



# Administrative Approval Action

Case File / Name: ASR-0035-2021  
DSLCL - New Bern and Swain Apartments ASR

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The subject property consists of two sites, both generally located at the southwest corner of New Bern Avenue and S Swain Street, with common street addresses of 574 New Bern Avenue and 18 S Swain Street.

**REQUEST:** Development of the north site (proposed Lot 1) consists of an approximately 4,816 square foot townhouse type building containing 2 dwelling units, and an approximately 15,475 square foot apartment building containing 10 dwelling units. The north site is zoned OX-3-GR with the portion closest to New Bern Avenue containing the townhouse type building also located in the New Bern - Edenton NCOD. Development of the south site (proposed Lot 2) consists of an approximately 25,146 square foot apartment building containing 18 dwelling units. The south site is zoned OX-3. The north site and the south site are separated by an existing public alley. Combined the subject property is approximately 0.77 acres.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 5, 2021 by Wake Land Design, PLLC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Demonstrate compliance with UDO Section 7.2.5.C (Screening - Service Areas).

### **Stormwater**

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. These lots are exempt per UDO Section 9.2.2.A.2.b.i as commercial lots of one-half acre or less recorded prior to May 1, 2001, and not altered to be larger than one-half acre in size, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas. Formal submittal of downstream flooding analysis per UDO Section 9.2.2.A.4.b.ii. will be required at site permitting review.



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Cross Access Agreements Required

Utility Placement Easement Required

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## Engineering

1. A cross access agreement among the lots identified as PINs 1703989859 and 1703988867 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

5. The maximum allocated impervious area for all applicable lots should be identified on all maps for recording.
6. All stormwater control measures and means of transporting stormwater runoff shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

## **General**

1. A recombination map shall be recorded recombining the existing lots as shown on the preliminary plan.

## **Engineering**

2. A public infrastructure surety for (7) street trees (tree lawn) shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## **Public Utilities**

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Stormwater**

5. These lots are exempt per UDO Section 9.2.2.A.2.b.i as commercial lots of one-half acre or less recorded prior to May 1, 2001, and not altered to be larger than one-half acre in size, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
6. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## **Urban Forestry**

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (7) street trees along S. Swain St. and a fee-in-lieu for (1) tree along New Bern Ave.



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**The following are required prior to issuance of building occupancy permit:**

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

## Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** December 8, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

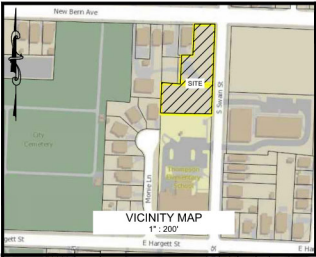
**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alyisia Bailey Taylor Date: 12/08/2021  
Development Services Dir/Designee

Staff Coordinator: Kasey Evans



# NEW BERN AND SWAIN APARTMENTS

## TIER 3 SITE PLAN ASR-0035-2021

RALEIGH, NORTH CAROLINA

APRIL 29, 2021

REVISED JULY 16, 2021

REVISED SEPTEMBER 22, 2021

REVISED NOVEMBER 5, 2021

SITE DATA	
PROPERTY OWNER:	GRAYSON HOMES, LLC 5711 SIX FORKS RD, SUITE 103 RALEIGH, NC 27609
SITE ADDRESS:	574 NEW BERN AVENUE & 18 S. SWAIN STREET
SITE AREA: BEFORE RW DEDICATION	LOT 1: 17,443 SF = 0.400 AC, LOT 2: 17,345 SF = 0.398 AC
AFTER RW DEDICATION:	LOT 1: 16,255 SF = 0.373 AC, LOT 2: 16,902 SF = 0.388 AC
WAKE COUNTY PIN #:	1703989859 & 1703989749
ZONING DISTRICT:	LOT 1: OX-3-GR (NEW BERN EDENTON OVERLAY NCCOD) LOT 2: OX-3
EXISTING USE:	VACANT
PROPOSED USE:	MULTI-UNIT LIVING (TOWNHOME & APARTMENT BUILDING TYPE)
STREET CLASSIFICATION:	NEW BERN - 4-LANE AVE - PARALLEL PARKING (ONE-WAY) S. SWAIN STREET - NEIGHBORHOOD STREET
STREETSCAPE REQUIRED:	GREEN FRONTAGE - COMMERCIAL (UDO 3.4.6 → 8.5.2.A) 6' TREE LAWN 6' SIDEWALK
STREETSCAPE PROVIDED:	NEW BERN AVE: FEE-IN-LIEU DUE TO BUS RAPID TRANSIT (BRT) S. SWAIN STREET: 6' TREE LAWN WITH 6' SIDEWALK
BUILD-TO REQUIREMENTS: TOWNHOMES & BUILDING A:	GR FRONTAGE: 50% BUILDING WIDTH IN PRIMARY ST. BUILD TO "10-25" 35% BUILDING WIDTH IN SIDE ST. BUILD TO "10-25" *NEW BERN EDENTON NCCOD: 10' MIN. AND 25' MAX. SETBACKS ESTABLISH PRIORITY FOR BUILD-TO ZONE
PROVIDED BUILD TO: TOWNHOMES & BUILDING A:	NEW BERN AVE: 44'-0" BUILDING / 66.3% FRONTAGE = 66.3% S. SWAIN ST.: 68' BUILDING / 192.7% FRONTAGE = 35.2%
BUILDING GROSS FLOOR AREA:	TOWNHOMES: 4,816 SF BUILDING A: 15,475 SF BUILDING B: 25,146 SF TOTAL: 45,437 SF
REQUIRED PARKING:	LOT 1: 0 SPACES (GR FRONTAGE); (4) 1 BEDROOM, (6) 2-BEDROOM, (3) 3-BEDROOM UNITS *UDO 7.1.3.C.2 - NO PARKING REQUIRED FOR FIRST 16 UNITS
PROVIDED PARKING:	LOT 2: 25 SPACES (4) 1-BEDROOM UNITS = 4 SPACES (14) 2-BEDROOM UNITS = 21 SPACES LOT 1: 12 SPACES (INCL. (1) VAN ACCESSIBLE IN BUILDING 'A') 2 SPACES IN TOWNHOME 1-CAR GARAGES LOT 2: 25 SPACES (INCL. (1) ACCESSIBLE & (1) VAN ACCESSIBLE)
BICYCLE PARKING REQUIRED:	LOT 1: 4 SPACES (SHORT TERM: 1 SPACE PER 20 UNITS, MINIMUM 4) LOT 2: 4 SPACES (SHORT TERM: 1 SPACE PER 20 UNITS, MINIMUM 4)
PROVIDED:	LOT 1: 4 SPACES LOT 2: 4 SPACES
AMENITY AREA REQUIRED:	LOT 1: 1,626 SF (10%) LOT 2: 1,690 SF (10%)
PROVIDED:	LOT 1: 2,077 SF (12.7%) - 1,555 SF AT GRADE, 522 SF ROOFTOP LOT 2: 3,342 SF ROOFTOP (19.7%)
NEW BERN - EDENTON NEIGHBORHOOD (NCCOD)	MIN. LOT SIZE: 4,000 SF MIN. LOT FRONTAGE: 30' FRONT SETBACK: 10' MIN., 20' MAX. SIDE YARD SETBACK: 0' BUILDING SEPARATION: MIN. 10' MAX. BUILDING HEIGHT: 35'

INDEX	EXISTING CONDITIONS AND DEMOLITION PLAN
CE-1	SITE PLAN
CE-2.1	SOLID WASTE PLAN
CE-2.2	BUILD-TO PLAN
CE-3	GRADING & DRAINAGE PLAN
CE-4	UTILITY PLAN
CE-5	FIRE APPARATUS PLAN
CE-6	LANDSCAPE PLAN
LA-1	LANDSCAPE DETAILS & NOTES
LA-2	ARCHITECTURAL ELEVATIONS
A4.01	ARCHITECTURAL ELEVATIONS
A4.02	ARCHITECTURAL ELEVATIONS
A4.03	ARCHITECTURAL ELEVATIONS
A4.04	ARCHITECTURAL ELEVATIONS
A4.05	ARCHITECTURAL ELEVATIONS
A4.06	ROOF PLAN
A4.07	ROOF DETAILS

**UDO SEC. 8.3.2.A BLOCK PERIMETER**  
THE LEAST RESTRICTIVE ZONING WITHIN THE SUBJECT BLOCK IS R-10 RESIDENTIAL. THEREFORE, IN ACCORDANCE WITH UDO 8.3.2.A.2, BLOCK PERIMETER IS NOT APPLICABLE DUE TO THE SITE AREA BEING 0.76 ACRES WHICH IS LESS THAN THE 3 ACRE MIN. SITE AREA APPLICABILITY FOR R-10 ZONING.

