

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
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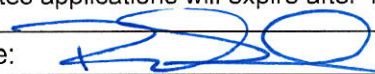
Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached		General	Subdivision case #: _____
Attached		Mixed use	Scoping/sketch plan case #: _____
Apartment		Open lot	Certificate of Appropriateness #: _____
Townhouse		Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
GENERAL INFORMATION			
Development name:			
Inside City limits?    Yes    No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company:		Title:	
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): "CX-3-CU" Commercial Mixed Use	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 2,778 (combined with both buildings)
Gross site acreage: 1.64	New gross floor area: 4,608
# of parking spaces required: 17	Total sf gross (to remain and new): 4,608
# of parking spaces proposed: 22	Proposed # of buildings: 1 building and 2 fuel canopies
Overlay District (if applicable): N/A	Proposed # of stories for each: 1 story per structure
Existing use (UDO 6.1.4): Vehicle Fuel Sales & Eating Establishment	
Proposed use (UDO 6.1.4): Vehicle Fuel Sales, Retail Sales, Eating Establishment	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>1.5</u> Square Feet: <u>65,340</u>	Proposed Impervious Surface: Acres: <u>1.45</u> Square Feet: <u>63,120</u>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: <u>3720170200J (Dated May2, 2006)</u>	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br          2br          3br          4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <u>Robert Sweet - McBride Dale Clarion</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: 	Date: <u>4/27/21</u>
Printed Name: <u>ROBERT SWEET - MCBRIDE DALE CLARION</u>	

AGENT FUL SPEEDWAY LLC

REBUILD STORE #6987  
 C4600-RIGHT HAND QUIK-BRIK C2.0  
 2600 S. SAUNDERS STREET  
 WAKE COUNTY  
 RALEIGH, NC

OWNER AND PROJECT MANAGEMENT:

**Speedway**

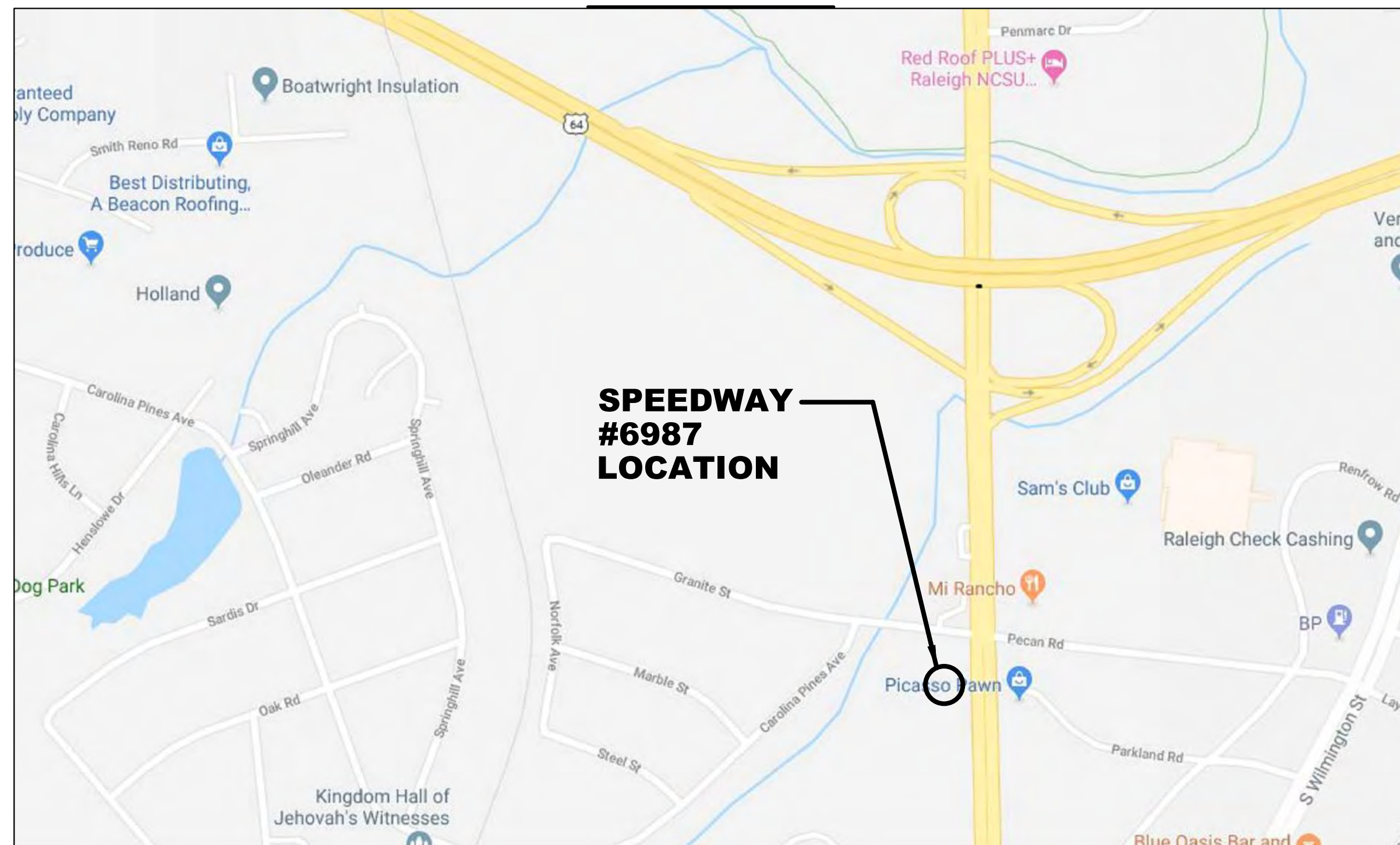
500 SPEEDWAY DRIVE  
 ENON, OH 45323  
 937-864-3000

