdams | Address: 621 Hillsborough St, Suite 500, Raleigh NC 27603  
 Phone #: 919-287-0815 | Email: balderson@mcadamsco.com

**DEVELOPMENT TYPE - SITE DATA TABLE**  
 (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): DX-20-SH-CU	Existing gross floor area (not to be demolished): 0
Gross site acreage:	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 40	New gross floor area: 29,080
Max # parking permitted (7.1.2.C): 177	Total # of gross (to remain and new): 29,080
Overlay District (if applicable): n/a	Proposed # of buildings: 1
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Retail/office	Proposed # of basement levels (UDO 1.5.7.A.6):

**STORMWATER INFORMATION**

Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf): 0.00   Proposed total (sf): 23,080	Existing (sf): 0.00   Proposed total (sf): 42,272

**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units: n/a	Total # of hotel bedrooms: n/a
# of bedroom units: 1st <sup>10</sup> 2nd <sup>10</sup> 3rd <sup>10</sup>	4th or more <sup>10</sup>
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	Is a frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

**APPLICANT SIGNATURE BLOCK**  
 Pursuant to state law (N.C. Gen. Stat. § 160C-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessment.  
 Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.  
 By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160C-403(a)) to make the application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160C-403(f).  
 The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herein, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.  
 The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b-1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
 Printed Name: \_\_\_\_\_ Date: \_\_\_\_\_

# 320 W CABARRUS

400 S WEST STREET  
 RALEIGH, NORTH CAROLINA 27601  
**ADMINISTRATIVE SITE REVIEW**  
 CITY OF RALEIGH CASE# ASR-XXXX-XXXX  
 PROJECT NUMBER: RDG23002  
 DATE: MAY 29, 2024

**SHEET INDEX**

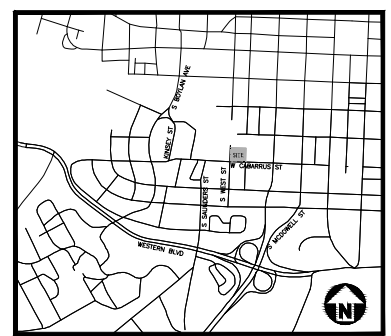
CO.00	PROJECT NOTES
1-1	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	AMENITY PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	SANITARY SEWER DETAILS
C8.04	WATER DETAILS
C8.05	WATER DETAILS
C9.00	SCM DETAILS
L5.00	CODE LANDSCAPE PLAN
L5.01	CODE LANDSCAPE DETAILS

**BY OTHERS**

ASR03	SOUTH ELEVATION
ASR04	WEST ELEVATION
ASR05	EAST & NORTH ELEVATION

**SITE DATA**

PHYSICAL ADDRESS:	320 WEST CABARRUS STREET, RALEIGH NORTH CAROLINA 27601	
PARCEL PIN:	1703570151	
ZONING:	DX-20-SH-CU	
CITY/DISTRICT:	NONE	
WATERSHED:	WALNUT CREEK	
SITE AREA:	GROSS: 53,000 SF / 0.76 AC, ROW (DEVELOPMENT) 1,044 SF, NET SITE AREA=51,956 SF / 0.73 AC	
FLOODPLAIN/FLOODPLAIN:	NONE	
PROPOSED USES:	MIXED USE BUILDING WITH MULTI-LEVEL PARKING FACILITY, RETAIL, AND RESIDENTIAL.	
BUILDING DATA:	RETAIL: 6,188 SF OFFICE: 22,892 SF TOTAL: 29,080 SF GROSS FLOOR AREA: 13,987 SF   13,847 SF   TOTAL: 29,080 SF	
PARKING DATA:	VEHICLE PARKING	REQUIRED OFFICE: 4 SPACES PER 1,000 SF (1.1 S.A. 1.A)(115 MAX.) RETAIL: 1 SPACE PER 200 SF GROSS FLOOR AREA OVERALL REQUIRED PARKING: 4 SPACES PER 1,000 SF GROSS FLOOR AREA PROPOSED: 40 TOTAL SPACES (UDO SECTION 7.1.7.B) (76 STANDARD) (12 COMPACT) (1 ADA & VAN)
ACCESSIBLE PARKING:	REQUIRED: 1 ADA SPACE 1 VAN SPACE PROPOSED: 2 SPACES (1 ADA SPACES & 1 VAN)	
Bike PARKing:	REQUIRED: 4 LONG TERM SPACES, 4 SHORT TERM SPACES RETAIL: 4 SPACES (1,500,000 SF, 4 MIN.) OFFICE: 4 SPACES (1,500,000 SF, 4 MIN.) PROPOSED: 4 LONG TERM SPACES, 4 SHORT TERM SPACES	
BUILDING - PARKING SETBACKS:	BUILT-TO: REQUIRED: CABARRUS STREET (PRIMARY STREET): 148' (50% OF 254.4') WEST STREET (SECONDARY STREET): 97' (40% OF 240.0') PROVIDED: CABARRUS ST (PRIMARY STREET): 174.8' (174.8/254.4=68.74%) WEST ST (SECONDARY STREET): 99.3' (99.3/240.0=41.3%) *TRAILER USE, 15.4'-6.0' REDUCTION OF REQ. ROW BUILT-TO REQ. (100)-50%	
PARKING SETBACK:	WEST ST (PRIMARY STREET): 30' (VA UDO SECTION 3.2.6.C) REAR B. SIDE LOT LINE: 0' (VA UDO SECTION 3.2.6.C)	
BUILDING SETBACK:	WEST ST (PRIMARY STREET): 7' (VA UDO SECTION 3.2.6.C) WEST ST (PRIMARY STREET): 7' (VA UDO SECTION 3.2.6.C) REAR B. SIDE LOT LINE: 0' (VA UDO SECTION 3.2.6.C)	
EXISTING IMPERVIOUS:	0.0% AC (0.073 SF)	
PROPOSED IMPERVIOUS ALLOCATION:	0.92 AC (40,272 SF)	
BUILDING HEIGHT:	MAXIMUM ALLOWED: 20 STORIES (PRINCIPAL BUILDING) PROPOSED: 3 STORIES (6' 10" PARAPET)	
REQUIRED FLOOR HEIGHTS:	GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN): 15'-0" UPPER STORY HEIGHT, FLOOR TO FLOOR (MIN): 9'-0" GROUND STORY HEIGHT, FLOOR TO FLOOR: 20'-0" UPPER STORY HEIGHT, FLOOR TO FLOOR: 14'-0"	
PROVIDED FLOOR HEIGHTS:	REQUIRED: 3,119 SF (0.076 AC) AMENITY AREA ON GRADE: 2,499 SF AMENITY AREA ON 1.5' DECK: 300 SF	
OUTDOOR AMENITY AREA:	REQUIRED: 3,119 SF (0.076 AC) PROVIDED: 3,119 SF (0.076 AC) AMENITY AREA ON GRADE: 2,499 SF AMENITY AREA ON 1.5' DECK: 300 SF	



**VICINITY MAP**  
N.T.S.



**CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 'NC811'. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.**

**SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.**  
**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.**  
 PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

**SOLID WASTE COMPLIANCE STATEMENT:**

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED IN ROLL-OUT TRASH AND RECYCLING CARTS THAT WILL BE BROUGHT OUT CURB SIDE FOR PICKUP. PICKUP WILL BE PROVIDED TWICE A WEEK.

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2469, and the Public Utilities Department at (919) 996-4542 at least **ten (10) business days** prior to beginning any of their construction. Failure to notify both City departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.  
 Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a **Stop Work Order** and **Possible Eviction** from future work in the City of Raleigh.



**CONTACT**  
 JONATHAN BALDERSON  
 balderson@mcadamsco.com  
 PHONE: 919.287.0815

**CLIENT**  
 KANE REALTY CORPORATION  
 4821 LASSITER AT NORTH HILLS AVE, SUITE 250  
 RALEIGH, NORTH CAROLINA 27609  
 PHONE: 919.833.7755

**PROJECT DIRECTORY**

TYPE  
 NAME  
 ADDRESS  
 ADDRESS

**REVISIONS**

NO. DATE

**ADMINISTRATIVE SITE REVIEW FOR:**  
 320 W CABARRUS  
 320 W CABARRUS STREET  
 RALEIGH, NC 27601  
 PROJECT NUMBER: RDG23002



**SITE PLAN NOTES:**

1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL SHAPINGS SHOWN ON ANY PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART 'PP' APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATOR.
4. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING. PRIOR TO ORDERING OR INSTALLATION, THE CONTRACTOR SHALL WEAN ANY CLAIM FOR ADDITIONAL COST RELIANT TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
5. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL ITEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL SUBMIT TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
6. DRAINING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNERS BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
7. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADINGS AND ALIGNMENTS DEPICTED ON THE PLANS.
8. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (E.G. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
9. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH CITY OF RALEIGH'S DRINKABLE WATER AND FIBROUS CONTROL DEPARTMENT FOR CROSS-CONNECTION AND ENGINEERING INSPECTIONS PRIOR TO ANY WATER OR SEWER ABANDONMENT, REMOVAL OR INSTALLATIONS.

**GENERAL NOTES:**

1. OWNERS RESERVES THE RIGHT TO ADJUST SITE IMPROVEMENTS AND MODIFY BUILDING FOOTPRINTS FROM THOSE SHOWN ON THE PLAN.
2. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH'S PUBLIC WORKS, ENGINEERING INSPECTIONS DEPARTMENT (252) 956-6624, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER.
3. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE SUELL CONSTRUCTION OR OTHER EMPLOYER'S EROSION CONTROL INSPECTOR.
4. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER IMMEDIATELY.

**STORM DRAINAGE NOTES:**

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASSED III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF RALEIGH AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPES IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH UNDER WALL.
5. ALL PIPE ENDS SHALL BE MADE WITH PREFORMED DOWN SINKS, WHICH CONFORMS TO ASH TO SPECIFICATION A6-158 FOR TYPE "B" RELEASABLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE FINISHED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD (SMOOTHWORK) IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL, OR OTHER DISCONTINUOUS MATERIAL. SAND MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TRENDS TO FLOW OR BE AVOID IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEMAND BY THE OWNERS REPRESENTATIVE OR GEOTECHNICAL ENGINEER AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIALS.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAD. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP SOIL (6 INCHES SHALL BE COMPACTED TO 100% PROCTOR STANDARD PROCTOR.
10. LEADER IN CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNMANNED TRENCHES AFTER PIPE HAS BEEN PLACED.

**REMEDIATION NOTES:**

1. THE INFORMATION SHOWN WAS TAKEN FROM DESIGN DRAWINGS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL DEMOLITION MATERIAL WILL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER LOCATION AND METHOD AS DETERMINED BY THE LOCAL AUTHORITIES.
4. CONTRACTOR SHALL NOTIFY NCR11 (811) OR (800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (E.G. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
6. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PRESSURES AND ADJACENT ROADWAYS FREE FROM ACCUMULATIONS OF WASTE MATERIALS OF BURROW CAUSED BY RAIN. USE EMPLOYEES OR WORKMEN ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.

**DRAINING NOTES:**

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCONTRICTORY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART 'PP' APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATOR.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
4. CONTRACTOR SHALL NOTIFY "NCR11" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH'S STORMWATER AND FIBROUS CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
6. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED TO THE STANDARD PROCTOR MAXIMUM DRY DENSITY UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

**RALEIGH STANDARD UTILITIES NOTES:**

1. ALL UTILITIES & CONDUCTIONS UTILITIES SHALL BE, IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS ENGINEERING CENTER HANDBOOK, CURRENT EDITION.
2. EXISTING UTILITIES TO BE EXCAVATED:
  - a. IN A UTILITY CASE, THE CONTRACTOR SHALL MAINTAIN RECORD OF ALL UTILITIES AND ANY PUBLIC OR PRIVATE WATER SUPPLY SOURCE, SUCH AS A PRIVATE WATER SYSTEM, TO BE MAINTAINED. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES EXCAVATED. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES EXCAVATED. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES EXCAVATED. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES EXCAVATED. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES EXCAVATED. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL UTILITIES EXCAVATED.
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**UTILITY SEWER NOTES:**

1. ALL SEWER SERVICES IN PUBLIC R.O.W. SHALL BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
2. BEFORE COMMENCING ANY EXCAVATION IN AN HIGHWAY, STREET, PUBLIC SPACE, OR IN AN EASEMENT, THE NORTH CAROLINA UNDERGROUND DAMAGE PREVENTION ACT REQUIRES NOTIFICATION OF EACH UTILITY OWNER. HAVING U.G. UTILITIES LOCATED IN THE PROPOSED AREA TO BE EXCAVATED, EITHER ORALLY OR IN WRITING, NOT LESS THAN 2 BUSINESS DAYS PRIOR TO WORKING DAYS PRIOR TO STARTING OF THE INTENT TO EXCAVATE.
3. ANY EXISTING UTILITY APPURTENANCES SHALL NOT BE REUSED ON PROPOSED IMPROVEMENTS.
4. ALL PROPOSED SEWER ON THIS SITE TO BE PRIVATE.
5. ALL 8" SEWER SHALL BE PVC 20R-35 AND ALL 6" SEWER SHALL BE PVC 20-30 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. MINIMUM COVER TO FINISHED GRADE OF 4 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTION LINES 18 INCHES AND LARGER. IF LESS THAN 4 FEET COVER DEPTH IS NOT, DUCTILE IRON PIPE SHALL BE REQUIRED WITH TYPE 1 BEDDING TO COVER AT A MIN OF 3 FEET.
7. MINIMUM SLOPE FOR THE 8 INCH SANITARY SEWER COLLECTION LINE IS 0.6% AND THE MINIMUM SLOPE FOR THE 6 INCH SANITARY SEWER SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
8. SEWER CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS, SIDEWAYS AND PARKING LOTS UNLESS SHOWN OTHERWISE. CLEANOUTS WITH ASPHALT PAVED TRAFFIC AREAS SHALL BE INSTALLED IN TRAFFIC FREE ZONE MIN-MANHOLES, DOMESTICALLY CAST.
9. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ACTUAL LOCATION AND DEPTHS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.
10. UTILITY SLEEVES SHALL BE PVC SCH. 40B, INSTALL WITH 2" MINIMUM COVER, CAP AND MARK BOTH ENDS.

