

# Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Transaction #: _____		Planning Coordinator: _____	
Building Type		Site Transaction History	
Detached	General	Subdivision transaction #: _____	
Attached	Mixed use	Sketch transaction #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name:			
Inside City limits?    Yes <input checked="" type="checkbox"/> No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company:		Title:	
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

**DEVELOPMENT TYPE + SITE DATE TABLE****(Applicable to all developments)**

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**RESIDENTIAL DEVELOPMENTS**

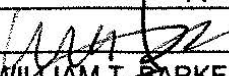
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: _____	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate DANNY L. HOWELL, JR. (REAL ENGINEERING, INC.) to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: <u>2-27-20</u>
Printed Name: <u>WILLIAM T. BARKER (TRINITY VENTURES II, LLC/WAYNE STREET INVESTMENTS, LLC)</u>	

DESIGN SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

SYMBOLS AND ABBREVIATIONS

ABC	AGGREGATE BASE COURSE		EXISTING CURB INLET
B-B	BACK TO BACK		EXISTING GRATE INLET/YARD INLET
BOA	BLOW-OFF ASSEMBLY		EXISTING FLARED END SECTION
C&G	CURB AND GUTTER		EXISTING FIRE HYDRANT
CFS	CUBIC FEET PER SECOND		EXISTING BLOW-OFF ASSEMBLY
CI	CURB INLET		EXISTING GATE VALVE
CMP	CORRUGATED METAL PIPE		EXISTING SAN SEWER MANHOLE
CO	CLEAN OUT		EXISTING CLEAN OUT
COM	COMMUNICATION		EXISTING POWER POLE
CONC	CONCRETE		EXISTING AREA LIGHT
DI	DROP INLET		EXISTING SIGN
DIP	DUCTILE IRON PIPE		NEW CURB INLET
FES	FLARED END SECTION		NEW GRATE INLET/YARD INLET
FH	FIRE HYDRANT		NEW FLARED END SECTION
FM	FORCE MAIN		NEW FIRE HYDRANT
FT	FEET		NEW GATE VALVE
FT/SEC	FEET PER SEC		NEW REDUCER
GV	GATE VALVE		NEW WATER METER
HDPE	HIGH DENSITY POLYETHYLENE		NEW TEE
LF	LINEAR FEET		NEW MANHOLE
MH	MANHOLE		NEW CLEAN OUT
PP	POWER POLE		NEW SIGN
PVC	POLYVINYL CHLORIDE		TEMP SILT FENCE
R	RADIUS		TEMP TREE PROTECTION FENCE
R/W	RIGHT-OF-WAY		TEMP DIVERSION DITCH
RED	REDUCER		DISTURBED LIMITS
RCP	REINFORCED CONCRETE PIPE		STREAM
RPZ	REDUCED PRESSURE ZONE		EXISTING GAS LINE
SS	SANITARY SEWER		EXISTING COMMUNICATIONS LINE
STA	STATION		EXISTING UNDERGROUND TELEPHONE
U/G	UNDERGROUND		EXISTING UNDERGROUND ELECTRIC
WCR	WHEELCHAIR RAMP		EXISTING OVERHEAD ELECTRIC
WL	WATER LINE		EXISTING WATER LINE
WM	WATER METER		EXISTING SANITARY SEWER
YI	YARD INLET		EXISTING STORM DRAINAGE
			NEW STORM DRAINAGE
			NEW WATER LINE
			NEW SANITARY SEWER
			NEW SANITARY SEWER FORCE MAIN
			NEW GAS MAIN
			HANDICAPPED ACCESSIBLE ROUTE

SHEET INDEX

C0.0	COVER
C0.1	EXISTING CONDITIONS & DEMOLITION PLAN
C0.2	RECOMBINATION PLAN
C1.1	SITE PLAN
C1.2	BUILD-TO PLAN
C2.1	UTILITY PLAN
C3.1	GRADING AND DRAINAGE PLAN
L1.1	LANDSCAPE PLAN
SL1.1	SITE LIGHTING PLAN
SL1.2	LIGHTING CUT SHEETS
A300	PRELIMINARY ELEVATIONS