**UDO SEC. 8.3.2.A CROSS ACCESS**  
IN ACCORDANCE WITH UDO 8.3.5.D CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE TO THE FOLLOWING ADJOINING PROPERTIES:

- PIN# 1703989617 (WESTERN BOUNDARY) - PROPERTY IS OCCUPIED BY A DETACHED BUILDING TYPE (UDO SEC. 8.3.5.D.5.a)
- PIN# 1703987875 (WESTERN BOUNDARY) - PROPERTY IS OCCUPIED BY A DETACHED BUILDING TYPE (UDO SEC. 8.3.5.D.5.a)
- PIN# 1703987794 (WESTERN BOUNDARY) - PROPERTY IS OCCUPIED BY A DETACHED BUILDING TYPE (UDO SEC. 8.3.5.D.5.a)
- PIN# 1703989408 (SOUTHERN BOUNDARY) - ABUTTING PROPERTY OCCUPIED BY A SCHOOL, (UDO SEC. 8.3.5.D.5.C)

**OWNER/DEVELOPER:**  
**GRAYSON HOMES, LLC**  
5711 Six Forks Rd, Suite 103  
Raleigh, NC 27609  
919-578-6222  
mike@graysonhomes.com

**CIVIL ENGINEER:**



**WAKE LAND DESIGN, PLLC**  
NC LICENSE P-1839  
PHONE: 919-889-2614  
EMAIL: JASON@WAKELANDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27528

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCCOD STANDARDS AND SPECIFICATIONS.

**SOLID WASTE INSPECTIONS STATEMENT**  
ROLL OFF TRASH AND RECYCLING CONTAINERS SHALL BE STORED WITHIN THE PARKING GARAGES OF EACH BUILDING AND COLLECTED BY A PRIVATE COLLECTION SERVICE.

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### Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 402 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan
<input type="checkbox"/> Detached	<input type="checkbox"/> General	<input checked="" type="checkbox"/> Subdivision case #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	<input type="checkbox"/> Scoping/sketch plan case #:
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	<input type="checkbox"/> Certificate of Appropriateness #:
<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	<input type="checkbox"/> Board of Adjustment #:
		<input type="checkbox"/> Zoning Case #:
		<input type="checkbox"/> Administrative Alternate #:

**GENERAL INFORMATION**

Development name: New Bern and Swain Apartments  
 Inside City limits? Yes  No   
 Property address(es): 574 New Bern Ave, 18 S. Swain St  
 Site P.L.N. (s): 1703989859, 1703989749  
 Please describe the scope of work. Include any additions, expansions, and change of use.  
 Construction of (2) apartment style buildings, (1) 2-Unit Townhome building, shared alley, utilities, stormwater infrastructure, and other site improvements.

Current Property Owner/Developer Contact Name: Michael J. Poupard (Purchase Contract included with Submittal)  
**NOTE: please attach purchase agreement when submitting this form.**

Company: Grayson Homes, LLC	Title: Manager
Address: 5711 Six Forks Rd Suite #103	
Phone #: 919-578-6222	Email: mike@graysonhomes.com
Applicant Name: Jason G. Meadows P.E.	
Company: Wake Land Design, PLLC	Address: P.O. Box 418 Clayton, NC 27528
Phone #: 919-889-2614	Email: jason@wakelanddesign.com

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### DEVELOPMENT TYPE • SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-GR (0.40 AC.) OX-3 (0.373 AC.)	Existing gross floor area (not to be demolished): N/A Existing gross floor area to be demolished:
Gross site acreage: 0.773 AC	New gross floor area: 45,437 SF
# of parking spaces required: 25	Total # of gross (to remain and new): 45,437 SF
# of parking spaces proposed: 39	Proposed # of buildings: 3
Overlay District (if applicable): New Bern Edenton NCCOD	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Multi-Family	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.04 AC Square Feet: 3,781 SF	Proposed Impervious Surface: Acres: 0.08 AC Square Feet: 6,889 SF
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, please provide: Alluvial soils: Flood study: FEMA Map Panel #:
Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 30 units	Total # of hotel units:
# of bedroom units: 1br 8 units 2br 20 units 3br 2 units 4br or more	
# of lots: 2	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

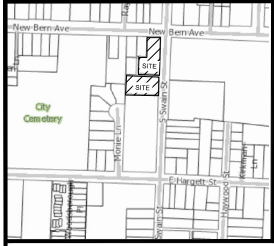
The undersigned indicates that the property owner(s) is/are aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Michael J. Poupard will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after 180 days of inactivity.

Signature: Michael J. Poupard Date: 4/28/2021  
Printed Name: Michael J. Poupard

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VICINITY MAP  
NOT TO SCALE

**NOTES:**

1. ALL DIMENSIONS ARE HORIZONTAL UNLESS INDICATED OTHERWISE.
2. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
3. BASE OF BEARINGS IS NORTH-CAROLINA GRID (NCRG). THE SITE WAS LOCATED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERRING TO THE CONTIGUOUSLY OPERATING STATION (COS) NETWORK BASE STATION NC03, RALEIGH, NC.
4. THE SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD UNCOVER.
5. ALL REFERENCE ARE MADE TO THE WAKE COUNTY RECORDS.
6. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 83.
7. EXISTING WATER MAIN LOCATION SHOWN IS BASED ON OLD INFORMATION PROVIDED BY THE CITY OF RALEIGH. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, AND MATERIAL.

**SITE DATA**

**TRACT 1**

OWNER: COGGINS CONSTRUCTION COMPANY  
 SITE ADDRESS: 18 S SWAIN STREET, RALEIGH, NC 27601  
 FIN: 1703.28-98-0749  
 REFERENCES: DB 2102, PG 53  
 AREA: 6,698 S.F. (0.1597 AC.)

**TRACT 2**

OWNER: COGGINS CONSTRUCTION COMPANY  
 SITE ADDRESS: 18 S SWAIN STREET, RALEIGH, NC 27601  
 FIN: 1703.28-98-0749  
 REFERENCES: DB 1174, PG 299  
 AREA: 8647 S.F. (0.1965 AC.)

**TRACT 3**

OWNER: COGGINS CONSTRUCTION COMPANY  
 SITE ADDRESS: 574 NEW BERN AVE, RALEIGH, NC 27601  
 FIN: 1703.28-98-0809  
 REFERENCES: DB 1681, PG 516  
 AREA: 4,963 S.F. (0.1139 AC.)

