



# Administrative Approval Action

Case File / Name: ASR-0035-2024  
DSLCL - Hillcrest Raleigh

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

## LOCATION:

This 6.59-acre site consists of three parcels currently developed for a rest home, identified as Hillcrest Raleigh. It is located north of Glen Eden Drive, south of Crabtree Valley Avenue, east of Holly Lane, and west of I-440 W. It is zoned R-6 and located in a Frequent Transit Area. The largest parcel of approximately 6.02 acres size is where the development is proposed and it is occupied with the existing rest home and addressed as 3830 Blue Ridge Road. The other two parcels are addressed as 3916 (a vacant parcel) and 3920 Blue Ridge Road (containing a house to be removed).

## REQUEST:

This plan proposes a 19,421 square foot addition to the existing 49,385 square foot rest home development on the 6.02 acre lot at 3830 Blue Ridge Road for a total building area of 68,806 square feet. The plan shows removing the existing detached house at 3920 Blue Ridge Road. Minor parking and other site improvements are proposed.

Per the use standards for a rest home (UDO Section 6.2.2.F.2), the number of total occupants allowed is based on 4 persons being the equivalent of 1 dwelling unit and the number of occupants cannot exceed the equivalent number of units per acre allowed in the base zoning district (R-6). For this site and acreage (6.02 acre parcel at 3830 Blue Ridge Road), the maximum number of occupants is 233. There are currently 134 occupants, which is below the threshold. There is no increase in the number of occupants proposed with this plan; only a shift from double-occupancy to single-occupancy rooms.

## DESIGN

### ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

## FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 12, 2025 by McAdams.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### General

1. Update the plan set to reflect the maximum number of occupants based upon the maximum residential density in R-6 under the conventional development option. As of the date of this approval, that is the townhouse building type.

### Stormwater





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2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

## Urban Forestry

5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
7. Existing fence shown must be removed by hand in both locations where it occurs within proposed tree conservation areas.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

|                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Right of Way Deed of Easement<br>Required |
|-------------------------------------|---|

|  |  |
|--|--|
|  |  |
|--|--|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry





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3. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.66 acres of secondary tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **Stormwater**

1. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## **Urban Forestry**

2. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***

## **General**

1. Final inspection of all tree conservation areas by Urban Forestry Staff.

## **Stormwater**

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** September 26, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has





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been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

**Signed:** Keegan.McDonald@raleighnc.gov Digitally signed by Keegan.McDonald@raleighnc.gov  
DN: E=Keegan.McDonald@raleighnc.gov, CN=Keegan.McDonald@raleighnc.gov  
Reason: I am approving this document  
Date: 2025.09.26 13:56:04-04'00' **Date:** 09/26/2025

**Staff Coordinator:** **Jessica Gladwin**

Development Services Dir/Designee



# HILLCREST RALEIGH

## ADMINISTRATIVE SITE REVIEW

3830 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA 27612

PROJECT NUMBER: BHD-24001  
C.O.R. CASE NUMBER: ASR-0035-2024

DATE: MAY 31, 2024  
REVISED: FEBRUARY 07, 2025  
REVISED: JUNE 02, 2025  
REVISED: JULY 16, 2025  
REVISED: AUGUST 12, 2025

### Administrative Site Review Application

Form 10-2024 (Revised 10-2024) | City of Raleigh, NC | 10-2024 (Revised 10-2024)

This form is required when submitting site plans as information to inform the City of Raleigh's Administrative Site Review (ASR) process. It is not a substitute for the required site plan or other documents required for the ASR process.

Office Use Only: Check box to indicate the use of the form. If the form is not used, the form will be marked as "Not Used".

Use Plan Type: Check box to indicate the use of the form. If the form is not used, the form will be marked as "Not Used".

Development Name: Hillcrest Raleigh

Address: 3830, 3810, & 3800 Blue Ridge Road Raleigh, NC 27612

Owner: Hillcrest Raleigh LLC

Current Property Owner: Hillcrest Raleigh LLC

Relationship to owner: Owner or contractor

Company: Hillcrest Raleigh LLC

Project Name: Hillcrest Raleigh

Project Number: BHD-24001

Project Address: 3830 Blue Ridge Road Raleigh, NC 27612

Project Phone: 919.244.9528

Project Email: info@hillcrestraleigh.com

Project Website: www.hillcrestraleigh.com

Project Description: Hillcrest Raleigh

Project Details: Hillcrest Raleigh

Project Notes: Hillcrest Raleigh

Project Attachments: Hillcrest Raleigh

Project Status: Hillcrest Raleigh

Project Date: Hillcrest Raleigh

Project Location: Hillcrest Raleigh

Project Contact: Hillcrest Raleigh

Project Signature: Hillcrest Raleigh

Project Date: Hillcrest Raleigh

Project Location: Hillcrest Raleigh

Project Contact: Hillcrest Raleigh

Project Signature: Hillcrest Raleigh

Project Date: Hillcrest Raleigh

Project Location: Hillcrest Raleigh

Project Contact: Hillcrest Raleigh

Project Signature: Hillcrest Raleigh

Project Date: Hillcrest Raleigh

Project Location: Hillcrest Raleigh

Project Contact: Hillcrest Raleigh

Project Signature: Hillcrest Raleigh

Project Date: Hillcrest Raleigh

Project Location: Hillcrest Raleigh

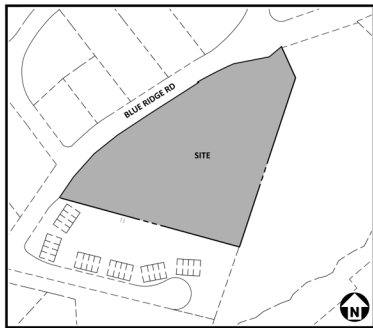
Project Contact: Hillcrest Raleigh

Project Signature: Hillcrest Raleigh

Project Date: Hillcrest Raleigh

Project Location: Hillcrest Raleigh

Project Contact: Hillcrest Raleigh



VICINITY MAP  
1" = 200'