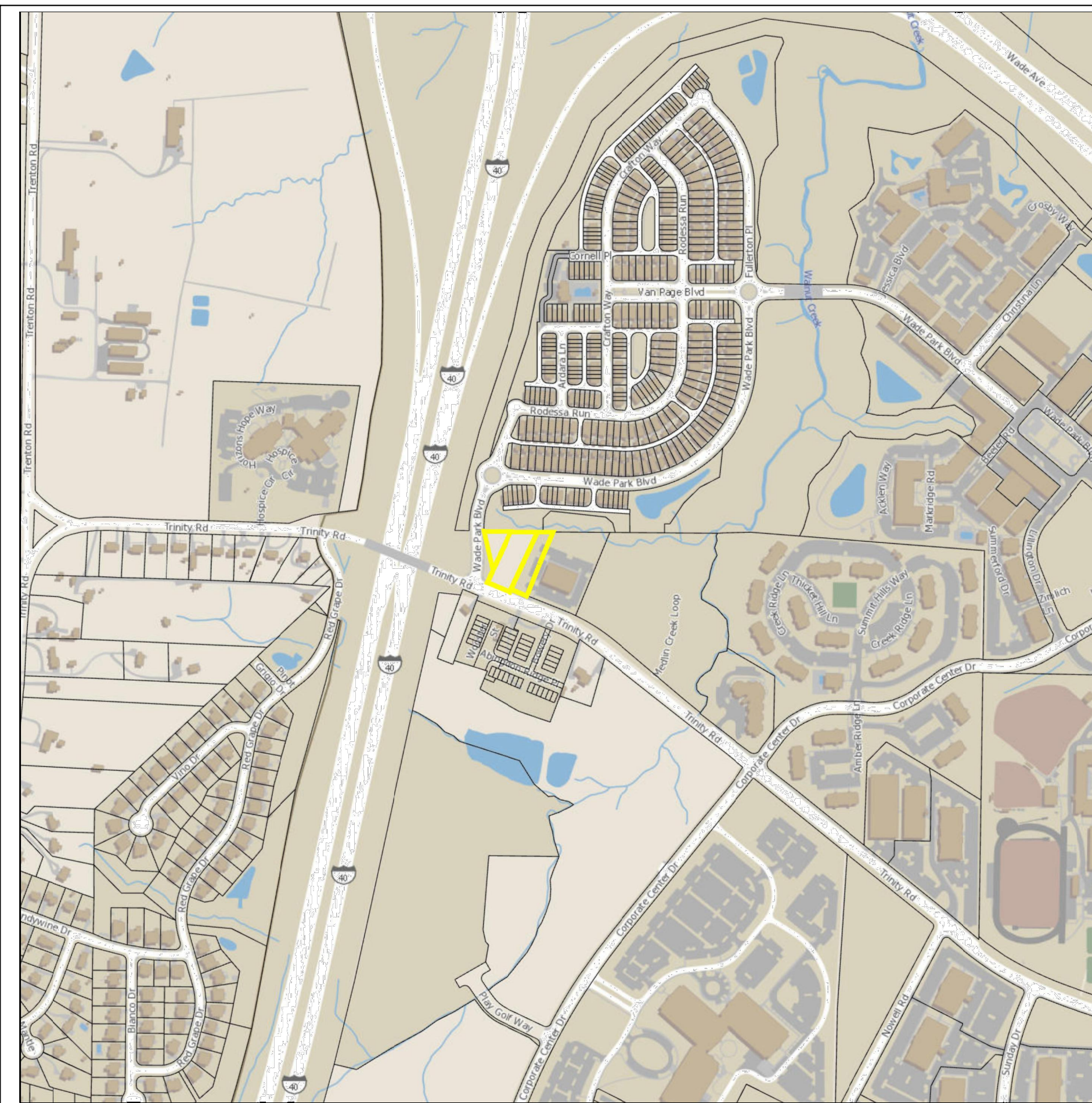
DEVELOPER:



BARKER CONSTRUCTION GROUP  
1401 SUNDAY DRIVE, SUITE 113  
RALEIGH, NC 27607-5173

CONTACT: WILLIAM BARKER  
PHONE: (919) 422-0430  
EMAIL: William@Barker-Inc.com

TRINITY RIDGE OFFICE PARK  
PHASE 2  
5800/5804/5806 TRINITY ROAD  
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA  
ADMINISTRATIVE SITE REVIEW



VICINITY MAP  
SCALE: 1" = 500'

LANDSCAPE ARCHITECT/LIGHTING CONSULTANT:



BASS, NIXON & KENNEDY, INC.  
6310-250 CHAPEL HILL ROAD  
RALEIGH, NC 27607

CONTACT: GARRY WALSTON, RLA  
PHONE: (919) 851-4422  
EMAIL: Garry.Walston@BNKinc.com

CONTACT: PATRICK COOKE  
EMAIL: Patrick.Cooke@BNKinc.com

ENGINEER:



REAL ENGINEERING, INC.  
PO BOX 58054  
RALEIGH, NORTH CAROLINA 27658  
TELEPHONE: (919) 539-7340  
CERTIFICATION NUMBERS: NCBELS (C-4406)