**TRACT 4**

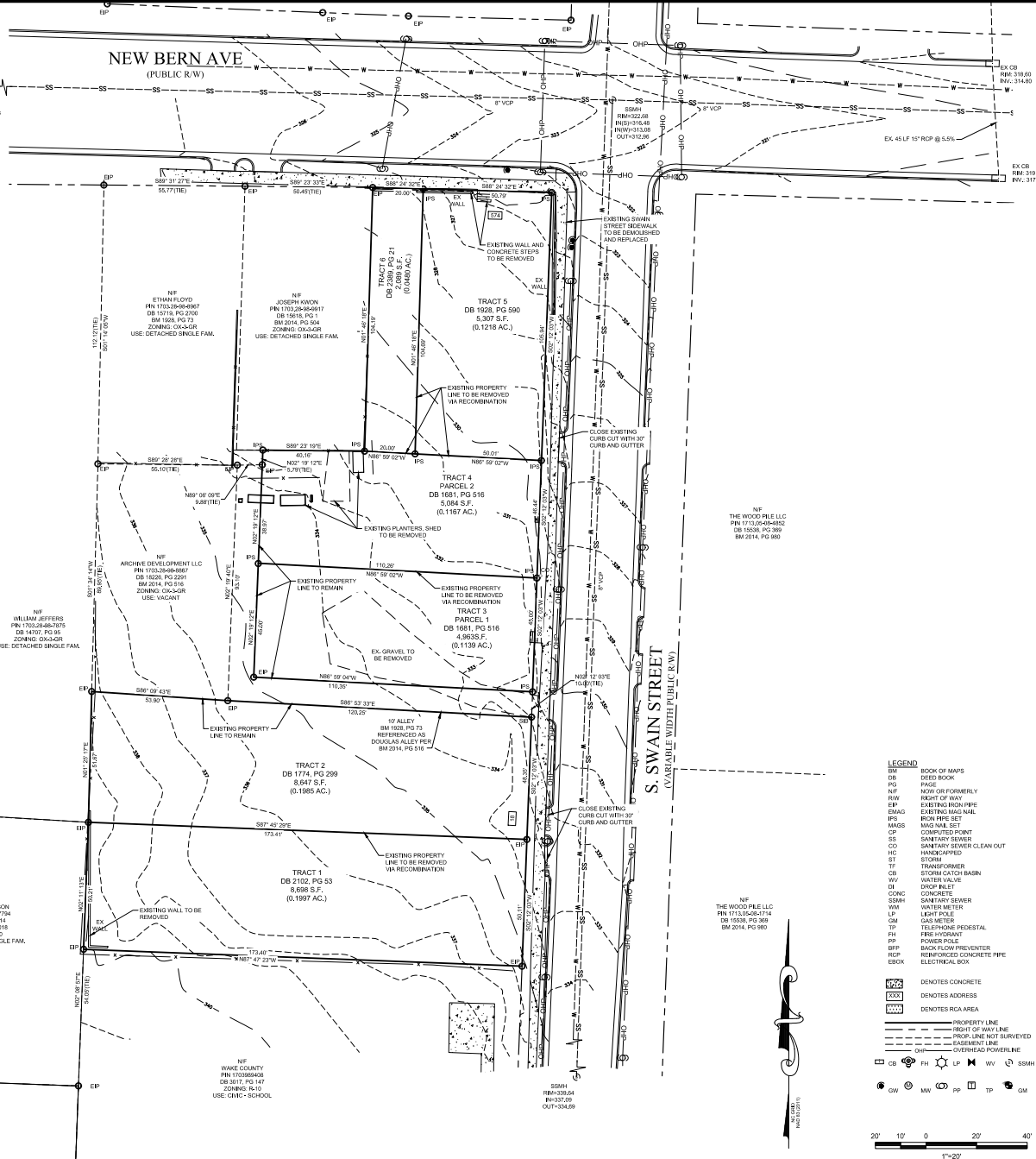
OWNER: COGGINS CONSTRUCTION COMPANY  
 SITE ADDRESS: 574 NEW BERN AVE, RALEIGH, NC 27601  
 FIN: 1703.28-98-0809  
 REFERENCES: DB 1681, PG 516  
 AREA: 5,084 S.F. (0.1167 AC.)

**TRACT 5**

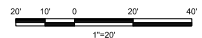
OWNER: COGGINS CONSTRUCTION COMPANY  
 SITE ADDRESS: 574 NEW BERN AVE, RALEIGH, NC 27601  
 FIN: 1703.28-98-0809  
 REFERENCES: DB 1628, PG 560  
 AREA: 5,307 S.F. (0.1218 AC.)

**TRACT 6**

OWNER: COGGINS CONSTRUCTION COMPANY  
 SITE ADDRESS: 574 NEW BERN AVE, RALEIGH, NC 27601  
 FIN: 1703.28-98-0809  
 REFERENCES: DB 2389, PG 21  
 AREA: 2,089 S.F. (0.0480 AC.)



- LEGEND**
- BM BOOK OF MAPS
  - DB DEED BOOK
  - PG PAGE
  - NF NEW OR FORMERLY
  - RW RIGHT OF WAY
  - EP EXISTING HIGH PIPE
  - EMAG EXISTING MAG NAIL
  - EP EXISTING PROPERTY LINE
  - EP EXISTING EASEMENT LINE
  - EP EXISTING POWERLINE
  - SS SANITARY SEWER
  - SS SANITARY SEWER CLEAN OUT
  - HC HANDCAPPED
  - ST STORM CATCH BASIN
  - WF WATER VALVE
  - DE DROPPED
  - CONC CONCRETE
  - SBM SANITARY SEWER
  - WM WATER METER
  - LP LIGHT POLE
  - GM GAS METER
  - TEL TELEPHONE PEDESTAL
  - FH FIRE HYDRANT
  - PF POWER POLE
  - BFP BACKFLOW PREVENTER
  - RCP REINFORCED CONCRETE PIPE
  - EBOX ELECTRICAL BOX
- XXXX DENOTES CONCRETE  
XXXX DENOTES ADDRESS  
XXXX DENOTES RGA AREA  
 --- PROPERTY LINE  
 --- RIGHT OF WAY LINE  
 - - - - - PROX. LINE NOT SURVEYED  
 --- EASEMENT LINE  
 --- OVERHEAD POWERLINE  
 CE MW LP PP TP GM SSMH



**WLD**  
 WAKE LAND DESIGN, PLLC  
 CIVIL ENGINEERING  
 PROJECT MANAGEMENT  
 LAND PLANNING  
 RALEIGH ZONING SPECIALISTS

