



Administrative Approval Action

Case File / Name: ASR-0035-2023
DSLC - Focus Church

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The proposed development is to be on the future 7.96 acre Lot 1 of subdivision SUB-0010-2024, located north of Tarheel Clubhouse Rd and west of Destiny Drive, specifically 3609 Tarheel Club Road (PIN: 1735956084). The site is zoned R-4. The subdivision to create this parcel was approved on 6/11/2024, but has not been recorded. The site is outside the city limits.

REQUEST: The application requests to construct a new 38,000 sf church (Civic building type). The site will have two main access points, one on Tarheel Clubhouse Rd and the other located on Destiny Drive.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 5, 2025 by Finch & Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The subdivision creating the lot for this development, SUB-0010-2024, shall be recorded with Wake County prior to SPR approval.
2. Update address once assigned by Raleigh GIS on site plans and application once the subdivision has been recorded.
3. Demonstrate compliance with the requirements set forth in UDO Section 3.3.1.E. for all identified mezzanine levels.

Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Stormwater



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5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Wake County approval for any required Well or Septic Permits shall be shown on the map for recordation.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the rights-of-way. This development proposes 19 street trees along Tarheel Clubhouse Road and 23 street trees along Destiny Drive for a total of 42 street trees.
4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).



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The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and rights-of-way street trees by Urban Forestry Sta

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 17, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan.McDonald@raleighnc.gov

Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov, CN=Keegan.McDonald@raleighnc.gov
Reason: I am approving this document
Date: 2025.07.18 15:52:02-04'00'

Date: 07/18/2025

Development Services Dir/Designee

Staff Coordinator: Jeff Caines

ADMINISTRATIVE SITE REVIEW

FOCUS CHURCH of RALEIGH

3327 TARHEEL CLUBHOUSE ROAD
RALEIGH, NORTH CAROLINA 27604
PROJECT#: ASR-0035-2023
REFERENCE PROJECT#: SPR-0194-2024, SUB-0010-2024

OWNER/DEVELOPER

FOCUS CHURCH OF RALEIGH
7000 DESTINY DRIVE
RALEIGH, NC 27604
KRIS WEISS, EXECUTIVE PASTOR OF FINANCE
TEL: 919-810-3813
EMAIL: kris@focus.church

SITE / CIVIL

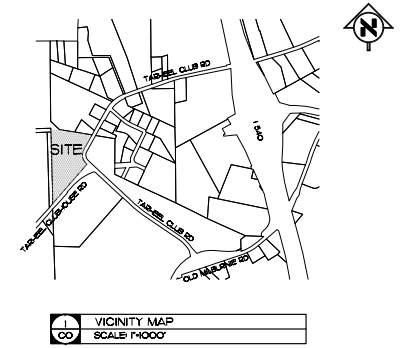
FINCH & ASSOCIATES, PLLC

309 NORTH BOYLAN AVENUE, RALEIGH, NC 27603-1402
TEL, (919) 833-1212
MELVIN W. BURNETTE., RLA - LICENSE # NC 1821
EMAIL: mburnette@finch-associates.com
JOHN F. WATSON, PE - LICENSE # NC 039760
EMAIL: jwatson@finch-associates.com

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNERS, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSTRUED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS. THIS APPROVAL OF THIS ELECTRONIC DOCUMENT IS ONLY VALID IF THE DOCUMENT HAS NOT BEEN MODIFIED AND THE DIGITAL SIGNATURE BELOW IS VALID.

CITY OF RALEIGH DEVELOPMENT APPROVAL



Administrative Site Review Application

Planning and Development Customer Service Center • Civil Engineering Plaza, Suite 400 • Raleigh, NC 27601 • 919-866-2880

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.2. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.2, to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

Building and Development Type (Check all that apply)

<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: SUB-0010-2024
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Supplemental plan case #: _____
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit	Zoning Case #: Z-2A-1992
<input type="checkbox"/> Open lot	<input type="checkbox"/> Development Option	Design Alternate #: _____

GENERAL INFORMATION

Development name: Focus Church of Raleigh

Inside City limits? Yes ☐ No ☒

Property address(es): 3327 TARHEEL CLUBHOUSE ROAD

Site P.U.N. (s): 1735956084

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Construction of new church (civic) building and associated parking

Current Property Owner(s): Focus Church of Raleigh

Company: Focus Church of Raleigh

Address: 7000 Destiny Drive, Raleigh, NC 27604

Phone #: 919-810-3813

Email: kris@focus.church

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: ☐ Lessee or contract purchaser ☒ Owner's authorized agent ☐ Easement holder

Company: Finch and Associates

Address: 3010 Anderson Drive, Ste 170, Raleigh, NC 27609



Phone #: 919-833-1212	Email: jwatson@finch-associates.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	Title:
Company:	
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 0
Gross site acreage: 7.969	Existing gross floor area to be demolished: 0
Max # parking spaces proposed: 213	New gross floor area: 38,000
If # of parking spaces proposed: 213	Total if gross (to remain and new): 38,000
Max # parking permitted (7.1.2.C): N/A	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): VACANT	Proposed # of basement levels (UDO 1.5.7.A.8): 0
Proposed use (UDO 6.1.4): CIVIC	

STORMWATER INFORMATION	
Imperious Area on Parcel(s): (includes ROW):	
Existing (sf): 2	Proposed total (sf): 144,600
Existing (sf): 0	Proposed total (sf): 0

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel bedrooms: N/A
# of bedroom units: 15r 2br 3br 4br or more	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for each development as is authorized by the easement.	
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature:	Date: 6/5/2025
Printed Name: Jeff Caines	Date: 6/5/2025
Printed Name: (do not write in name)	

jeff.caines@raleighnc.gov

Digitally signed by
jeff.caines@raleighnc.gov
DN:
E=jeff.caines@raleighnc.gov,
CN=jeff.caines@raleighnc.gov
Reason: I am approving this document
Date: 2025.07.09
08:24:59-04'00'

INDEX OF DRAWINGS

C0 COVER SHEET
C0.1 COVER NOTES
C1 EXISTING CONDITIONS AND DEMOLITION PLAN
C2 SITE PLAN
C3 GRADING AND STORM DRAINAGE PLAN
C3.1 GRADING PLAN ENLARGEMENTS

C4 CONSTRUCTION DETAILS
C4.1 CONSTRUCTION DETAILS
C4.2 CONSTRUCTION DETAILS

L1 LANDSCAPE PLAN
U1 UTILITIES PLAN
A.102 SITE LIGHTING PHOTOMETRICS

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 833-1212
F 919 834-1003
C 919 834-1003
NORLA, LLC, NC C-450

FINCH
FINCH & ASSOCIATES
PLANNING
landscape architecture
engineering
ARCHITECTURE

PROJECT #: ASR-0035-2023

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

DRAWN BY: NWE
CHECKED BY: JFW
PROJ. NO.: 22009
DATE: 6/5/2025
SHEET 0F

GENERAL NOTES

- BOUNDARY LINES WERE TAKEN FROM A SURVEY PERFORMED BY TERRESTRIAL SURVEYING, DATED SEPTEMBER 20, 2022.
- TOPOGRAPHIC INFORMATION, VEGETATION LINES, AND EXISTING STRUCTURES AND UTILITIES WERE TAKEN FROM A SURVEY COMPLETED BY TERRESTRIAL SURVEYING MARCH 12, 2023.
- ALL DIMENSIONS AND STAKING POINTS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
- LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
- ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- NO PERMANENT FLOOD BOUNDARIES EXIST ON THE PROJECT SITE.
- THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE TO BE HANDLED BY DUMPSTER COLLECTED BY PRIVATE WASTE SERVICES PROVIDER.
- PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER LDD SECTION 22.7. NO CONSTRUCTION EXISTS ON NEIGHBORING PROPERTIES TO BE USED IN DETERMINING A COMPARATIVE SAMPLE SETBACKS ARE DETERMINED BY UNDERLYING ZONING REQUIREMENTS.
- PER LDD SEC. 8.3.2A.1.1X THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.
- ALL LAND DISTURBANCE SHOWN ON THESE PLANS SHALL BE CONTAINED WITHIN THE PROPERTY BOUNDARIES AND PUBLIC RIGHT-OF-WAY. ENCROACHMENTS ONTO NEIGHBORING PROPERTIES SHOWN ON THESE PLANS ARE FOR VISUAL CLARITY ONLY AND DO NOT REPRESENT A CONDITION TO BE CONSTRUCTED.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS SPECIFICATIONS AND DETAILS OF THE CITY OF RALEIGH AND THE NCDCOT.

GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER OR LANDSCAPE ARCHITECT FOR ADJUSTMENT.
- CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE SITE. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH DIVISION OF THE NORTH CAROLINA DEPARTMENT OF LABOR. COPIES OF THE APPLICABLE REGULATIONS MAY BE OBTAINED FROM THE NORTH CAROLINA DEPARTMENT OF LABOR, OCCUPATIONAL HEALTH AND SAFETY DIVISION, 415 NORTH SALISBURY STREET, RALEIGH, NORTH CAROLINA. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND MAINTENANCE OF ADEQUATE SHORING AND BRACING IN ALL TRENCHES AND EXCAVATIONS THAT ARE A PART OF THE CONSTRUCTION OPERATIONS OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PERSONS AND PROPERTY ON OR ABOUT THE CONSTRUCTION SITE.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE NCDOT REQUIREMENTS. SEE CONSTRUCTION SEQUENCE PROVIDED ON SHEET C-10.
- LABELS FOR STORM DRAINAGE STRUCTURES SHOWN ON PLANS ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. REFER TO STORM DRAINAGE SCHEDULE ON SHEET C-02 FOR INSTALLATION PARAMETERS. PIPE TERMINATIONS PLAINED END SECTIONS ARE TO BE INCLUDED IN THE PIPE LENGTH DIMENSIONS PROVIDED. NOTIFY THE ENGINEER OR LANDSCAPE ARCHITECT OF ANY DISCREPANCIES DETECTED.
- THESE PLANS SHOULD NOT BE INTERPRETED TO REPRESENT A BALANCED CONDITION OF CUT AND FILL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEGALLY DISPOSING OF ALL EXCESS OR UNSUITABLE SOIL MATERIAL OFF SITE. ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF STICKS, ROCKS, CLUMPS OF MUD, AND DEBRIS. ANY ROCKS LARGER THAN 3" SHALL BE REMOVED FROM EXCAVATED MATERIAL THAT IS TO BE REUSED ON SITE.
- UNDER PAVEMENTS OR VEHICULAR SURFACING, SCARIFY AND RECOMPACT TOP 12 INCHES BELOW SUBGRADE AND EACH LAYER OF BACKFILL TO 95% MAXIMUM DENSITY. COMPACT SOILS WITHIN 12" OF BASE COURSE TO 95% MAXIMUM DENSITY. IN UTILITY TRENCHES SUBJECT TO STRUCTURAL OR VEHICULAR LOADS, COMPACT EACH LAYER OF BACKFILL TO 95% MAXIMUM DENSITY. IN OTHER AREAS, SCARIFY AND RECOMPACT TOP 6" BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL SOIL AT 85% MAXIMUM DENSITY.

SITE DATA TABLE

SITE INFORMATION
PIN NUMBER: 1735956084
OWNER/DEVELOPER: FOCUS CHURCH OF RALEIGH
SITE ADDRESS: 3327 TARHEEL CLUB ROAD
RALEIGH, NC 27604

TOTAL AREA: 347,150 SF, 7,969 AC

ZONING INFORMATION
ZONING: R-4 (EXEMPT - PLACE OF WORSHIP)
ZONING OVERLAY: NONE
WATERSHED: NEUSE RIVER BASIN
WATERSHED PROTECTION AREA: NONE

DEVELOPMENT INFORMATION
EXISTING USE: VACANT
EXISTING FLOOR AREA: 0 SF
TOTAL DWELLING UNITS PROPOSED: 0
PROPOSED USE: CIVIC (PLACE OF WORSHIP)
PROPOSED DEVELOPMENT TYPE:
CONVENTIONAL, CIVIC

LEGEND

EXISTING	SYMBOL	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	LOT LINE
---	---	---	BUFFER LINE
---	---	---	EASEMENT LINE
---	---	---	SETBACK LINE
---	---	---	LIMIT OF DISTURBANCE
---	---	---	CONTOURS
---	---	---	SPOT ELEVATION
---	---	---	STORM DRAINAGE
---	---	---	TREE CONSERVATION AREA
---	---	---	TREES AND TREELINE
---	---	---	STREET OR DRIVEWAY
---	---	---	WALL
---	---	---	FENCE

REVISIONS

Finch & Associates
Landscape Architecture
Raleigh, NC 27603-1402
T 919 833-1212
F 919 834-1003
P 919 834-1003
NCDOT, U.S. No. 1-400

FINCH
FINCH & ASSOCIATES
landscape architecture
engineering
ARCHITECTURE

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

DRAWN BY: MVB
CHECKED BY: JFW
PROJ. NO.: 22009
DATE: 6/5/2023
SHEET: 0F

ATTENTION CONTRACTORS

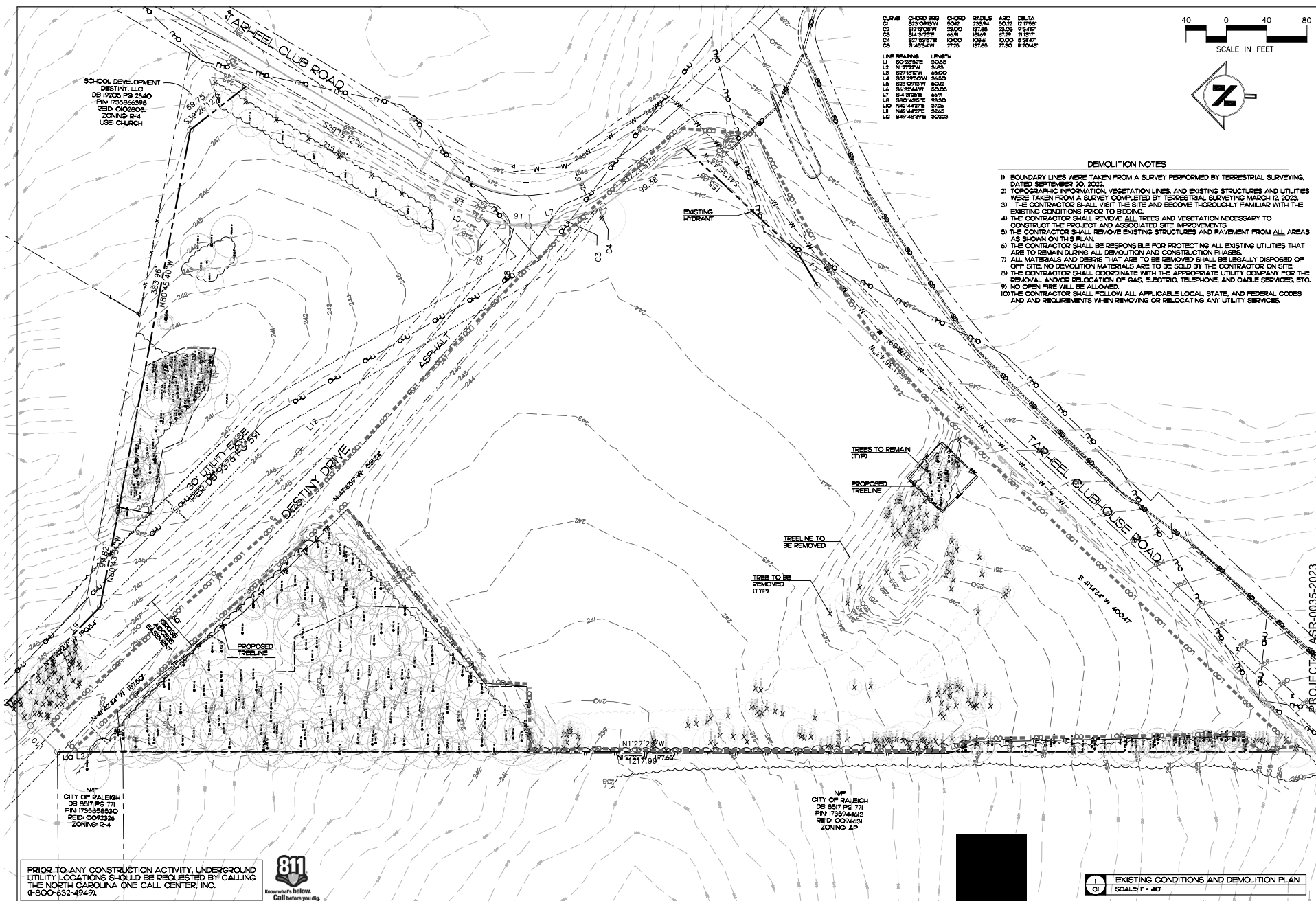
THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER SEWER AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4840 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

THESE PLANS ARE PREPARED FOR REVIEW AND PERMITTING BY THE LOCAL AUTHORITIES HAVING JURISDICTION OVER APPLICABLE PORTIONS OF THE WORK, AND AS SUCH ARE NOT RELEASED FOR CONSTRUCTION UNTIL SO NOTED.