**WATER NOTES:**

1. WATER TO BE USED DURING CONSTRUCTION ON SHALL EITHER HAVE A PERMANENT TAP INSTALLED THROUGH A NEW SERVICE TAP PERMIT OR A PERMIT OF A LICENSED WATER TAP BE INSTALLED THROUGH A TRENCH BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
2. WATER DESIGN
  - 2.1. PUBLIC WATER SYSTEMS SHALL CONFORM TO PUBLIC DISTRIBUTION SYSTEM STANDARDS.
  - 2.2. PRIVATE DISTRIBUTION SYSTEMS SHALL HAVE A MASTER METER AND MASTER BACK FLOW DEVICE.
3. ALL 8" & 6" WATERLINES SHALL BE DUCTILE IRON PIPE PRESURE CLASS 350 PIPE CITY OF RALEIGH STANDARDS.
4. ALL 2" WATERLINE SHALL BE TYPE 1 COVER.
5. ALL MAINS SHALL HAVE A MINIMUM 36" COVER.
6. ALL MAINS SHALL HAVE A WORKING PRESSURE OF 150 PSI AND A SURGE PRESSURE OF 300 PSI.
7. SERVICE CONNECTIONS CAN ONLY BE MADE TO A PRESSURIZED PIPE UP TO 12" PER CORPUS HANDBOOK.
8. REFER TO COMPEL HANDBOOK FOR TESTING AND APPROVED PROCEDURE PRIOR TO ACCEPTANCE.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI.
10. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ACTUAL LOCATION AND DEPTHS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.



**McAdams**  
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BOSTON, MASSACHUSETTS 02110

**320 W. CABARRUS**  
ADMINISTRATIVE SITE REVIEW  
414 S. WEST CABARRUS STREET  
RALEIGH, NC

**REVISIONS**

NO.	DATE


**PLAN INFORMATION**

PROJECT NO.	RD-023002
FILENAME	RD023002_ASR_N1
CHECKED BY	JLB
DRAWN BY	LLH
SCALE	N/A
DATE	05.29.2024

**SHEET**

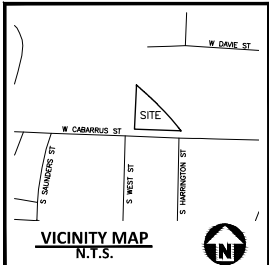
**PROJECT NOTES**

**CO.00**



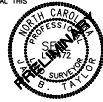
**CONTRACTOR SHALL NOTIFY "NCR11" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.**

Know what's below.  
Call before you dig.



I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE NUMBER HEREON) THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE NUMBER HEREON THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1 IN 64,000 AS AMENDED. WITNESSES BY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS DAY OF \_\_\_\_\_

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



SPIRAL CURVE "1" BEING 22' OFFSET FROM CENTERLINE AND PARALLEL WITH FUTURE TRACK (SEE NOTE 7), BEING SUBTENDED BY THE FOLLOWING CHORD BEARINGS AND DISTANCES

LINE	BEARING	DISTANCE
L13	N 37°13'11" W	2.97'
L14	N 37°17'00" W	1.57'
L15	N 37°21'00" W	1.57'
L16	N 37°24'00" W	1.57'
L17	N 37°27'00" W	1.57'
L18	N 37°30'00" W	1.57'
L19	N 37°33'00" W	1.57'
L20	N 37°36'00" W	1.57'
L21	N 37°39'00" W	1.57'
L22	N 37°42'00" W	1.57'
L23	N 37°45'00" W	1.57'
L24	N 37°48'00" W	1.57'
L25	N 37°51'00" W	1.57'
L26	N 37°54'00" W	1.57'
L27	N 37°57'00" W	1.57'
L28	N 38°00'00" W	1.57'
L29	N 38°03'00" W	1.57'
L30	N 38°06'00" W	1.57'
L31	N 38°09'00" W	1.57'
L32	N 38°12'00" W	1.57'
L33	N 38°15'00" W	1.57'
L34	N 38°18'00" W	1.57'
L35	N 38°21'00" W	1.57'
L36	N 38°24'00" W	1.57'
L37	N 38°27'00" W	1.57'
L38	N 38°30'00" W	1.57'
L39	N 38°33'00" W	1.57'
L40	N 38°36'00" W	1.57'

SPIRAL CURVE "2" BEING 22' OFFSET FROM CENTERLINE AND PARALLEL WITH FUTURE TRACK (SEE NOTE 7), BEING SUBTENDED BY THE FOLLOWING CHORD BEARINGS AND DISTANCES

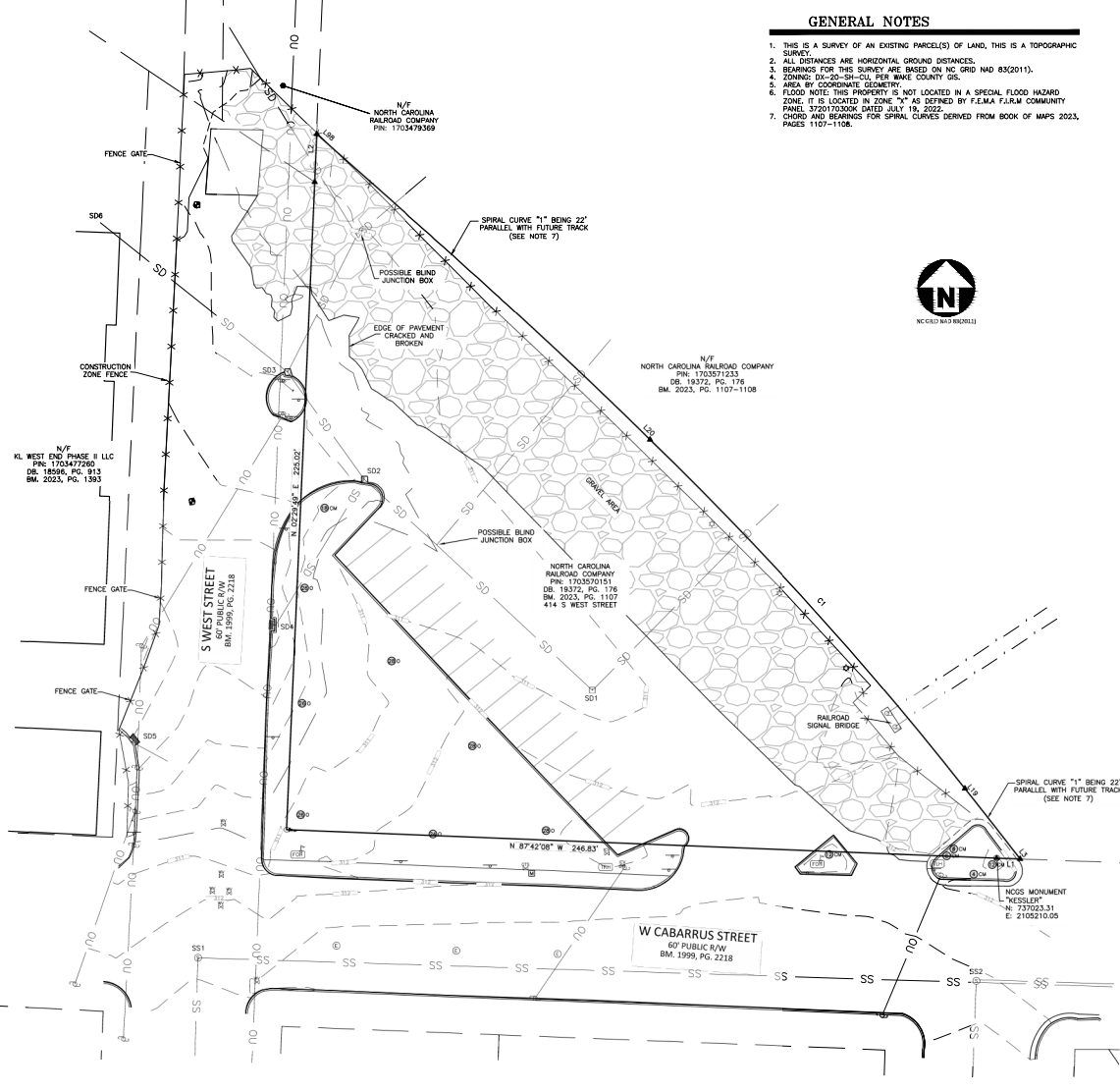
LINE	BEARING	DISTANCE
L41	N 42°12'51" W	3.02'
L42	N 42°17'00" W	1.97'
L43	N 42°21'00" W	1.97'
L44	N 42°25'00" W	1.97'
L45	N 42°29'00" W	1.97'
L46	N 42°33'00" W	1.97'
L47	N 42°37'00" W	1.97'
L48	N 42°41'00" W	1.97'
L49	N 42°45'00" W	1.97'
L50	N 42°49'00" W	1.97'
L51	N 42°53'00" W	1.97'
L52	N 42°57'00" W	1.97'
L53	N 43°01'00" W	1.97'
L54	N 43°05'00" W	1.97'
L55	N 43°09'00" W	1.97'
L56	N 43°13'00" W	1.97'
L57	N 43°17'00" W	1.97'
L58	N 43°21'00" W	1.97'
L59	N 43°25'00" W	1.97'
L60	N 43°29'00" W	1.97'
L61	N 43°33'00" W	1.97'
L62	N 43°37'00" W	1.97'
L63	N 43°41'00" W	1.97'
L64	N 43°45'00" W	1.97'
L65	N 43°49'00" W	1.97'
L66	N 43°53'00" W	1.97'
L67	N 43°57'00" W	1.97'
L68	N 44°01'00" W	1.97'
L69	N 44°05'00" W	1.97'
L70	N 44°09'00" W	1.97'
L71	N 44°13'00" W	1.97'
L72	N 44°17'00" W	1.97'
L73	N 44°21'00" W	1.97'
L74	N 44°25'00" W	1.97'
L75	N 44°29'00" W	1.97'
L76	N 44°33'00" W	1.97'
L77	N 44°37'00" W	1.97'
L78	N 44°41'00" W	1.97'
L79	N 44°45'00" W	1.97'
L80	N 44°49'00" W	1.97'
L81	N 44°53'00" W	1.97'
L82	N 44°57'00" W	1.97'
L83	N 45°01'00" W	1.97'
L84	N 45°05'00" W	1.97'
L85	N 45°09'00" W	1.97'
L86	N 45°13'00" W	1.97'
L87	N 45°17'00" W	1.97'
L88	N 45°21'00" W	1.97'
L89	N 45°25'00" W	1.97'
L90	N 45°29'00" W	1.97'
L91	N 45°33'00" W	1.97'
L92	N 45°37'00" W	1.97'
L93	N 45°41'00" W	1.97'
L94	N 45°45'00" W	1.97'
L95	N 45°49'00" W	1.97'
L96	N 45°53'00" W	1.97'
L97	N 45°57'00" W	1.97'
L98	N 46°01'00" W	1.97'

- SD1 TOP=310.99'  
RV IN(E)=306.55' 12°RC  
RV OUT(W)=306.30' 12°RC
- SD2 TOP=308.06'  
RV IN(E)=304.44' 12°RC  
RV IN(S)=302.66' 12°RC  
RV OUT(W)=302.46' 24°RC
- SD3 TOP=309.11'  
RV IN(E)=303.31' 12°RC  
RV IN(S)=302.26' 24°RC  
RV OUT(W)=302.11' 24°RC
- SD4 TOP=306.88'  
RV OUT(W)=304.13' 12°RC
- SD5 TOP=306.67'  
FULL OF DEBRIS
- SD6 24"RC  
RV=298.51'
- ROP= REINFORCED CONCRETE
- SS1 TOP=312.79'  
RV IN(S)=310.00' 6°PC  
RV OUT(E)=310.04' 6°PC
- SS2 TOP=313.19'  
RV IN(S)=307.19' 8°PC  
RV OUT(E)=307.18' 8°PC  
TOP OF PASS THROUGH(D)=308.54'
- SS3 TOP=312.49'  
RV IN(W)=298.86' 8°PC  
RV IN(N)=304.93' 4°PC  
RV IN(S)=304.61' 4°PC  
RV IN(W)=302.80' 6°PC  
RV OUT(D)=304.47' 6°PC
- SS4 TOP=310.98'  
RV IN(S)=306.53' 8°PC  
RV OUT(W)=305.48' 8°PC
- PVC=POLYVINYL CHLORIDE  
DIP=DUTILE IRON  
TOP=TERRA COTTA CLAY

LINE	BEARING	DISTANCE
L1	N 48°22'49" E	8.19'
L2	N 52°29'49" E	16.67'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1,211.24'	163.32'	N 42°04'18" W	183.30'



**GENERAL NOTES**

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND, THIS IS A TOPOGRAPHIC SURVEY.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
3. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
4. ZONING: OX-20-SH-C14, WAKE COUNTY, GS.
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.A.R.M COMMUNITY PANEL 370170300M DATED JULY 2022.
7. CHORD AND BEARINGS FOR SPIRAL CURVES DERIVED FROM BOOK OF MAPS 2023, PAGES 1107-1108.