NC LICENSE PJ4839  
 PHONE: 919-889-9144  
 EMAIL: JASON@WAKELANDESIGN.COM  
 P.O. BOX 418  
 CLAYTON, NC 27328

**GRAYSON HOMES**  
 5771 SIX FORKS RD.  
 SUITE 103  
 RALEIGH, NC 27609

**574 NEW BERN AVE**  
 18 S. SWAIN ST.

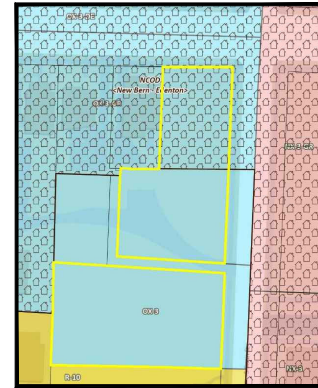
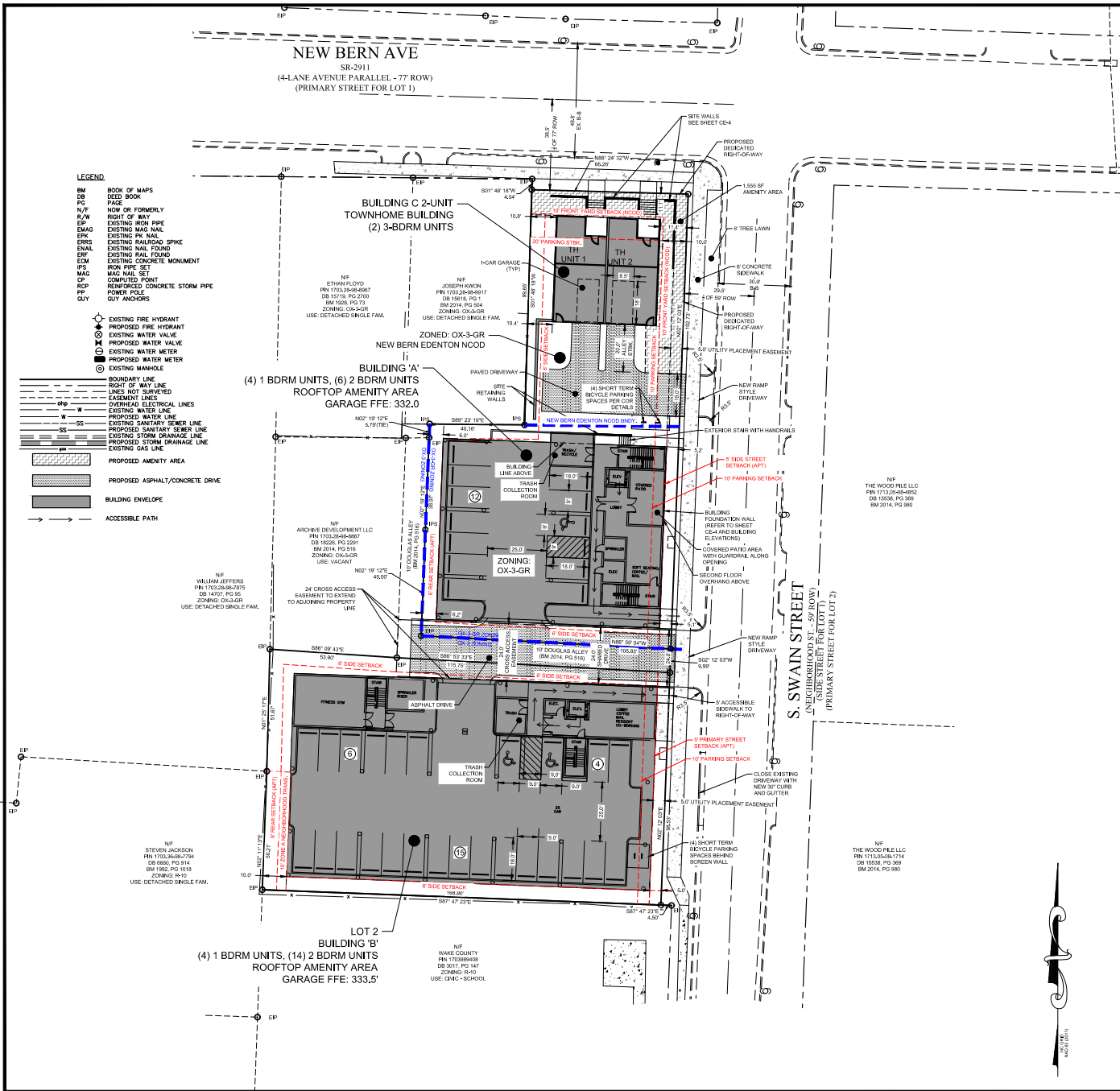
**TIER 3 SITE PLAN**

Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	11/5/21

**EXISTING CONDITIONS AND DEMOLITION PLAN**

CE-1

Date Issued: 4/29/2021



**WLD**  
WAKE LAND DESIGN, PLLC  
CIVIL ENGINEERING  
PROJECT MANAGEMENT  
LAND PLANNING  
RALEIGH ZONING SPECIALISTS

NC LICENSE #14830  
PHONE: 919-889-8114  
EMAIL: JASON@WAKELANDDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27328



Submittals

Client  
**GRAYSON HOMES**  
5771 SIX FORKS RD.  
SUITE 103  
RALEIGH, NC 27609

Project  
**574 NEW BERN AVE**  
18 S. SWAIN ST.

Phase  
**TIER 3 SITE PLAN**

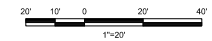
Revisions		
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	7/18/21
2	CITY OF RALEIGH COMMENTS	9/22/21
3	CITY OF RALEIGH COMMENTS	11/5/21

Notes

Drawing Title  
**SITE PLAN**

Drawing Title  
**CE-2.1**

Date Issued 4/29/2021



**NEW BERN AVE**  
SR-2911  
(4-LANE AVENUE PARALLEL - 77 ROW)

**LOT 1 BUILD-TO REQUIREMENTS**

- LOT 1 BUILDING A**
- OX<CR> NEW BERN EDENTON NCOB
  - OX<CR> NEW BERN EDENTON NCOB
  - BUILD-TO ZONE - 10' MIN, 25' MAX INCOB PRIORITY OVER GR
  - PRIMARY BUILD-TO 502, 10-25' INCOB PRIORITY OVER GR
  - SIDE BUILD-TO, 352, 10-25' INCOB PRIORITY OVER GR
- OX<CR>**
- SETBACKS 20' MIN. IGR FRONTAGE + PRIMARY SIDE STREET PARKING
  - SETBACK ONCE BUILD-TO IS MET: 5' APARTMENT UDO, SEC. 3.2.4.82
  - BUILD-TO 332 20-25' IGR FRONTAGE\*



**WAKE LAND DESIGN, PLLC**  
CIVIL ENGINEERING  
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NC LICENSE P14830  
PHONE: 919-889-9144  
EMAIL: JASON@WAKELANDDESIGN.COM  
P.O. BOX 418  
CLAYTON, NC 27328



Submittals

**GRAYSON HOMES**  
5771 SIX FORKS RD.  
SUITE 103  
RALEIGH, NC 27609

**574 NEW BERN AVE**  
18 S. SWAIN ST.

**TIER 3 SITE PLAN**

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Notes



Drawing Title

**BUILD-TO PLAN**

Drawing Title

**CE-3**

Date Issued: 4/29/2021

**BUILD-TO CALCULATIONS**

**BUILD-TO REQUIREMENTS:** PRIMARY STREET FRONTAGE: 66.3' (NEW BERN AVE.)  
SIDE STREET FRONTAGE: 192.7' (S. SWAIN ST.)  
35% BUILDING WIDTH WITHIN PRIMARY ST. BUILD-TO ZONE = 33.15'  
35% BUILDING WIDTH WITHIN SIDE ST. BUILD-TO ZONE = 67.45'

**BUILD-TO ZONES:** GR FRONTAGE w/INCOB: 10' MIN. - 25' MAX.  
10' MIN. AND 25' MAX. SETBACKS ESTABLISHES PRIORITY FOR BUILD-TO ZONE  
GR FRONTAGE: 20' MIN. - 50' MAX.

**LOT 1 PROVIDED BUILD-TO:** PRIMARY STREET: NEW BERN AVE.: 44.0' BUILDING / 66.3' FRONTAGE = 66.3%  
SIDE STREET: TOWNHOME BUILDING: 45' BUILDING WIDTH  
BUILDING A: 23' BUILDING WIDTH  
TOTAL: 68' BUILDING / 192.7' FRONTAGE = 35.2%

**LEGEND:**

- BN BOOK OF MAPS
  - DB DEED BOOK
  - PG PAGE
  - N/F NOW OR FORMERLY
  - R/W RIGHT OF WAY
  - EP EXISTING POB PIPE
  - EMAG EXISTING MAG NAL
  - EPK EXISTING RAILROAD SPIKE
  - EMAL EXISTING MAG FOUND
  - EM EXISTING RAIL FOUND
  - ECM EXISTING CONCRETE MONUMENT
  - EP EXISTING POB PIPE
  - MAC MAG NAL SET
  - CP COMPUTED POINT
  - RCP REINFORCED CONCRETE STORM PIPE
  - PP POWER POLE
  - GUY GUY ANCHORS
- EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT
  - EXISTING WATER VALVE
  - PROPOSED WATER VALVE
  - EXISTING WATER METER
  - PROPOSED WATER METER
  - EXISTING MANHOLE
- BOUNDARY LINE
  - RIGHT OF WAY LINE
  - LINE NOT SURVEYED
  - EASEMENT LINES
  - OVERHEAD ELECTRICAL LINES
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING SANITARY SEWER LINE
  - PROPOSED SANITARY SEWER LINE
  - EXISTING STORM DRAINAGE LINE
  - PROPOSED STORM DRAINAGE LINE
  - EXISTING GAS LINE
- PROPOSED AMENITY AREA
  - PROPOSED ASPHALT/CONCRETE DRIVE
  - BUILDING ENVELOPE

**BUILDING C 2-UNIT TOWNHOME BUILDING (2) 3-BDRM UNITS**

NF ETHAN FLOYD  
PIN 17020494867  
DB 15716, PG 270  
BM 19014, PG 73  
ZONING: OX<CR>  
USE: DETACHED SINGLE FAM.