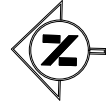
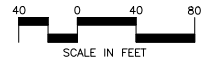
PROJECT #: ASR-0035-2023



NOTE

REFERENCE APPROVED PRELIMINARY SUBDIVISION #: SUB-0010-2024, FOR:

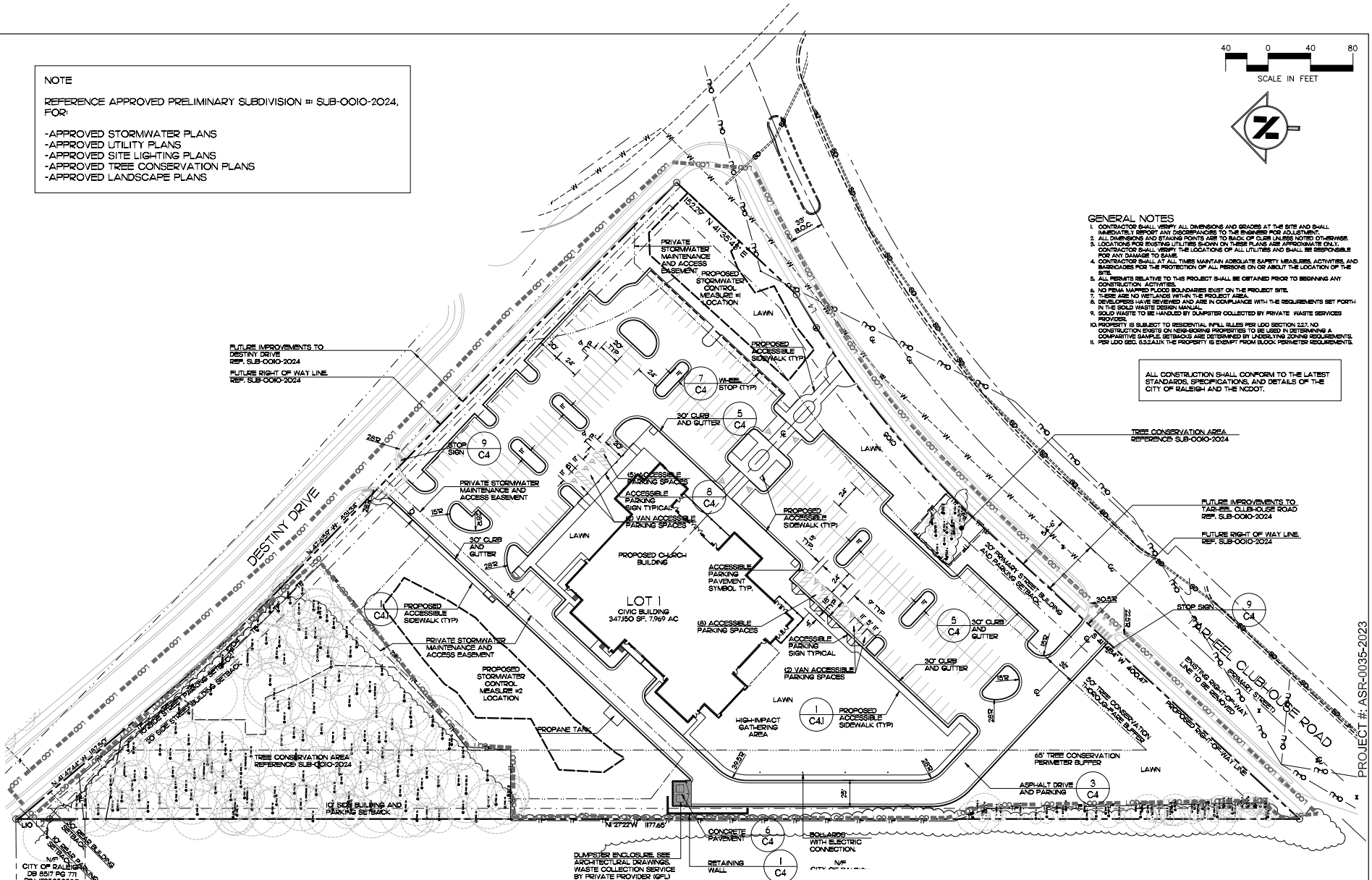
- APPROVED STORMWATER PLANS
- APPROVED UTILITY PLANS
- APPROVED SITE LIGHTING PLANS
- APPROVED TREE CONSERVATION PLANS
- APPROVED LANDSCAPE PLANS



GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES AT THE SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER FOR CORRECTION.
2. ALL DIMENSIONS AND STAKING POINTS ARE TO BE OF CURB UNLESS NOTED OTHERWISE.
3. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SAME.
4. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND SUBCARGOS FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
5. ALL PERMITS RELATIVE TO THIS PROJECT SHALL BE OBTAINED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
6. NO FINAL MAINTAINED PLOD BOUNDARIES EXIST ON THE PROJECT SITE.
7. THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.
8. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
9. SOLID WASTE TO BE HANDLED BY DUMPSTER COLLECTED BY PRIVATE WASTE SERVICES PROVIDER.
10. PROPERTY IS SUBJECT TO RESIDENTIAL INFILL RULES PER LDC SECTION 22.7. NO CONSTRUCTION DUES OR NEW-STARTING PROPERTIES TO BE USED IN DETERMINING A COMPENSATORY SHAPE SETBACKS ARE DETERMINED BY UNDESIRABLE ZONING REQUIREMENTS.
11. PER LDC SEC. 23.3(A)(1) THE PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.



PROPOSED CURVE TABLE

CURVE	STATION	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C101	143.00	81.06	80.87	S 36°04'24" W
C102	225.00	40.06	36.06	N 87°50'48" E
C103	182.00	84.87	84.86	N 62°29'02" W
C104	1168.00	152.00	151.90	S 46°04'58" E
C105	1232.00	165.70	160.59	N 48°04'27" W
C106	1765.00	181.89	81.89	N 48°29'02" W
C107	1763.89	119.68	119.66	N 45°13'18" W
C108	1103.69	1250.23	1249.62	N 48°29'49" E

PROPOSED LINE TABLE

LINE	BEARING	LENGTH
L1	N 27°22' W	253'
L2	N 27°22' W	544'
L3	N 42°42' E	79'

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-652-4343).



C2 SITE PLAN
SCALE: 1" = 40'

REVISIONS

FINCH & ASSOCIATES
10000 RALEIGH RD., SUITE 100
RALEIGH, NC 27603-1402
T 919 833-1212
F 919 834-3303
P 919 834-3303
NCDOT, L.C. No. C-454

FINCH
FINCH & ASSOCIATES
landscape architecture
interior design

PROJECT #: ASR-0035-2023

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

DRAWN BY: NMB
CHECKED BY: JFW
PROJ. NO.: 22009
DATE: 6/5/2023
C2 SHEET OF

LAND COVER TAKEOFF

LAND COVER	ON-SITE	R.O.W. DEDICATION	OFF-SITE	TOTAL
ROOF	26050		0	26050
ROAD		34680	16900	51580
PARKING/DRIVEWAY/SIDEWALK	138550	15880	4070	138500
PROTECTED FOREST	0	0	0	0
MANAGED PERVIOUS	274180	18370	10470	303020
SCMs	22800	0	0	22800
TOTAL	441580	68930	31440	541950

DEVELOPMENT INFORMATION

TOTAL PROJECT AREA: 7.969 ACRES
 TOTAL SITE AREA: 7.969 ACRES
 DISTURBED AREA: 285,000 SF, 6.50 ACRES
 EXISTING IMPERVIOUS SURFACES (ON-SITE): 0 SF
 IMPERVIOUS PROPOSED: 144,600 SF, 3.320 ACRES
 IMPERVIOUS PERCENTAGE: 144,600 / 247,150 = 41.1