|                         |  |
|-------------------------|--|
| SITE DATA               |  |
| SITE ADDRESS:           | 3830/3810/3800 BLUE RIDGE ROAD RALEIGH, NORTH CAROLINA 27612   |
| PARCEL PIN NUMBER:      | 0795475963 (0.02 AC.), 0795486280 (0.42 AC.), 0795488212 (0.41 AC.)  |
| EXISTING ZONING:        | R-6  |
| OVERLAY DISTRICT:       | NONE   |
| BLOCK PERIMETER:        | EXEMPT PER UDO SEC. 8.3.2.A.1.b.v.b  |
| WATERSHED:              | CRABTREE CREEK, NEUSE RIVER BASIN  |
| FLOODPLAIN/FIRM PANEL:  | NA   |
| SITE AREA:              | 287,271 SF, 6.50 AC (EXISTING LOTS 1, 2 AND 3)   |
| EXISTING BUILDING TYPE: | LOT 1: CIVIC BUILDING, LOT 2: DETACHED HOME, LOT 3: DETACHED HOME  |
| PROPOSED BUILDING TYPE: | LOT 1: CIVIC BUILDING, LOT 2: VACANT, LOT 3: VACANT  |
| EXISTING USE:           | LOT 1: GROUP LIVING, REST HOME, LOT 2: VACANT, LOT 3: SINGLE UNIT LIVING   |
| PROPOSED USE:           | LOT 1: GROUP LIVING, REST HOME, LOT 2: VACANT, LOT 3: VACANT   |
| PARKING DATA:           | VEHICLE PARKING<br>MAXIMUM PER UDO SEC. 7.1.2.C: 1 SPACE PER BED + 134 BEDS X 1 = 134 MAX. SPACES<br>PROVIDED: 99 EXISTING - 11 SPACES - 88 EXISTING<br>ACCESSIBLE PARKING<br>REQUIRED:<br>3 STANDARD ADA SPACES + 1 VAN SPACE (4 TOTAL)<br>PROVIDED:<br>3 STANDARD ADA SPACES + 1 VAN SPACE (4 TOTAL)<br>ELECTRIC VEHICLE PARKING<br>REQUIRED:<br>PER UDO SEC. 7.1.2.C THERE IS NO EV PARKING REQUIRED<br>PROVIDED: NONE PROVIDED<br>BIKE PARKING<br>REQUIRED:<br>PER UDO 7.1.2.C THERE IS NO REQUIRED SHORT-TERM OR LONG-TERM BICYCLE PARKING<br>PROVIDED: NONE PROVIDED |
| SETBACKS/BUILD-TO:      | PRIMARY STREETS<br>PER TC-SA-18 AND UDO SECTION 1.5.4.C, THE PRIMARY STREET SHALL BE BLUE RIDGE ROAD<br>R-6 SETBACKS PER UDO 2.2.5.B AND 2.2.5.C<br>BUILDING/STRUCTURE<br>FROM PRIMARY STREET: 10'<br>FROM SIDE STREET: 10'<br>FROM REAR LOT LINE: 10'<br>FROM REAR LOT LINE: 20'<br>FROM PRIMARY STREET: 10'<br>FROM SIDE STREET: 10'<br>FROM SIDE/REAR LOT LINE: 6'  |
| BUILDING HEIGHT:        | MAXIMUM ALLOWED: 3 STORIES<br>PROPOSED: 2 STORIES  |
| PREVIOUS APPROVALS:     | REZONING: CASE NUMBER 2-027-18<br>BOL: CASE NUMBER 1455  |

C.O.R. UDO 6.2.2.F.2 REST HOME

USE STANDARDS  
THE NUMBER OF TOTAL OCCUPANTS ALLOWED IS BASED ON 4 PERSONS BEING THE EQUIVALENT OF 1 DWELLING UNIT. THE NUMBER OF OCCUPANTS CANNOT EXCEED THE EQUIVALENT NUMBER OF UNITS PER ACRE ALLOWED IN THE RESPECTIVE ZONING DISTRICT.

SITE ACREAGE IS 6.02 ACRES/LOT 1: 1 X 6 ALLOWABLE UNITS X 4 PERSONS PER DWELLING UNIT = 24 ALLOWED OCCUPANTS. THERE ARE 134 OCCUPANTS WHICH IS BELOW THE ALLOWED MAXIMUM.

SOLID WASTE NOTES

a. SOLID WASTE TO BE HANDLED HOW IT IS CURRENTLY HANDLED TODAY (THROUGH OR EXCAVATION) TO HAVE EXISTING UTILITIES LOCATED.

b. THERE ARE NO PROPOSED INCREASE IN BEDS WITH THE EXPANSION, ONLY A SHIFT FROM DOUBLE OCCUPANCY TO SINGLE OCCUPANCY ROOMS.

CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 'NC811'. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF DURHAM AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187

### CONTACT

David Boyette  
boyette@mcadamsco.com  
PHONE: 919.244.9528

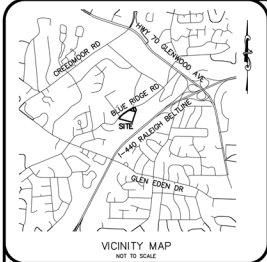
### CLIENT

HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PITTGRIFFIN STREET  
DURHAM, NORTH CAROLINA 27605  
PHONE: XXX. XXX. XXXX

### PROJECT DIRECTORY

ARCHITECT  
BHPD ARCHITECTURE  
421 N. HARRINGTON ST., SUITE 540  
RALEIGH, NORTH CAROLINA 27603  
PHONE: 919. 683. 1084





I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREON AT THE TIME OF THIS SURVEY.

RONALD T. FREDERICK, P.L.S. L-4720

DATE

PRELIMINARY PLAN  
NOT FOR RECORDATION  
CONVEYANCES OR SALES

GENERAL NOTES:

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83/2011.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- CONINGS R-A, R-C, AND U-S-P-A-CU PER WAKE COUNTY GIS AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL #370078000 DATED MAY 2, 2006.
- RETIRED UTILITIES AS SHOWN.
- UTILITIES SHOWN ARE BASED ON FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND CIRCUMSTANCES WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- NO GRID MONUMENTS FOUND WITHIN 200' OF SITE.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88 BENCH MARK "BM-IRON PIPE" ELEV = 314.75'

- DI-1  
GRATE=306.68  
15"RCR(E)=304.38
- DI-2  
GRATE=303.92  
15"RCR(E)=288.71  
15"RCR(W)=298.04
- DI-3  
GRATE=287.52  
18"RCR(N)=288.74  
24"RCR(E)=288.04  
15"RCR(W)=288.90
- DI-4  
GRATE=294.47  
12"RCR(E)=291.86
- DI-5  
GRATE=294.57  
12"RCR(E)=290.51  
12"RCR(W)=290.47
- DI-6  
GRATE=294.51  
12"RCR(N)=280.21  
12"RCR(E)=289.31
- DI-7  
GRATE=295.08  
12"RCR(N)=288.74  
12"RCR(E)=288.56
- DI-8  
GRATE=293.59  
18"RCR(N)=283.26  
12"RCR(W)=283.61
- FES-9  
INV=274.50
- DMH-10  
RM=285.30  
24"RCR(E)=280.75
- RCR-11  
INV=259.27
- DMH-12  
RM=280.75  
24"RCR(N)=249.90  
24"RCR(E)=256.36  
24"RCR(W)=249.85
- DMH-13  
TOP=280.75  
24"RCR(N)=250.07  
24"RCR(E)=249.85
- DI-14  
GRATE=294.61  
12"RCR(E)=292.45
- DI-15  
GRATE=294.76  
12"RCR(E)=291.37  
12"RCR(W)=291.76
- DI-16  
GRATE=294.67  
15"RCR(E)=290.87  
12"RCR(W)=290.90
- DI-17  
RM=284.29  
24"RCR(N)=289.68  
12"RCR(E)=291.89  
12"RCR(W)=290.15
- DI-18  
GRATE=295.08  
12"RCR(N)=282.80  
8"PV(C)=293.11
- DI-19  
GRATE=294.15  
12"RCR(NW)=291.24
- DI-20  
RM=294.53  
24"RCR(N)=289.09  
24"RCR(W)=289.13
- DI-21  
RM=293.67  
12"RCR(N)=287.67  
24"RCR(E)=287.53  
24"RCR(W)=287.37
- DI-22  
RM=201.68  
12"RCR(E)=295.16
- DI-23  
GRATE=294.08  
18"RCR(E)=290.34
- DI-24  
RM=294.52  
12"RCR(E)=290.31  
24"RCR(E)=285.52  
24"RCR(W)=285.32  
18"RCR(NW)=290.17
- DI-25  
GRATE=294.36  
12"RCR(W)=291.17
- RCR-26  
INV=280.19

NCDS MONUMENT  
MORNING  
PID: AE7323  
NC GRID NAD83(2011)  
N: 755,828.60'  
E: 2,090,550.00'  
COMBINED  
FACTOR: 0.99990867

NCDS MONUMENT  
PAULS  
PID: E25172  
NC GRID NAD83(2011)  
N: 755,394.21'  
E: 2,089,815.28'  
COMBINED  
FACTOR: 1.00000000