NF JOSEPH KWON  
PIN 17020494917  
DB 15615, PG 1  
BM 2014, PG 54  
ZONING: OX<CR>  
USE: DETACHED SINGLE FAM.

**BUILDING 'A' (4) 1 BDRM UNITS, (6) 2 BDRM UNITS ROOFTOP AMENITY AREA GARAGE FFE: 332.0**

NF ARCHIVE DEVELOPMENT LLC  
PIN 17020494867  
DB 15628, PG 2201  
BM 2014, PG 516  
ZONING: OX<CR>  
USE: VACANT

NF WILLIAM JEFFERS  
PIN 17020494875  
DB 14707, PG 95  
BM 19014, PG 73  
ZONING: OX<CR>  
USE: DETACHED SINGLE FAM.

**BUILDING 'B'**

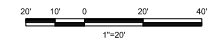
NF STEVEN JACKSON  
PIN 17020494874  
DB 6680, PG 814  
BM 19014, PG 1018  
ZONING: B-10  
USE: DETACHED SINGLE FAM.

**LOT 2 BUILDING 'B' (4) 1 BDRM UNITS, (14) 2 BDRM UNITS ROOFTOP AMENITY AREA GARAGE FFE: 333.5'**

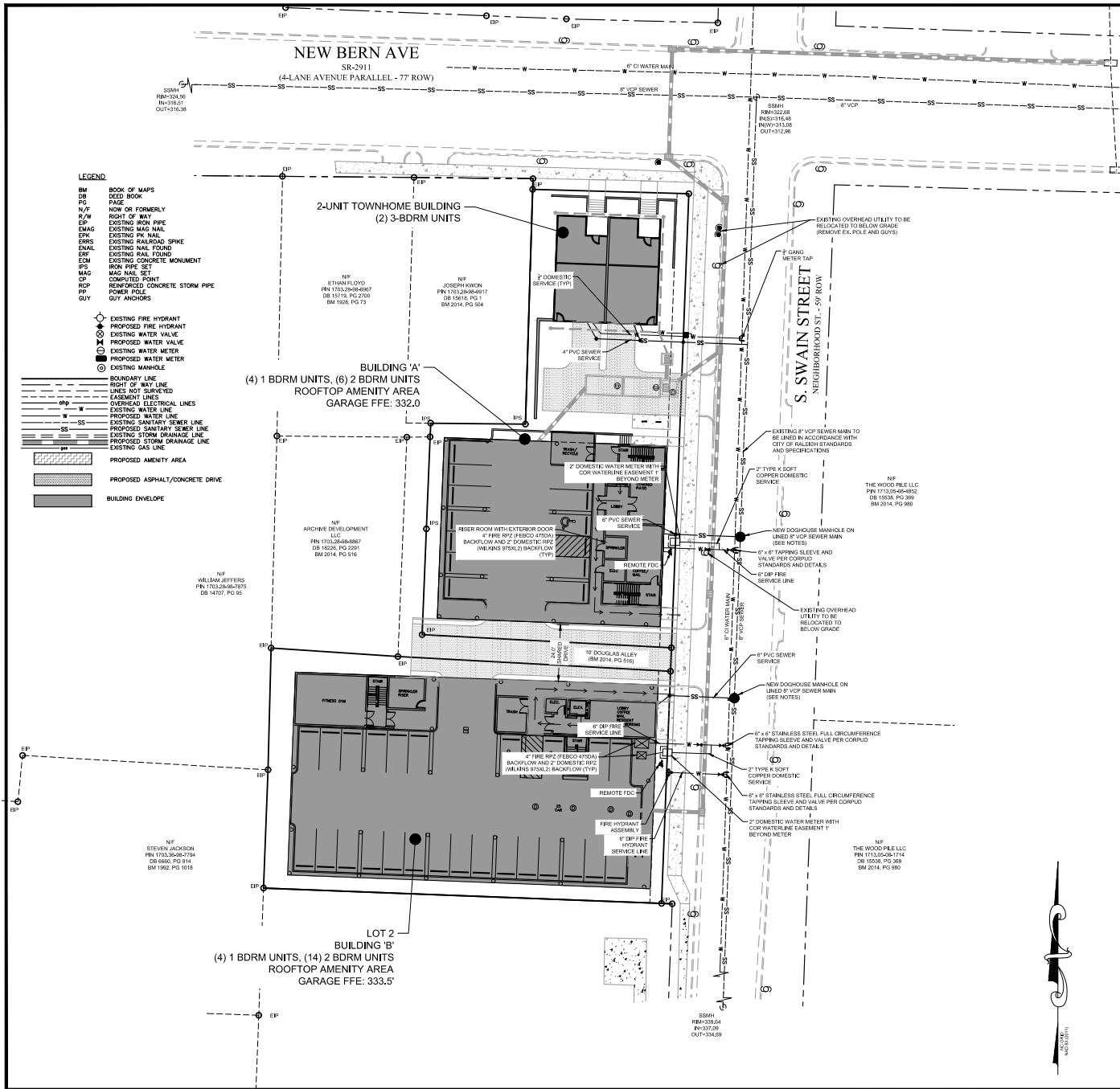
NF THE WOOD FILE LLC  
PIN 17020494802  
DB 15538, PG 369  
BM 2014, PG 80

NF THE WOOD FILE LLC  
PIN 17020494874  
DB 15538, PG 369  
BM 2014, PG 80

**S. SWAIN STREET**  
NEIGHBORHOOD ST. - 59' ROW







- STANDARD UTILITY NOTES (as applicable)**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORP(D) Handbook, current edition).
  - Utility separation requirements:
    - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir or a source of drinking water. If adequate lateral separation cannot be achieved, 6-inch sanitary sewer pipe shall be specified & installed in watertight encasement. However, the minimum separation shall not be less than 25 feet from private well or 50 feet from public well.
    - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed for the water main is a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
    - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DEP materials or steel encasement extended 10' on each side of crossing must be specified & installed in watertight encasement.
    - 3.5' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DEP material is specified for sanitary sewer.
    - Maintain 18" min. vertical separation in all watermain & RCP storm drain crossings; maintain 24" min. vertical separation in all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DEP materials & a concrete cradle having 6" min. clearance per CORP(D) detail 30-11 & 30-15.
    - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
  - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
  - Customer shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be provided by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
  - 3.5' minimum cover is required on all water main & sewer force mains. 4.0' minimum cover is required on all waste mains.
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 10' above the next upstream manhole.
  - All environmental permits applicable to the project must be obtained from NCDWAQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
  - Install 1/2" copper water services with meter located at ROW or within a 2'x2' Weather Easement immediately adjacent to property. It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
  - Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 10' above the next upstream manhole.
  - All environmental permits applicable to the project must be obtained from NCDWAQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
  1. NCDOT Right-of-Way Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
  - Course Interceptor: (a) Waste Separator using calculations & installation specifications shall be approved by the CORP(D) EDC Program Coordinator prior to issuance of a Building Permit. Contact Tom Harley at (919) 996-9214 or tom.harleyp@raleighnc.gov for more information.
  - Construction control protection devices are required based on degree of health hazard involved as listed in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the list of the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local storm-water-control program, whichever is more stringent. Contact Louise Harley at (919) 996-9213 or louise.harley@raleighnc.gov for more information.

**UTILITY NOTES:**

- EX. VCP SANITARY SEWER IN SWAIN STREET TO BE LINED WITH CIPP CURED IN PLACE PIPE LIVING FROM UPSTREAM MANHOLE TO DOWNSTREAM MANHOLE TO ALLOW FOR INST. ALLIGATION OF DOGHOUSE MANHOLES.