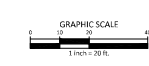


N/F NORTH CAROLINA RAILROAD COMPANY  
PIN: 1703571213  
RM: 19372, PG. 178  
BM: 2023, PG. 1107-1108

NORTH CAROLINA RAILROAD COMPANY  
PIN: 1703570151  
DB: 19372, PG. 176  
BM: 2023, PG. 1107  
414 S WEST STREET

NCS MONUMENT  
"KESSLER"  
N: 737023.31  
E: 2102210.05

- LEGEND**
- EXISTING IRON PIPE
  - IRON PIPE SET
  - ▲ CALCULATED POINT
  - NCS MONUMENT
  - MONITOR WELL
  - SANITARY SEWER MANHOLE
  - WATER VALVE
  - FIRE HYDRANT
  - LIGHT POLE
  - POWER POLE
  - CURB INLET
  - STORM DRAINAGE MANHOLE
  - YARD INLET
  - ELECTRIC HANDHOLE
  - GUY WIRE
  - MAIL BOX
  - GAS VALVE
  - TELEPHONE HANDHOLE
  - TELEPHONE PEDESTAL
  - FIBER OPTIC MARKER
  - FIBER OPTIC HANDHOLE
  - TRAFFIC HANDHOLE
  - IRRIGATION CONTROL VALVE



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**CLIENT**  
REDGATE  
503 FAYETTEVILLE STREET,  
SUITE 220  
RALEIGH, NORTH CAROLINA 27601

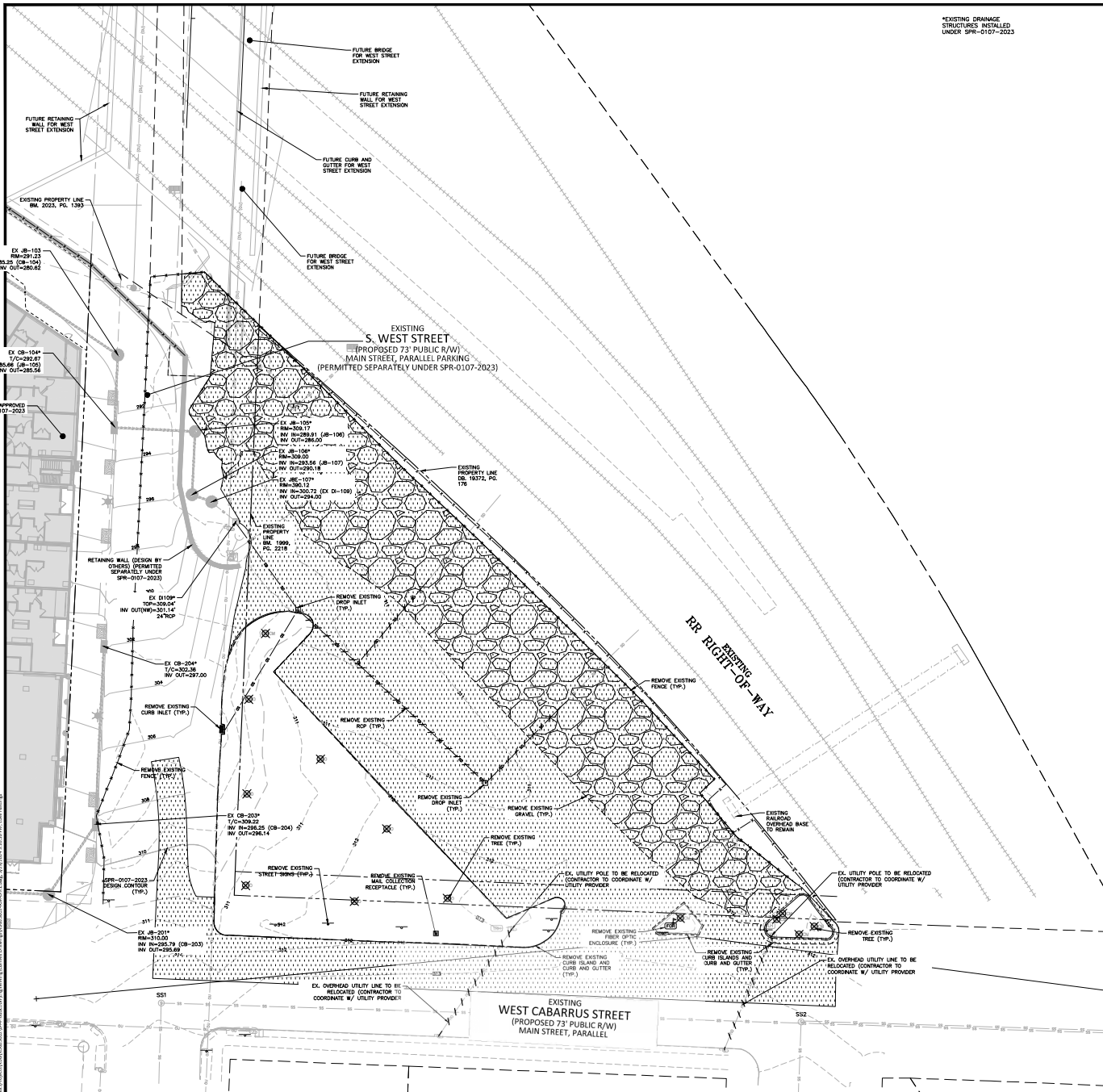
**NCCR OFFICE**  
TOPOGRAPHIC SURVEY  
414 S WEST STREET  
RALEIGH TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

**REVISIONS**  
NO. DATE

**PLAN INFORMATION**  
PROJECT NO. RD632002  
FILENAME RD632002-C1  
CHECKED BY JBT  
DRAWN BY JSS  
SCALE 1"=20'  
DATE 02.07.2024

**SHEET**  
TOPOGRAPHIC SURVEY  
**1-1**

DATE PLOTTED: 02/07/2024 10:52:00 AM. PLOTTER: HP DesignJet T1100E. PLOT SCALE: 1"=20'. PLOT SHEET: 1-1



\*EXISTING DRAINAGE STRUCTURES INSTALLED UNDER SPR-0107-2023

**DEMOLITION LEGEND**

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



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 265 FRANKLIN STREET  
 BOSTON, MASSACHUSETTS 02110

**320 W. CABARRUS**  
**ADMINISTRATIVE SITE REVIEW**  
 414 S WEST CABARRUS STREET  
 RALEIGH, NC

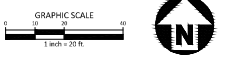
**REVISIONS**

NO.	DATE

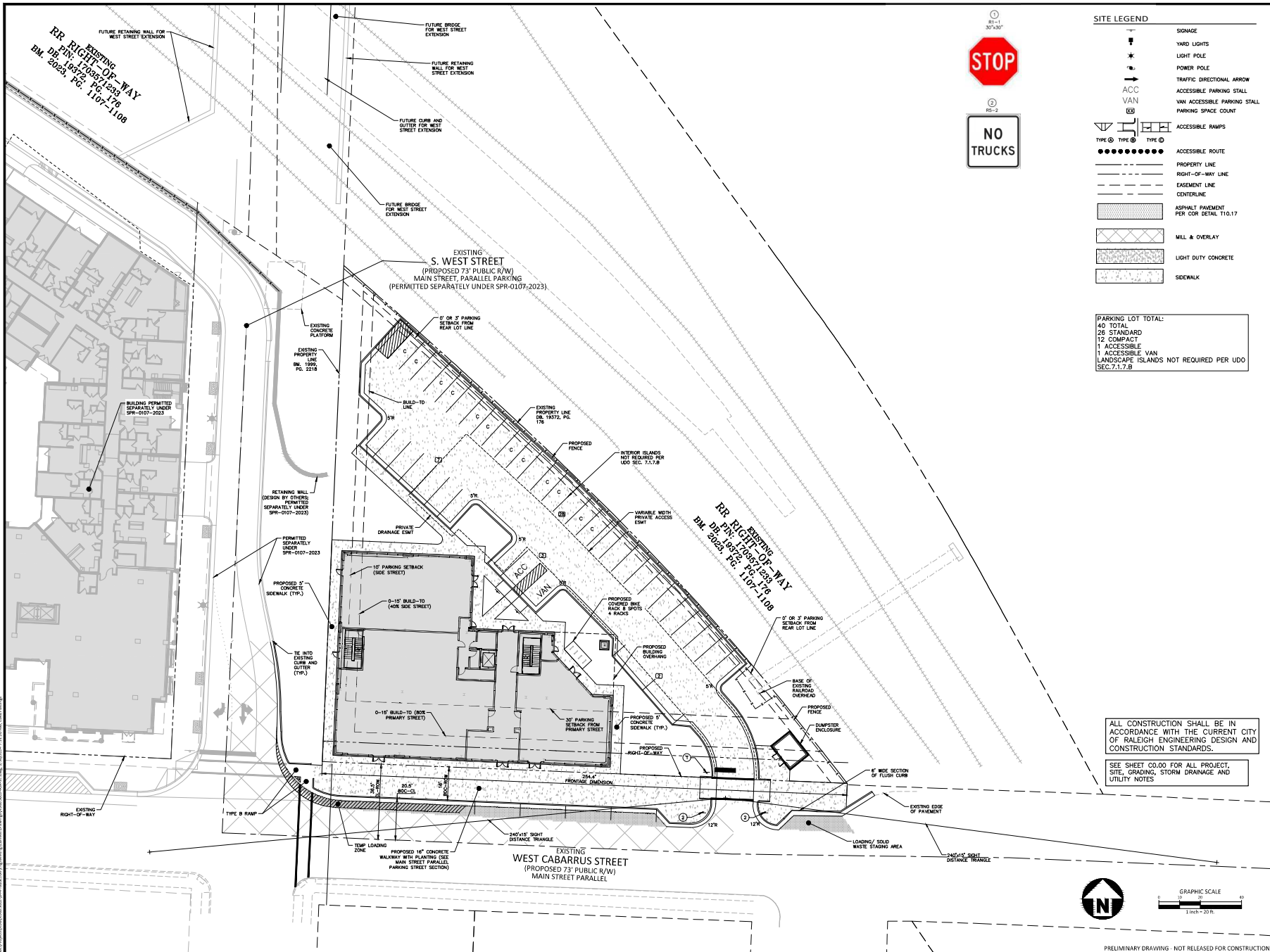
**PLAN INFORMATION**

PROJECT NO. RDG23002  
 FILENAME RDG23002-DM1  
 CHECKED BY JLB  
 DRAWN BY LLH  
 SCALE 1"=20'  
 DATE 08/28/2024

**DEMOLITION PLAN**  
**C1.01**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**SITE LEGEND**

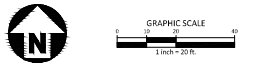
[Symbol]	SIGNAGE
[Symbol]	YARD LIGHTS
[Symbol]	LIGHT POLE
[Symbol]	POWER POLE
[Symbol]	TRAFFIC DIRECTIONAL ARROW
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	VAN ACCESSIBLE PARKING STALL
[Symbol]	PARKING SPACE COUNT
[Symbol]	ACCESSIBLE RAMP
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	EASEMENT LINE
[Symbol]	CENTERLINE
[Symbol]	ASPHALT PAVEMENT PER COR DETAIL T10.17
[Symbol]	MILL & OVERLAY
[Symbol]	LIGHT DUTY CONCRETE
[Symbol]	SIDEWALK