ENGINEERING:

**LJB Inc.**

2500 NEWMARK DRIVE  
 MIAMISBURG, OH 45342  
 937-259-5000

**VICINITY MAP**



**NOTE:**

PER TC-5A-18, PRIMARY STREET DESIGNATION SHALL BE S. SAUNDERS ST. & CAROLINA PINES AVE.

**Project Numbers:**  
 Scope/Sketch Plan: 0060-2020  
**Scope/Sketch Plan: 548200**  
 Zoning Case: Z-6-2020  
 ASR Review: ASR-0036-2021



**SITE SPECIFIC**

- CV COVER SHEET
- EV SURVEY SHEET
- CD DEMOLITION PLAN
- CS SITE PLAN
- CG GRADING PLAN
- CU UTILITY PLAN
- FLD 100 YR. FLOODPLAIN
- CR CIRCULATION PLAN 1
- CR1 CIRCULATION PLAN 2 FIRE TRUCK
- CR2 CIRCULATION PLAN 3 FIRE TRUCK
- CR3 CIRCULATION PLAN TRASH TRUCK

**ARCHITECTURAL BUILDING**

- C4600-V2 AREA ELEVATION
- MASTER FLOOR PLAN
- BUILDING ELEVATION

**THIRD PARTY ENGINEERING SUPPORT**

- LANDSCAPE PLANS PREPARED BY SEAMON WHITESIDE
- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS

**Z-6-2020 Conditional Use District Zoning Conditions:**

- #1 There will be an amenity area that shall include, in part, an outdoor seating area (having a minimum capacity of 15 seats) between the principal building and Carolina Pines Avenue.  
Response: Speedway is providing the outdoor seating amenity area as described.
- #2 All four side of the principal building will be clad with brick masonry over all blank wall areas.  
Response: Speedway is providing brick masonry on all four sides of the building.
- #3 In addition to meeting the standards listed in Section 7.5.2.B of the UDO, all outdoor vending or ice machines, if any, shall be located along the south facing wall of the principal building opposite of Carolina Pines Avenue.  
Response: Speedway complies with this requirement.
- #4 The gas pump canopy shall be no more than 100' from the South Saunders Street right-of-way, and the width of such canopy shall be no less than 50% of the property frontage along South Saunders Street right-of-way.  
Response: The gas canopy complies with this restriction.

