



# Administrative Approval Action

Case File / Name: ASR-0036-2024

DSLCL - 4020 TRYON RD APTS. - AFFORDABLE HOUSING ASR

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This vacant 6.61-acre site is located north of Tryon Road, south of I-40 East, east of Lake Dam Road, and west of Gorman Street. It is identified as 4020 Tryon Road. The property is zoned CX-5-CU and located in a Special Residential Parking Overlay District (-SRPOD).

**REQUEST:** This project proposes a multi-unit living development. The plan includes three buildings, each with 5 stories, for 220 apartments, surface parking with access off Lake Dam Road and an existing access easement from Tryon Road, outdoor amenity areas, and associated infrastructure improvements. The total proposed building space is 319,218 square feet. The development will include a minimum 13 affordable housing dwelling units as required by the zoning conditions.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 23, 2024 by Kimley-Horn and Associates.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Plan shall provide plans and details for proposed retaining wall(s), compliant with retaining wall standards. Permits for proposed retaining walls shall be issued prior to site permit (SPR) approval
2. Building elevations shall show the calculations for how height was determined. Spot grades should match those on the grading plan. Refer to UDO Sections 1.5.7 and 3.2.4 for information on building height and how it is calculated.
3. Prior to SPR approval, a general zoning permit shall be added for site features such as landscaping and site lighting. Dumpster enclosure and other features requiring building permits are not included with this zoning permit.
4. Prior to SPR approval, all parking lot landscaping shall comply with applicable sections including 7.1.7 of the UDO, including the addition of shrubs in perimeter islands and verification that interior landscape islands meet the minimum 300 square foot size requirement.



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5. A revised plan shall be submitted demonstrating compliance with the pedestrian access requirements associated with Z-060-23 - Zoning Condition #4.

## Engineering

6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

## Public Utilities

7. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
8. A deed shall be recorded prior to construction approval (SPR) for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

## Stormwater

9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
11. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

## Urban Forestry

12. Tree protection fence protecting trees located within the right of way that are to remain must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A fee-in-lieu for 1' of sidewalk and 5' bike lane is paid to the City of Raleigh (UDO 8.1.10).



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2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation. (prior to recorded map).

## Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Public Utilities



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3. Initiation of the easement release process with Raleigh Real Estate is required. The new easement is dedicated with a plat and the old easement abandoned with a deed and exhibit (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).
4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
5. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).

## Stormwater

6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

7. A public infrastructure surety for 10 street trees along Lake Dam Road shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT infrastructure
8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 10 street trees along Lake Dam Road.

## ***The following are required prior to issuance of building occupancy permit:***

### General

1. Final inspection of all right of way street trees by Urban Forestry Staff. Trees proposed to remain along Tryon Road will receive a final condition inspection by a Urban Forestry Inspector. Trees found to be damaged or in poor health will require replacement with a 3" caliper large maturing tree.
2. A restrictive covenant for affordable housing as required by zoning condition number 7 of Z-60-23 shall be recorded and a copy of the recorded covenant shall be provided to the City of Raleigh Planning and Development Department.

### Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before







Waste Management Strategic Accounts

Thursday, September 12, 2024

To whom it may concern,  
Waste Management, through a National Account with Elmington Properties, will be providing trash and recycling service to the new property below:

- 4020 Tryon Road in Raleigh, North Carolina

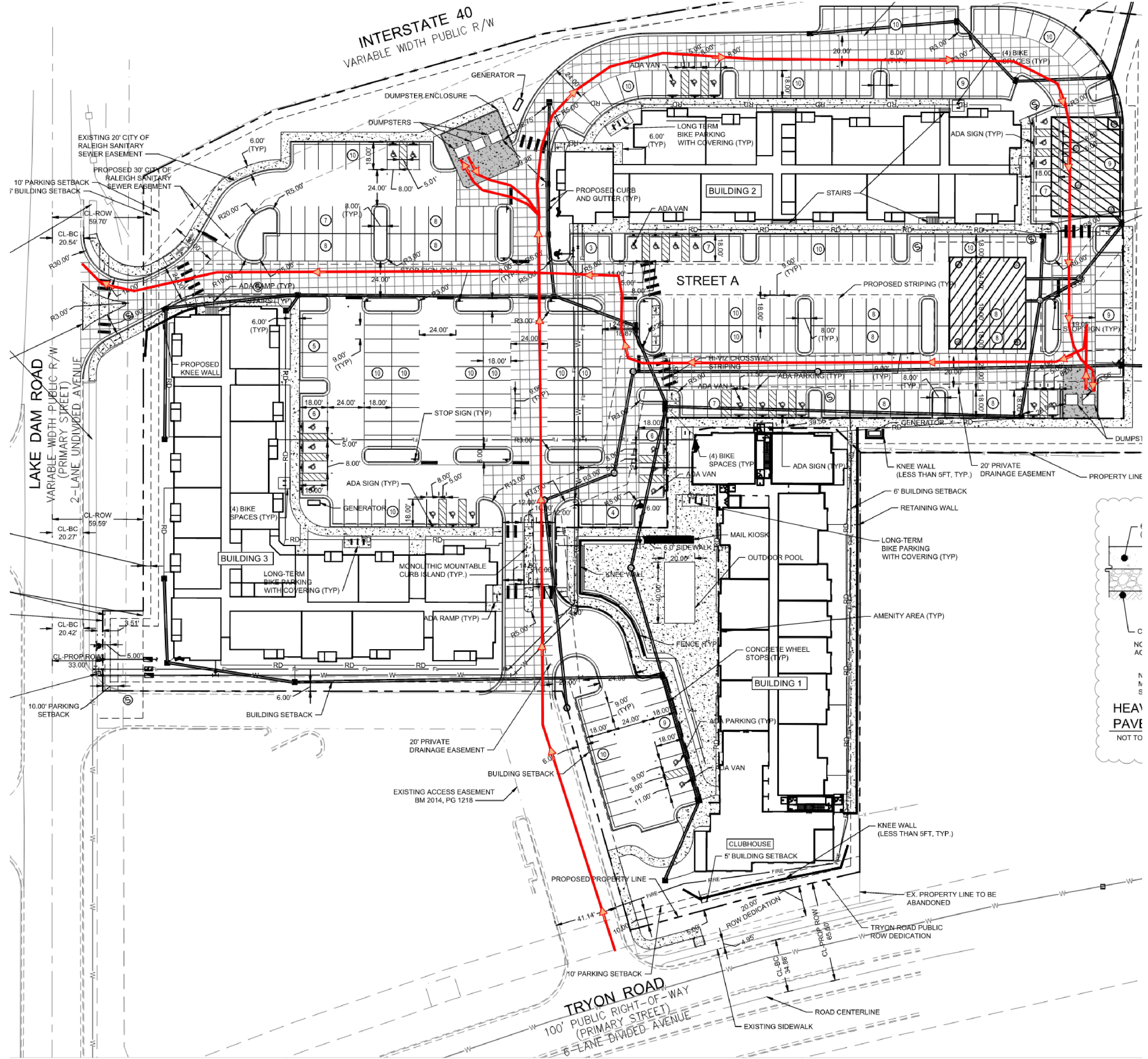
If you have any questions or need more information, please give me a call. Waste Management will assist in any way we can to support this new development. We appreciate the opportunity to work with this project.