**PARKING LOT TOTAL:**

40 TOTAL
28 STANDARD
12 COMPACT
1 ACCESSIBLE
1 ACCESSIBLE VAN
LANDSCAPE ISLANDS NOT REQUIRED PER UDO SEC.7.1.7.B

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



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BOSTON, MASSACHUSETTS 02110

**320 W. CABARRUS**  
**ADMINISTRATIVE SITE REVIEW**  
**414 S WEST CABARRUS STREET**  
RALEIGH, NC

**REVISIONS**

NO.	DATE
-----	------

**PLAN INFORMATION**

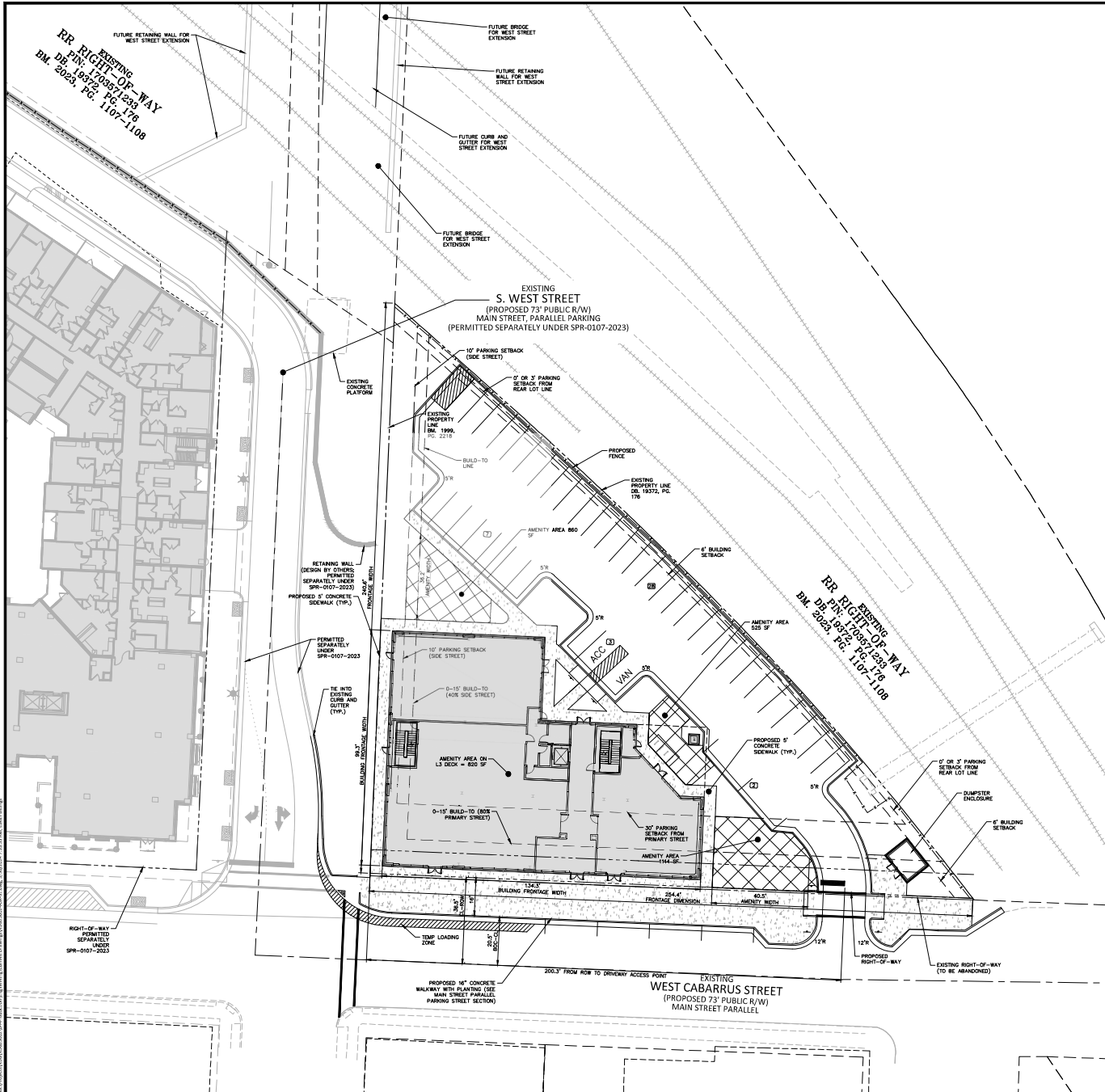
PROJECT NO. RDG23002  
FILENAME RDG-23002-ASR-S1  
CHECKED BY JLB  
DRAWN BY LLH  
SCALE 1"=20'  
DATE 05.29.2024

**SHEET**

**SITE PLAN**  
**C2.00**

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION





**SITE LEGEND**

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE

AMENITY AREA= 2,499 SF= 0.06 AC

**BUILD-TO PERCENTAGE REDUCTION FOR W. CABARRUS STREET:**

REQUIRED WITHOUT 30% OUTDOOR AMENITY AREA REDUCTION:	204 LF (80% OF 254.4')
PROVIDED	BUILDING: 134.3 LF
	OUTDOOR AMENITY LENGTH: 40.5 LF
TOTAL LENGTH OF BUILDING WITHIN BUILD-TO + OUTDOOR AMENITY AREA LENGTH:	174.8 LF (174.8/254.4 = 68.7%)
REQUIRED - WITH 30% OUTDOOR AMENITY AREA REDUCTION:	143 LF (56% OF 254.4')

**BUILD-TO PERCENTAGE FOR S. WEST STREET:**

REQUIRED WITHOUT 30% OUTDOOR AMENITY AREA REDUCTION:	97 LF (40% OF 240.6') (UDO 1.5.6.C.4.)
PROVIDED	BUILDING: 99.3 LF (41.3% OF 240.6')
	OUTDOOR AMENITY LENGTH: 36.2 LF

**AMENITY AREA CALCULATIONS**

REQUIRED: 3,180 SF (0.073 AC)	0.073 ACRES (3,180 SF, 10.0% OF 0.73 ACRES)
PROVIDED: 3,319 SF (0.076 AC)	AMENITY AREA ON GRADE: 2,499 SF
	AMENITY AREA ON L3 DECK: 820 SF

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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**320 W. CABARRUS**  
**ADMINISTRATIVE SITE REVIEW**  
**414 S WEST CABARRUS STREET**  
RALEIGH, NC

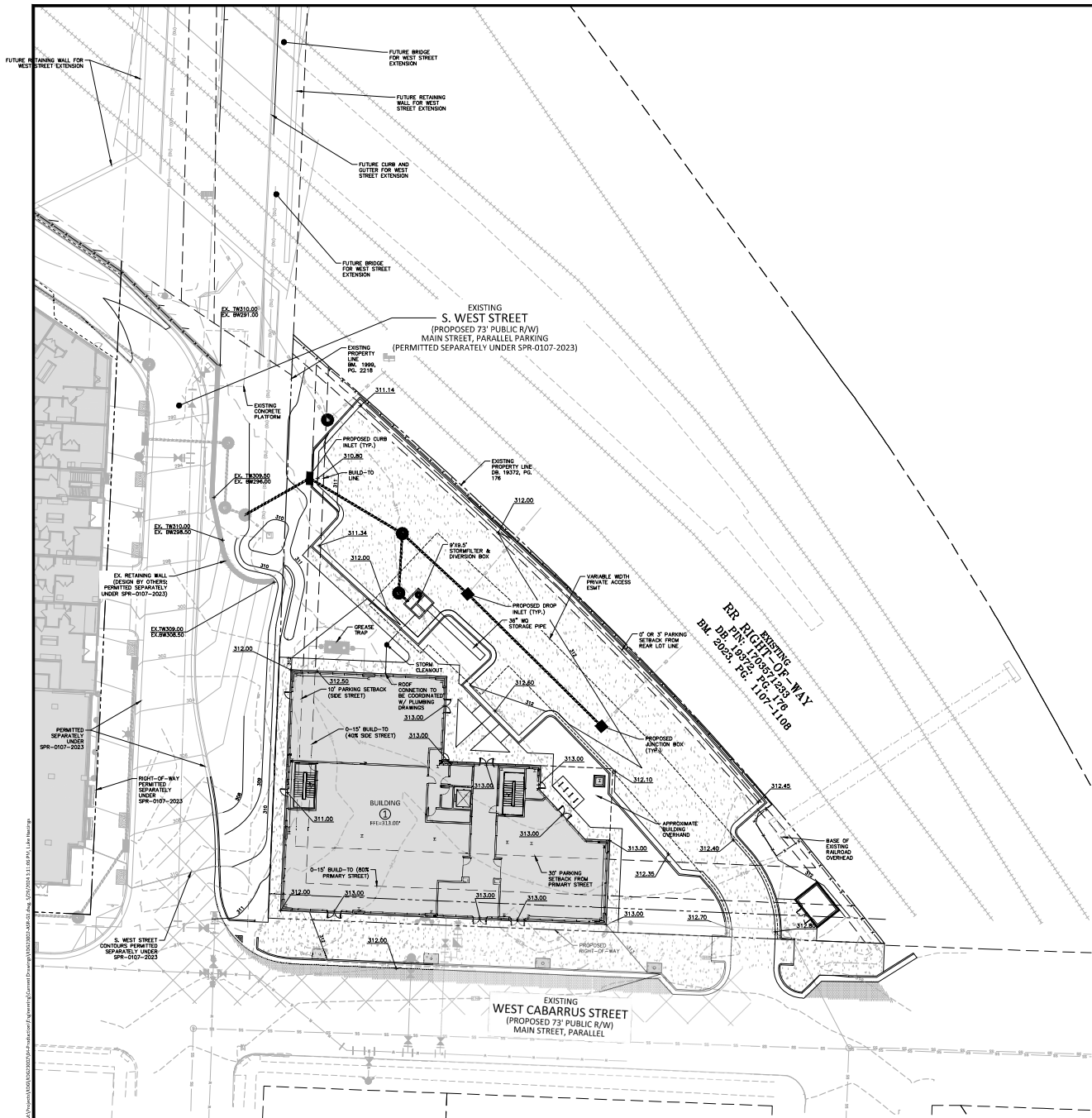
**REVISIONS**

NO.	DATE
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**PLAN INFORMATION**

PROJECT NO.	RDG23002
FILENAME	RDG-23002-ASR-01
CHECKED BY	JLB
DRAWN BY	LLH
SCALE	1"=20'
DATE	05.29.2024

**AMENITY PLAN**  
**C2.01**



BUILDING #1 AVERAGE GRADE PLANE

	HIGH	LOW	AVERAGE
WEST CABARRUS ST.	313.00	312.00	312.50

**GRADING LEGEND**

- FLARED END SECTION
- END WALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ASPHALT PAVEMENT PER COR DETAIL T10.17
- MILL & OVERLAY
- LIGHT DUTY CONCRETE
- SIDEWALK

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**320 W. CABARRUS**  
ADMINISTRATIVE SITE REVIEW  
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RALEIGH, NC

**REVISIONS**  
NO. DATE

**PLAN INFORMATION**  
PROJECT NO. RDG23002  
FILENAME RDG23002-01  
CHECKED BY JLB  
DRAWN BY LLH  
SCALE 1"=20'  
DATE 05.29.2024

**SHEET**  
GRADING & STORM DRAINAGE PLAN  
**C3.00**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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RALEIGH, NC

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. RDG23002  
FILENAME RDG23002-11  
CHECKED BY JLB  
DRAWN BY LLH  
SCALE 1"=20'  
DATE 05.29.2024

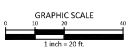
**SHEET**

**UTILITY PLAN**  
**C4.00**

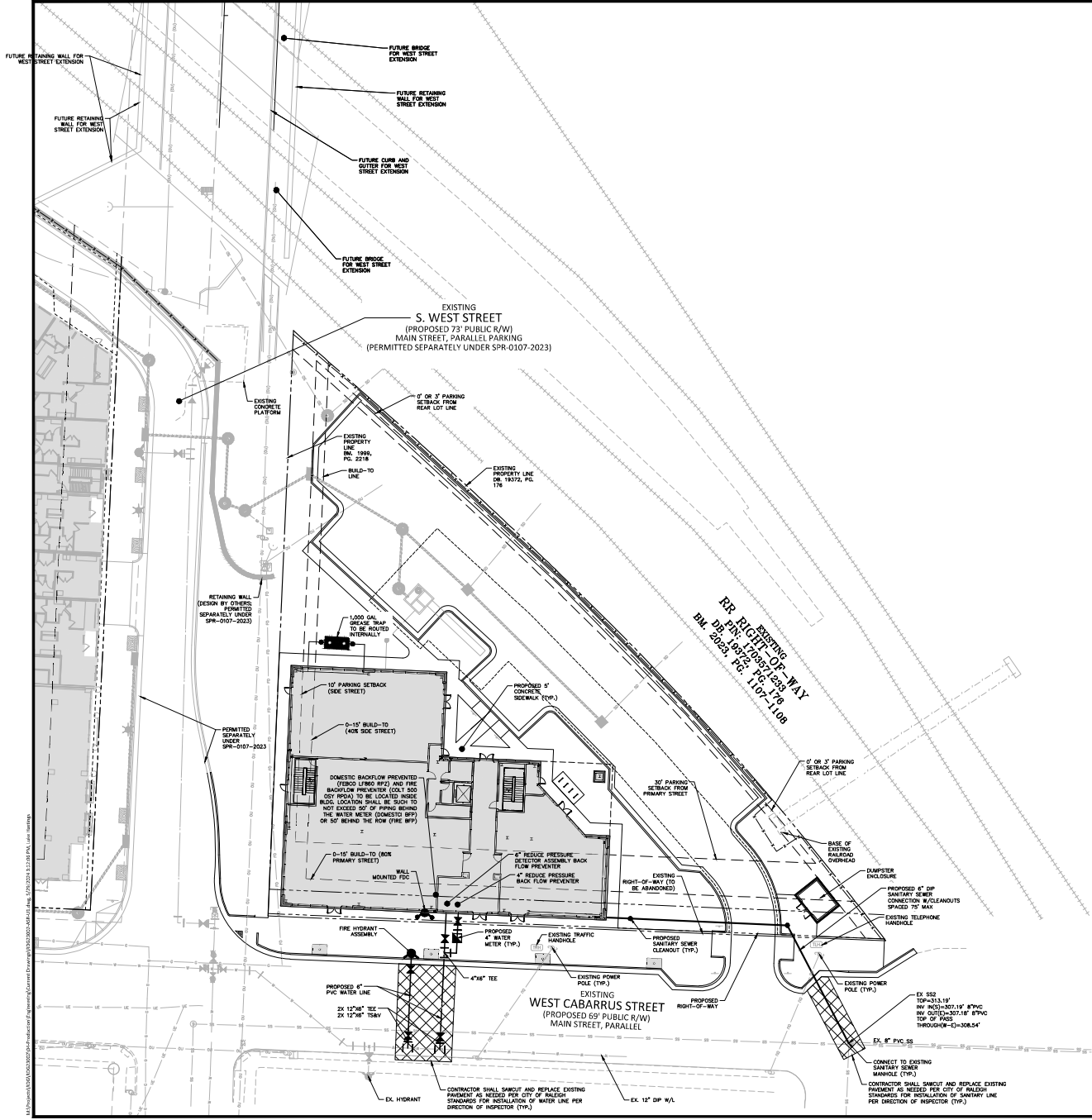
**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

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SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



DATE PLOTTED: 05/29/2024 10:00:00 AM; PLOTTER: HP DesignJet T1100; PLOT SCALE: 1"=20'; PLOT SHEET: C4.00; PLOT SHEET NO.: 1