CONTACT: DANNY L. HOWELL, JR. PE  
EMAIL: Danny@RealEngineeringNC.com

OWNER:

5800 TRINITY ROAD  
TRINITY VENTURES II, LLC  
C/O WILLIAM BARKER  
1401 SUNDAY DRIVE, SUITE 113  
RALEIGH, NC 27607-5173

5804/5806 TRINITY ROAD  
WAYNE STREET INVESTMENTS, LLC  
C/O WILLIAM BARKER  
1401 SUNDAY DRIVE, SUITE 113  
RALEIGH, NC 27607-5173

DEVELOPMENT SERVICES

Administrative Site Review Application

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Office Use Only: Transaction #: _____		Planning Coordinator: _____	
<b>Building Type</b>		<b>Site Transaction History</b>	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
<b>GENERAL INFORMATION</b>			
Development name: Trinity Ridge Office Park - Phase 2			
Inside City limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Property address(es): 5800/5804/5806 TRINITY ROAD			
Site P.I.N.(s): 0774-78-7355; 0774-78-6357 & 0774-78-5485			
Please describe the scope of work. Include any additions, expansions, and change of use. PROVIDE 2ND PHASE OF TRINITY RIDGE OFFICE PARK, INCLUDING 'SISTER' 2-STORY, 24,941 SF OFFICE BUILDING WITH ASSOCIATED INFRASTRUCTURE			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: TRINITY VENTURES II, LLC/WAYNE ST INVESTMENTS, LLC Title: PRESIDENT (WILLIAM BARKER)			
Address: 1401 SUNDAY DRIVE, SUITE 113, RALEIGH, NC 27607-5173			
Phone #: (919) 422-0430		Email: WILLIAM@BARKER-INC.COM	
Applicant Name: WILLIAM BARKER			
Company: BARKER CONSTRUCTION GROUP		Address: 1401 SUNDAY DRIVE, SUITE 113, RALEIGH, NC 27607-5173	
Phone #: (919) 422-0430		Email: WILLIAM@BARKER-INC.COM	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-PL	Existing gross floor area (not to be demolished): 0
Gross site acreage: 1.46	Existing gross floor area to be demolished: 0
# of parking spaces required: 62	New gross floor area: 24941
# of parking spaces proposed: 74	Total sf gross (to remain and new): 24941
Overlay District (if applicable): -SHOD-1	Proposed # of buildings: 1
Existing use (UDO 6.1.4): VACANT	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): OFFICE	

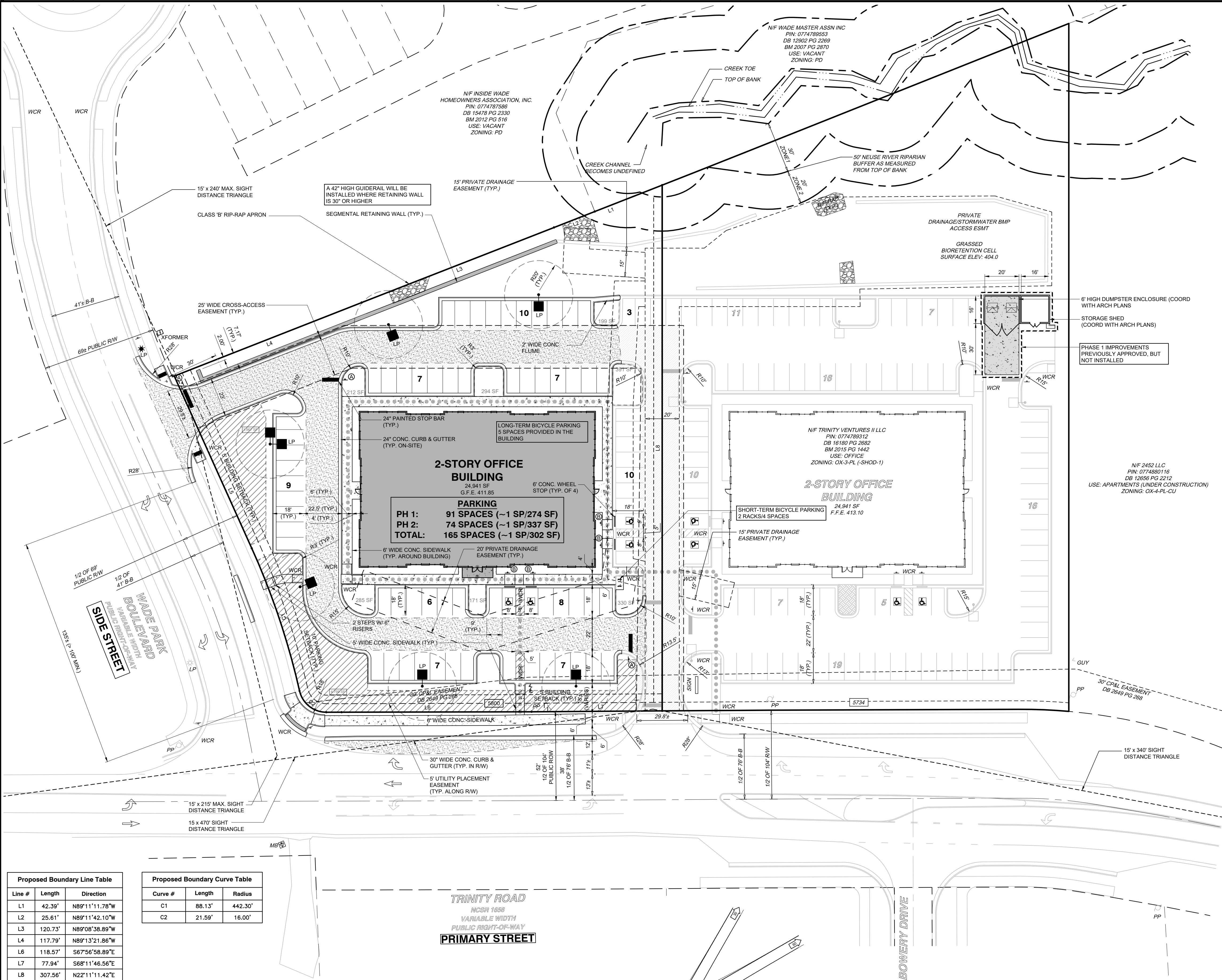
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.13 Square Feet: 5,642	Proposed Impervious Surface: Acres: 1.04 Square Feet: 45270
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
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I hereby designate DANNY L. HOWELL, JR. (REAL ENGINEERING, INC.) to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 2-27-20
Printed Name: WILLIAM L. BARKER (TRINITY VENTURES II, LLC/WAYNE STREET INVESTMENTS, LLC)	