N/F  
SMITHSON WOODFIELD  
MARSHALL PARK LLC  
PIN: 0795473640  
D.B. 14860, PG. 1311  
B.M. 2012, PG. 1279

N/F  
FELLERS SCHEWE SCOTT &  
ROBERTS INC  
PIN: 0795479879  
D.B. 14860, PG. 304  
B.M. 2012, PG. 918

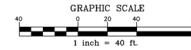
LEGEND

- EXISTING CONCRETE MONUMENT
- EXISTING IRON PIPE
- NAIL
- SET IRON PIPE
- NCDS/ISPC MONUMENT
- CALCULATED POINT
- CATV BOX
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC TRANSFORMER
- ELECTRIC METER
- ELECTRIC MANHOLE
- ELECTRIC BOX
- FIBER OPTIC VAULT
- FIBER OPTIC MARKER
- GAS VALVE
- GAS MANHOLE
- GAS TEST STATION
- GAS METER
- SANITARY SEWER MANHOLE
- CLEAN OUT
- FLARED END SECTION
- JUNCTION BOX
- DROP INLET
- CATCH BASIN
- TELEPHONE BOX
- SIGNAL POLE
- TRAFFIC SIGNAL BOX
- WATER VALVE
- WATER METER
- WELL
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- FIRE DEPT CONNECTION
- BOLLARD
- HYDRA UNIT
- SIGN
- MAIL BOX
- SS - SANITARY SEWER PIPE
- W - WATER LINE
- F - FIBER OPTIC
- UE - UNDERGROUND ELECTRIC
- CU - CABLE TELEVISION
- OU - OVERHEAD UTILITY
- G - GAS LINE
- X - FENCE LINE
- SD - STORM DRAIN PIPE
- TREELINE/HEDGE ROW

PARKING SUMMARY:

|                   |    |
|-------------------|----|
| REGULAR SPACES    | 87 |
| ACCESSIBLE SPACES | 5  |
| TOTAL SPACES      | 92 |

| CURVE | RADIUS  | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
|-------|---------|------------|---------------|--------------|
| C1    | 1272.27 | 215.33     | N 62°57'32" E | 215.07       |
| C2    | 1272.27 | 104.82     | N 70°10'54" E | 104.79       |



THE JOHN R. MCADAMS COMPANY, INC.  
2005 Meridian Parkway  
Durham, North Carolina 27713  
(800) 733-8840 • [McAdamsCo.com](http://McAdamsCo.com)

**MCADAMS**

REVISIONS:

|   |  |
|---|--|
| 1 |  |
|---|--|

OWNER: HILLCREST RALEIGH AT CRABTREE, LLC  
1417 W. PITTGREW ST.  
DURHAM, NC 27705

**HILLCREST RALEIGH NURSING HOME**  
3830 BLUE RIDGE ROAD  
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

TOPOGRAPHIC SURVEY

PROPERTY NO: RGG-18000  
PLAN: RGG18000-C1  
CHECKED BY: RTP  
DRAWN BY: DJM  
SCALE: 1"=40'  
DATE: 06/19/2018  
SHEET NO. 1-1

**MCADAMS**





McAdams

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PETTIGREW ST  
DURHAM, NC 27705  
PHONE: XXX. XXX. XXXX

HILLCREST RALEIGH  
ADMINISTRATIVE SITE REVIEW  
3830 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA 27612

## SITE PLAN NOTES

1. NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 30 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 30 FEET FROM THE POINT OF TANGENCY OF THE RADII OF CURVATURE OR 30 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCRUSH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
2. RIGHT-OF-WAY SHALL BE CLEARED AND GROUTED WITHIN 15' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THROUGHFARES.
3. WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, COUQUE BARRI, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 34 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.2.2 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
4. MULTILANE STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTILANE STOP INSTALLATION WARRANTS CAN BE MET AND ORIGINATED BY CITY COUNCIL APPROVAL.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
8. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER. BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
9. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSDITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS SPECIFIED ON THE PLANS.
10. CONTRACTOR SHALL NOTIFY "NCELI" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NCELI". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDSTALS, WATER METERS, ETC.).
12. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2609, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS (2010) DETAILS.
15. ALL DRIVEWAYS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. FIRST-THAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO CONFORM WITH THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROVANS), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
16. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
17. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
18. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
20. ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 3'X20'X4" (1000 PSI) CONCRETE PAD.

## DEMOLITION NOTES

1. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
2. COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 14, 2018 NC FIRE CODE, NFPA 241 AND CHAPTER 38, 2018 NC BUILDING CODE).

## GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29CFR PART 1926, SUBPART "F" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
4. CONTRACTOR SHALL NOTIFY "NCELI" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NCELI". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
6. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
7. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
8. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

## CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: COMPUF HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 18" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, VERICAL SANITARY SEWER SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN 14" IN SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
  - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CADDL HAVING 6" MIN. CLEARANCE PER CORPUS DETAILS W-41 & S-49.
  - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT SERVICE LINE OR REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL COPPER" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL PVC" SEWER SERVICES @ 1.2% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
24. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLATION ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKWATER VALVE.
25. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
26. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
27. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE COMPUF FOS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVELEY AT (919) 296-2334 OR STEPHEN.CALVELEY@RAL.EGHC.GOV FOR MORE INFORMATION.
28. CROSS CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS ON THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-5923 OR JOANNE.HARTLEY@RAL.EGHC.GOV FOR MORE INFORMATION.

## ADDITIONAL UTILITY NOTES

1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METERS.
2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNLIMITED DEVELOPMENT ORDINANCE (UDOD).
3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5" WAVE. CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
4. ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 405 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
5. IN ACCORDANCE WITH GENERAL STATUTE 87-121(a), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
8. ALL SANITARY SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
9. CONTRACTOR SHALL NOTIFY "NCELI" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NCELI". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
10. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2" MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND LABELED.

## REVISIONS

| NO. | DATE       | REVISION                    |
|-----|------------|-----------------------------|
| 1   | 02.07.2025 | REVISED PER CORP 237 REVIEW |
| 2   | 06.02.2025 | REVISED PER CORP 2ND REVIEW |
| 3   | 07.10.2025 | REVISED PER CORP 3RD REVIEW |
| 4   | 08.12.2025 | REVISED PER CORP 4TH REVIEW |