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RALEIGH, NC

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RDG23002
FILENAME RDG23002-ASR-01
CHECKED BY JLB
DRAWN BY LHH
SCALE N/A
DATE 05.29.2024

SHEET

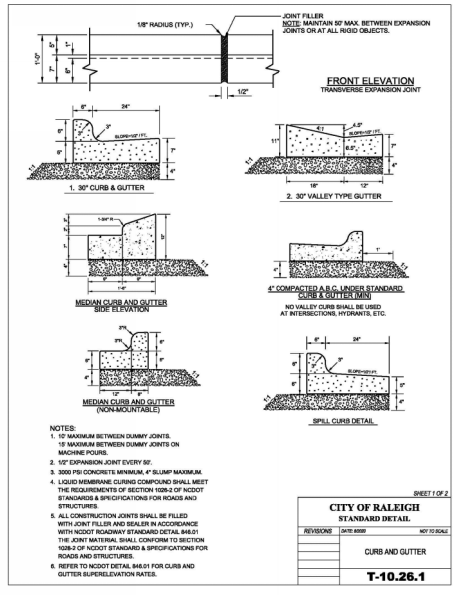
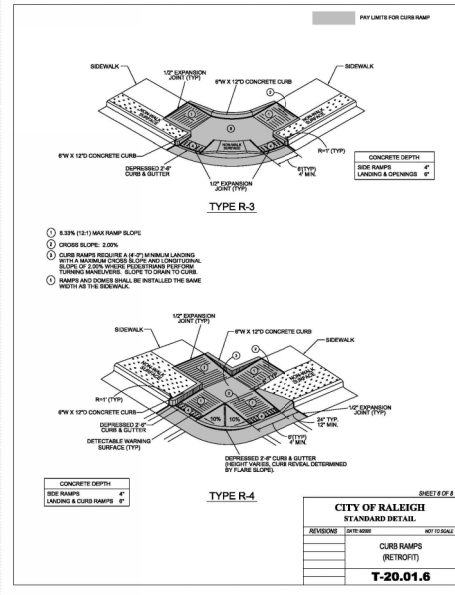
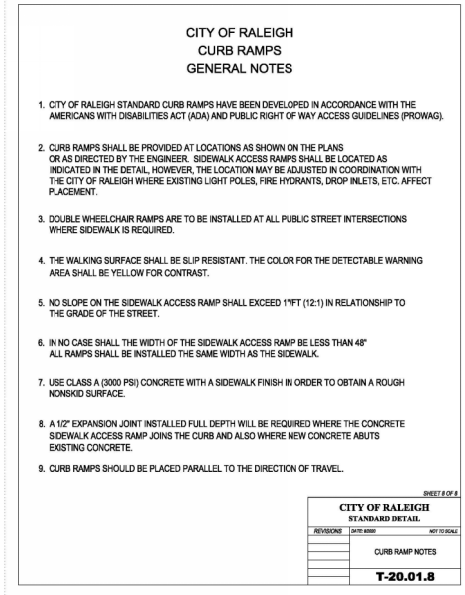
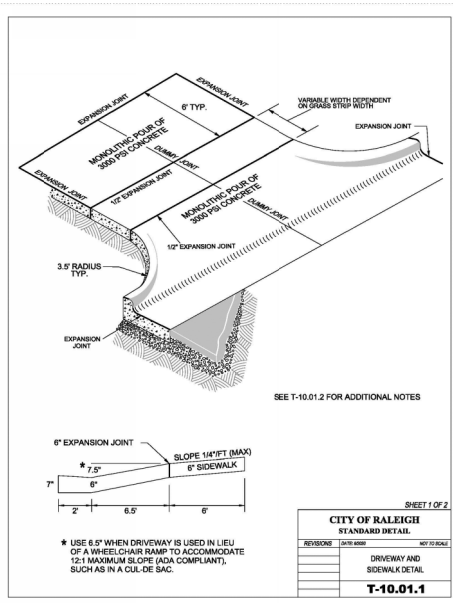
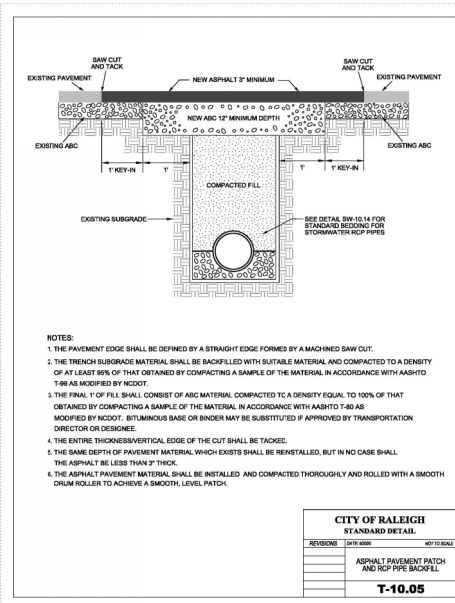
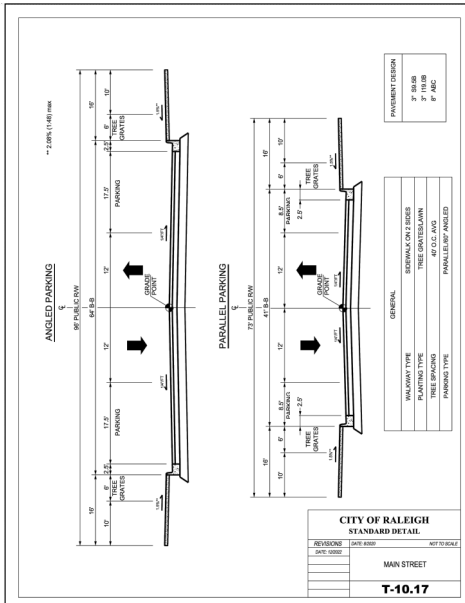
SITE DETAILS

C8.00

NOTE:
IF PAVEMENT SECTIONS SHOWN ARE PRELIMINARY, THE CONTRACTOR SHALL VERIFY PAVEMENT SECTIONS TO BE SUBMITTED UNDER PERMITS PRIOR TO PROCEEDING WITH CONSTRUCTION.

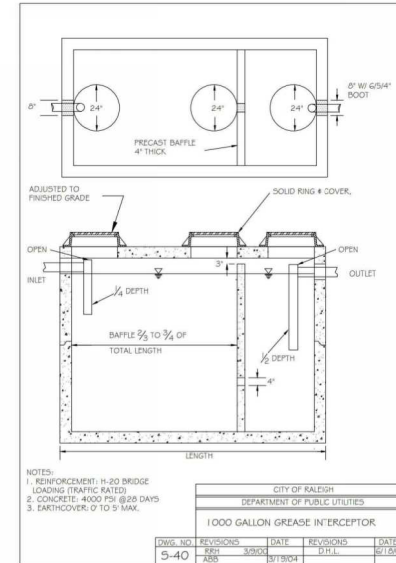
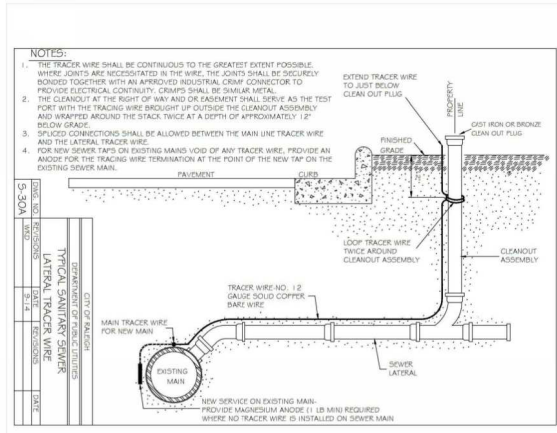
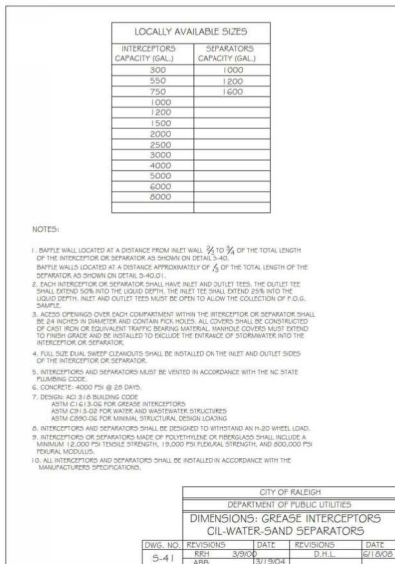
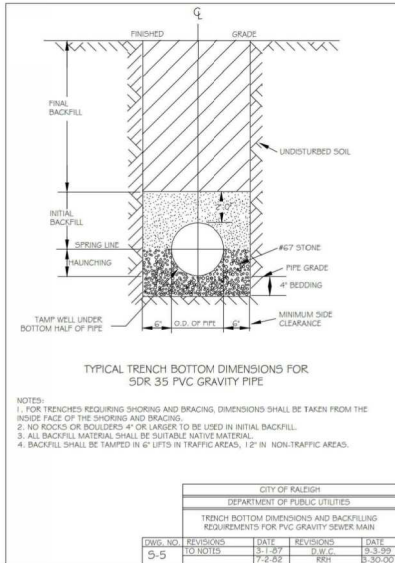
Table with 3 columns: Pavement Design, Standard Duty, Heavy Duty. Rows include Concrete (4,000 PSI), Crushed Aggregate Base Course, and Compacted Subgrade.

NOTE:
THE PAVEMENT SECTIONS SHOWN ARE PRELIMINARY; THE CONTRACTOR SHALL VERIFY PAVEMENT DESIGN WITH THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.









**REVISIONS**

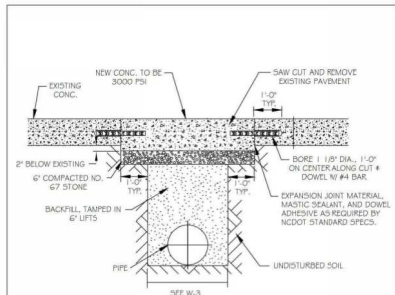
NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	RDG23002
FILENAME	RDG23002-ASR-01
CHECKED BY	JLB
DRAWN BY	LLH
SCALE	N/A
DATE	05.29.2024

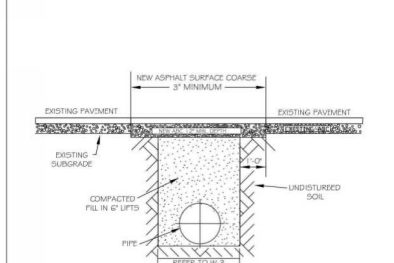
**SHEET**  
**SANITARY SEWER DETAILS**  
**C8.03**





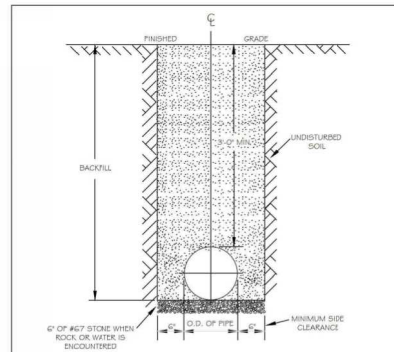
- NOTES:
1. SEE CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING W-3 FOR ADDITIONAL DETAILS
  2. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCRICHMENT PERMIT.
  3. THE PAVEMENT SURFACE CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROVED SAW CUT MACHINE.
  4. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 90% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT. 5. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD CONCRETE PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-1	REV A.B.B.	2-2-09	REV MAB	10-31-13	



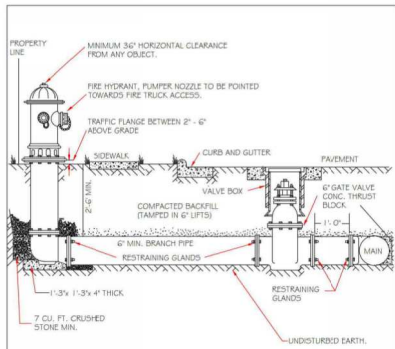
- NOTES:
1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
  2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 90% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  4. THE ENTIRE THICKNESS VERTICAL EDGE OF CUT SHALL BE TACKED.
  5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
  6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
  7. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
  8. NO HAND PATCHING ALLOWED.
  9. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCRICHMENT PERMIT.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD ASPHALT PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-2	REV D.W.G.	2-21-04 1-1-99	REV J.F.S.	4-18-04 10-29-10	



- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
  5. ACHIEVE 95% COMPACTION IN BACKFILL.

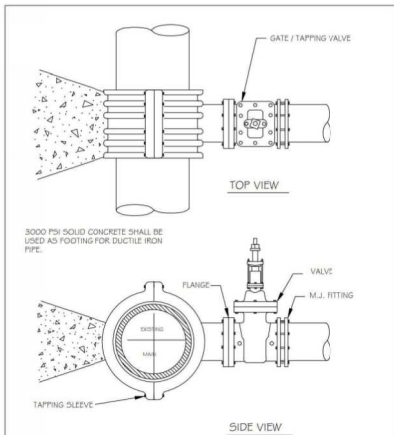
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-3	REV RR1	8-31-00	REV J.F.S.	2-17-05 10-29-10	



- NOTES:
1. FIRE HYDRANT SHALL BE AS MANUFACTURED; MUELLER, AMERICAN DARKING, KENNEDY, VMH, WATERLOUS, GOW, EAST JORDAN IRON WORKS, OR US PIPE.
  2. BRANCH PIPE SHALL BE DUCTILE IRON ANWIA C150 OR 3".
  3. 6" GATE VALVE SHALL BE ANWIA C300-06 OPEN LEFT.
  4. STEEL RODS AND BOLTS SHALL BE #4 HOT DIPPED GALVANIZED.
  5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION.
  6. RODS SHALL NOT BE COULDED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REDAR CASE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
  7. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2' FOOT EASEMENT ADJACENT TO ROW.