E:\2016\18025 - Trinity Ridge\02 Construction\03-18025 Site.dwg, SITE, 8/17/2020 10:42:24 AM, danny

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Proposed Boundary Line Table		
Line #	Length	Direction
L1	42.39'	N89°11'11.78"W
L2	25.61'	N89°11'42.10"W
L3	120.73'	N89°08'38.89"W
L4	117.79'	N89°13'21.86"W
L6	118.57'	S67°56'58.89"E
L7	77.94'	S68°11'46.56"E
L8	307.56'	N22°11'11.42"E

Proposed Boundary Curve Table		
Curve #	Length	Radius
C1	88.13'	442.30'
C2	21.59'	16.00'

#### TRAFFIC CONTROL NOTES

- ALL SITE SIGNAGE SHALL BE ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.

SIGN	MUTCD STD.	SIZE
STOP	R1-1	24"x24"
ACCESSIBLE PARKING	R7-8(A/D)	REFER TO DETAIL
- ALL SIGNS SHALL BE MOUNTED WITH 5-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2LB GALVANIZED STEEL U-CHANNEL POST SET IN 3FT DEEP x 12IN DIA. CONCRETE FOOTING.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND THE PROJECT SPECIFICATIONS.

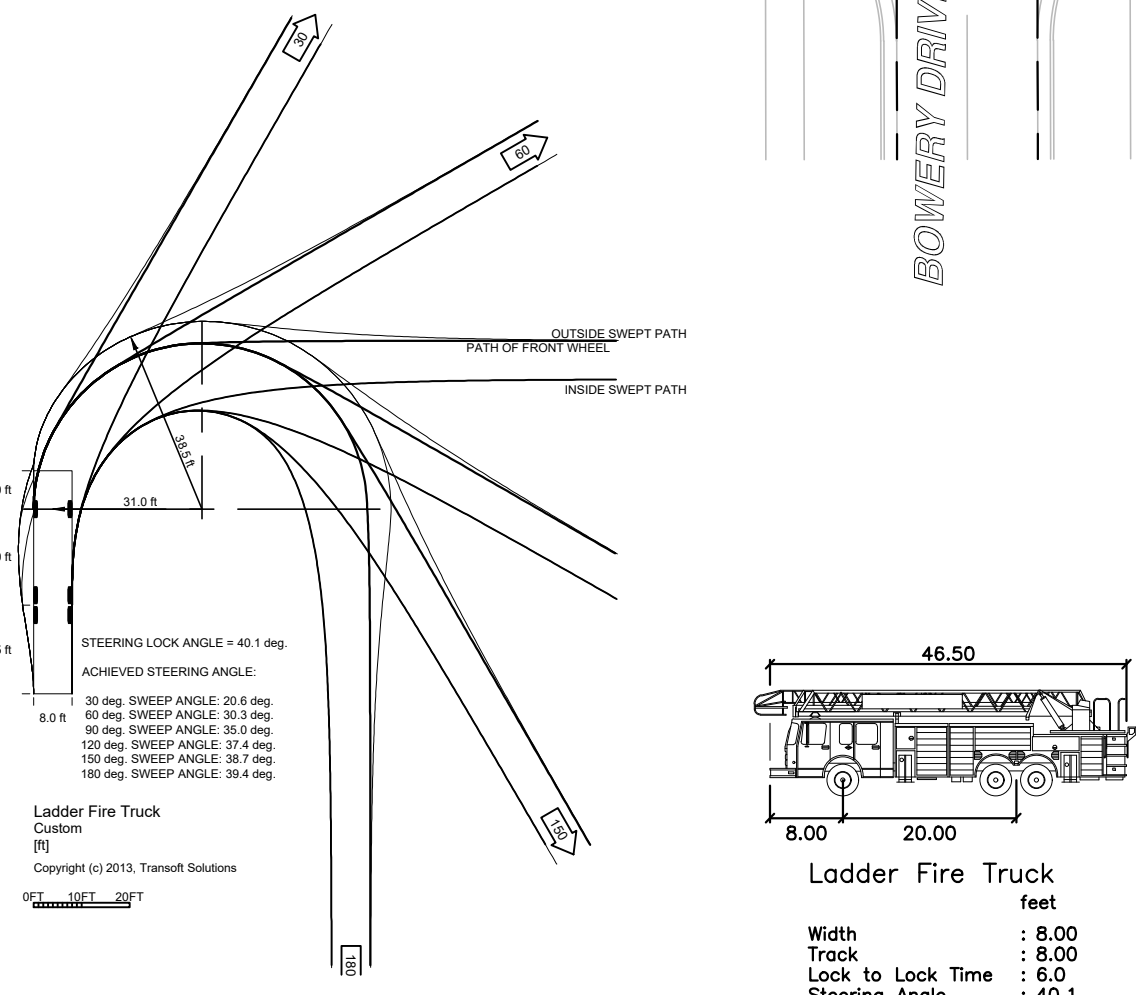
MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACES	1205.08	4IN	WHITE
DIRECTIONAL ARROWS	1205.07	STD.	WHITE
STANDARD CROSSWALK	1205.07	STD.	WHITE
STOP BAR	1205.01	4IN	WHITE
EDGE LINES	1205.01	4IN	WHITE
EDGE LINES	1205.01	4IN	YELLOW
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE WHICH MAY BE THERMOPLASTIC OR ALKYD-RESIN TYPE PAINT.

#### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- PROVIDE 24" STANDARD CONCRETE CURB AND GUTTER ON-SITE, AND 30" STANDARD CONCRETE CURB AND GUTTER IN RIGHT-OF-WAY.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE VOL. 1C.