REVISIONS

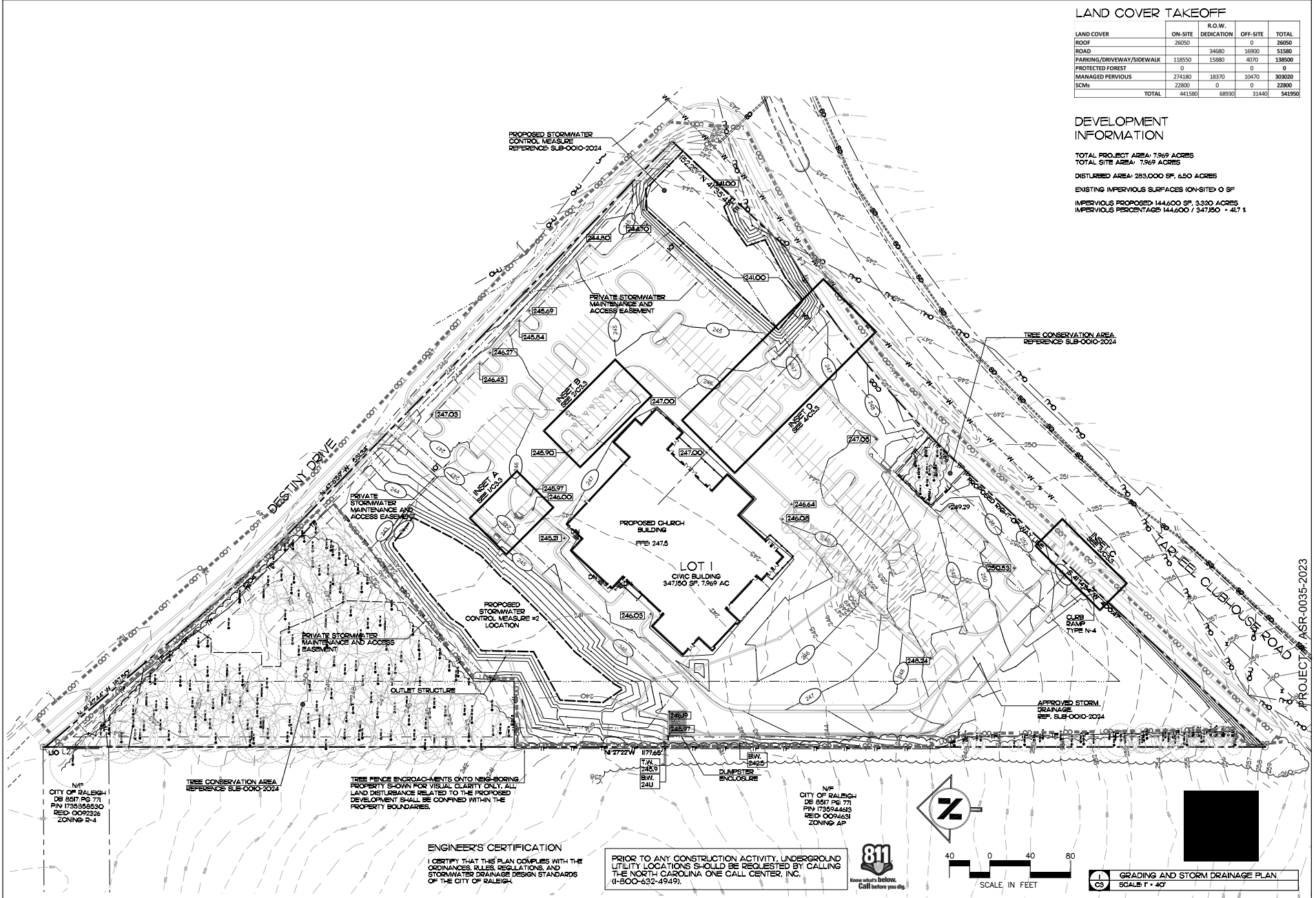
FINCH & ASSOCIATES
 1000 W. GARDEN STREET
 RALEIGH, NC 27603-1402
 T 919 833-1212
 F 919 834-1003
 NCEM 11, NC 11, NC 11

FINCH
 FINCH & ASSOCIATES
 landscape architecture
 1000 W. GARDEN STREET
 RALEIGH, NC 27603-1402

SPACE DESIGN, LLC
 FOCUS CHURCH OF RALEIGH
 3327 TARHEEL CLUBHOUSE RD
 RALEIGH, NORTH CAROLINA 27604

PROJECT: ASR-0035-2023

DRAWN BY: NMB
 CHECKED BY: JFW
 PROJ. NO.: 220209
 DATE: 6/5/2023
 C3
 SHEET OF



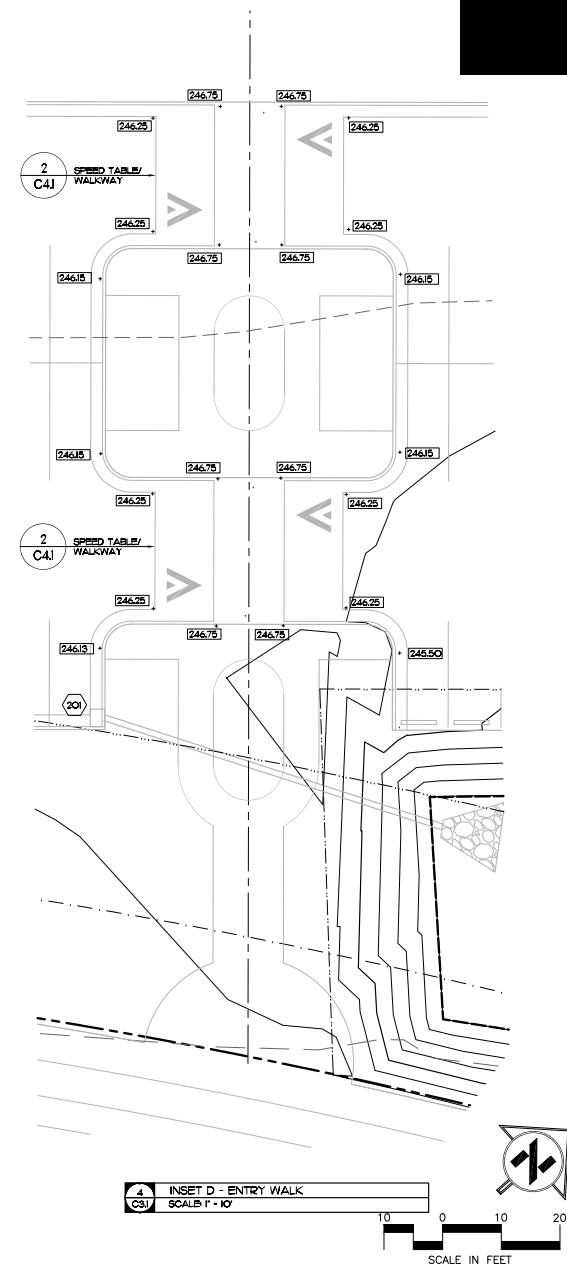
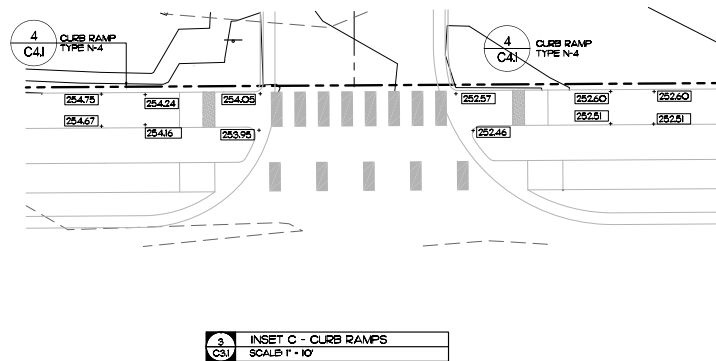
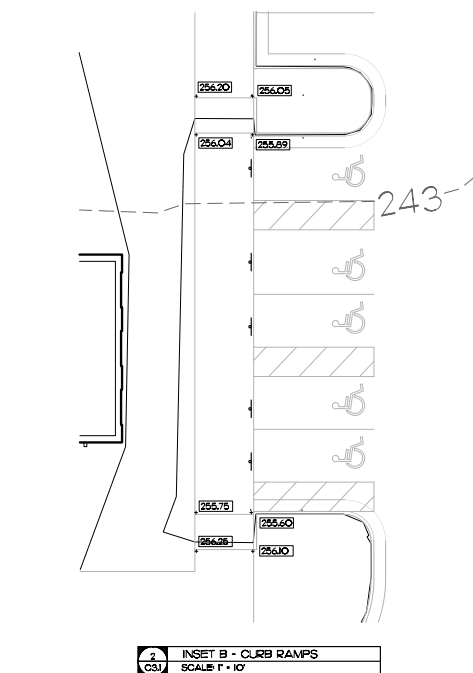
ENGINEER'S CERTIFICATION
 I CERTIFY THAT THIS PLAN COMPLIES WITH THE ORDINANCES, RULES, REGULATIONS, AND STORMWATER DRAINAGE DESIGN STANDARDS OF THE CITY OF RALEIGH.

PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



SCALE IN FEET
 0 40 80

CS GRADING AND STORM DRAINAGE PLAN
 SCALE: 1" = 40'



REVISIONS

Finch & Associates
309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 / 833-1212
F 919 / 834-3203

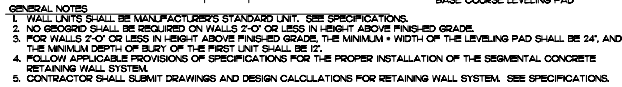
NCBELS Lic. No. P-1845
NCBOLA Lic. No. C-656

FINCH
FINCH & ASSOCIATES
engineering
landscape architecture
land surveying

PROJECT #: ASR-0035-2023

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

DRAWN BY	MWB
CHECKED BY	JFW
PROJ. NO.	22059
DATE	6/5/2025
C3.1	
SHEET	OF



- NOTES:**
1. 107 MAXIMUM BETWEEN DUMMY JOINTS, 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
 2. 12' EXPANSION JOINT EVERY 30'.
 3. 3000 PSI CONCRETE MINIMUM, 41 SLUMP MAXIMUM.
 4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1050-2 OF MCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH MCDOT ROADWAY STANDARD DETAIL B-60.11 FOR CONCRETE. SEE SECTION 1050-2 FOR SECTION 1052-2 OF MCDOT STANDARD & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 6. REFER TO DETAIL B-60.11 FOR CURB AND GUTTER SUPERELEVATION RATES.

A cross-sectional diagram showing the installation of a recycled plastic wheel stop. The diagram includes the following labels and dimensions:

- FINISHED GRADE**: Indicated by a horizontal line at the top left.
- 2'-0" TYPICAL**: Dimension for the length of the wheel stop.
- 15"**: Dimension for the width of the wheel stop.
- 3' MIN. ENDED**: Dimension for the length of the rebar extending into the pavement.
- DRILL HOLE TO RECEIVE NO. 7 REBAR**: Label for the hole at the top of the wheel stop.
- RECYCLED PLASTIC WHEEL STOP**: Label for the main body of the stop.
- PAVEMENT**: Label for the surface layer.
- NO. 7 REBAR - 36" LONG COUNTERSINK 1/2"**: Label for the rebar at the bottom of the wheel stop.

Technical drawing of a parking sign assembly, showing front and side elevations.

FRONT ELEVATION

Dimensions and Labels:

- Overall Height: 7'-4"
- Sign Height: 5'-0" to 6'-0"
- Post Diameter: 6x6 POST
- Base Width: 18"
- Signs: VAN ACCESSIBLE, RESERVED PARKING
- Labels: VAN ACCESSIBLE SIGN, R7-8 SIGN
- Ground Level: FINISHED GRADE
- Foundation: 3000 PSI CONCRETE FOOTING

NOTES

1. USE SIGNS R7-8 AND R7-8D AS PER NSAD CHAPTER 4, SECTION 4.3.2 OF THE NORTH CAROLINA STATE BUILDING CODE
2. BOLTS OR SCREWS USED TO ATTACH SIGNS SHALL BE TURNED 90° TO PREVENT WATER COLLECTION

SIDE ELEVATION

Dimensions and Labels:

- Sign Depth: 18"
- Post Diameter: 6x6 POST

- NOTES**
1. USE SIGNS R7-8 AND R7-8D AS PER NCAC CHAPTER 4, SECTION 4.21 OF THE NORTH CAROLINA STATE BUILDING CODE
 2. BOLTS OR SCREWS USED TO ATTACH SIGNS SHALL BE TURNED SO AS NOT TO COLLECT WATER

4000 PSI CONCRETE
WITH BROOM FINISH
6X6 - 10/10 WMM

SOIL SEPARATION FABRIC

COMPACTED AGGREGATE BASE COURSE

SUBGRADE COMPACTED ACCORDING TO SPECIFICATIONS

- NOTE**
- ANY UNSATISFACTORY SUBSURFACE CONDITIONS INCLUDING BUT NOT LIMITED TO HIGH WATER TABLE, EXCESSIVE MOISTURE, MUCK, ORGANIC MATERIAL, OR OTHER MATERIAL THAT WILL NOT ATTAIN ADEQUATE COMPACTION ACCORDING TO N.C.D.O.T. STANDARDS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR PRIOR TO PLACING ANY BASE MATERIAL, SO THAT MODIFICATIONS CAN BE MADE TO PREVENT PAVEMENT FAILURE.

Diagram illustrating the cross-section of a road construction project, showing the layers and dimensions:

- Full Depth Asphalt:**
 - 3" S 95C
 - 4" W90C
 - 5" S950C (SEE NOTE)
- Pavement Widening:** SEE PLANS
- Mill 15" and Place 15" S95C ATOP EXISTING PAVEMENT**
- EXISTING PAVEMENT SECTION**

The diagram shows a cross-section of the road with dimensions 6in, 4in, and 5in indicated for the asphalt layers. The existing pavement section is shown on the right, with a break symbol indicating it continues.

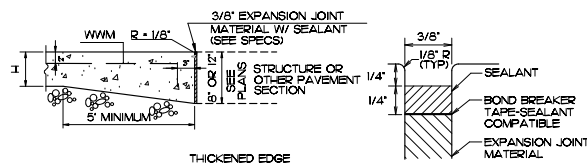
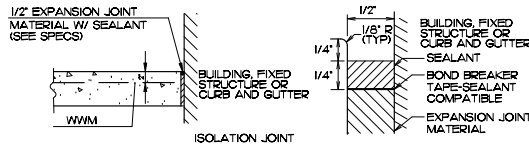
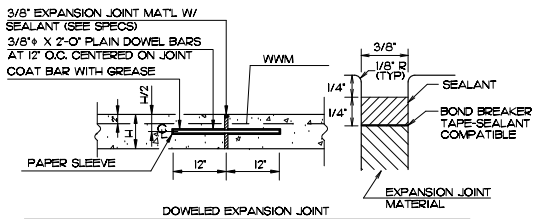
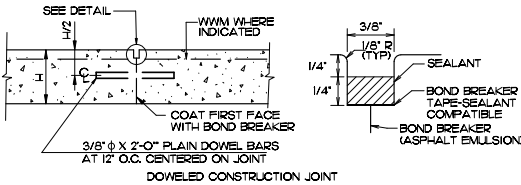
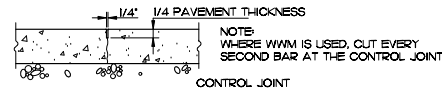
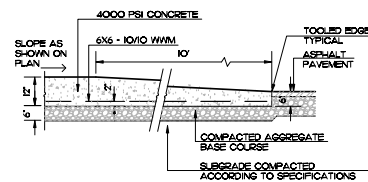
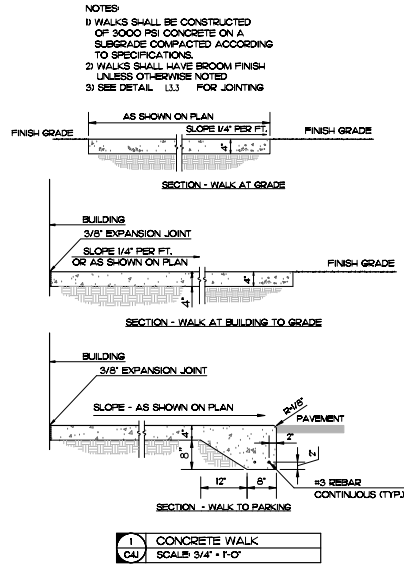
- SUBGRADE COMPACTED
ACCORDING TO
SPECIFICATIONS**
- NOTE: WHERE PAVEMENT
WIDENING EXCEED 6' ONIT 5'
B25.0C AND PLACE 10'
COMPACTED ABC.**