**WLD**  
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Submittals

Client

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 5771 SIX FORKS RD.  
 SUITE 103  
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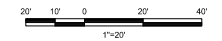
TIER 3 SITE PLAN

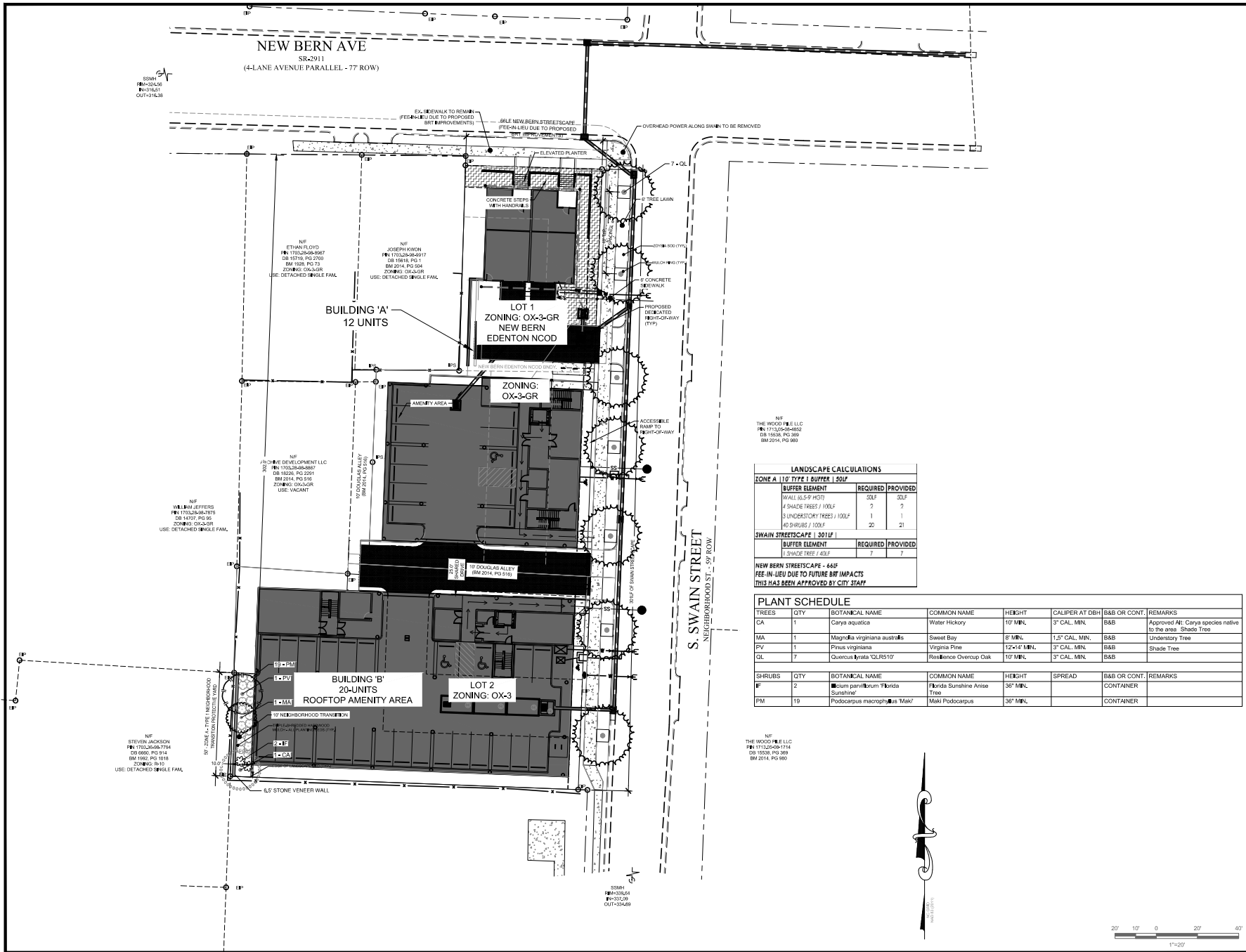
Revisions		
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Utility Plan

CE-5

Date Issued: 4/29/2021





LANDSCAPE CALCULATIONS

ZONE A	10' TYPE 1 BUFFER	10' BUFFER	REQUIRED	PROVIDED
WALL (6.5' HGT)			50LF	50LF
4 SHADE TREES / 100LF			2	2
3 UNDERSTORY TREES / 100LF			1	1
40 SHRUBS / 100LF			20	21

SWAIN STREETSCAPE 1.50' LF	REQUIRED	PROVIDED
1 SHADE TREE / 40LF	2	2

NEW BERN STREETSCAPE - 64LF  
 FEE-IN-LIEU DUE TO FUTURE BRT IMPACTS  
 (THIS HAS BEEN APPROVED BY CITY STAFF)

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	B&B OR CONT.	REMARKS
CA	1	<i>Carya aquatica</i>	Water Hickory	10' MIN.	3' CAL. MIN.	B&B	Approved At: Carya species native to the area. Shade Tree
MA	1	<i>Magnolia virginiana australis</i>	Sweet Bay	8' MIN.	1.5' CAL. MIN.	B&B	Understory Tree
PV	1	<i>Pinus virginiana</i>	Virginia Pine	12x14' MIN.	3' CAL. MIN.	B&B	Shade Tree
QL	7	<i>Quercus lyrata 'QLRS10'</i>	Residence Overcup Oak	10' MIN.	3' CAL. MIN.	B&B	

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	B&B OR CONT.	REMARKS
PF	2	<i>Plum paniculatum 'Florida Sunshine'</i>	Florida Sunshine Anise Tree	36' MIN.		CONTAINER	
PM	19	<i>Podocarpus macrophylla 'Mak'</i>	Mak Podocarpus	36' MIN.		CONTAINER	

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574 NEW BERN AVE  
 18 S. SWAIN ST.

TIER 3 SITE PLAN

Revisions

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LANDSCAPE PLAN

LA-1  
 Date Issued: 2/2/2021



SITE PLAN  
USE ONLY

SITE PLAN  
USE ONLY

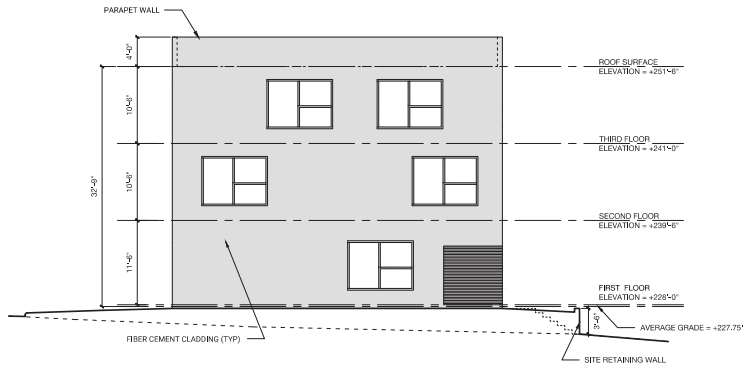
NEW CONSTRUCTION FOR  
**574 NEW BERN AVE & 18 S. SWAIN ST**  
RALEIGH, NC 27601

DATE: 04.22.2021  
DRAWN BY: MARK  
CHECKED BY: MARK

REVISIONS	
NO.	DATE
1	07.16.2021
2	09.27.2021
3	11.05.2021

ARCHITECTURAL  
ELEVATIONS

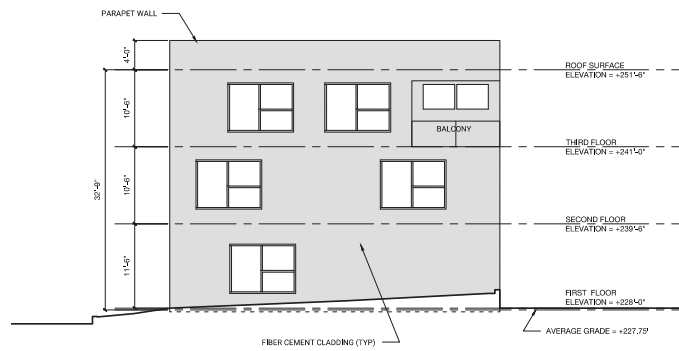
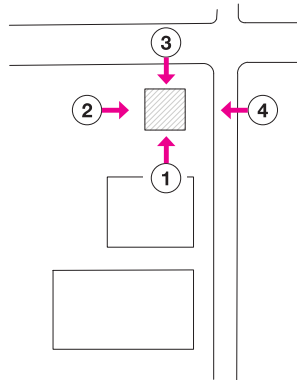
**A4.01**