If you have any questions or concerns, please email me at [TeamElmington@wm.com](mailto:TeamElmington@wm.com).

Regards,

*Brenda Hill*

**BRENDA HILL**  
Program Manager, Commercial Properties  
National Accounts  
[bhill1@wm.com](mailto:bhill1@wm.com)  
T: 832-389-7496  
800 Capitol Street, Suite 3000  
Houston, TX 77002



ASR-0036-2024

SURVEY NOTE:  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A ALTANSPS  
LAND TITLE SURVEY OBTAINED ON 03/31/2020 BY NEWCOMB LAND  
SURVEYORS, LLC, 7008 HARPS MILL ROAD, SUITE 105, RALEIGH, NC  
27615, PHONE: (919) 847-1800. CONTRACTOR SHALL BE RESPONSIBLE  
FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT,  
PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO  
OWNER AND ENGINEER.



Know what's below.  
Call before you dig.

NO.	REVISIONS	DATE	BY
2	CITY COMMENTS	9/23/2024	MDB
1	CITY COMMENTS	8/16/2024	MDB

**Kimley»Horn**  
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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601

**PRELIMINARY  
NOT FOR CONSTRUCTION**

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
118128112	06/07/2024	AS SHOWN	MDB	MDB	TRG

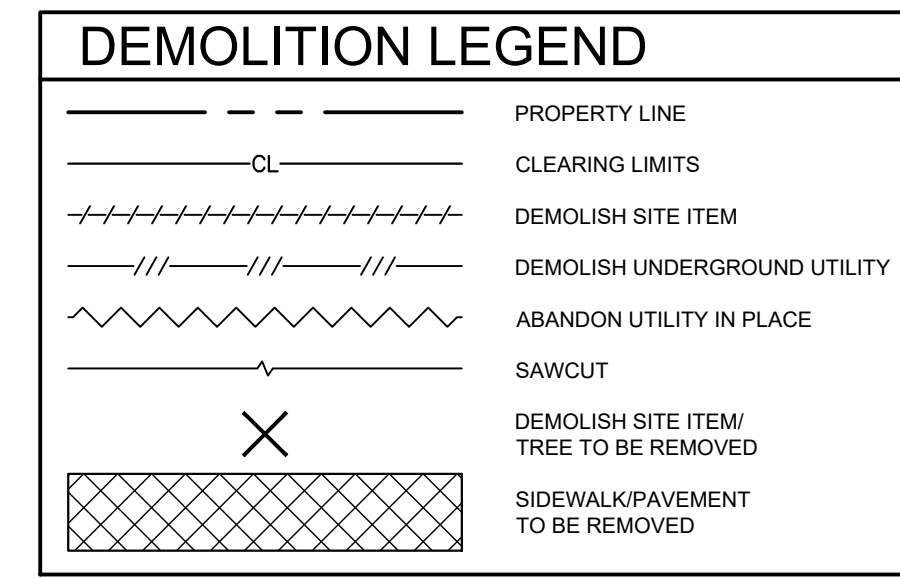
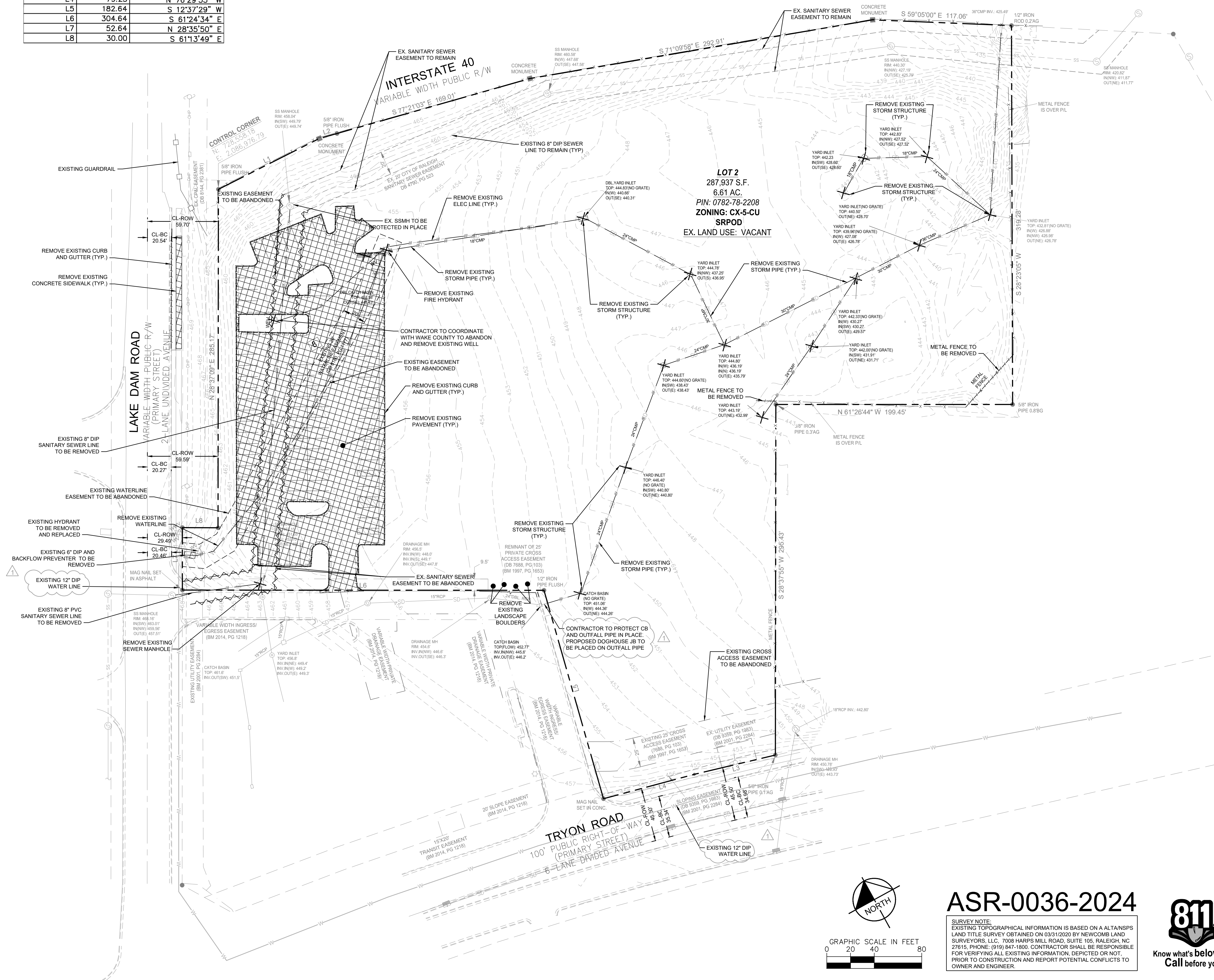
**SOLID WASTE WILL  
SERVE LETTER**