6	CONCRETE PAVEMENT
C4	SCALE: 1-1/2" = 1'-0"

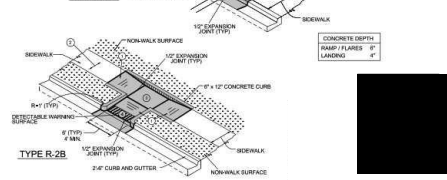
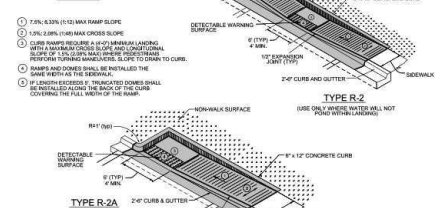
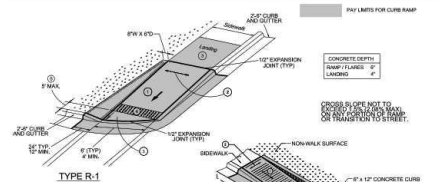
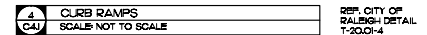
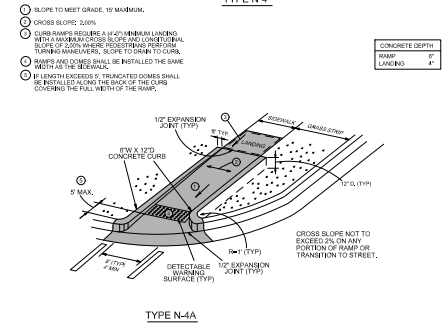
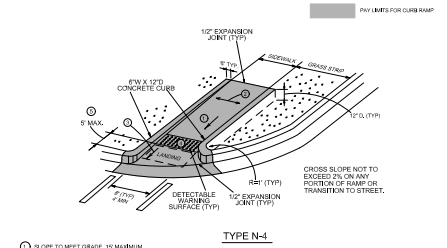
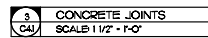
[illegible]

- NOTES**
1. ALL SIGNS SHALL BE AS PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
 2. BOLTS OR SCREWS USED TO ATTACH SIGN SHALL BE TURNED SO AS NOT TO COLLECT WATER

9	STOP SIGN INSTALLATION
C4	NOT TO SCALE



GENERAL NOTES:
1) ON CONCRETE WALKS, CONTROL JOINTS SHALL BE PLACED AT AN INTERVAL EQUAL TO THE WIDTH OF THE WALK, BUT SHALL NOT EXCEED 6' O.C.
2) ON CONCRETE WALKS, EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 30' O.C. AND AT ALL LOCATIONS WHERE A WALK IS ADJACENT TO BUILDINGS OR OTHER FIXED STRUCTURES.
3) OMIT DOWEL BARS WHERE SLAB THICKNESS IS LESS THAN 6".



REVISIONS

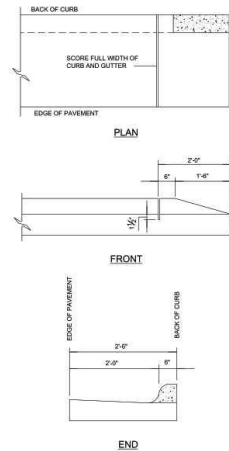
FINCH & ASSOCIATES
1000 North Main Street
Raleigh, NC 27601
P 919 834-1200
F 919 834-1203
HSELS Lic. No. A-840
C-808

FINCH & ASSOCIATES
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1000 North Main Street
Raleigh, NC 27601
P 919 834-1200
F 919 834-1203
HSELS Lic. No. A-840
C-808

PROJECT #: ASR-0035-2023

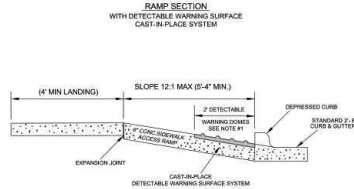
SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARBEE CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

DRAWN BY MVB
CHECKED BY JFW
PROJ. NO. 22059
DATE 6/5/2025
C4.1
SHEET OF



2
C42 STANDARD METHOD OF ENDING CURB AND GUTTER
SCALE NOT TO SCALE

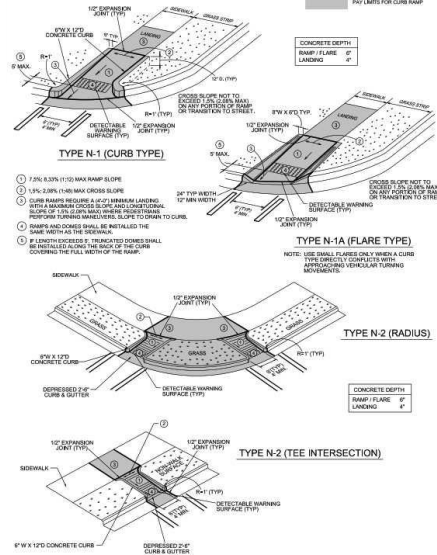
REF. CITY OF
RALEIGH DETAIL
T-1025



- NOTES:
1. DETECTABLE WARNING DOMES SHALL COVER 2' OF LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL.
 2. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.

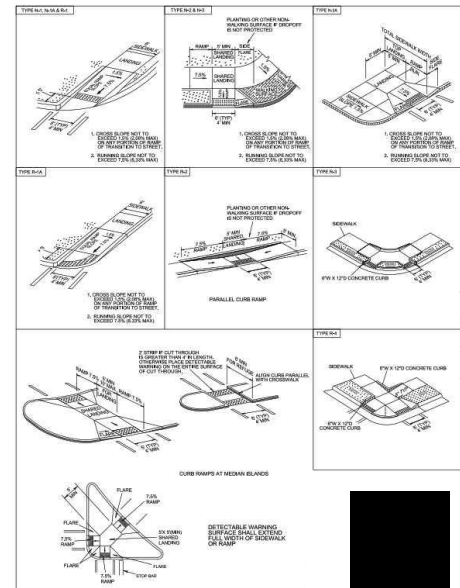
4
C42 DETECTABLE WARNING CAST-IN-PLACE
SCALE NOT TO SCALE

REF. CITY OF
RALEIGH DETAIL
T-1025



6
C42 CURB RAMPS (NEW DEVELOPMENT)
SCALE NOT TO SCALE

REF. CITY OF
RALEIGH DETAIL
T-20012



7
C42 DETECTABLE WARNING SURFACE PLACEMENT
SCALE NOT TO SCALE

REF. CITY OF
RALEIGH DETAIL
T-20041

REVISIONS

FINCH
PUNGER & ASSOCIATES
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300 S. 1st St., Suite 200
Raleigh, NC 27601-1402
T 919 833-1212
F 919 834-1003
CELL 919 834-1003
C-1003

FINCH
PUNGER & ASSOCIATES
landscape architecture
engineering
surveying
300 S. 1st St., Suite 200
Raleigh, NC 27601-1402
T 919 833-1212
F 919 834-1003
CELL 919 834-1003
C-1003