NO WETLANDS EXIST ON-SITE

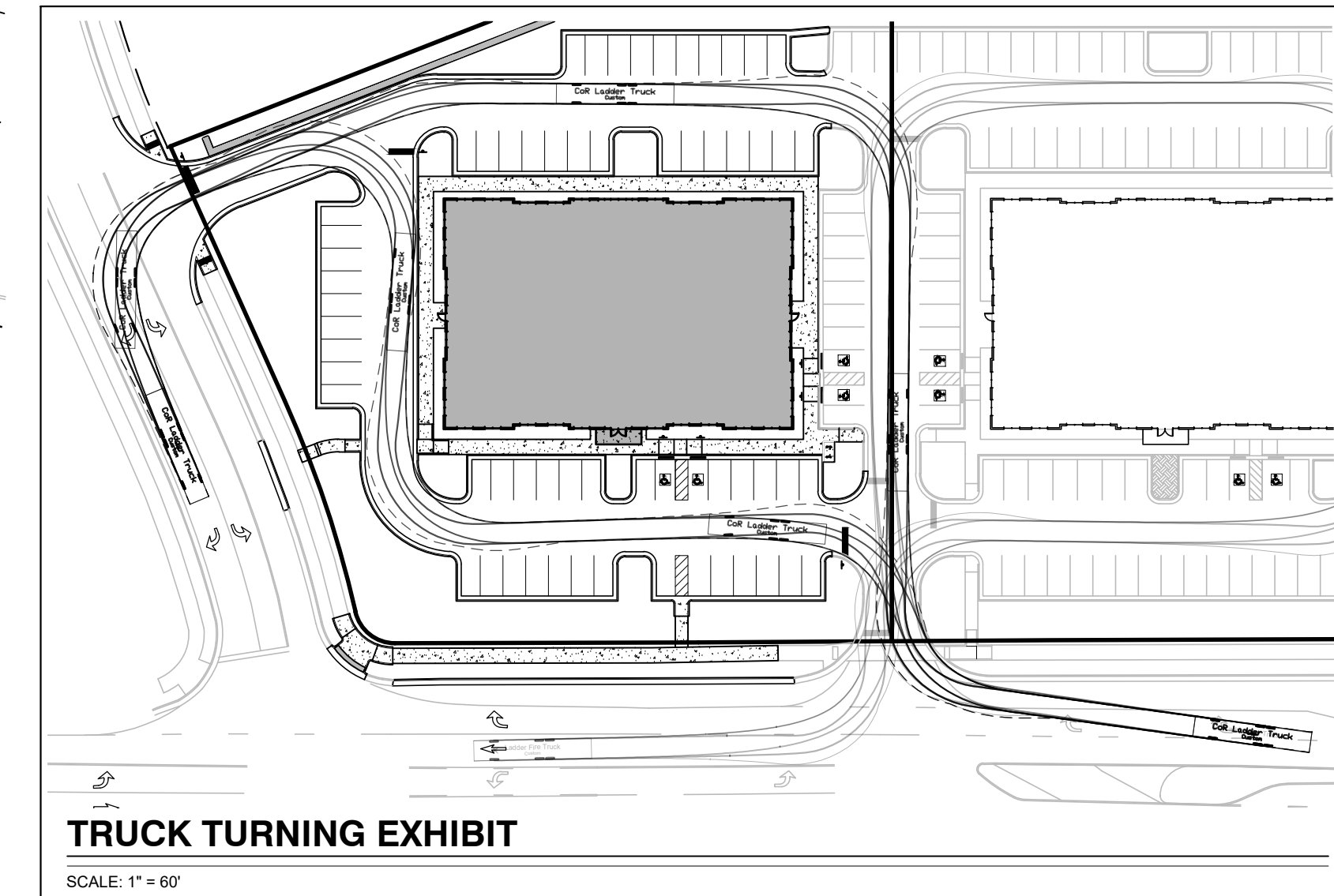
NO FLOODPLAINS EXIST ON-SITE



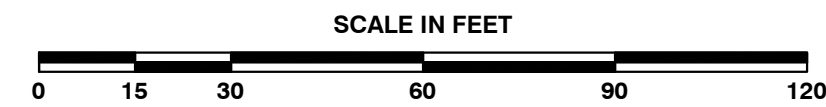
#### LEGEND

- HEAVY-DUTY PAVING (2" BCSC TYPE-S 9.5B, 8" ABC)
- LIGHT-DUTY PAVING (2" BCSC TYPE-S 9.5B, 6" ABC)
- CONCRETE PAVING (8" THICK 3000 PSI CONCRETE W/ 6"x6" 1% W/WF)
- CONCRETE SIDEWALK (4" THICK 3000 PSI CONCRETE)
- OUTDOOR AMENITY AREA (6,766 SF)
- HANDICAPPED ACCESSIBLE ROUTE

#### SITE DATA



NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH AND NCDOT



PO BOX 58054  
RALEIGH, NC 27658  
(919) 539-7340  
NCBELS FIRM NO: C-4406

#### SITE PLAN

TRINITY RIDGE OFFICE PARK  
PHASE 2  
5800/5804/5806 TRINITY ROAD  
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