**4 EAST ELEVATION "C"**  
SCALE = 1/8" = 1'-0"



**3 NORTH ELEVATION "C"**  
SCALE = 1/8" = 1'-0"



**2 WEST ELEVATION "C"**  
SCALE = 1/8" = 1'-0"



**1 SOUTH ELEVATION "C"**  
SCALE = 1/8" = 1'-0"

SITE PLAN  
USE ONLY

SITE PLAN  
USE ONLY

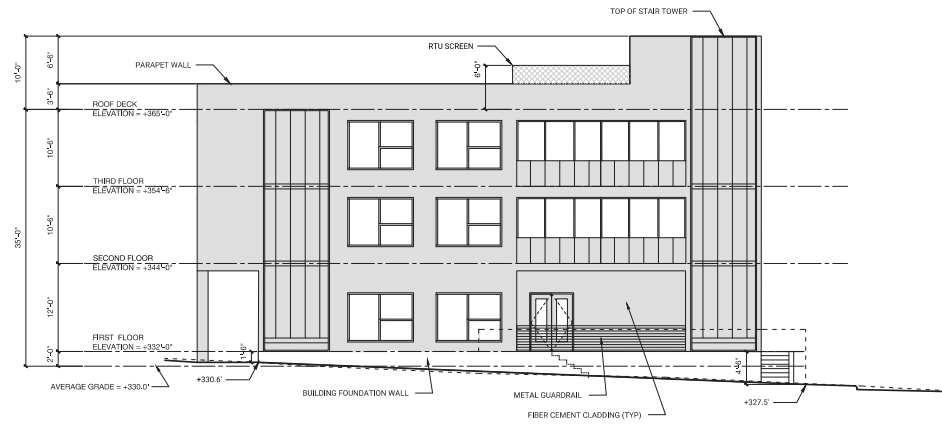
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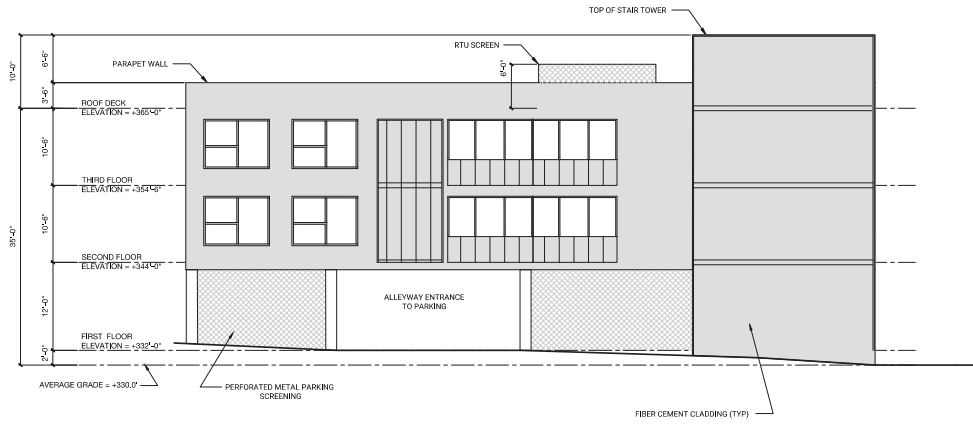
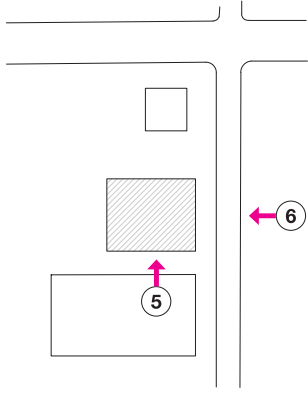
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ARCHITECTURAL  
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**A4.02**

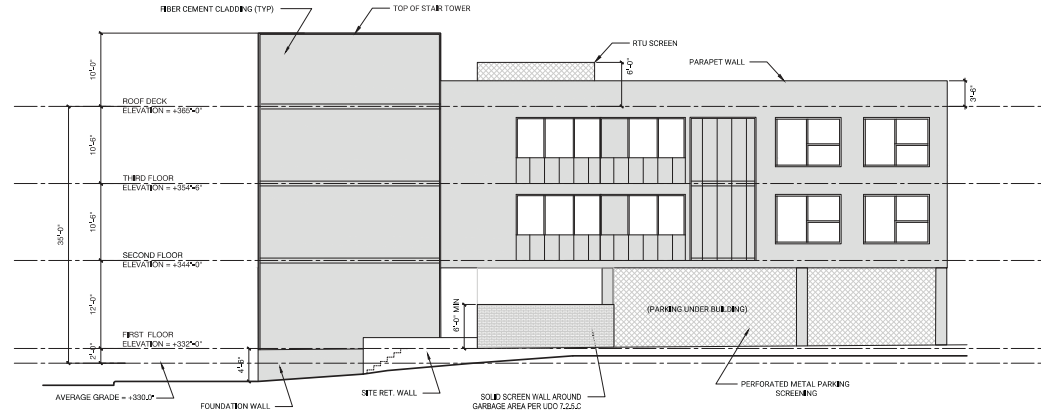


**6 EAST ELEVATION "A"**  
SCALE = 1/8" = 1'-0"

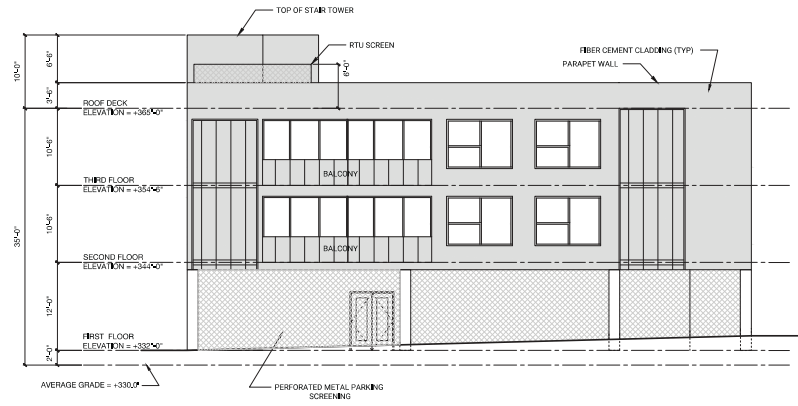
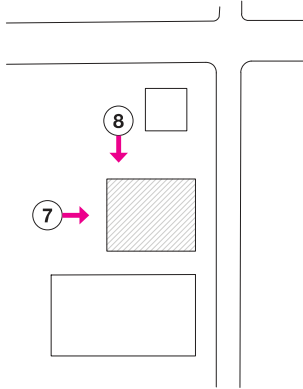


**5 NORTH ELEVATION "A"**  
SCALE = 1/8" = 1'-0"

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**8 NORTH ELEVATION "A"**  
SCALE = 1/8" = 1'-0"