ANYTIME SITE WORK, CONSTRUCTION, ROAD WORK, OR ANY OTHER WORK CHANGES THE GRADE OF THE FIRE HYDRANT, THE PERSON RESPONSIBLE FOR THE WORK IS RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANT TO STAY WITHIN COMPLIANCE.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD FIRE HYDRANT INSTALLATION DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-4	REV DCL	6-5-04 8-7-09	REV PSP	10-29-10 10-29-10	



- NOTES:
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
  2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES 4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-14	REV D.W.G.	8-31-01 9-7-99	REV J.F.S.	8-31-00 11-1-10	

PROJECT NO.	RDG23002
FILENAME	RDG23002-ASR-01
CHECKED BY	JLB
DRAWN BY	LH
SCALE	N/A
DATE	05.29.2024



McADAMS

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fax 919.361.2369
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

REGGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

320 W. CABARRUS
ADMINISTRATIVE SITE REVIEW
414 S WEST CABARRUS STREET
RALEIGH, NC

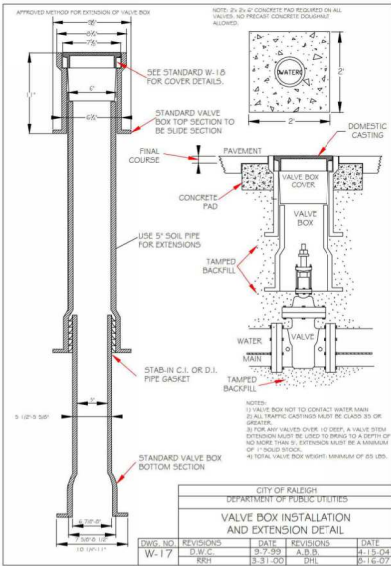


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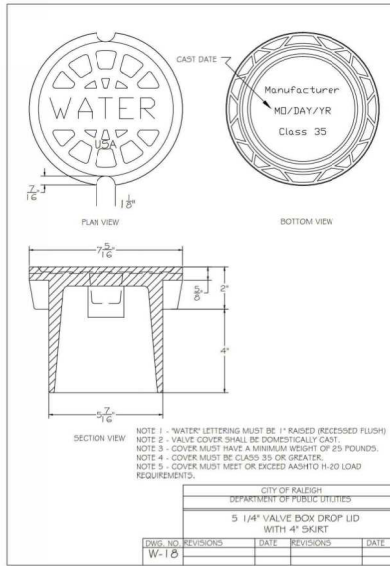


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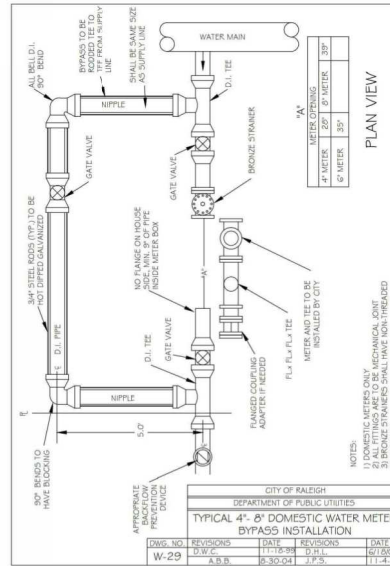


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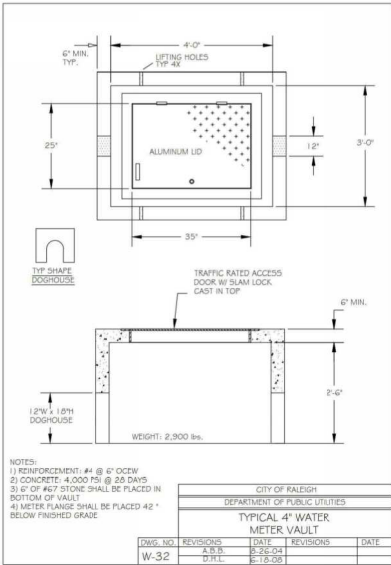


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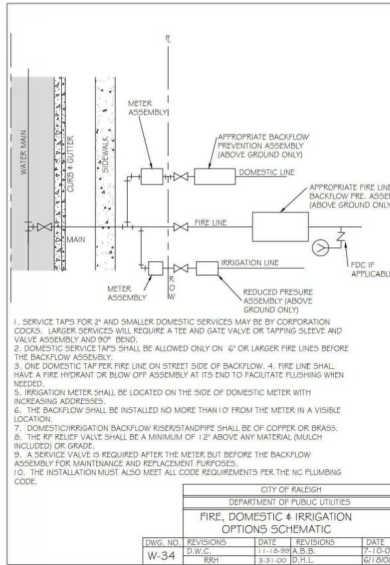


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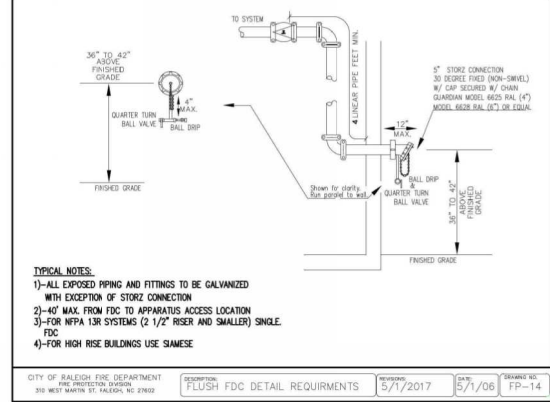


Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-35.

Vertical text on the left edge of the drawing sheet.

REVISIONS

NO. DATE

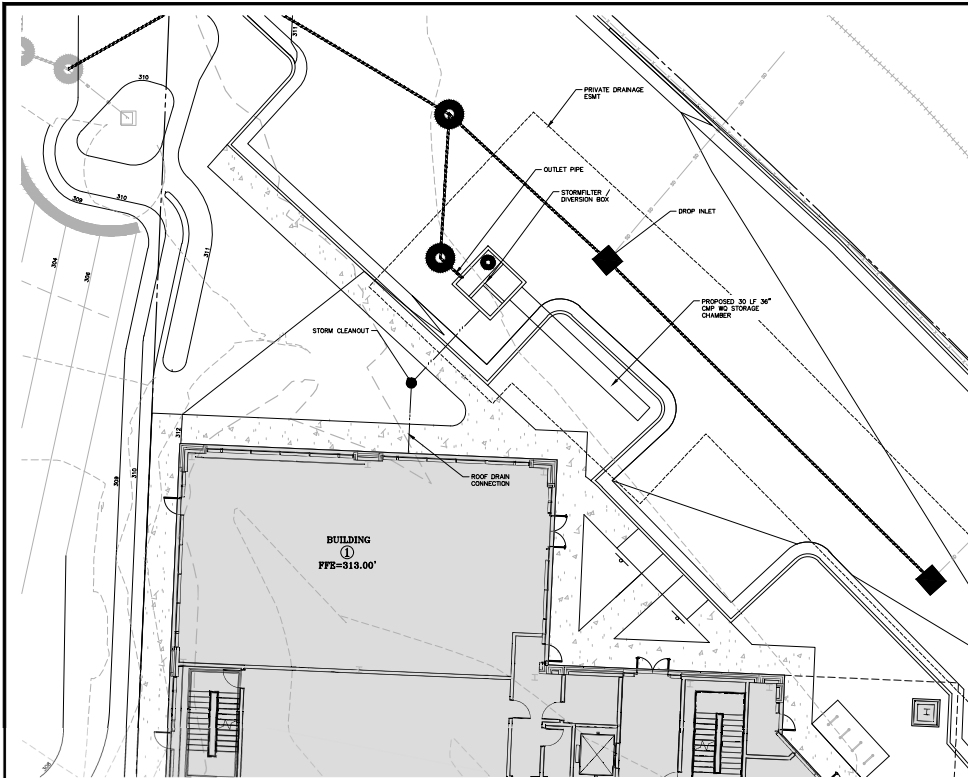
PLAN INFORMATION

PROJECT NO. RDG23002
FILENAME: RDG23002-ASR-01
CHECKED BY: JLB
DRAWN BY: LHH
SCALE: N/A
DATE: 05.29.2024

SHEET

WATER DETAILS
C8.05

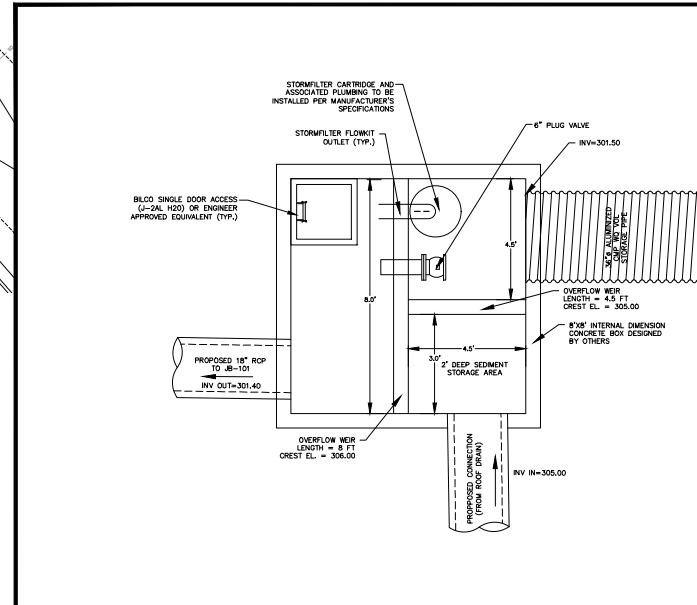
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## STORMWATER MANAGEMENT FACILITY 'A' CONSTRUCTION SPECIFICATIONS

### GENERAL NOTES

1. PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
2. PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ON-SITE GEOTECHNICAL ENGINEERS SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTIFIED TO THE ENGINEER'S AND OWNER'S APPROVAL AT THE CONTRACTOR'S EXPENSE.
3. THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (E.G. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
4. PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ON-SITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO INSURE THE UPRIGHT DRAINAGE AREA IS COMPLETELY STABILIZED (E.G. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL EVALUATE THE RISK, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY. IT WILL NOT DRAIN DUE TO SEDIMENT DEPOSITION DUE TO AN UNSTABILIZED UPRIGHT DRAINAGE AREA.
5. ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
6. ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (STORMFILTER VAULT, JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES FROM THEIR SPECIFICATIONS AND DIMENSIONS DURING THE SHOPPING AND/OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, AS DONE WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS, THE JOHN R. McADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
7. ALL PIPE / RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE UNDERGROUND SCM SYSTEM SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
8. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE UNDERGROUND SCM SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SUCH DURING ENGINEER WALK-THROUGH/INSPECTION.
10. ALL PIPE PENETRATIONS THROUGH A CONCRETE OR CMP STRUCTURE (E.G. STORMFILTER CARTRIDGE / ORIENTATION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE BY OTHERS USING NON-CORROSIVE CEMENTITIOUS GROUT.
11. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A REEF SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
12. STORM STRUCTURES IMMEDIATELY UPSTREAM OF THE CMP STORAGE PIPES MUST HAVE A MINIMUM 3'-0\"/>



**STORMWATER VAULT PLAN VIEW**  
N.T.S.

### STORMFILTER DESIGN NOTES

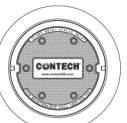
STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES PER VAULT STYLE. OPTIONS INCLUDE INLET BAY OR INLET BAY/OUTLET BAY (O), OUTLET BAY (O), OR INLET BAY/OUTLET BAY (O). STORMFILTER BAY FLOW HYDRAULIC CAPACITY IS 1.8 CFS. IF THE SITE CONDITIONS EXCEED 1.8 CFS AN UPRIGHT DRAINAGE STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	2\"/>
CARTRIDGE HEIGHT	2\"/>
RECOMMENDED HYDRAULIC DROPP (ft)	2.5\"/>
SPECIFIC FLOW RATE (gpm/ft)	2 gpm/ft (2.5\"/>
CARTRIDGE FLOW RATE (gpm)	36 gpm (1.8\"/>

\* 1.8 CFS PER SPECIFIC FLOW RATE IS APPROVED FOR PROPOSED DESIGN MEDIA ONLY.

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE OF	-
WATER QUALITY FLOW RATE (GAL)	-
EXISTING FLOW RATE (GPM)	-
EXISTING FLOW RATE (CFS)	-
CARTRIDGE HEIGHT (IN) (IF 2\"/>	



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

- GENERAL NOTES**
1. CONTRACTOR PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. CONTRACTOR SHOWN WITH THE REFERENCED DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  3. FOR SITE SPECIFIC DRAWINGS WITH DETAILED VALVE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LOCAL REPRESENTATIVE WITH APPROPRIATE LEAD TIME.
  4. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED.
  5. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED.
  6. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED.
  7. ALL DIMENSIONS SHOWN ARE UNLESS OTHERWISE NOTED.
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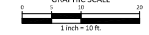
- INSTALLATION NOTES**
1. ALL FIELD SIZE, DEPTH, AND/OR ANCHOR WITH FLATLATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE CHECKED BY ENGINEER OF RECORD.
  2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT LIFTING AND LOWERING PROVISIONS.
  3. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT LIFTING AND LOWERING PROVISIONS.
  4. CONTRACTOR TO PROVIDE MATERIALS AND GROUT PIPES. MATCH OUTLET PIPE INSET WITH OUTLET BAY FLOOR.
  5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PRETECT CARTRIDGES FROM CONSTRUCTION RELATED EROSION RUNOFF.