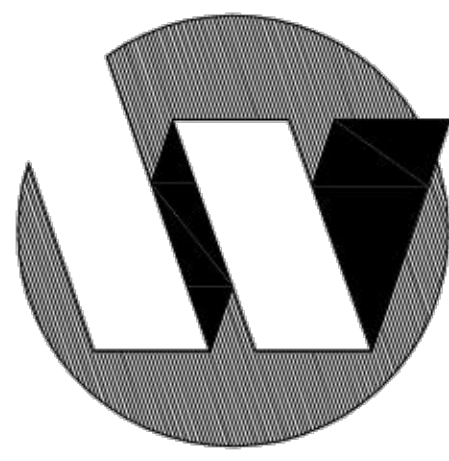
CONSTRUCTION OR BID SOLICITATION

NO.	DATE	DESCRIPTION
1	08-17-20	PER ASR COMMENTS

SHEET  
C1.1

NOT RELEASED

CITY OF RALEIGH PROJECT NO. ASR-0036-2020



**WINSTEAD  
WILKINSON**  
ARCHITECTS  
P L L C

1848 WAKE FOREST ROAD  
Raleigh, NC 27608  
t. 919-832-2878  
f. 919-832-7901  
info@wwa.us.com

CITY OF RALEIGH PROJECT NO. ASR-0036-2020

CD SET

NOT FOR  
CONSTRUCTION

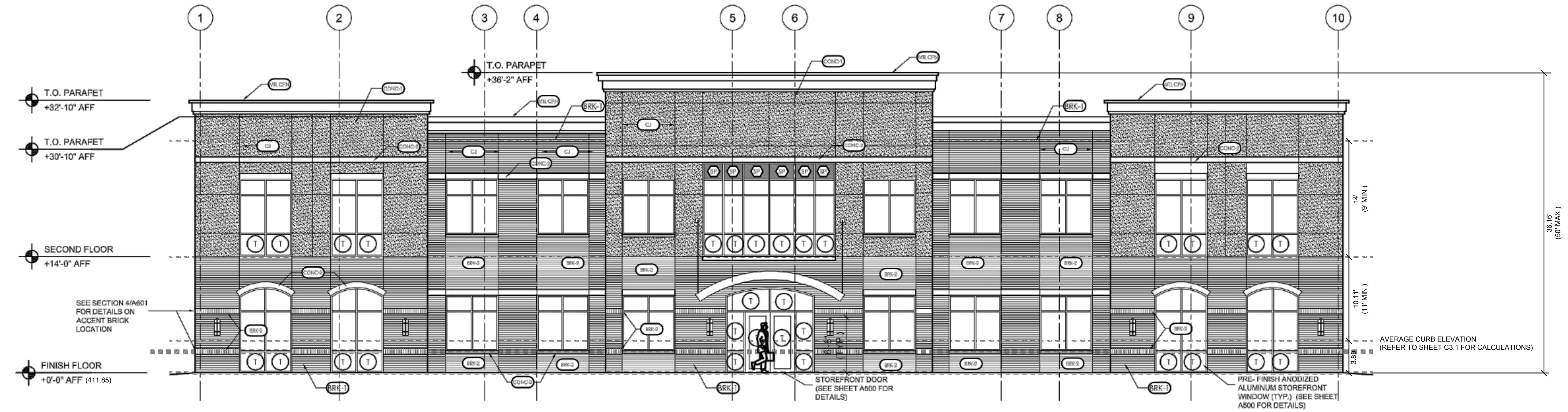
TRINITY RIDGE OFFICE PARK  
PHASE 2  
5800/5804/5806 TRINITY ROAD  
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