**4020 TRYON ROAD  
APARTMENTS  
PREPARED FOR  
ECG ACQUISITIONS**  
RALEIGH, NC

SHEET NUMBER  
**C0-10**

Plotted By: Barnes, Michael. Sheet: 4020 Tryon Apartments - ASR. Layout: C1-00 EXISTING CONDITIONS AND DEMOLITION PLAN. October 11, 2024. 09:59:23am. K:\RAL\_LDE\118129112\_4020 Tryon Apartments\Planning\_Phase\15\_CAD Files\PlanSheets\C1-00 EXISTING CONDITIONS AND DEMOLITION PLAN.dwg  
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LINE TABLE		
LINE	LENGTH	BEARING
L1	95.13	S 88°11'10" E
L2	15.55	S 77°17'43" E
L3	70.19	N 74°48'58" W
L4	79.25	N 76°29'33" W
L5	182.64	S 12°37'29" W
L6	304.64	S 61°24'34" E
L7	52.64	N 28°35'50" E
L8	30.00	S 61°13'49" E



- DEMOLITION NOTES**
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
  - SAW CUT AND REMOVE CONCRETE CURB TO LIMITS REQUIRED FOR NEW WORK.
  - REMOVE VEGETATION AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
  - SAW CUT AND REMOVE ASPHALT PAVEMENT TO LIMITS INDICATED ON PLAN.
  - DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE PER STATE REGULATIONS.
  - ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
  - THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNFORESEEN OR ADVERSE CONDITIONS, INCLUDING UNCHARTED UTILITIES, DISCOVERED DURING DEMOLITION OPERATIONS.
  - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.

NO.	REVISIONS	DATE	BY
2	CITY COMMENTS	9/23/2024	MDB
1	CITY COMMENTS	8/16/2024	MDB

Kimley»Horn

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
118129112	06/07/2024	AS SHOWN	MDB	MDB	TRC

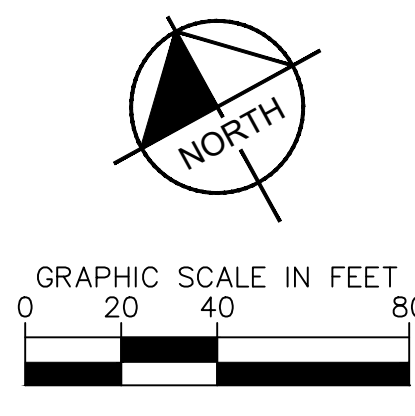
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EXISTING  
 CONDITIONS AND  
 DEMOLITION PLAN