**CONTECH ENGINEERED SOLUTIONS LLC**  
1000 E. Main Street, Suite 100, Raleigh, NC 27601  
Tel: 919.361.2909 Fax: 919.361.2909  
www.contech-engineered.com

**SF0811 STORMFILTER STANDARD DETAIL**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2909  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
REDGATE ACQUISITIONS, LLC  
265 FRANKLIN STREET  
BOSTON, MASSACHUSETTS 02110

**320 W. CABARRUS**  
ADMINISTRATIVE SITE REVIEW  
414 S WEST CABARRUS STREET  
RALEIGH, NC

### REVISIONS

NO.	DATE	DESCRIPTION

### PLAN INFORMATION

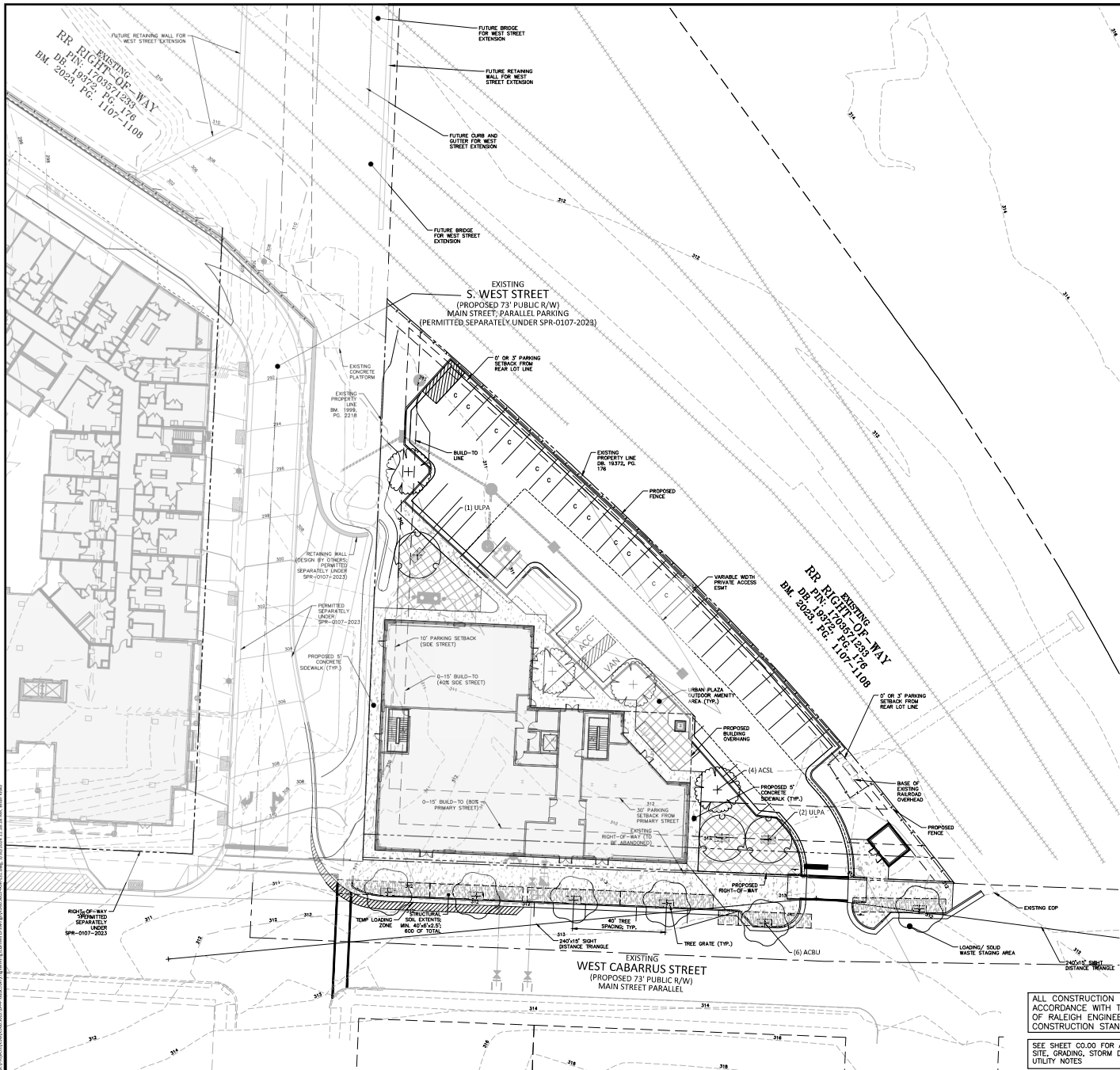
PROJECT NO. RDG23002  
FILENAME RDG-23002-ASR-51  
CHECKED BY JLB  
DRAWN BY LLH  
SCALE 1"=20'  
DATE 05.29.2024

### SHEET

**STORMWATER CONTROL PLAN VIEW AND NOTES**

**C9.00**





**SITE LEGEND**

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
<b>TREES</b>					
	ACBU	6	Acer buergerianum Trident Maple	3" min	10' min
	ACSL	4	Acer saccharum 'Lagopy' Lagopy Sugar Maple	3" min	12' min
	ULPA	3	Ulmus parvifolia 'Emer it' Alleé Loochbark Elm	3" min	12' min

**LANDSCAPE CALCULATIONS**

**STREET TREES**

W/CDARRUS STREET: 223 SF  
 TREES REQUIRED: 6 (1/240 LF)  
 PROVIDED: 6

**PARKING PLANTING**

PER SEC. 7.3.7  
 SUBSECTION B  
 "IN AN URBAN FRONTAGE OR 'TOD', THIS SECTION APPLIES ONLY TO ON-STREET SURFACE PARKING AREAS WITH MORE THAN 40 PARKING SPACES. AT LEAST, 1 TREE MUST BE PLANTED FOR EVERY 20 SPACES IN EACH SURFACE PARKING AREA WITH 40 SPACES OR LESS."

PARKING SPACES: 40  
 REQUIRED TREES: 4 (2/200 SPACES)  
 PROVIDED TREES: 4

SUBSECTION F  
 "MINI-GRADE SHALL HAVE BE LESS THAN 1 SHADE TREE FOR EVERY 2,000 SQUARE FEET OF PARKING AREA, EXCEPT IN AN URBAN FRONTAGE OR 'TOD', WHERE THERE SHALL BE NO LESS THAN 1 SHADE TREE FOR EVERY 6,000 SQUARE FEET OF PARKING AREA."

PARKING AREA - 30,870 SF  
 REQUIRED TREES: 3 (1/10,000 SF OF PARKING AREA)  
 PROVIDED TREES: 4

**URBAN PLAZA (A 1,800 SF OUTDOOR AMENITY AREA IS REQUIRED)**

SEATING REQUIRED: 64 LF (1/250 SF)  
 SEATING PROVIDED: 64 LF (1/250 SF)  
 3" CALIPER TREES PROVIDED: 3 TREES (1/1,000 SF)  
 3" CALIPER TREES PROVIDED: 3 TREES

**OUTDOOR AMENITY AREA ELEMENTS REQUIRED:**

1. OUTDOOR AMENITY AREA ELEMENTS PROVIDED: 11  
 "PER LUDO SECTION 1.5.3.2 OUTDOOR AMENITY AREAS SHALL CONTAIN AT LEAST ONE OF THE FOLLOWING: TABLES, EATING AREAS, FOUNTAINS, ACTIVE RECREATION AREAS, OR PUBLIC ART"

- NOTES:**
- SEATING AREAS INCLUDE BENCHES, OUTDOOR DINING TABLES, MOVABLE/ZIPPER CHAIRS AND SEAT WALLS. REQUIRED AMENITY AREA ELEMENTS SHALL BE LOCATED WITHIN THE AMENITY AREAS.
  - ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO A MINIMUM IF ABOVE FINISHED GRADE AT MATURITY.
  - STREET TREES MUST BE MAINTAINED FOR A PERIOD OF ONE YEAR FOLLOWING THE CITY'S APPROVAL OF THE STREET TREE PLANTING.
  - PLANTING BEDS AND PITS TO BE BRIGATED. CONTRACTOR TO PROVIDE COMPLETE IRRIGATION SYSTEM INCLUDING EMITTERS, LINES, AND OPERATION MANUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
  - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
  - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-66 AND TYP-07.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

SEE SHEET C000 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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**320 W. CABARRUS**  
**ADMINISTRATIVE SITE REVIEW**  
**414 S WEST CABARRUS STREET**  
 RALEIGH, NC

**REVISIONS**

NO.	DATE

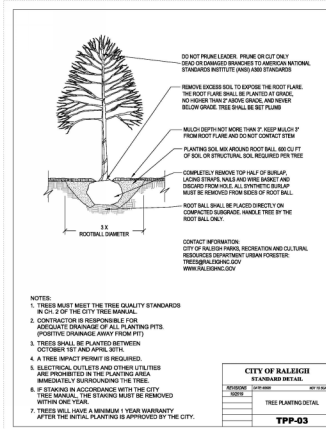
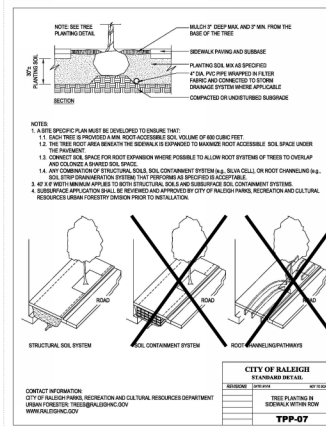
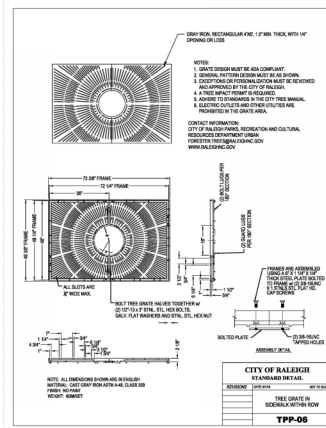
**PLAN INFORMATION**

PROJECT NO. RDG23002  
 FILENAME RDG-23002-ASR-51  
 CHECKED BY JLB  
 DRAWN BY LLH  
 SCALE 1"=20'  
 DATE 05.29.2024

**CODE LANDSCAPE PLAN**  
**L5.00**

**GENERAL LANDSCAPE NOTES:**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING INSTALLATION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. UNHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND CONTAINING JURISDICTION PRIOR TO ANY TREE REPLACEMENT.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 30 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 30 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADVISE PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN FLAG, CLINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER DANGEROUS MATERIALS.
19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIUM AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL UP TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD PLANTING SOIL ON SURFACE OF FROST, MUD/P, OR EXCESSIVELY WET.
20. IF IMPROVED TOPSOIL IS REQUIRED, THE SURFACE SHALL BE SCARIFIED AND FILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPROVED TOPSOIL. FOLLOWING INSTALLATION OF IMPROVED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES AND WITH A MINIMUM 2 FOOT RADIUS FROM BASE OF TREE OR TO DRUPLINE. MULCH SHALL BE FREE OF TRASH AND MAIN TRUNKS WEDGED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEEPING, WHIPPING, AND OTHER HANDLING AND TYPING DAMAGE. DO NOT BEND OR BIND THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY IMMEDIATELY AFTER UNLOADING. STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STACKED TREES ARE STANDING, UNIFIED AND SHOCKED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
25. SEE LANDSCAPE DETAILS FOR TREE PLANTING REQUIREMENTS.
26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP ESTHETIC.
27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
29. FINISH GRADING, GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH CORNER UNIFORM FINISH TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIGHT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC DOT STANDARDS, SPECIFICATIONS, AND DETAILS.