**7 WEST ELEVATION "A"**  
SCALE = 1/8" = 1'-0"

SITE PLAN  
USE ONLY

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USE ONLY

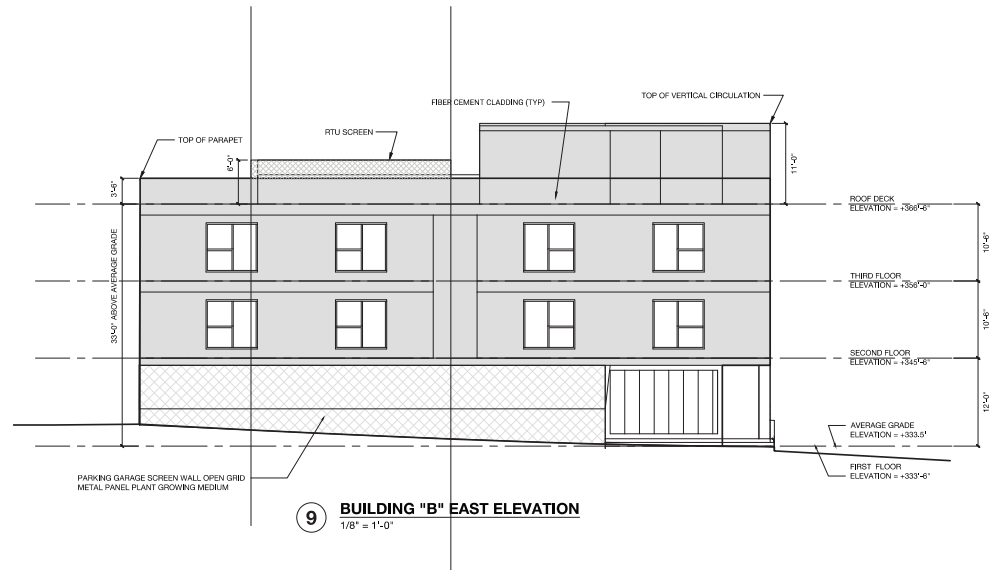
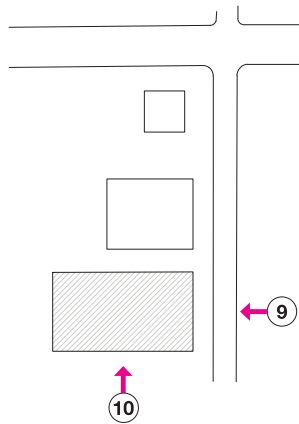
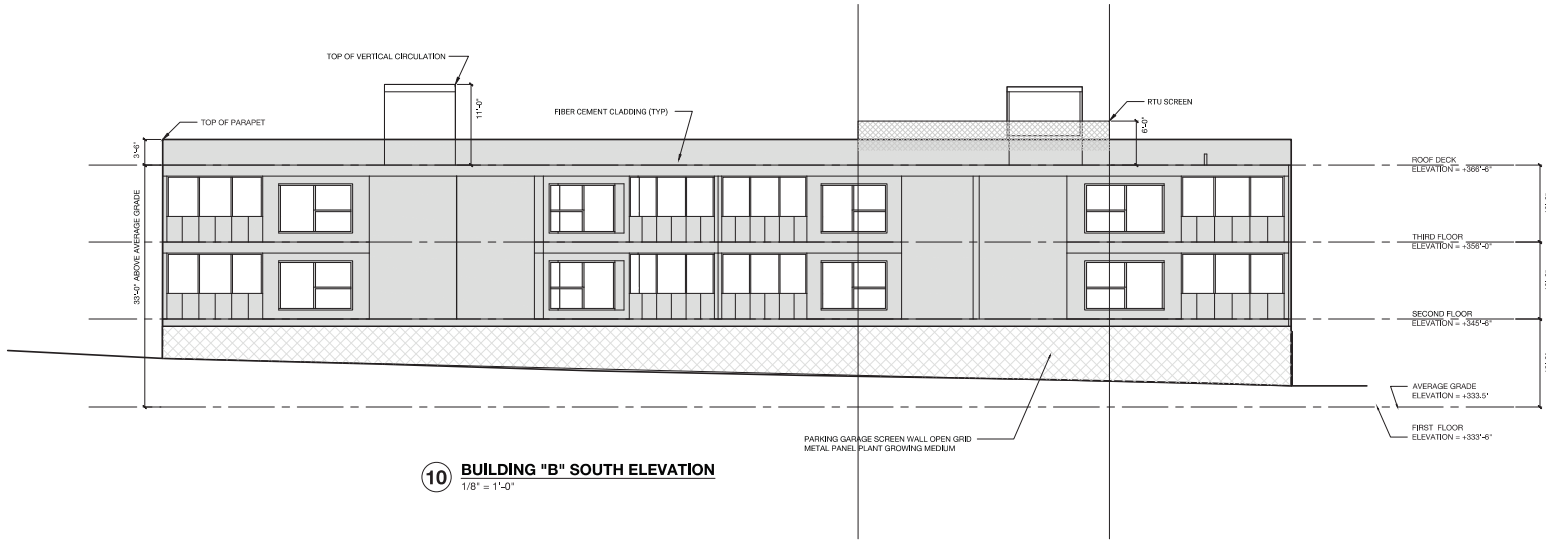
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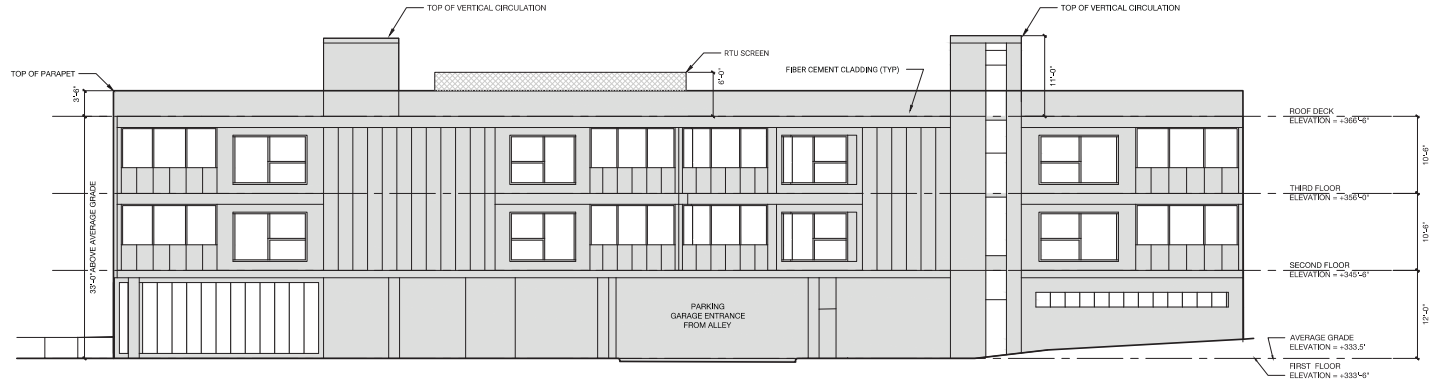
ARCHITECTURAL  
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**A4.04**

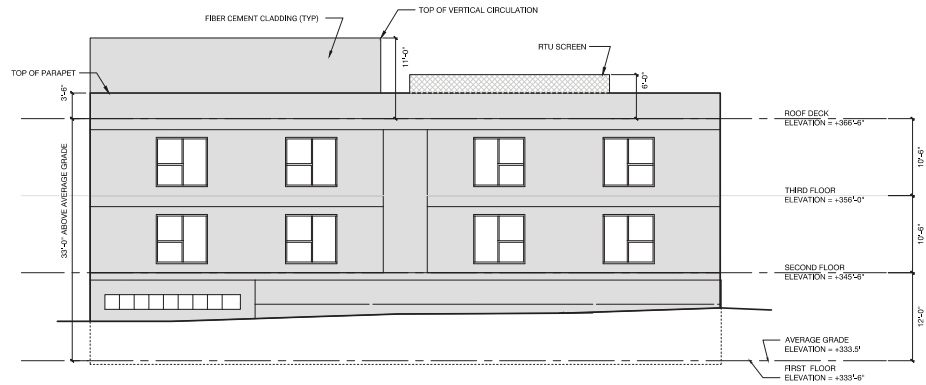
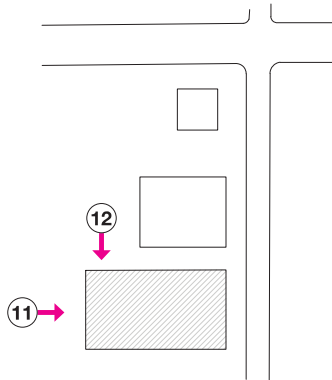


SITE PLAN  
USE ONLY

SITE PLAN  
USE ONLY



**12 BUILDING "B" NORTH ELEVATION**  
1/8" = 1'-0"



**11 BUILDING "B" WEST ELEVATION**  
1/8" = 1'-0"

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ARCHITECTURAL  
ELEVATIONS

**A4.05**