4020 TRYON ROAD  
 APARTMENTS  
 PREPARED FOR  
 ECG ACQUISITIONS

RALEIGH, NC

SHEET NUMBER  
 C1-00



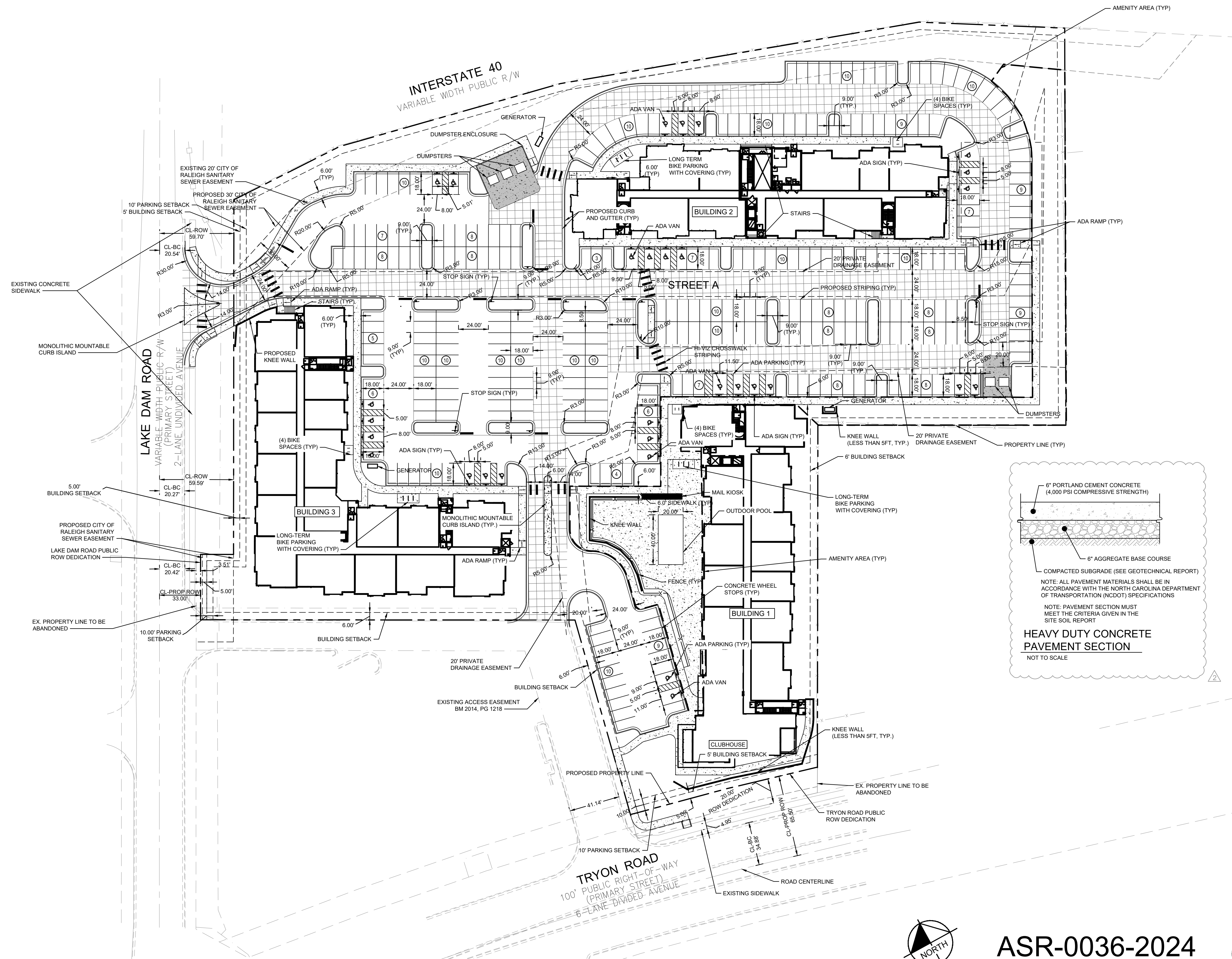
ASR-0036-2024

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Plotted By: Barnes, Michael. Sheet: 4020 Tryon Apartments - ASR. Layout: C2-00 PRELIMINARY SITE PLAN. October 11, 2024. 11:23:22am. K:\RAL\_LDE\118129112\_4020 Tryon Apartments\Planning\Phase15\_CAD\Files\PlanSheets\C2-00 FIRE ACCESS PLAN.dwg  
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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	ADA PATH
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK

SITE DATA	
<b>PROPERTY INFORMATION</b>	
EXISTING ZONING:	COMMERCIAL - 5 (CX-5-PL)
EXISTING USE:	VACANT
GROSS SITE AREA:	6.61 AC (287,937 SF)
RIGHT-OF-WAY DEDICATION:	0.07 AC (2,990 SF)
NET SITE AREA:	6.54 AC (284,947 SF)
BUILDING SETBACKS:	PRIMARY STREET = 5' SIDE STREET = 5' SIDE LOT LINE = 0 OR 6' REAR LOT LINE = 0 OR 6'
PARKING SETBACKS:	PRIMARY STREET = 10' SIDE STREET = 10' SIDE LOT LINE = 0' REAR LOT LINE = 0'
<b>PROJECT DATA</b>	
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
PI#:	0782762208
PROPOSED # OF BUILDINGS:	3
BUILDING GROSS FLOOR AREA:	319,218 SF
PARKING:	MAXIMUM ALLOWED: MULTI-UNIT LIVING 0-1 BEDROOM: 1.5 SPACES PER UNIT (34'1.5) = 51 SPACES 2 BEDROOMS: 2.25 SPACES PER UNIT (69'2.25) = 147 SPACES 3 BEDROOMS: 3 SPACES PER UNIT (97'3) = 291 SPACES 4 BEDROOMS: 4 SPACES PER UNIT (24'4) = 96 SPACES TOTAL MAXIMUM ALLOWED: 585 SPACES PROVIDED: 330 / 1.5 SPACES PER UNIT
ACCESSIBLE PARKING:	REQUIRED: 8 SPACES (2 VAN ACCESSIBLE) PROVIDED: 30 SPACES TOTAL (5 VAN ACCESSIBLE)
SHORT TERM BIKE PARKING:	REQUIRED: MULTI-UNIT LIVING - 1 SPACE PER 20 UNITS, MINIMUM 4 1'(20/20) = 11 SPACES TOTAL REQUIRED = 11 SPACES PROVIDED: 12 SPACES
LONG TERM BIKE PARKING:	REQUIRED: MULTI-UNIT LIVING - 1 SPACE PER 7 BEDROOMS (551/7) = 78 SPACES PER LIDO SEC 7.1.7.1 SINGLE USE LOTS ARE ONLY REQUIRED TO PROVIDE A MAXIMUM OF 30 BIKE PARKING SPACES. PROVIDED: 18 SPACES
AMENITY AREA:	SEE LANDSCAPE PLANS FOR DETAILS REQUIRED: 284,882 SF X 10% = 28,314 SF PROVIDED: 30,072 SF
SITE IMPERVIOUS AREA:	EXISTING (PRE-DEV.) = 0.76 AC (11.39%) PROPOSED (POST-DEV.) = 4.95 AC (74.21%) MAXIMUM ALLOWED IMPERVIOUS = 5.11 AC (76.61%)

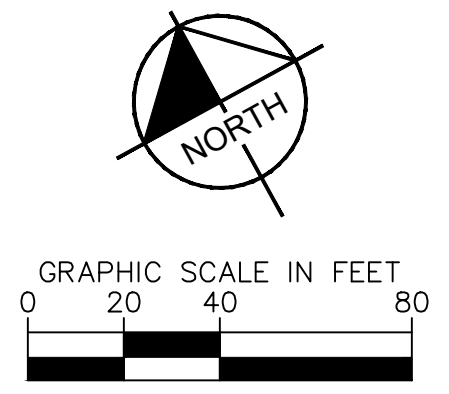
NO.	REVISIONS	DATE	BY
2	CITY COMMENTS	9/23/2024	MDE
1	CITY COMMENTS	8/16/2024	MDE

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**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**PRELIMINARY SITE PLAN**