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**320 W. CABARRUS**  
**ADMINISTRATIVE SITE REVIEW**  
**414 S WEST CABARRUS STREET**  
 RALEIGH, NC

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO. RDG23002  
 FILENAME RDG-23002-ASR-S1  
 CHECKED BY JLB  
 DRAWN BY LLH  
 SCALE 1"=20'  
 DATE 05.29.2024

**SHEET**

**CODE LANDSCAPE DETAILS**

**L5.01**

Seal/Signature

Date Description  
 2 05.20.24 ASR

**NOT FOR CONSTRUCTION**

Project Name  
 320 W CABARRUS

Project Number  
 90.0539.000

Description  
 SOUTH ELEVATION

Scale  
 1/8" = 1'-0"

**ASR\_03**

DISTRICT: DK20-SH-CU

**MAX HEIGHT** (SEC 3.3.1)  
 23 STORIES MAX ALLOWED  
 HEIGHT LIMIT N/A

**MIN. HEIGHT** (SEC 3.3.2.B, SHOPFRONT)  
 MIN. STREET FACING BLDG STORY: 3 STORIES  
 DEPTH OF MIN. HEIGHT FROM FACADE: 8'-0"

**FLOOR HEIGHT** (SEC 3.2.6.E)  
 GROUND STORY HEIGHT: 15'-0" ALLOWED  
 UPPER STORY HEIGHT: 9'-0" ALLOWED

**MAX HEIGHT ENROACHMENT BY PARAPET**  
 4'-0" FOR 3 STORY BUILDING ALLOWED

**SOUTH ELEVATION** FACING TO PRIMARY STREET, W. CABARRUS STREET

3 STORIES PROVIDED  
 48'-0" PROVIDED

3 STORIES PROVIDED (SEC 3.3.2.B1)  
 8'-4" PROVIDED (SEC 3.3.1.8.3)

20'-0" PROVIDED (SEC 3.2.6.E1)  
 14'-0" PROVIDED (SEC 3.2.6.E2)

4'-0" PROVIDED (SEC 1.5.7.A.1)

**TRANSPARENCY CALCULATION** (SEC 1.5.9)

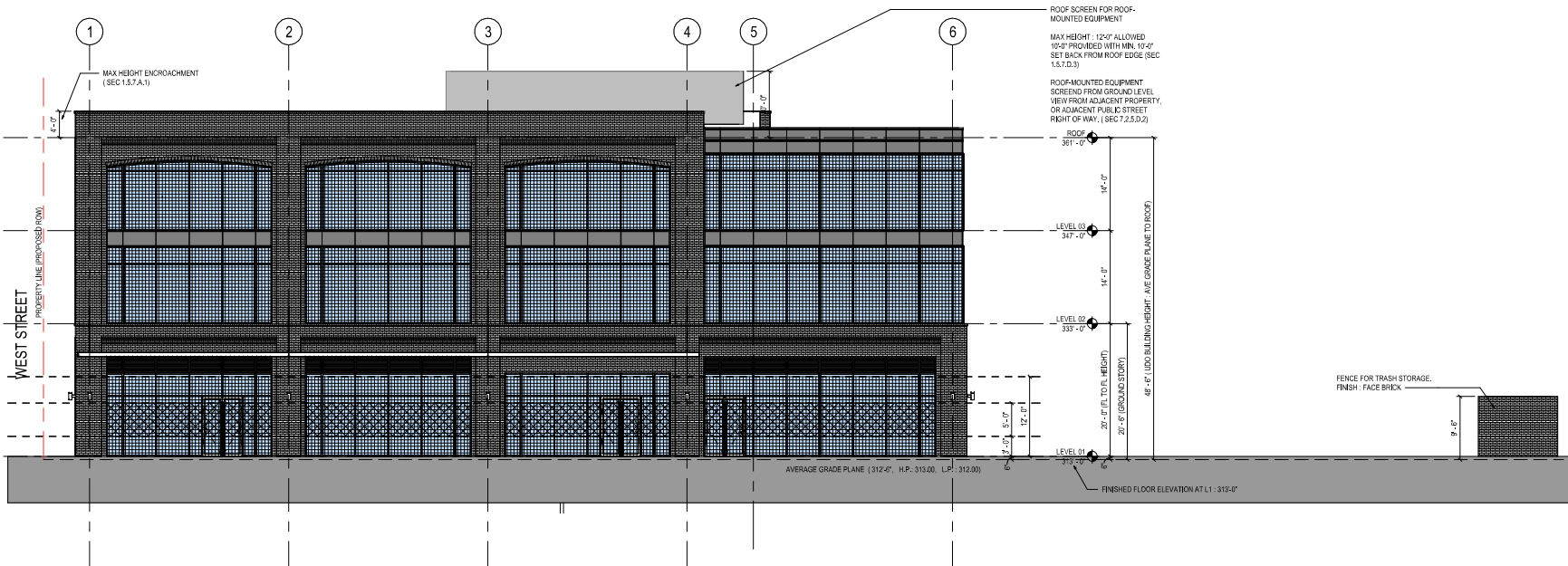
**GROUND STORY**  
 TOTAL FACADE AREA (UP TO 12'-0") 1,612 SF  
 REQUIRED TRANSPARENT AREA 1,064 SF (66% OF TOTAL FACADE AREA, SEC 3.2.6.F)  
 TRANSPARENT AREA (UP TO 12'-0") 1,320 SF (81.90% PROVIDED)  
 REQUIRED TRANSPARENT AREA IN 3'-0" AND 8'-0" 532 SF (50% OF REQUIRED TRANSPARENT AREA)  
 TRANSPARENT AREA (3 AND 8'-0") 550 SF PROVIDED  
 \* GLASS HAS VIEW DEPTH MORE THAN 8'-0" IN URBAN FRONTAGE - SHOPFRONT (SEC 1.5.9.B3) AND 80% HIGHER TRANSPARENCY AND LESS THAN 15% REFLECTANCE (SEC 1.5.9.B4)

**UPPER STORY**  
 TOTAL FACADE AREA 1,872.50 SF (L2 & L3 HAVE SAME AREA)  
 REQUIRED TRANSPARENT AREA 374.50 SF (20% OF TOTAL FACADE AREA)  
 TRANSPARENT AREA AT L2 1,318 SF PROVIDED  
 TRANSPARENT AREA AT L3 1,217 SF PROVIDED



TRANSPARENT AREA

TRANSPARENT AREA BETWEEN 3'-0" AND 8'-0" AT GROUND STORY



**1 SOUTH ELEVATION ( PRIMARY STREET - W. CABARRUS STREET)**  
 SCALE: 1/8" = 1'-0"

# 320 W Cabarrus

320 West Cabarrus Street  
Raleigh, NC 27601

## Gensler

613 Hillsborough St. Raleigh, NC 27603  
United States  
Tel: 919.239.7836  
Fax: 919.239.7828

DISTRICT : DX-20-SH+CU WEST ELEVATION FACING TO SIDE STREET, WEST STREET

**MAX HEIGHT** (SEC 3.3.1)  
20 STORIES MAX ALLOWED  
HEIGHT LIMIT N/A  
3 STORES PROVIDED  
45'-0" PROVIDED

**MIN. HEIGHT** (SEC 3.3.2.B, SHOFFRONT)  
MIN. STREET FACING BLDG STORY: 3 STORES  
DEPTH OF MIN. HEIGHT FROM FACADE: 60'-0"  
3 STORES PROVIDED (SEC 3.3.2.B.1)  
64'-4" PROVIDED (SEC 3.3.2.B.3)

**FLOOR HEIGHT** (SEC 3.2.6.E)  
GROUND STORY HEIGHT : 15'-0" ALLOWED  
UPPER STORY HEIGHT : 9'-0" ALLOWED  
20'-0" PROVIDED (SEC 3.2.6.E.1)  
14'-0" PROVIDED (SEC 3.2.6.E.2)

**MAX HEIGHT ENROACHMENT** BY PARAPET  
4'-0" FOR 3 STORY BUILDING ALLOWED  
4'-0" PROVIDED (SEC 1.5.7.A.1)

**TRANSPARENCY CALCULATION** (SEC 1.5.9)

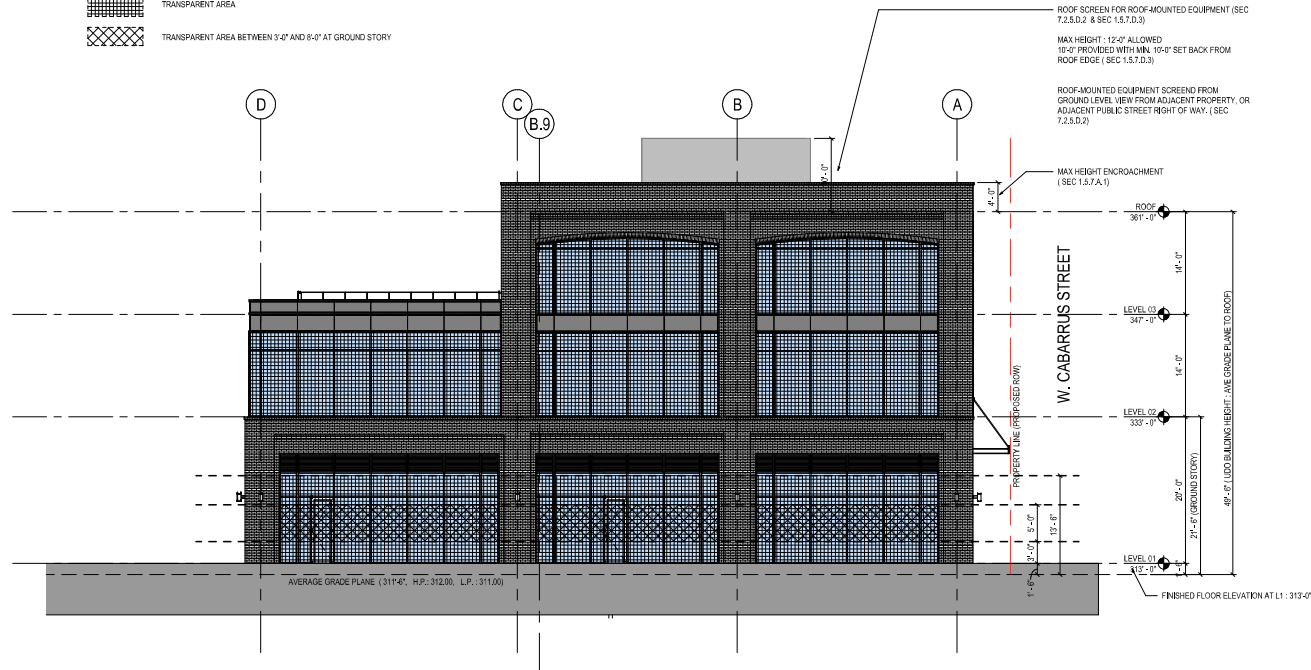
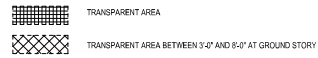
**GROUND STORY**  
TOTAL FACADE AREA (UP TO 12'-0") 1,192 SF  
REQUIRED TRANSPARENT AREA 787 SF (66% OF TOTAL FACADE AREA, SEC 3.3.2.6.F)  
TRANSPARENT AREA (UP TO 12'-0") 960 SF (80.54% PROVIDED)  
REQUIRED TRANSPARENT AREA IN 3'-0" AND 6'-0" TRANSPARENT AREA (3 AND 8'-0") 394 SF (33% OF REQUIRED TRANSPARENT AREA)  
TRANSPARENT AREA (3 AND 8'-0") 400 SF PROVIDED

\* GLASS HAS VIEW DEPTH MORE THAN 8'-0" IN URBAN FRONTAGE - SHOFFRONT (SEC 1.5.9.B.3) AND 80% HIGHER TRANSPARENCY AND LESS THAN 15% REFLECTANCE (SEC 1.5.9.B.4)

**UPPER STORY**

**L2**  
TOTAL FACADE AREA 1,382 SF  
REQUIRED TRANSPARENT AREA 277 SF (20% OF TOTAL FACADE AREA)  
TRANSPARENT AREA 976 SF (70% PROVIDED)

**L3**  
TOTAL FACADE AREA 990 SF  
REQUIRED TRANSPARENT AREA 180 SF (20% OF TOTAL FACADE AREA)  
TRANSPARENT AREA 510 SF (56.71% PROVIDED)



Seal / Signature

Date	Description
2 05.20.24	ASR

**NOT FOR CONSTRUCTION**

Project Name  
320 W CABARRUS

Project Number  
90.0539.000

Description  
WEST ELEVATION

Scale  
1/8" = 1'-0"

ASR\_04

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5/28/2024 3:57:30 PM Autodesk Docs: 19812531000\_1PRJ\_320 W Cabarrus/SheetName - 0010539.000.rvt

**1 WEST ELEVATION (SIDE STREET - S. WEST STREET)**  
SCALE: 1/8" = 1'-0"

**320 W Cabarrus**  
 320 West Cabarrus Street  
 Raleigh, NC 27601

**Gensler**

612 Hillsborough St. Raleigh, NC 27603  
 United States  
 Tel: 919.239.7836  
 Fax: 919.239.7828

Seal / Signature

Date	Description
2 05.20.24	ASR

**NOT FOR CONSTRUCTION**

Project Name  
 320 W CABARRUS

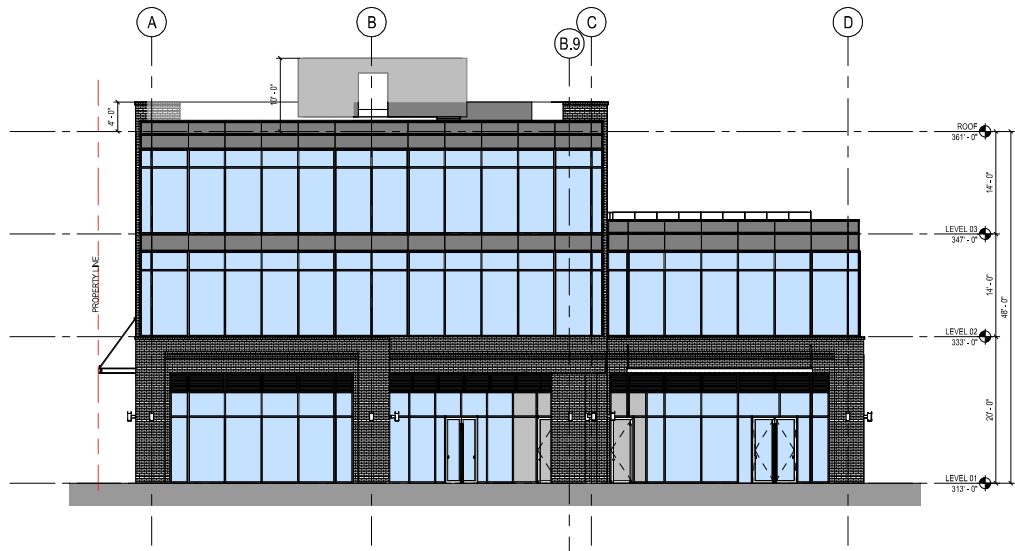
Project Number  
 90.0539.000

Description  
 EAST & NORTH ELEVATIONS

Scale  
 1/8" = 1'-0"

**ASR\_05**

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**1 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"