PROJECT #: ASR-0035-2023

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

DRAWN BY: MMB
CHECKED BY: JFW
DATE: 6/8/2023
SHEET: 42 OF 42

PLANT LIST

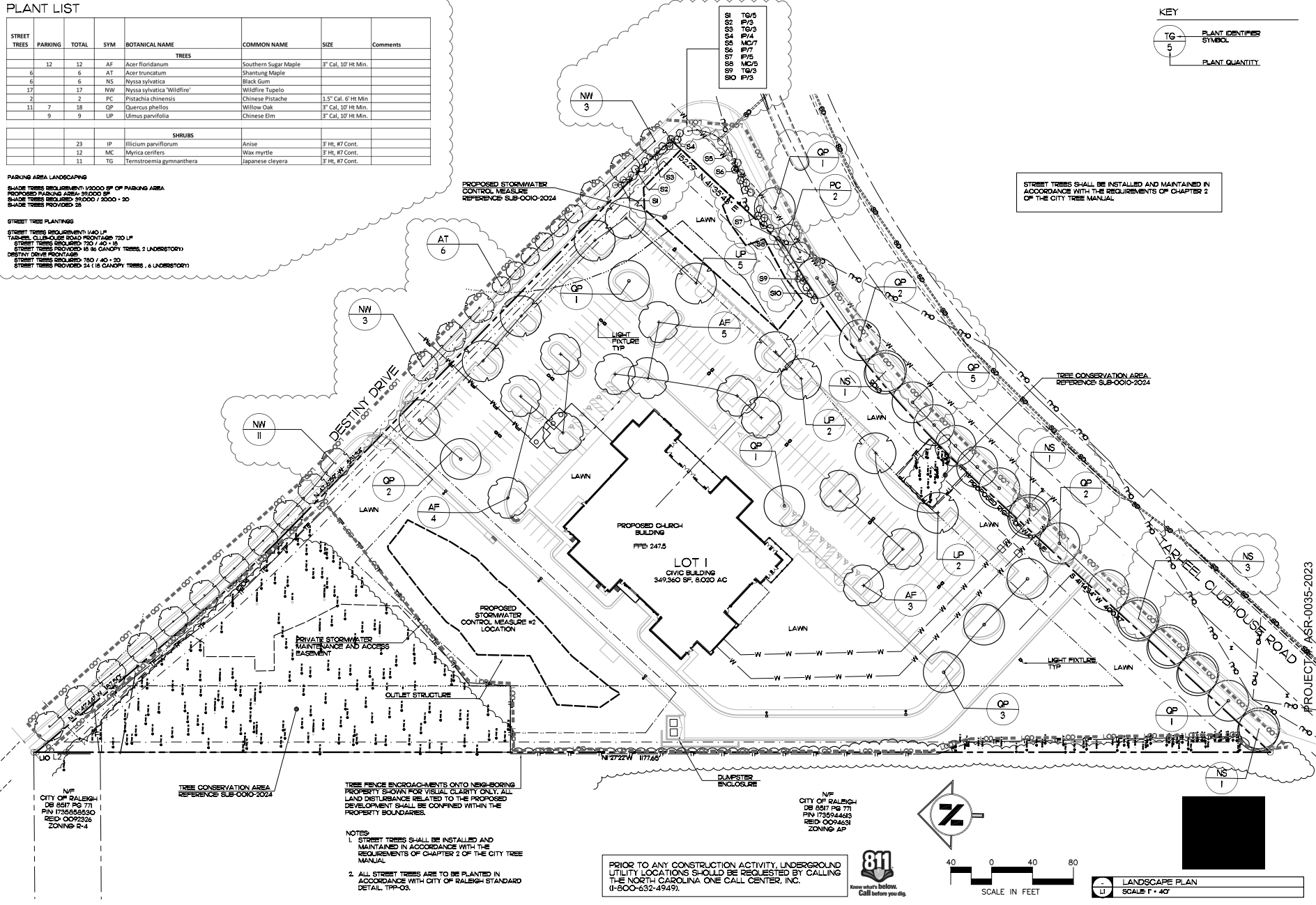
STREET TREES	PARKING	TOTAL	SYM	BOTANICAL NAME	COMMON NAME	SIZE	Comments
TREES							
	12	12	AF	Acer floridanum	Southern Sugar Maple	3" Cal, 10' Ht Min.	
6	6	6	AT	Acer truncatum	Shantung Maple		
6	6	6	NS	Nyssa sylvatica	Black Gum		
17	17	17	NW	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo		
2	2	2	PC	Pistacia chinensis	Chinese Pistache	1.5" Cal, 6' Ht Min.	
11	7	18	QP	Quercus phellos	Willow Oak	3" Cal, 10' Ht Min.	
	9	9	UP	Ulmus parvifolia	Chinese Elm	3" Cal, 10' Ht Min.	
SHRUBS							
	23	23	IP	Illicium parviflorum	Anise	3' Ht, #7 Cont.	
	12	12	MC	Myrica cerifera	Wax myrtle	3' Ht, #7 Cont.	
	11	11	TG	Ternstroemia gymnanthera	Japanese cleyera	3' Ht, #7 Cont.	

PARKING AREA LANDSCAPING

SHADE TREES REQUIREMENT: 10000 SF OF PARKING AREA
PROPOSED PARKING AREA: 35000 SF
SHADE TREES REQUIRED: 10000 / 2000 = 50
SHADE TREES PROVIDED: 25

STREET TREE PLANTINGS

STREET TREES REQUIREMENT: 1400 LF
TARHEEL CLUBHOUSE ROAD FRONTAGE: 750 LF
STREET TREES REQUIRED: 750 / 40 = 19
STREET TREES PROVIDED: 18 (6 CANOPY TREES, 12 UNDERSTORY)
DESTINY DRIVE FRONTAGE: 100 LF
STREET TREES REQUIRED: 100 / 40 = 3
STREET TREES PROVIDED: 2 (1 CANOPY TREES, 1 UNDERSTORY)



REVISIONS

FINCH DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTH CAROLINA 27604

PROJECT: ASR-0035-2023

DRAWN BY: MVB
CHECKED BY: JFW
PROJ. NO.: 22059
DATE: 6/5/2023
SHEET: 01 OF 01

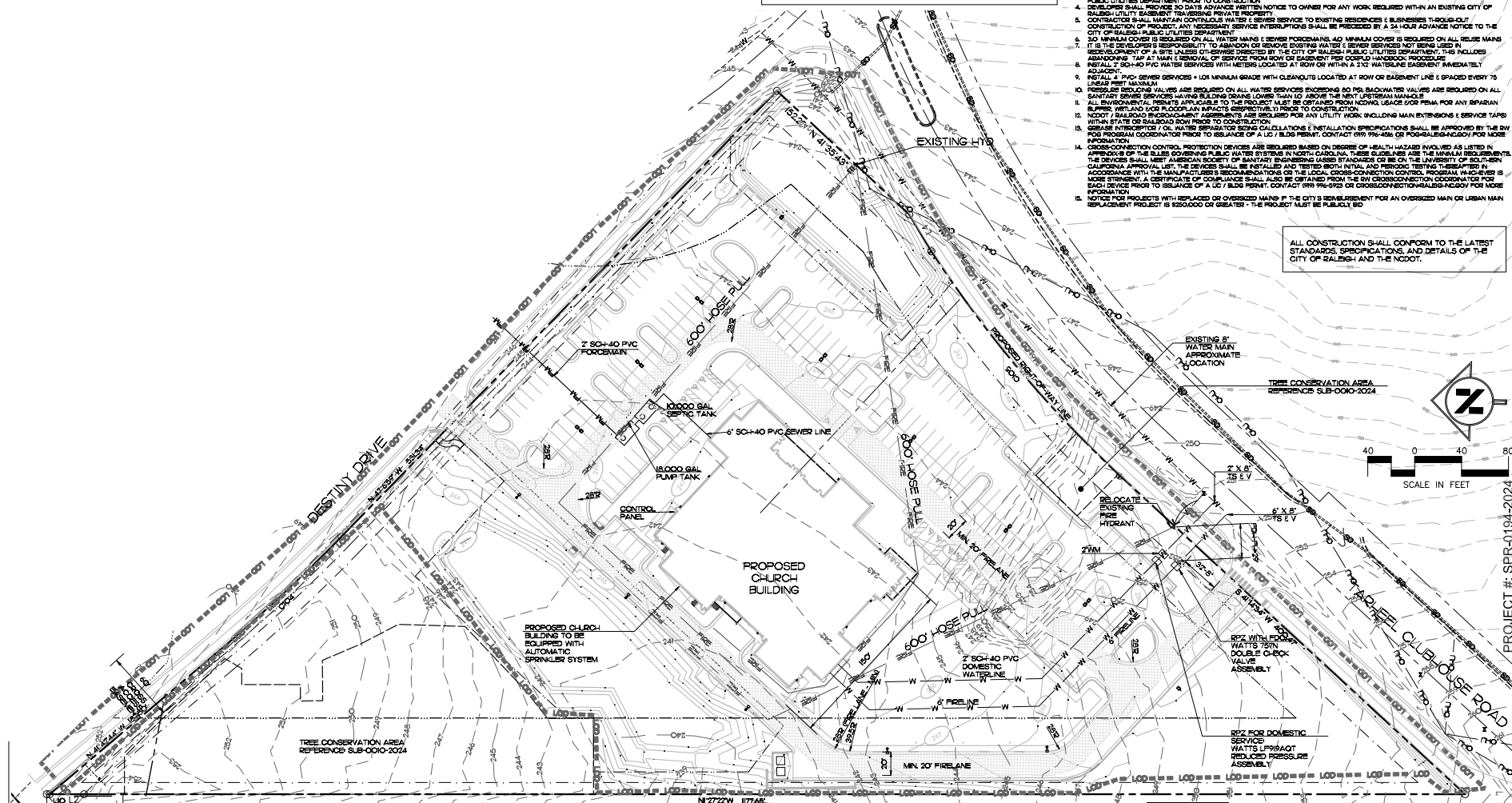
PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW, AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR CONSTRUCTION. THE REVIEWER'S REVIEW IS LIMITED TO THE DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE USED AS SUCH. THE REVIEWER'S REVIEW IS LIMITED TO THE DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS. THIS APPROVAL OF THIS PROJECT IS LIMITED TO THE SPECIFIC PROJECT AND DOES NOT HAVE ANY IMPROVED AND THE ORIGINAL SIGNATURE BELOW IS VALID.