**4020 TRYON ROAD APARTMENTS**  
 PREPARED FOR  
**ECG ACQUISITIONS**  
 RALEIGH, NC

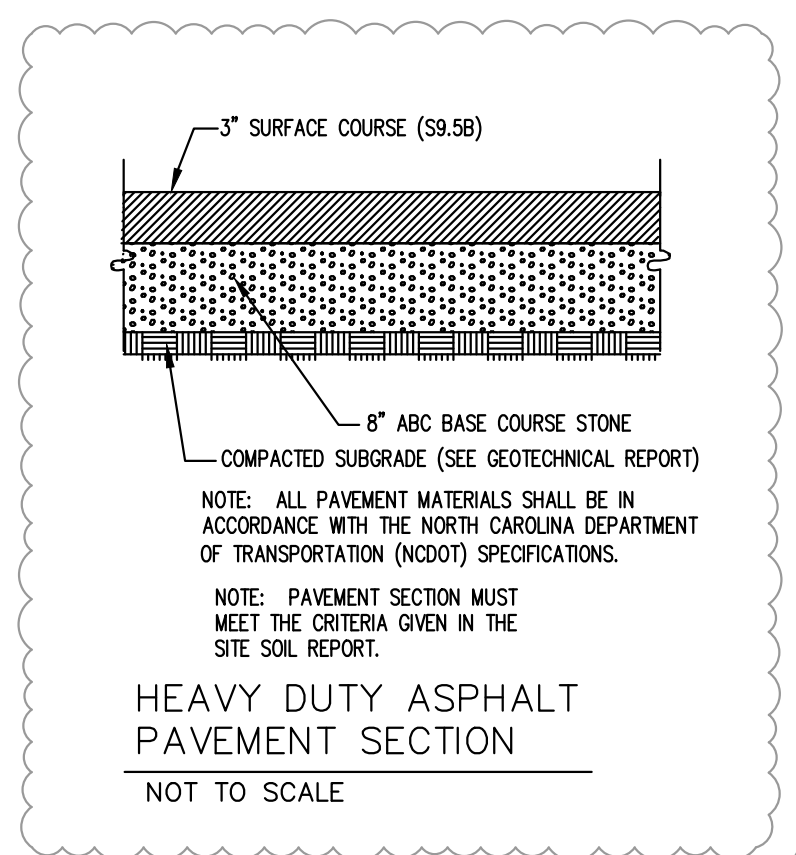
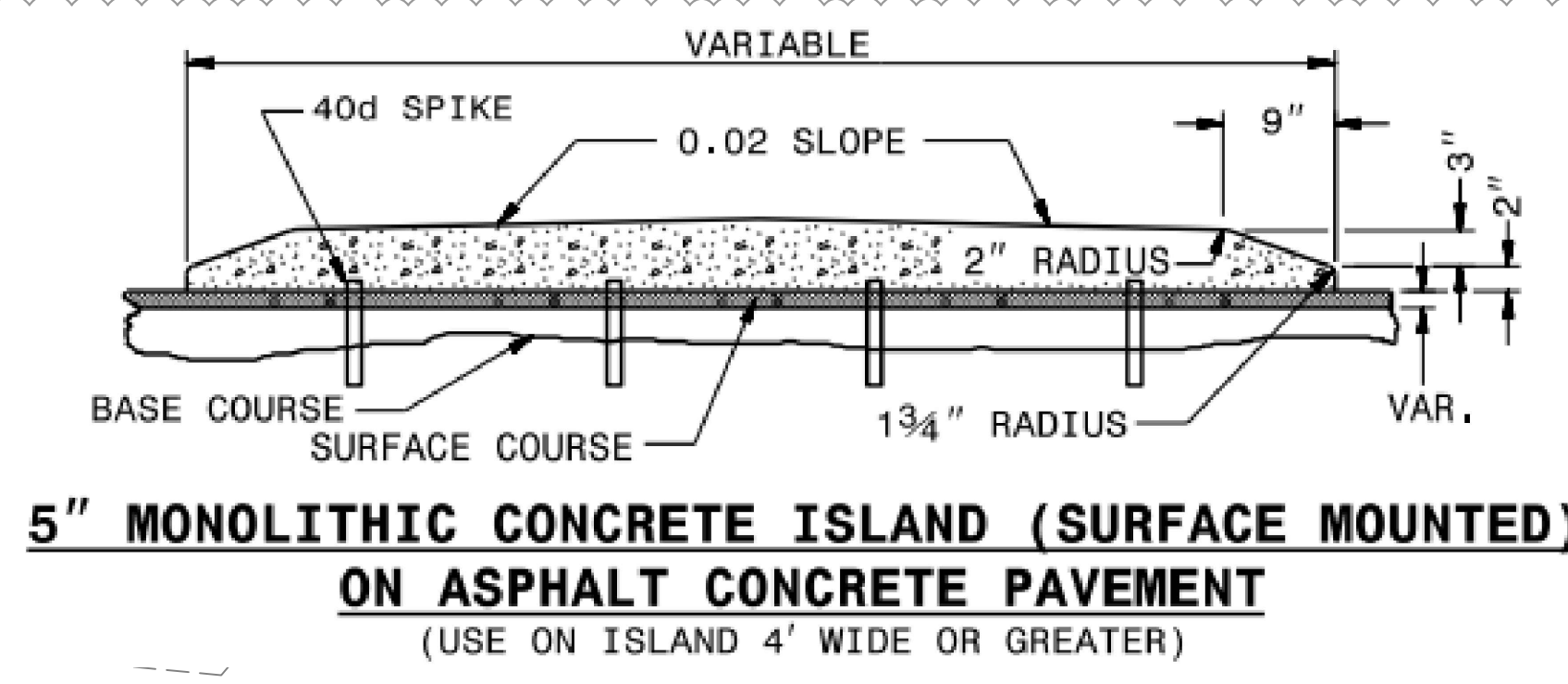
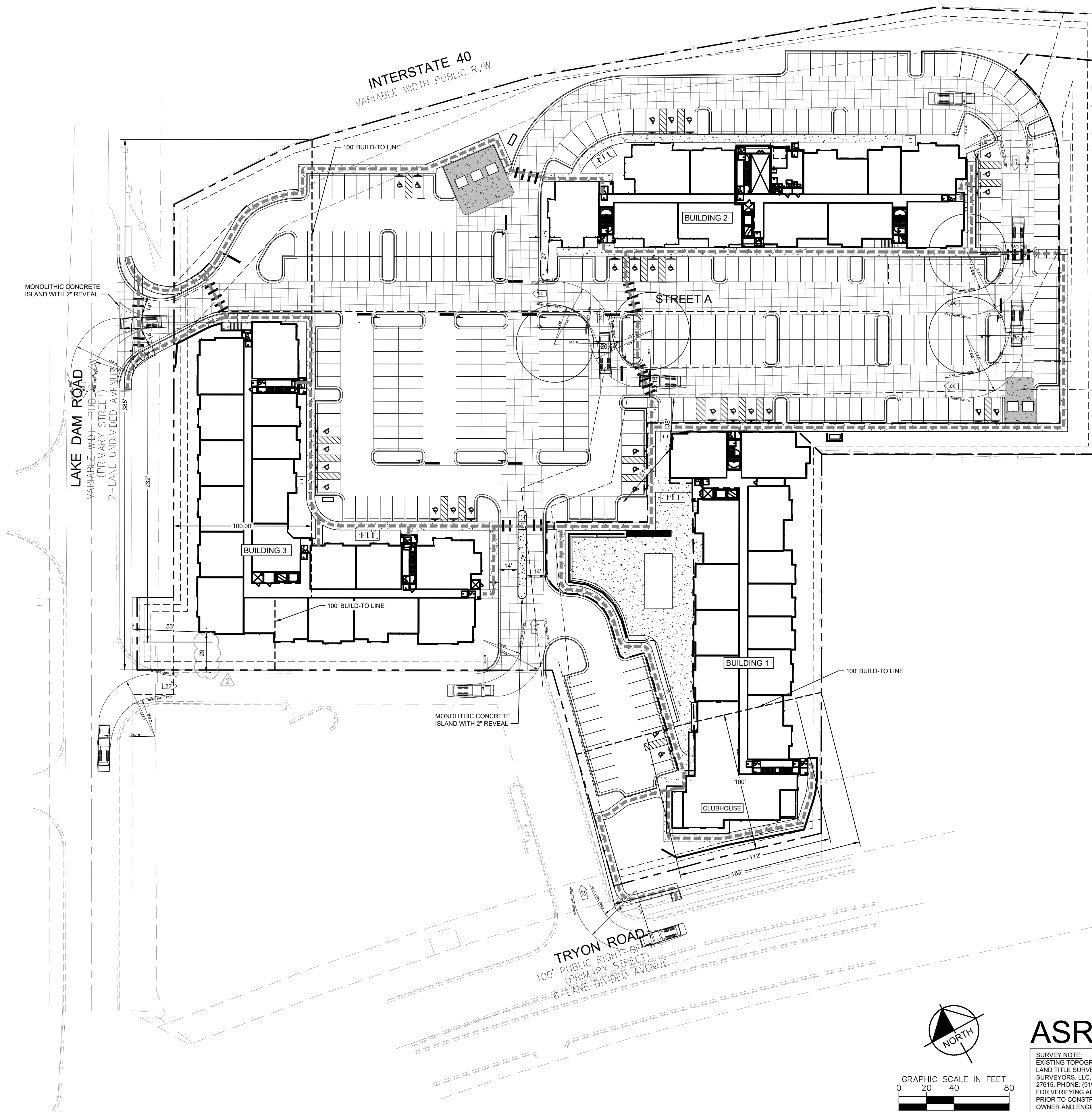