## PLAN INFORMATION

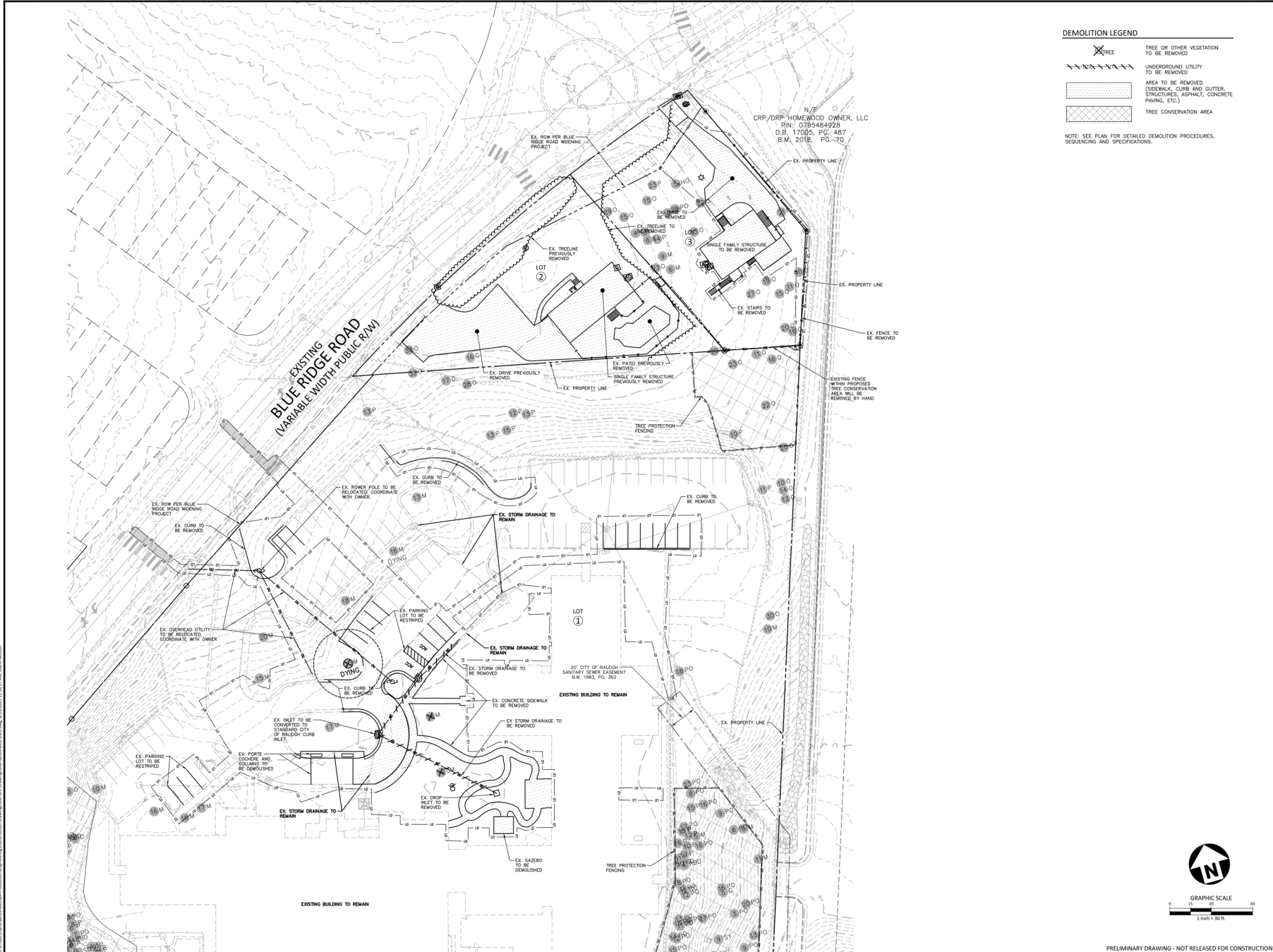
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| PROJECT NO. | BHD240001    |
| FILENAME    | BHD240001-N1 |
| CHECKED BY  | DMB          |
| DRAWN BY    | JJ           |
| SCALE       | NTS          |
| DATE        | 05.31.2024   |
| SHEET       |              |

## PROJECT NOTES

C0.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





#### DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- TREE CONSERVATION AREA

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.823.4300  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PETERGREW ST  
DURHAM, NC 27705  
PHONE: XXX.XXX.XXXX

**HILLCREST RALEIGH**  
**ADMINISTRATIVE SITE REVIEW**  
**3830 BLUE RIDGE ROAD**  
RALEIGH, NORTH CAROLINA 27612

#### REVISIONS

| NO. | DATE       | REVISION                   |
|-----|------------|----------------------------|
| 1   | 02.07.2025 | REVISED PER COR 1ST REVIEW |
| 2   | 06.02.2025 | REVISED PER COR 2ND REVIEW |
| 3   | 07.16.2025 | REVISED PER COR 3RD REVIEW |
| 4   | 08.12.2025 | REVISED PER COR 4TH REVIEW |

#### PLAN INFORMATION

PROJECT NO. BHD240001  
FILENAME BHD240001-DM1  
CHECKED BY DMB  
DRAWN BY JJ  
SCALE 1"=30'  
DATE 05.31.2024  
**SHEET**

**DEMOLITION PLAN**  
**C1.01**





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ALLCREST RALEIGH AT CRABTREE LLC  
17 W PETTIGREW ST  
RHAM, NC 27705  
PHONE: XXX. XXX. XXXX

**HILLCREST RALEIGH**  
ADMINISTRATIVE SITE REVIEW  
3830 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA, 27612

## REVISIONS

| DATE         |                            |
|--------------|----------------------------|
| 02. 07. 2025 | REVISED PER COR 1ST REVIEW |
| 06. 02. 2025 | REVISED PER COR 2ND REVIEW |
| 07. 16. 2025 | REVISED PER COR 3RD REVIEW |
| 08. 12. 2025 | REVISED PER COR 4TH REVIEW |

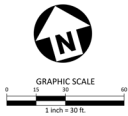
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| DRAWN BY    | JJ            |
| SCALE       | 1"=30'        |
| DATE        | 05.31.2024    |