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Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

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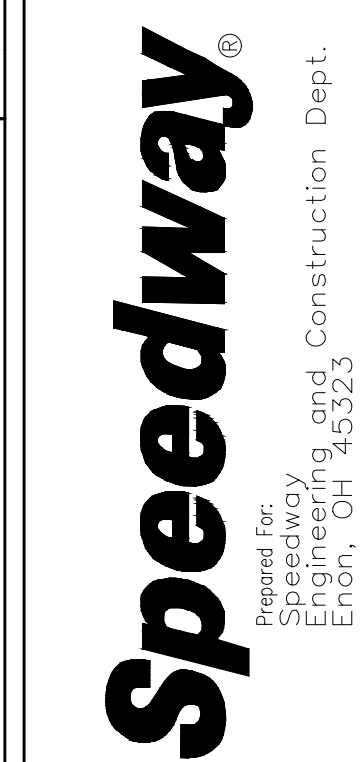
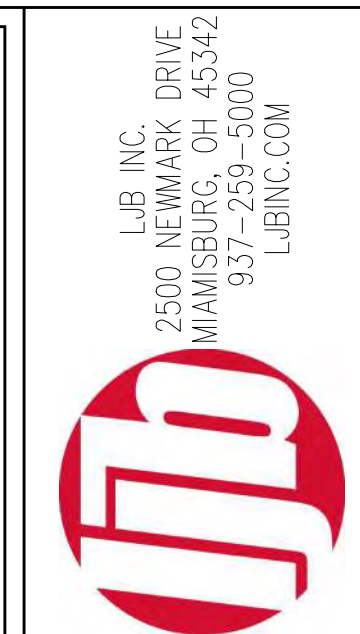
Site Plan Tier:	Tier Two Site Plan <input checked="" type="checkbox"/>	Tier Three Site Plan <input type="checkbox"/>
<b>Building Type</b>	<input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic
<b>Site Transaction History</b>	Subdivision case #: _____ Scoping/sketch plan case #: 0060-2020 & 548200 Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: Z-6-2020 Administrative Alternate #: _____	

Development name: Speedway #6987  
 Inside City limits? Yes  No   
 Property address(es): 2600 & 2604 South Saunders Street  
 Site P.I.N.(s): 1702470507 & 1702379490

Please describe the scope of work. Include any additions, expansions, and change of use. Speedway proposes to raze and redevelop their existing facility at 2604 South Saunders Street. They propose to raise the structures on the properties (2600 & 2604) and redevelop with a new convenience store (4,600+/- square feet), a new automobile fueling canopy (5,400+/- square feet), and a diesel fueling canopy (1,500+/- square feet). With the redevelopment, Speedway proposes to install new stormwater controls, lighting, landscaping and parking areas.

Current Property Owner/Developer Contact Name: Michael Pitts  
**NOTE: please attach purchase agreement when submitting this form.**  
 Company: Speedway LLC Title: Construction Project Manager  
 Address: 5446 University Parkway, Winston-Salem, North Carolina 27105  
 Phone #: 336-231-5743 (O) / 937-974-4891 (M) Email: mkpitts@speedway.com  
 Applicant Name: Robert Sweet  
 Company: McBride Dale Clarion Address: 5721 Dragon Way, Ste. 300, Cincinnati, Ohio 45227  
 Phone #: 513-441-7747 Email: rsweet@mcbridedale.com