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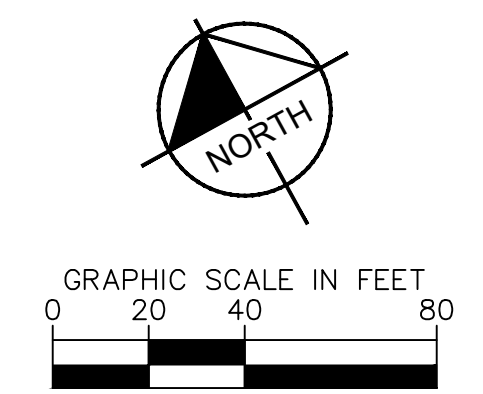
SHEET NUMBER  
**C2-00**

Plotted By: Barnes, Michael. Sheet: Sec:4020 Tryon Apartments - ASR. Layout: C2-10 FIRE ACCESS PLAN. October 11, 2024. 09:59:38am. K:\RAL\_LDEV\18129112\_4020 Tryon Apartments\Planning Phase\18\_CAD Files\PlanSheets\C2-10 FIRE ACCESS PLAN.dwg  
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NOTE: BUILDING 1, BUILDING 2, AND BUILDING 3 WILL HAVE NFPA 13 SYSTEM SPRINKLERS INSTALLED

	BUILD-TO	
	REQUIRED	PROVIDED
LAKE DAM ROAD	193/385' = 50.0%	232/385' = 60.3%
TRYON ROAD	92/183' = 50.0%	112/183' = 61.2%



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 Call before you dig.

NO.	DATE	REVISIONS
2	9/23/2024	MDB
1	8/16/2024	MDB

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KHA PROJECT	DATE	SCALE	DESIGNED BY	MDB	DRWN BY	MDB	CHECKED BY	TRC
118129112	06/07/2024	AS SHOWN						