CITY OF RALEIGH DEVELOPMENT APPROVAL

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCES CORPUS HANDBOOK, CURRENT EDITION

- [illegible]

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS, SPECIFICATIONS, AND DETAILS OF THE CITY OF RALEIGH AND THE NCDOT.



PRIOR TO ANY CONSTRUCTION ACTIVITY, UNDERGROUND UTILITY LOCATIONS SHOULD BE REQUESTED BY CALLING THE NORTH CAROLINA ONE CALL CENTER, INC. (1-800-632-4949).



U	UTILITIES PLAN
	SCALE: 1" = 40'

REVISIONS

Finch & Associates
3309 North Boylan Avenue
Raleigh, NC 27603-1402
T 919 | 833-1212
F 919 | 834-3203
NCBELS Lic. No. P-1845
NCROLA Lic. No. C-656

FINCH
FINCH & ASSOCIATES
engineering landscape architecture

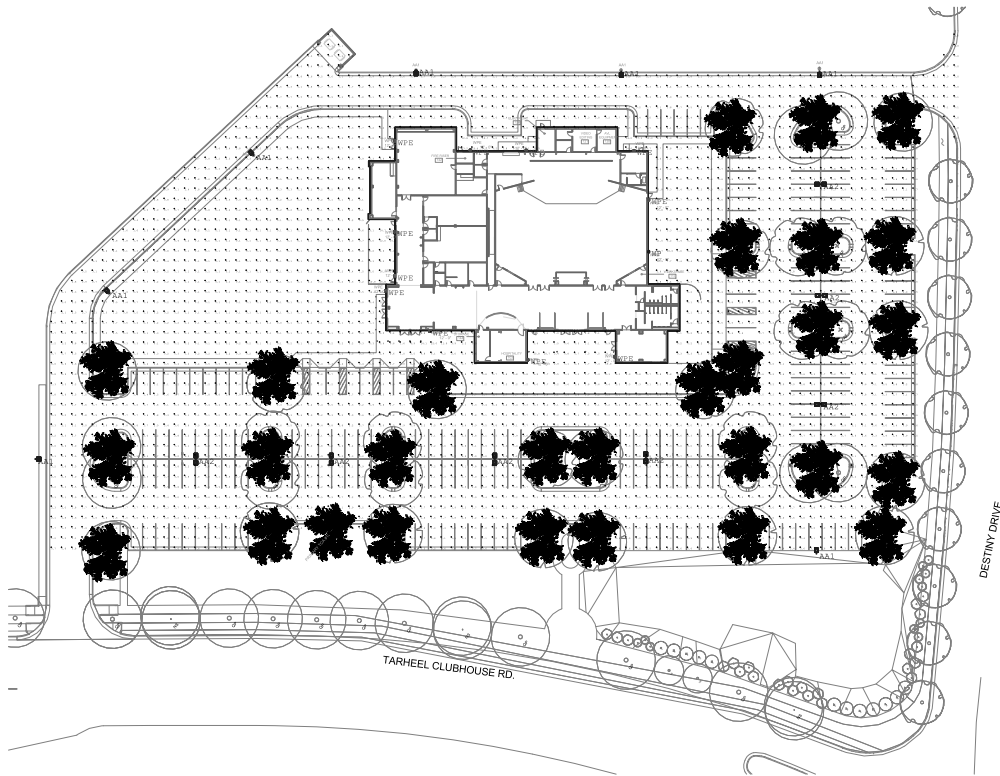
PROJECT #: SPR-0194-2024

SPACE DESIGN, LLC
FOCUS CHURCH OF RALEIGH
3327 TARHEEL CLUBHOUSE RD
RALEIGH, NORTHERN CAROLINA 27604

DRAWN BY	BAB
CHECKED BY	JW
PROJ. NO.	22069
DATE	6/5/2025
UI SHEET	OF

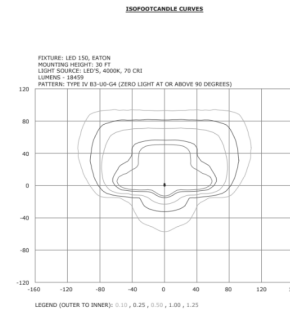
1 SITE LIGHTING PHOTOMETRIC
A.102 1" = 40'-0"

Revisions:	Date	Civil Engineers:	MEP Engineers:	Structural Engineers:	Seal	Design Team Manager:	Drawing Title	Project Title	Date
		FINCH FINCH & ASSOCIATES	Darr+Collins CONSULTING ENGINEERS	wallace Wallace Engineering Structural Consultants, Inc.	REVIEW SET NOT FOR CONSTRUCTION	Space	Site Lighting Photometrics	FOCUS CHURCH	10/27/2022
							Frank Thomas Small 108 South Broadway Edmond, Oklahoma 73034	Submitted PERMIT DRAWINGS	Project No. 20.28.001
							405.310.8866 (T)	Checked Designer	DRAWING NO. A.102
								Drawn Author	
								Location 3609 Tarheel Club Rd. Raleigh, NC 27604	



Luminaire Schedule	Label	Description	Arrangement	Arrangement Luminaire Lumens	Arrangement Watts	8000 Rating
AA2	AA2	GALLERON AREA AND ROADWAY LUMINAIRE (D) 70 CRI, 4000K, 1000MA LIGHTSQUAURES WITH 1	Back-Back	36918	332	83-02-04
AA1	AA1	GALLERON AREA AND ROADWAY LUMINAIRE (D) 70 CRI, 4000K, 1000MA LIGHTSQUAURES WITH 1	Single	18459	166	83-02-04
WP	WP	WEST LED P5 40K VW RMOLEY DORADO	Single	6681	90	81-02-01
YPR	YPR	WEST LED P5 40K VW RMOLEY DORADO	Single	6681	90	81-02-01

Calculation Summary	Label	Aug	Max	Min	Aug/Min	Max/Min
Site Ltg		2.7%	25.8	1.8	N/A	N/A



Outdoor Lighting



SHOEBOX LED
(Meets Dark Sky Criteria)

LED
(Light-emitting diode)

Mounting height
25', 30', 35'

Color
Black | Bronze | Gray | White

Pole
Fiberglass (2 or 2 fixtures per pole)
Decorative tapered metal
Decorative square metal

Applications
Neighborhoods
Roadways
Shopping centers

Light source: LED (white)
Wattage: 160 | 220 | 420 | 630 watts
Light pattern: IES Type IV | Type IV forward throw | Type II

IESNA cutoff classification: Full-cutoff

BLUS rating: 100W Type II = IESL003 / Type IV = IESL004 / Type V = IESL003
220W Type II = IESL003 / Type IV = IESL004 / Type V = IESL003
420W Type IV = IESL005 / Type V = IESL005
630W Type IV = IESL005 / Type V = IESL005

Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (2 or 2 fixtures per pole) Gray (2 or 2 fixtures per pole)

FEATURES

Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, email us at
DUKEENERGY@dukeenergyservices.com

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DUKE ENERGY
RESOURCES

JOHN A. BARNES GROUP/TPM®

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