## SHEET

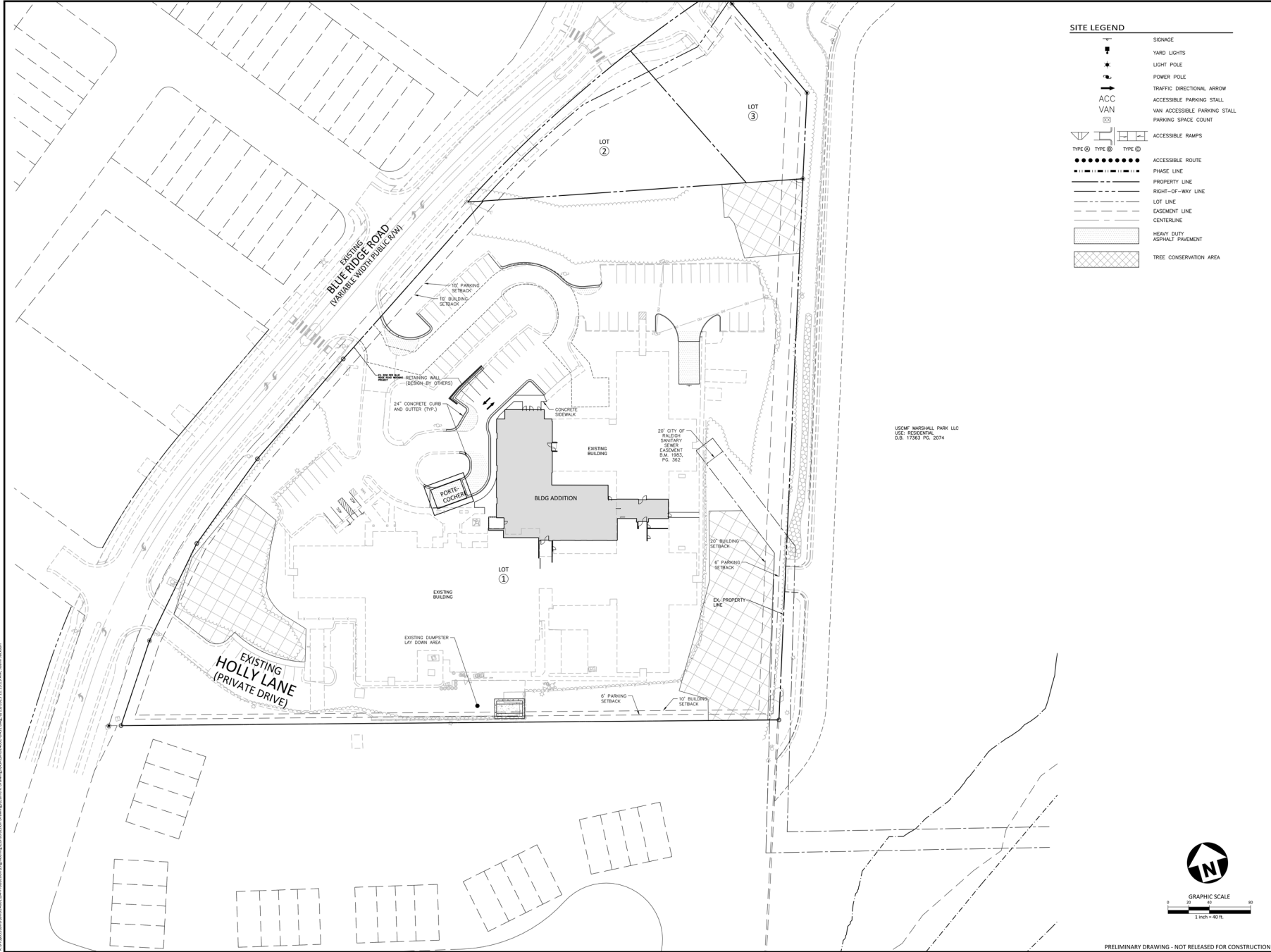
## RIGHT-OF-WAY DEDICATION EXHIBIT

## C1.02



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





| SITE LEGEND |                              |
|-------------|------------------------------|
|             | STORAGE                      |
|             | YARD LIGHTS                  |
|             | LIGHT POLE                   |
|             | POWER POLE                   |
|             | TRAFFIC DIRECTIONAL ARROW    |
|             | ACCESSIBLE PARKING STALL     |
|             | VAN ACCESSIBLE PARKING STALL |
|             | PARKING SPACE COUNT          |
|             | ACCESSIBLE RAMPS             |
|             | ACCESSIBLE ROUTE             |
|             | PHASE LINE                   |
|             | PROPERTY LINE                |
|             | RIGHT-OF-WAY LINE            |
|             | LOT LINE                     |
|             | EASEMENT LINE                |
|             | CENTERLINE                   |
|             | HEAVY DUTY ASPHALT PAVEMENT  |
|             | TREE CONSERVATION AREA       |



**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PITTGREW ST  
DURHAM, NC 27705  
PHONE: XXX. XXX. XXXX

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| 3   | 07.16.2025 | REVISED PER COR 3RD REVIEW |
| 4   | 08.12.2025 | REVISED PER COR 4TH REVIEW |

**PLAN INFORMATION**

PROJECT NO. BHD24001  
FILENAME BHD24001-QAS1  
CHECKED BY DMB  
DRAWN BY JJ  
SCALE 1"=40'  
DATE 05.31.2024

**SHEET**

**OVERALL SITE PLAN**

**C2.00**

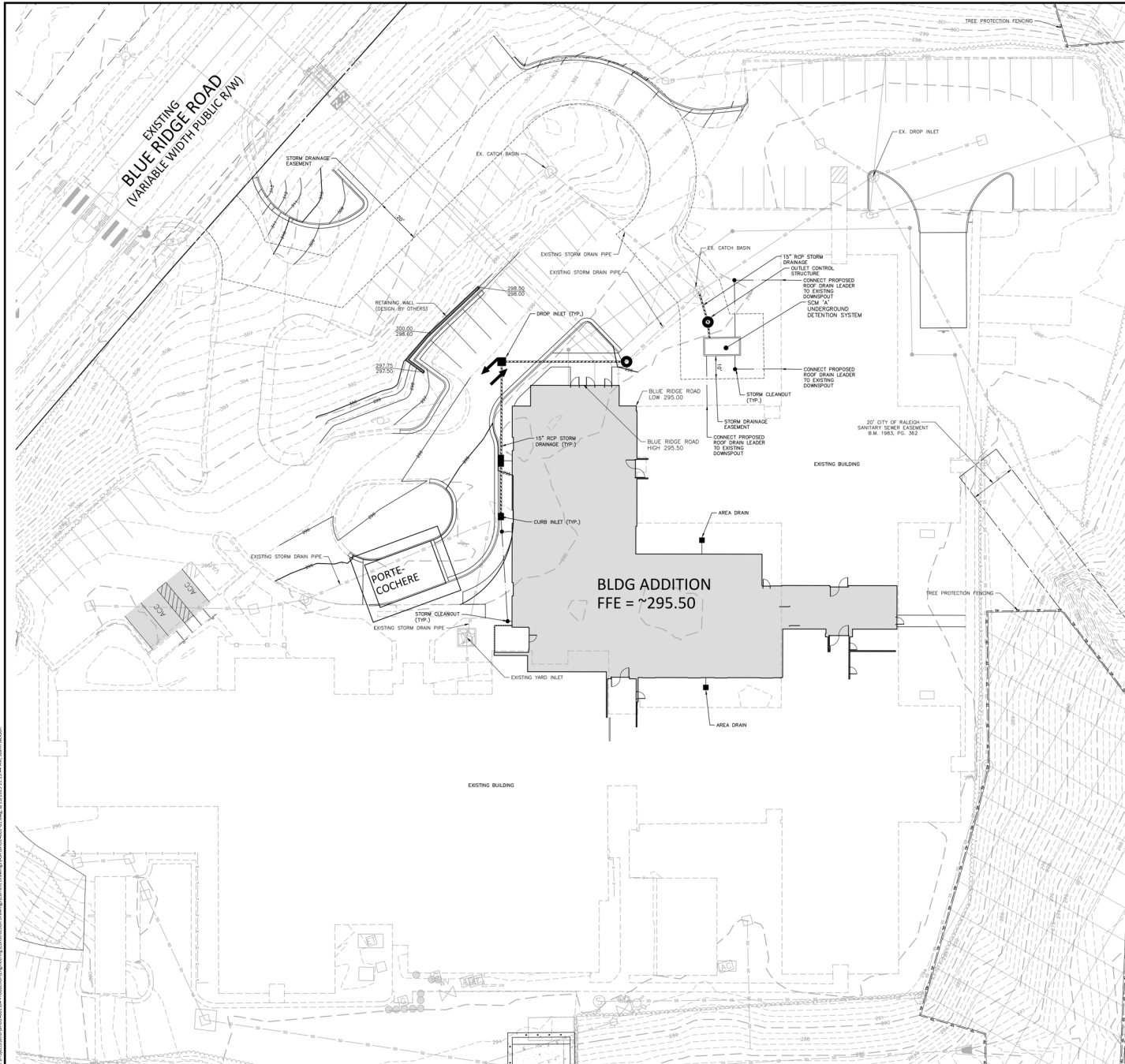
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION









- GRADING LEGEND**
- FLARED END SECTION
  - ENDWALL SECTION
  - CATCH BASIN
  - DROP INLET
  - STORM SERVICE INLET
  - STORM SERVICE ROOF-DRAIN
  - JUNCTION BOX
  - DRAINAGE FLOW ARROW
  - LINE BREAK SYMBOL
  - TOP & BOTTOM CURB ELEVATIONS
  - TOP OF WALL ELEVATION
  - BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
  - SPOT ELEVATION
  - STORM DRAINAGE
  - STORM SERVICE LINE
  - ROOF DRAIN, 8" ADS
  - NON-PERFORATED TUBING OR EQUAL, 1.0% MIN. SLOPE 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
  - THREE PROTECTION FENCE
  - LIMITS OF DISTURBANCE
  - WOODED AREA
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - EASEMENT LINE
  - ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
  - TREE CONSERVATION AREA