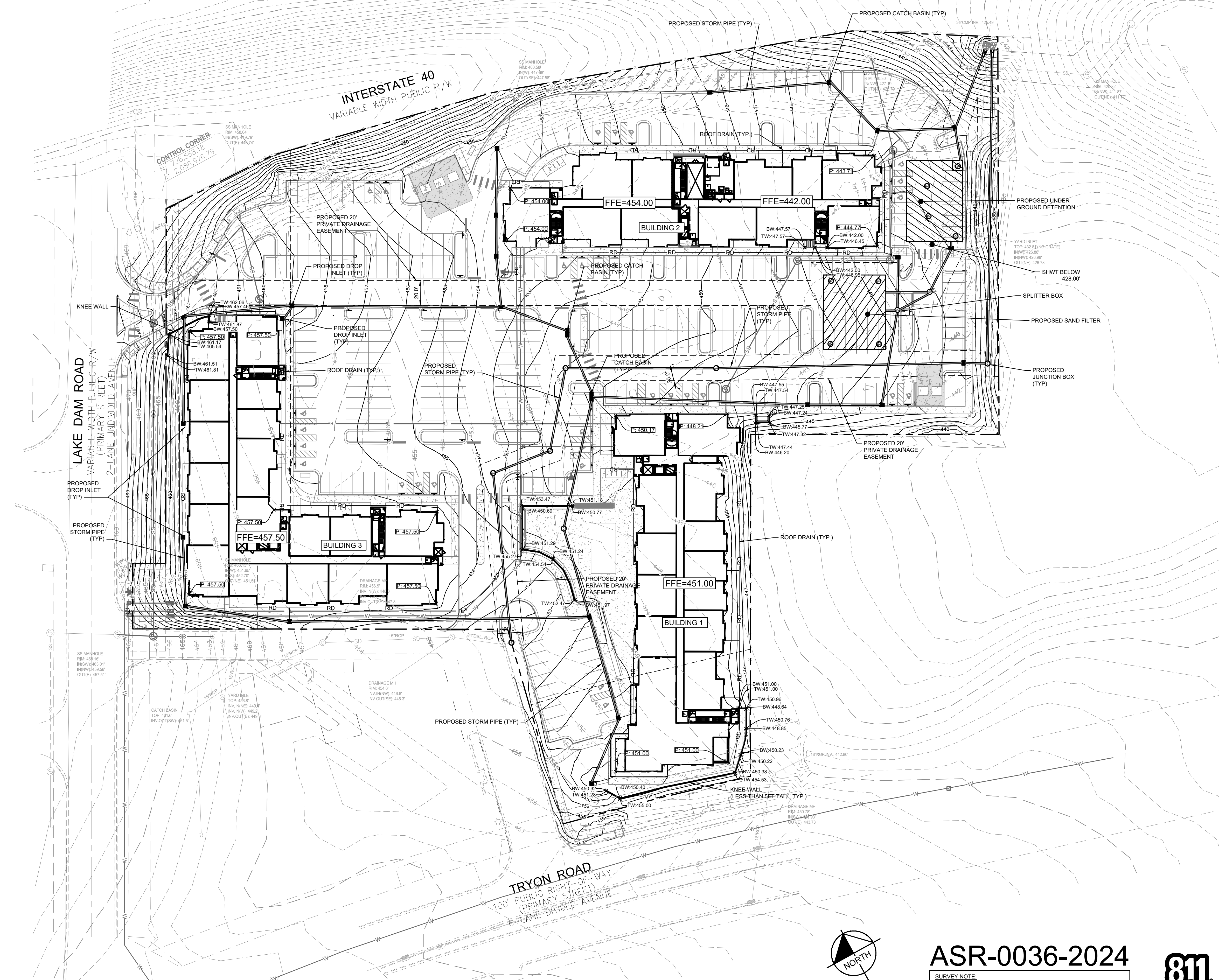
**FIRE ACCESS PLAN**

**4020 TRYON ROAD  
 APARTMENTS**  
 PREPARED FOR  
**ECG ACQUISITIONS**

RALEIGH NC

SHEET NUMBER  
**C2-10**

Plotted By: Barnes, Michael. Sheet Set: 4020 Tryon Apartments - ASR. Layout: C4-00 PRELIMINARY GRADING AND DRAINAGE PLAN. October 11, 2024. 11:23:54am. K:\RAL\_DEVA\18129112\_4020 Tryon Apartments\Planning Phase\P15-CAD Files\PlanSheets\C4-00 PRELIMINARY GRADING AND DRAINAGE PLAN.dwg  
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### GRADING AND DRAINAGE LEGEND

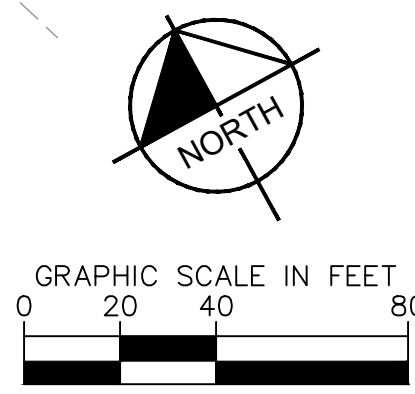
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (> 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)

#### AVERAGE GRADE CALCULATIONS BUILDING 3 (LAKE DAM ROAD)

PROPOSED HIGH POINT	PROPOSED LOW POINT	AVERAGE PROPOSED GRADE
458.80	457.50	458.05

#### AVERAGE GRADE CALCULATIONS BUILDING 1 (TRYON ROAD)

PROPOSED HIGH POINT	PROPOSED LOW POINT	AVERAGE PROPOSED GRADE
451.00	451.00	451.00



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 27615. PHONE: (919) 847-1800. CONTRACTOR SHALL BE RESPONSIBLE  
 FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT,  
 PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO  
 OWNER AND ENGINEER.