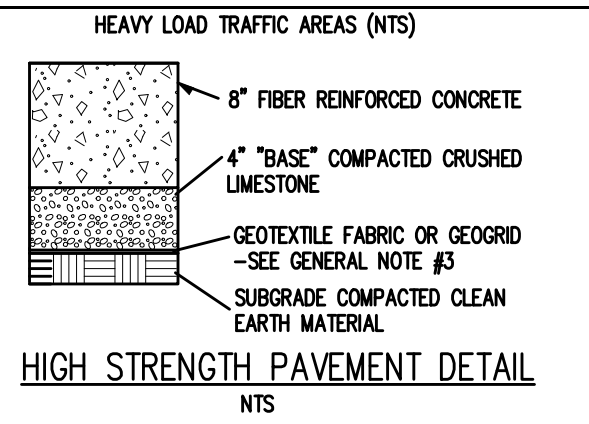
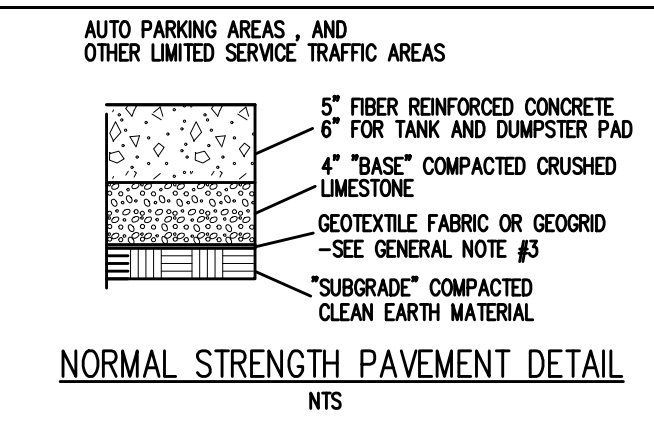
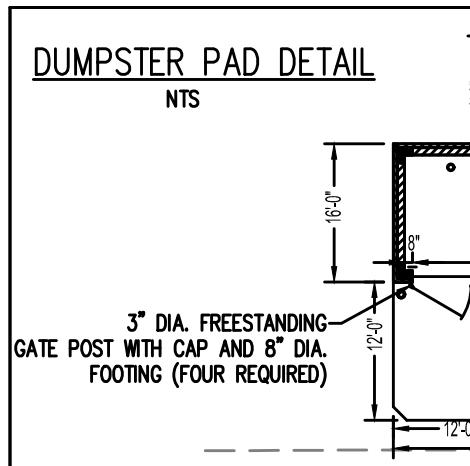
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Proposed use (UDO 6.1.4): Vehicle Fuel Sales, Retail Sales	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.8 Square Feet: 85,340	Proposed Impervious Surface: Acres: 1.45 Square Feet: 63,120
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Flood study: FEMA Map Panel #: 27021702001 (dated May 2, 2000)	
Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: # of bedroom units: 1br 2br 3br 4br or more	Total # of hotel units: # of lots: Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>
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I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Robert Sweet - McBride Dale Clarion</u>	Date: <u>8/19/21</u>
Printed Name: <u>ROBERT SWEET - MCBRIDE DALE CLARION - AGENT FOR SPEEDWAY</u>	



NO.	REVISIONS	DATE	DESCRIPTION

**COVER SHEET**  
 FEASIBILITY PLAN / STORE REBUILD  
 2600 SOUTH SAUNDERS STREET  
 RALEIGH, NORTH CAROLINA  
 WAKE COUNTY