**AVERAGE GRADE**

|                 | HIGH   | LOW    | AVERAGE |
|-----------------|--------|--------|---------|
| Blue Ridge Road | 295.50 | 295.00 | 295.25  |



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187

**CLIENT**

HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PETTEGREW ST  
DURHAM, NC 27705  
PHONE: XXX. XXX. XXXX

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**REVISIONS**

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| 2   | 06.02.2025 | REVISED PER COR 2ND REVIEW |
| 3   | 07.16.2025 | REVISED PER COR 3RD REVIEW |
| 4   | 08.12.2025 | REVISED PER COR 4TH REVIEW |

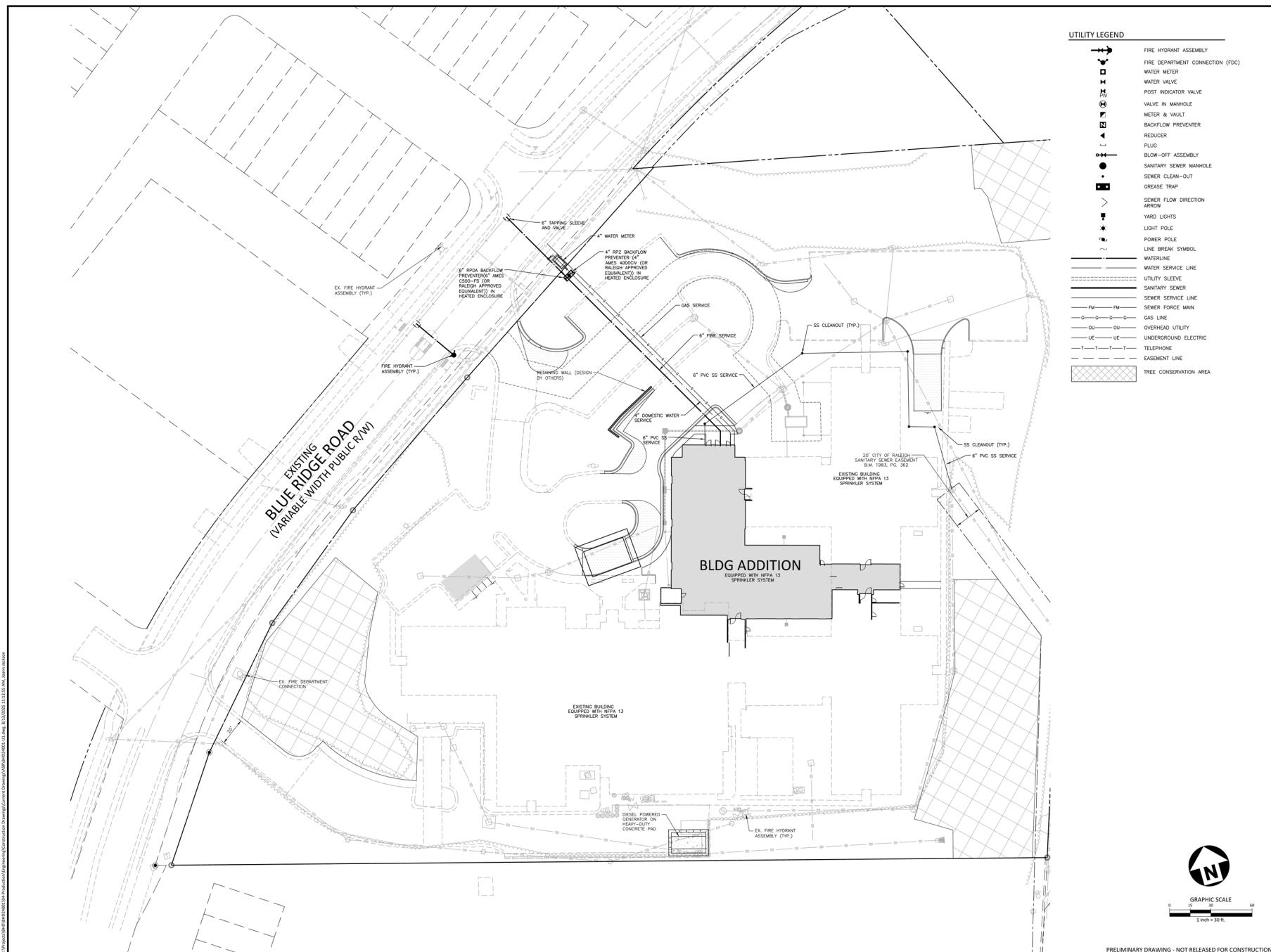
**PLAN INFORMATION**

PROJECT NO. BHD240001  
FILENAME BHD240001-G1  
CHECKED BY DMB  
DRAWN BY JJ  
SCALE 1"=20'  
DATE 05.31.2024  
**SHEET**

**GRADING PLAN**

**C3.00**





The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
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1417 W PETTIGREW ST  
DURHAM, NC 27705  
PHONE: XXX. XXX. XXXX

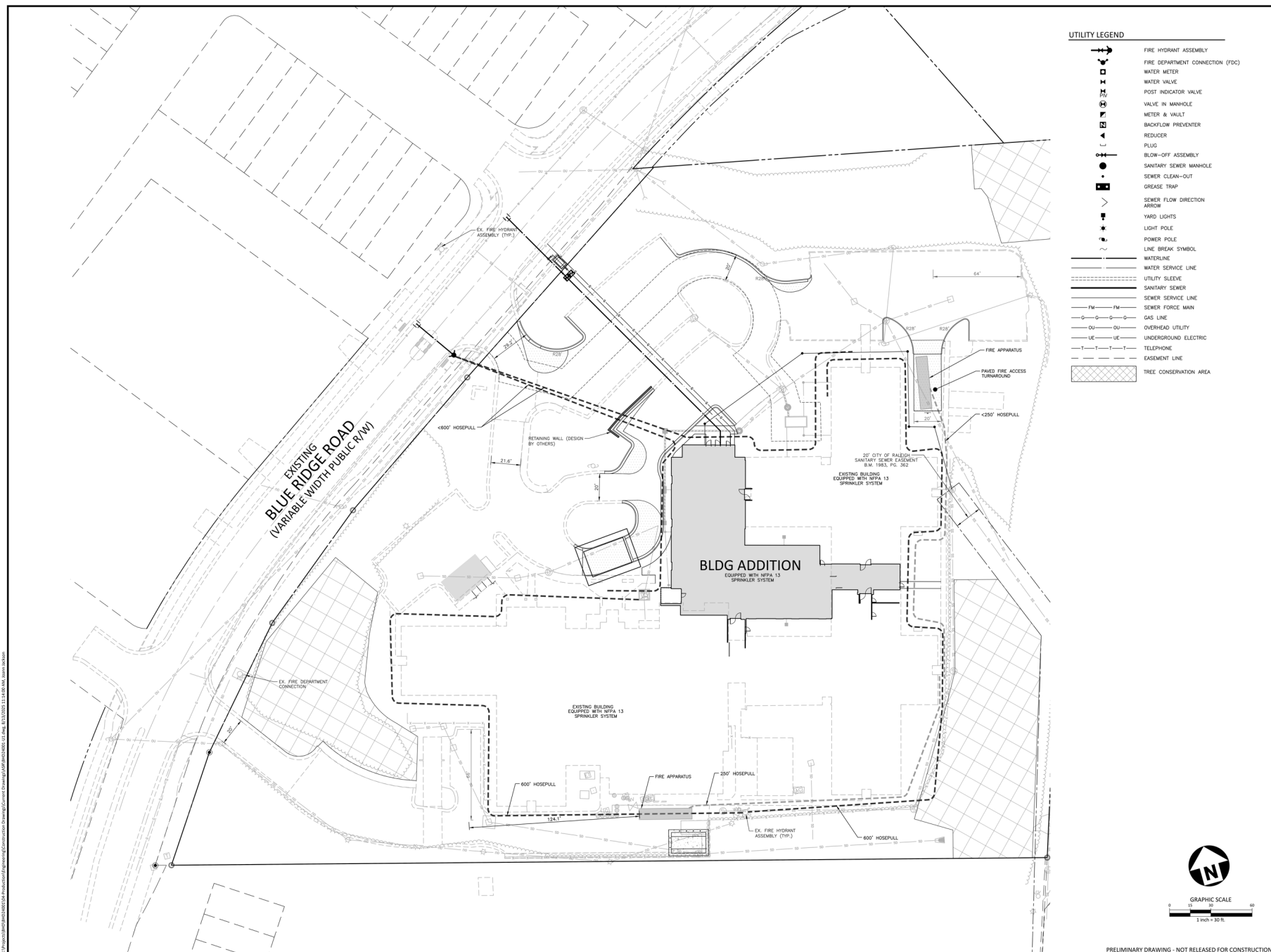
**HILLCREST RALEIGH**  
ADMINISTRATIVE SITE REVIEW  
3830 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA, 27612