PROJECT NUMBER  
214118  
DATE  
12 MAY, 2015  
REVISIONS

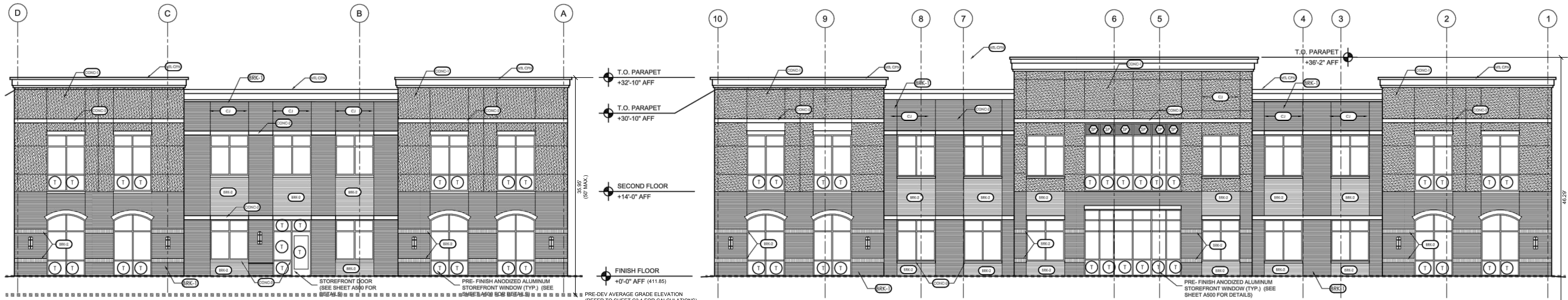
08-17-20 PER ASR COMMENTS

ELEVATIONS

A300

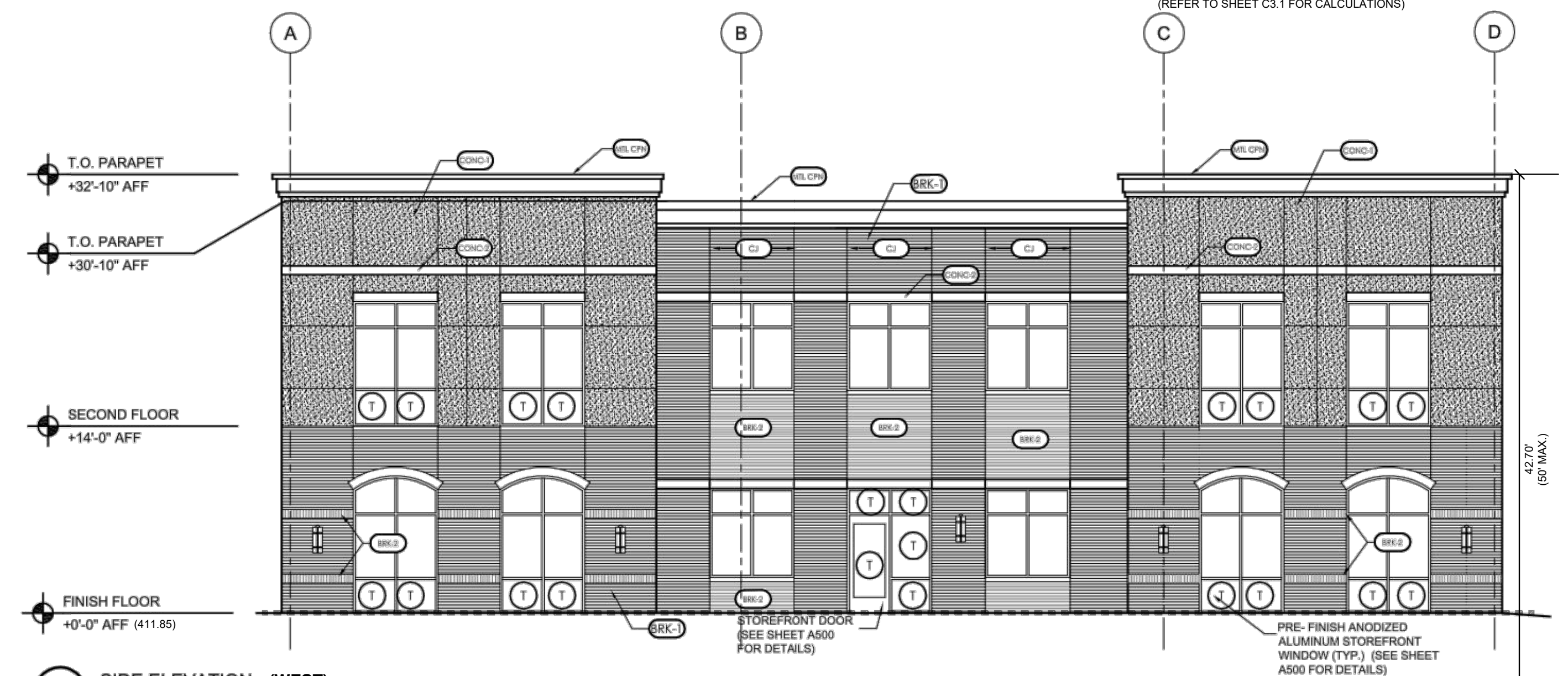


1 FRONT ELEVATION (SOUTH)  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION (EAST)  
SCALE: 1/8" = 1'-0"

3 REAR ELEVATION (NORTH)  
SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION (WEST)  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE						
CODE	MATERIAL	MANUF.	DESCRIPTION			LOCATION
			SERIES	COLOR	DIM.	
BRK-1	BRICK VENEER	ENDICOTT BRICK	BURGUNDY SANDS - HERITAGE TEXTURE			SEE ELEVATIONS
BRK-2	ACCENT BRICK	ENDICOTT BRICK	BUCKSKIN SANDS - HERITAGE TEXTURE			SEE ELEVATIONS
CONC-1	COLORLED CONCRETE	TILT UP MANUFACTURER	T.B.D. FROM MANUFACTURERS COLORS			SEE ELEVATIONS
CONC-2	COLORLED CONCRETE	TILT UP MANUFACTURER	T.B.D. FROM MANUFACTURERS COLORS			SEE ELEVATIONS
CJ	BRICK CONTROL JOIN	T.B.D.	MATCH ADJACENT BRICK COLOR			SEE ELEVATIONS
MTL CPN	PRIE FINISHED METAL COPING	T.B.D.	MATCH STOREFRONT			SEE ELEVATIONS
SP	SPANDREL PANEL GLASS	ICD	OPACI-COAT HIGH PERFORMANCE GLASS COATING 2-743 SOLEX			AS NOTED ON ELEVATIONS
T	TEMPERED GLASS	ICD	SEE SHEET A500 FOR DETAILS			AS NOTED ON ELEVATIONS

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