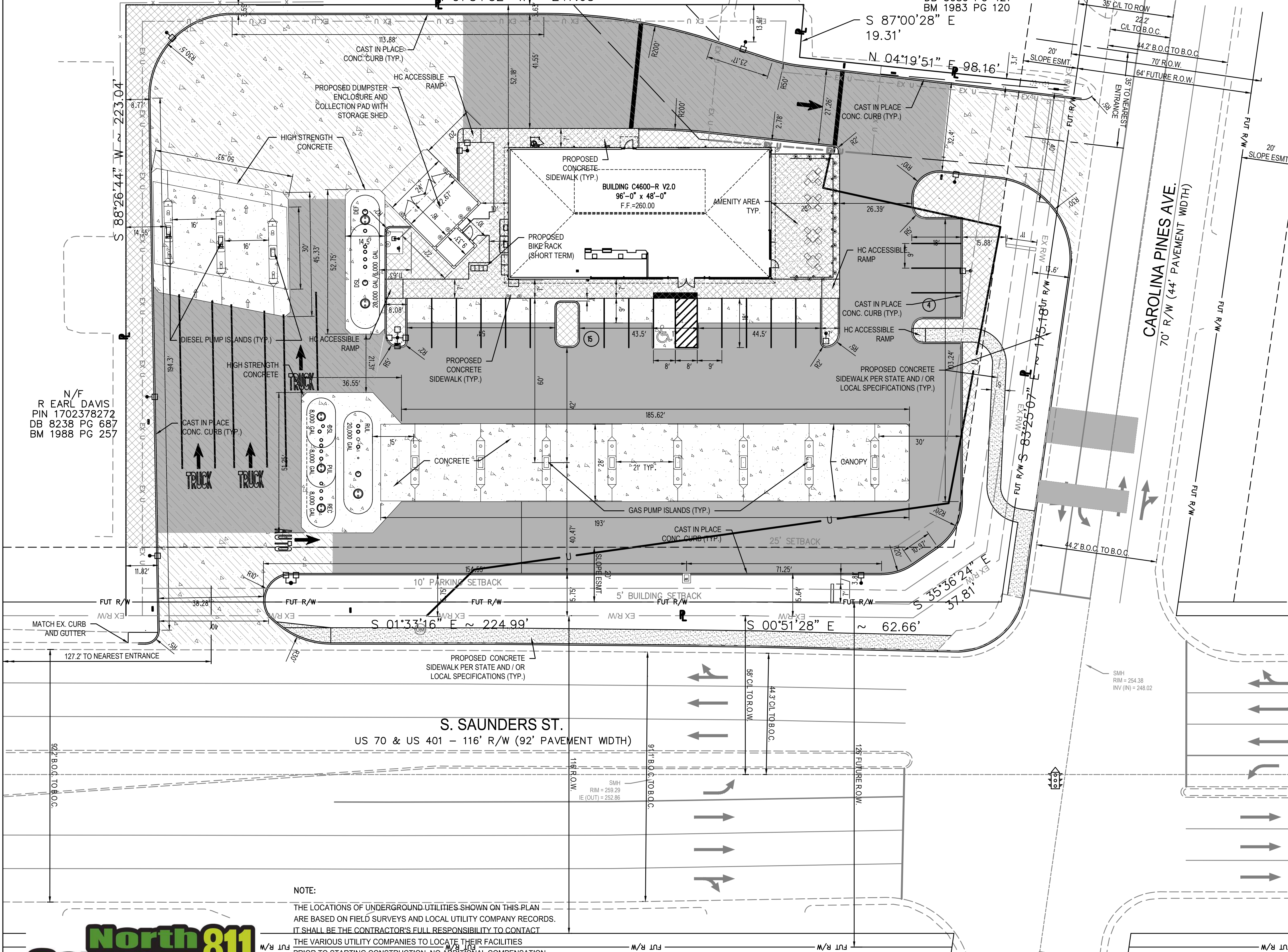
STORE OR BLDG NO. 6987  
 VERSION OR PROJECT ID 104187  
 SCALE  
 DESIGN TEAM DATE  
 DWR. D. FRANISCO 08/16/2021  
 P.MGR. K. WRIGHT 08/16/2021  
 RWWR. P. BATTAGLIA 08/16/2021  
 DRWG. NO. CV



NOTE:  
 1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)  
 2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED  
 3. ALL BEARINGS ARE BASED ON NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983 / 2011)

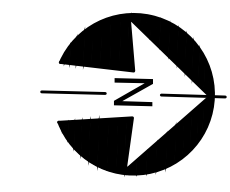
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 PIN 1702378272  
 DB 8238 PG 687  
 BM 1988 PG 257

N/F LARRY DALE HOLMES  
 PIN 1702378519  
 DB 3086 PG 421  
 BM 1983 PG 120



N/F R EARL DAVIS  
 PIN 1702378272  
 DB 8238 PG 687  
 BM 1988 PG 257

NOTE:  
 THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.