## REVISIONS

## PLAN INFORMATION

## UTILITY PLAN





The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187

**CLIENT**  
HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PETTIGREW ST  
DURHAM, NC 27705  
PHONE: XXX. XXX. XXXX

## REVISIONS

## PLAN INFORMATION

## FIRE ACCESS PLAN



## REVISIONS

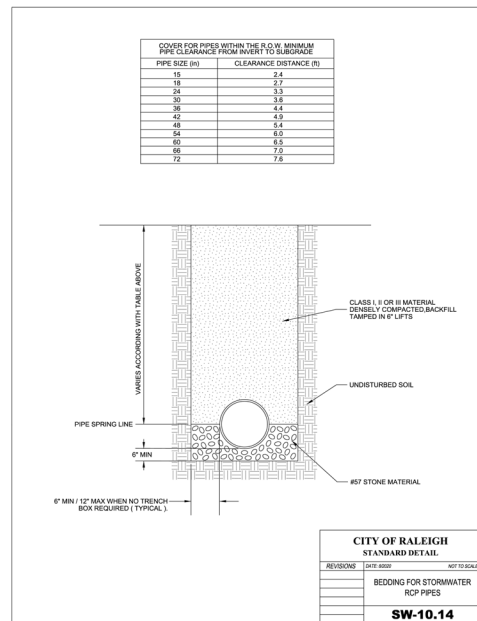
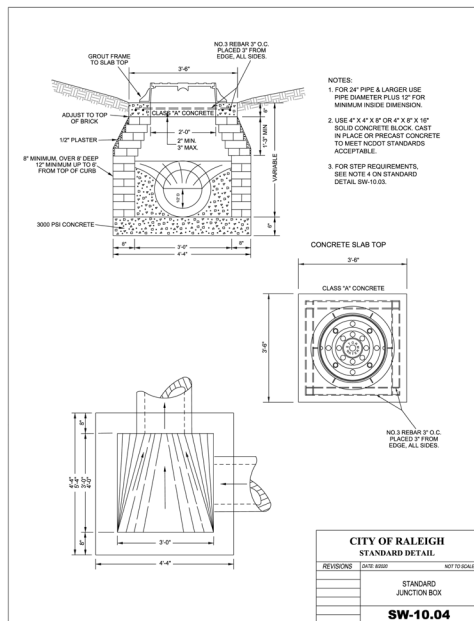
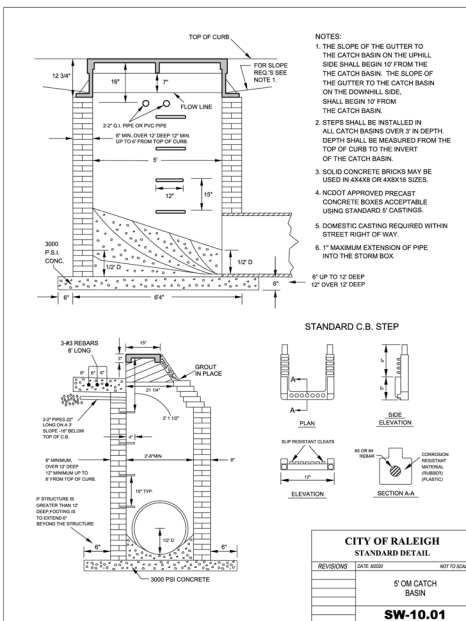
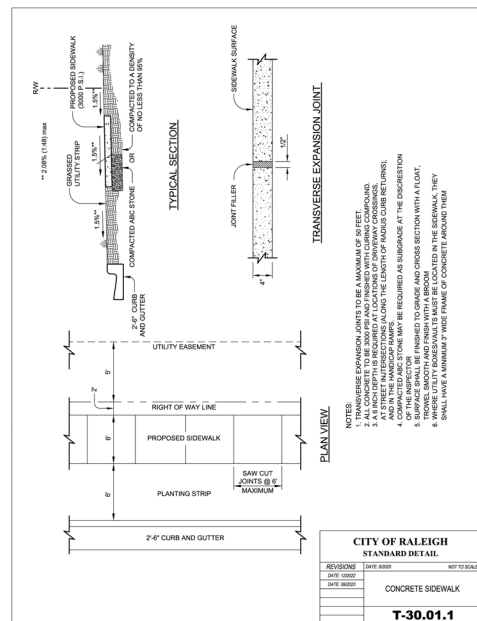
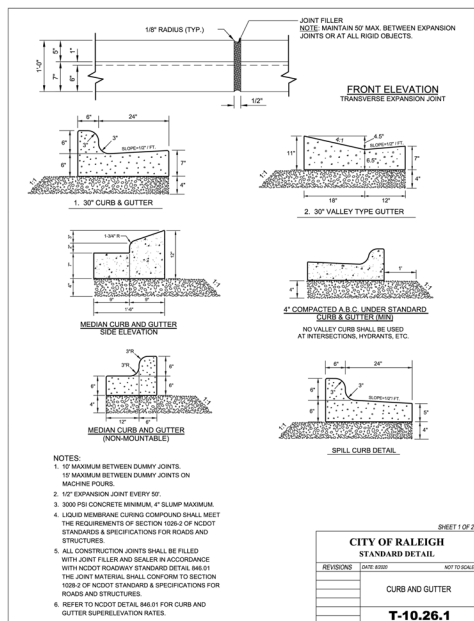
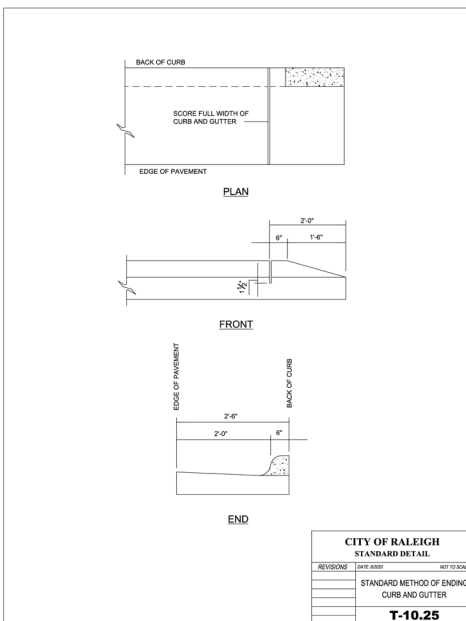
| DATE         |                            |
|--------------|----------------------------|
| 02. 07. 2025 | REVISED PER COR 1ST REVIEW |
| 06. 02. 2025 | REVISED PER COR 2ND REVIEW |
| 07. 16. 2025 | REVISED PER COR 3RD REVIEW |
| 08. 12. 2025 | REVISED PER COR 4TH REVIEW |

## LAN INFORMATION

|             |             |
|-------------|-------------|
| PROJECT NO. | BHD24001    |
| FILENAME    | BHD24001-D1 |
| CHECKED BY  | DMB         |
| DRAWN BY    | JJ          |
| SCALE       | NTS         |
| DATE        | 05.31.2024  |

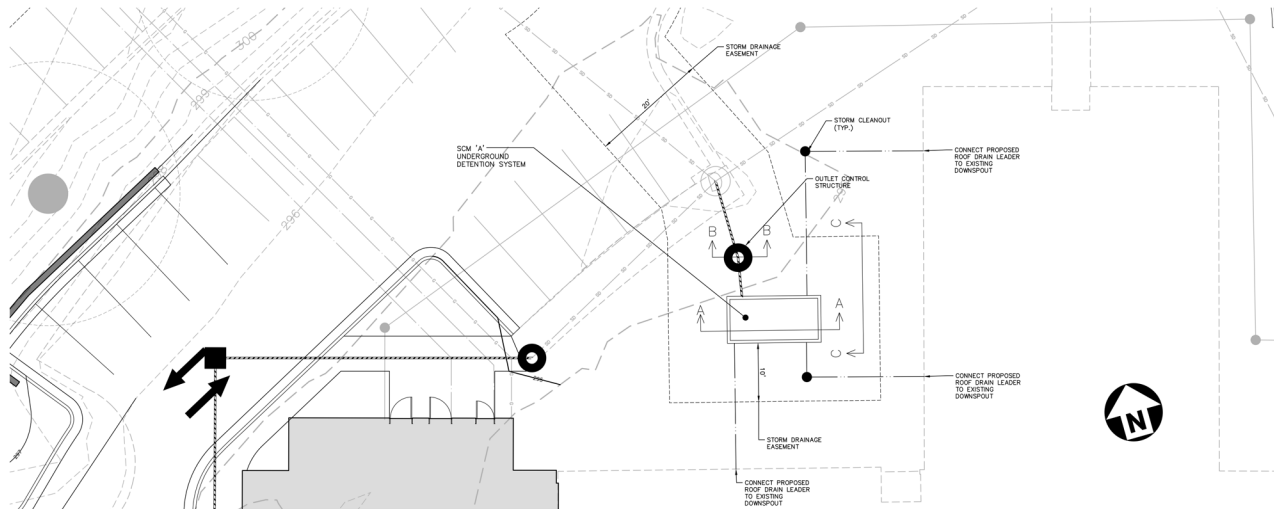
## SHEET

**SITE AND STORM  
DRAINAGE DETAILS  
C8.00**

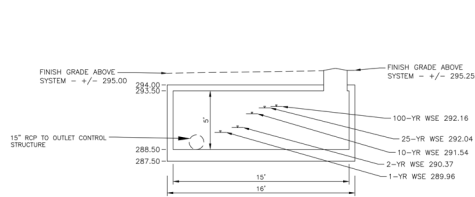


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

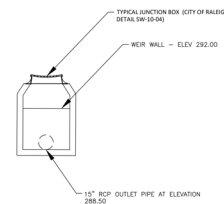




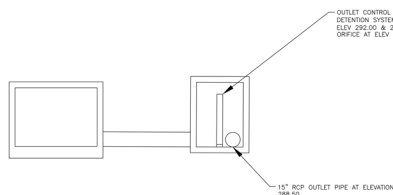
SCM A - UNDERGROUND DETENTION SYSTEM  
PLAN VIEW  
SCALE: 1"=10'



SCM A - UNDERGROUND DETENTION SYSTEM  
A-A VIEW  
SCALE: 1"=5'



OUTLET CONTROL STRUCTURE B-B VIEW  
SCALE: 1"=5'



SCM A - UNDERGROUND DETENTION SYSTEM  
C-C VIEW  
SCALE: 1"=5'

| GRADING LEGEND |   |
|----------------|---|
|                | FLARED END SECTION  |
|                | ENDWALL SECTION   |
|                | CATCH BASIN   |
|                | DROP INLET  |
|                | STORM SERVICE INLET   |
|                | STORM SERVICE ROOF-RAIN   |
|                | JUNCTION BOX  |
|                | DRAINAGE FLOW ARROW   |
|                | LINE BREAK SYMBOL   |
|                | TOP & BOTTOM CURB ELEVATIONS  |
|                | SPOT ELEVATION  |
|                | TOP OF WALL ELEVATION   |
|                | BOTTOM OF WALL ELEVATION<br>(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)                                    |
|                | STORM DRAINAGE  |
|                | STORM SERVICE LINE  |
|                | ROOF DRAIN, 8" ADS<br>NON-PERFORATED TUBING OR<br>EQUAL, 1.0% MIN. SLOPE 3" MIN.<br>COVER PVC SCHEDULE 40 IN<br>TRAFFIC AREAS |
|                | THREE PROTECTION FENCE  |
|                | LIMITS OF DISTURBANCE   |
|                | WOODED AREA   |
|                | MAJOR CONTOUR   |
|                | MINOR CONTOUR   |
|                | EXISTING MAJOR CONTOUR  |
|                | EXISTING MINOR CONTOUR  |
|                | EASEMENT LINE   |
|                | ACCESSIBLE PARKING AREA<br>(2% MAX. SLOPE IN ALL DIRECTIONS)  |



**McADAMS**

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621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 823. 4300  
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license number: C-0293, C-187

**CLIENT** www.mcadamsco.com  
HILLCREST RALEIGH AT CRABTREE LLC  
1417 W PETTIGREW ST  
DURHAM, NC 27705  
PHONE: XXX. XXX. XXXX

**HILLCREST RALEIGH**  
**ADMINISTRATIVE SITE REVIEW**  
**3830 BLUE RIDGE ROAD**  
RALEIGH, NORTH CAROLINA 27612



#### REVISIONS

| NO. | DATE       | REVISION                   |
|-----|------------|----------------------------|
| 1   | 02.07.2025 | REVISED PER COR 1ST REVIEW |
| 2   | 06.02.2025 | REVISED PER COR 2ND REVIEW |
| 3   | 07.16.2025 | REVISED PER COR 3RD REVIEW |
| 4   | 08.12.2025 | REVISED PER COR 4TH REVIEW |

#### PLAN INFORMATION

PROJECT NO. BHD24001  
FILENAME BHD24001-SW51  
CHECKED BY DMB  
DRAWN BY JJ  
SCALE NTS  
DATE 05.31.2024

#### SHEET

SCM A DETAILS

**C9.00**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION







[illegible]











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7 NORTH ELEVATION  
1/4" = 1'-0"

1 EAST ELEVATION  
1/4" = 1'-0"



**BHDP**  
BHD ARCHITECTURE  
3830 Blue Ridge Rd.  
Raleigh, NC 27612  
www.bhdp.com

HILLCREST RALEIGH BUILDING EXPANSION  
3830 Blue Ridge Rd.  
Raleigh, NC 27612  
ASR ELEVATION

Approver  
KF  
Checked  
2024.05.18  
HLC01.02

A201