### LEGEND

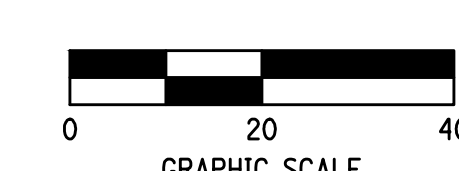
	PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE CURB AND GUTTER
	SETBACK
	EXISTING UTILITY EASEMENT
	PROPOSED UTILITY EASEMENT
	FUTURE RIGHT OF WAY
	NUMBER OF PARKING SPOTS
	HIGH STRENGTH ASPHALT PAVEMENT
	NORMAL STRENGTH ASPHALT PAVEMENT
	HIGH STRENGTH CONCRETE PAVEMENT
	NORMAL STRENGTH CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	AMENITY AREA
	PROPOSED BOLLARD
	CANOPY, AND DISPENSER SETBACK

### SITE DATA

PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	RESTAURANT / FUELING STATION
PROPOSED USE:	CONVENIENCE STORE / FUELING STATION
TOTAL SITE AREA:	1.64 AC (71,470 SF)
GENERAL BUILDING SETBACKS:	PRIMARY STREET = 5' SIDE STREET = 5' REAR / SIDE LOT LINE = 0' OR 6'
PARKING SETBACKS:	PRIMARY STREET = 10' SIDE STREET = 10' REAR / SIDE LOT LINE = 0' OR 3'
PROJECT DATA	
PIN #	1726514713
RIGHT-OF-WAY DEDICATION:	0.00 AC (0,000 SF)
NET SITE AREA:	1.64 AC (71,470 SF)
PROPOSED # OF BUILDINGS:	1
BUILDING FLOOR AREA:	4,600 SF
PARKING:	REQUIRED: MINIMUM: 1 PARKING SPACE PER 300 SF OF CONVENIENCE STORE, 1 SPACE PER 600 SF OUTDOOR DISPLAY AREA. 4600 / 300 = 16 SPACES MAXIMUM: 21 SPACES PROVIDED: 20 SPACES
SHORT TERM BIKE PARKING:	REQUIRED: 1 SPACE PER 5,000 SF OF GROSS FLOOR AREA, MINIMUM 4 PROVIDED: 4 SPACES
BUILDING HEIGHT:	50' MAX BUILDING HAS MAXIMUM BLANK WALL OF 30' (SEE ELEVATIONS SHEETS)
AMENITY AREA:	REQUIRED: 7,139.8 SF PROVIDED: 7,596.0 SF
TRANSPARENCY:	<b>EAST ELEVATION</b> REQUIRED: 96'x12' = 1152 SF x 33% = 380.1 SF 50% OF REQUIREMENT B/T 3 FT TO 8 FT: 380.1 SF x 0.5 = 190 SF PROVIDED: 446 SF 50% OF REQUIREMENT B/T 3 FT TO 8 FT: 65' x 4' = 260 SF <b>SOUTH ELEVATION</b> REQUIRED: 48'x12' = 567 SF x 33% = 190 SF 50% OF REQUIREMENT B/T 3 FT TO 8 FT: 190SF x 0.5=95 SF PROVIDED: 114.3 SF 50% OF REQUIREMENT B/T 3 FT TO 8 FT: 16.75' x 4' = 67 SF

**FLOODPLAIN INFORMATION**  
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP NO. 3720170200J (DATED MAY 2, 2006), THE SURVEYED TRACT SHOWN HEREON LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN).

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND / OR NCDOT STANDARD SPECIFICATIONS.



LUB INC.  
 2500 NEWMARK DRIVE  
 MIAMISBURG, OH 45342  
 937-259-5000  
 LUBINC.COM

Prepared for:  
 Speedway Engineering and Construction Dept.  
 Enon, OH 45323

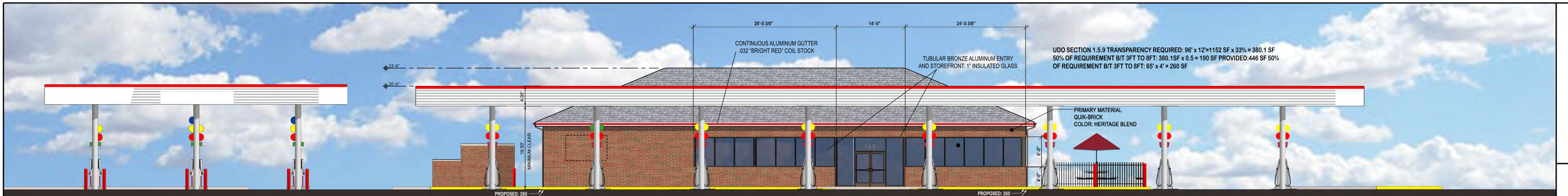
NO.	REVISIONS	DATE	BY	CHK

**SITE PLAN**

FEASIBILITY PLAN / STORE REBUILD  
 2600 SOUTH SAUNDERS STREET  
 RALEIGH, NORTH CAROLINA  
 WAKE COUNTY

STORE OR BLDG NO.	6987
VERSION OR PROJECT ID	104187
SCALE	1" = 20'-0"
DESIGN TEAM	DATE
DGNR. D. FRANCISCO	08/16/2021
P.MGR. K. WRIGHT	08/16/2021
RWR. P. BATTAGLIA	08/16/2021
DRWG. NO.	CS

NOT FOR CONSTRUCTION



**EAST ELEVATION**

AVERAGE GRADE CALCULATIONS						
BUILDING SIDE	EXISTING HIGH POINT	EXISTING LOW POINT	AVERAGE EXISTING GRADE	PROPOSED HIGH POINT	PROPOSED LOW POINT	AVERAGE PROPOSED GRADE
NORTH	260.22	260.22	260.22	260.00	260.00	260.00
SOUTH	260.22	260.22	260.22	260.00	260.00	260.00
EAST	260.22	260.22	260.22	260.00	260.00	260.00
WEST	260.22	260.22	260.22	260.00	260.00	260.00
EXISTING AVERAGE GRADE (MOST RESTRICTIVE)			260.22	PROPOSED AVERAGE GRADE		260.00

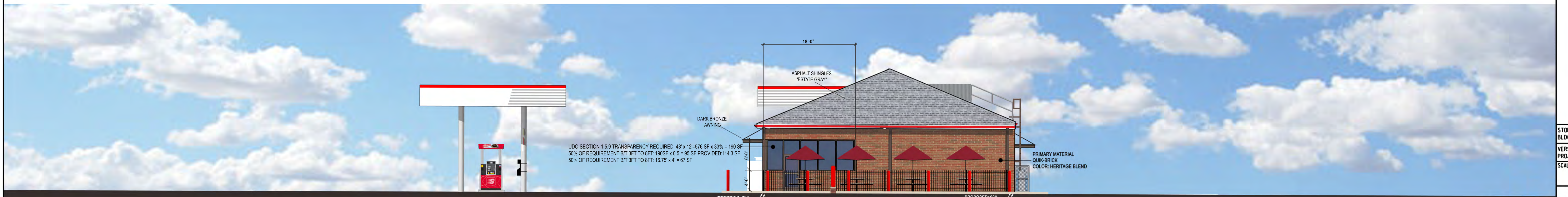
PROPOSED ROOF HEIGHT (HIGH POINT) = 283.50  
 (LOW POINT) = 272.67  
 HIGH PRAPET = 23'-0" ABOVE EXISTING AVG. GRADE



**WEST ELEVATION**



**SOUTH ELEVATION**



**NORTH ELEVATION**

**Speedway®**  
 Prepared By:  
 Speedway  
 Engineering and Construction Dept.  
 Etnoh, OH 45323

NO.	REVISIONS	DATE	BY

**BUILDING ELEVATION**  
 NEW BUILD  
 2604 S. SAUNDERS ST.  
 WAKE COUNTY  
 RALEIGH, NC

STORE OR BLDG NO.	6987
VERSION OR PROJECT ID	4600 V2
SCALE	18" = 1'-0"
DESIGN TEAM	DATE
DGNR.	J.THORNBERG 8/2021
RVWR.	A.BARKER 4/2/2021
DRWG. NO.	6987-ELEV