4020 TRYON ROAD APARTMENTS PREPARED FOR ECG ACQUISITIONS RALEIGH NC

PRELIMINARY GRADING AND DRAINAGE PLAN

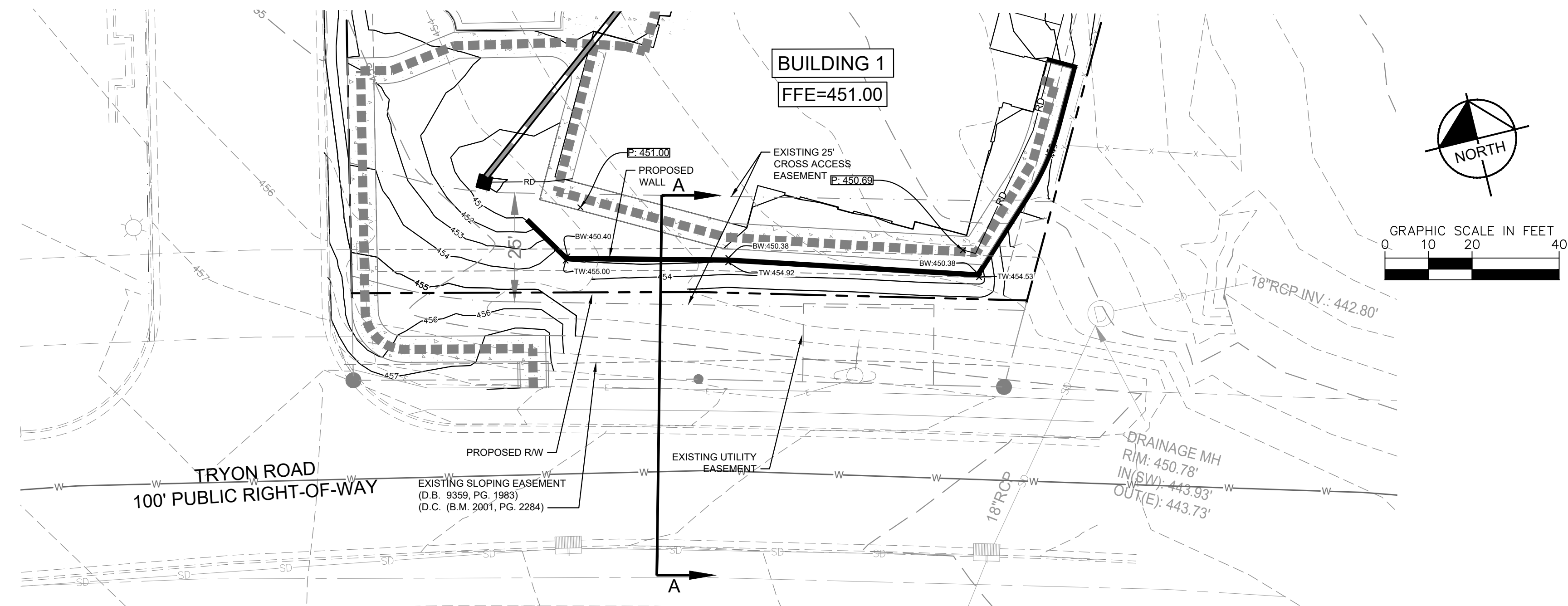
DATE: 06/07/2024  
 DESIGNED BY: MDE  
 DRAWN BY: MDE  
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

REVISIONS	No.	DATE	BY
CITY COMMENTS	2	9/23/2024	MDE
CITY COMMENTS	1	8/16/2024	MDE

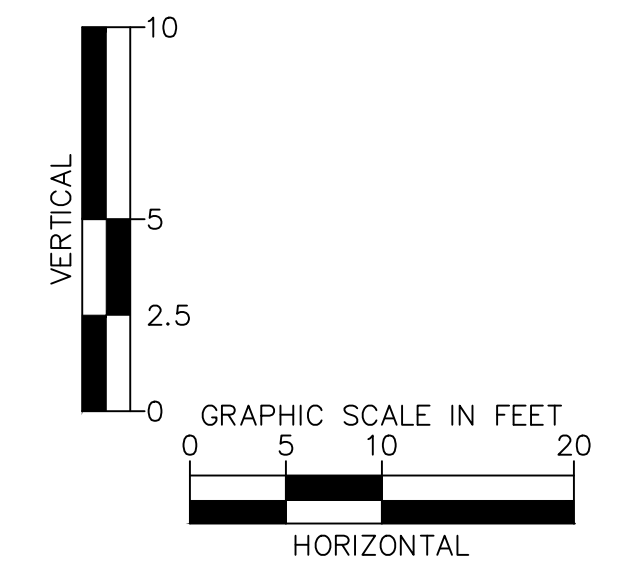
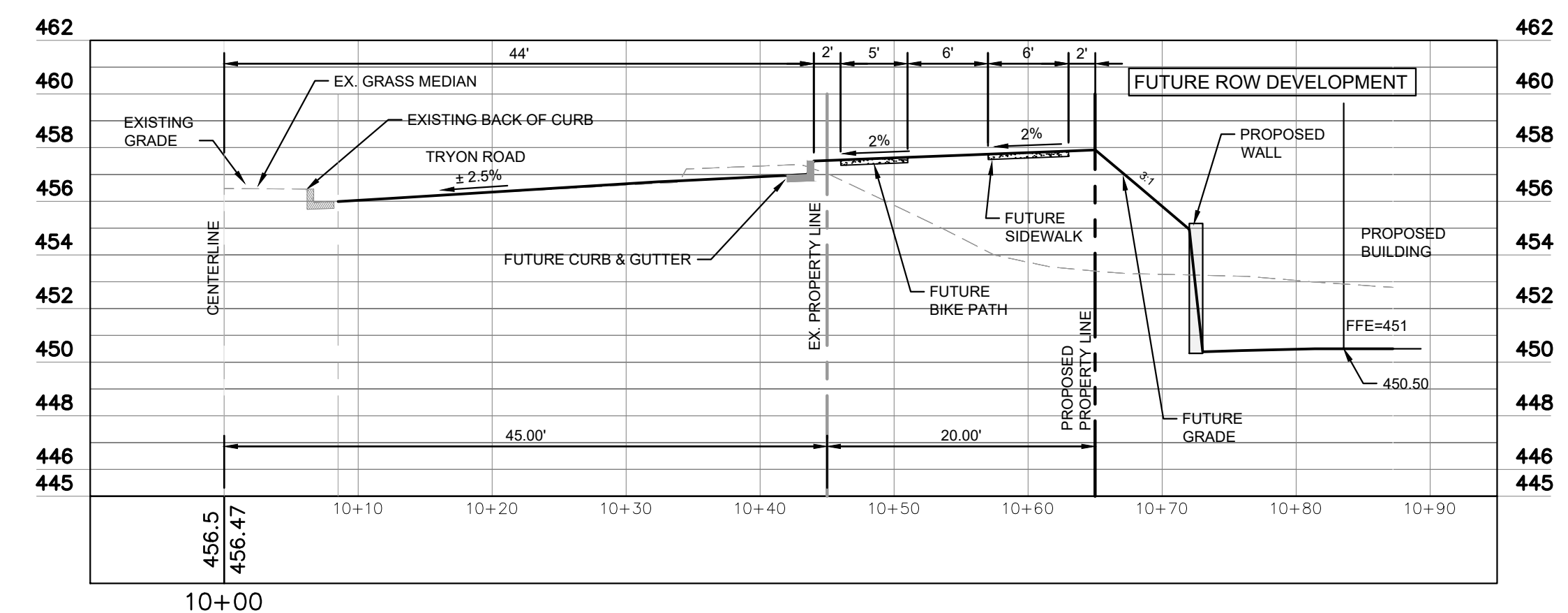
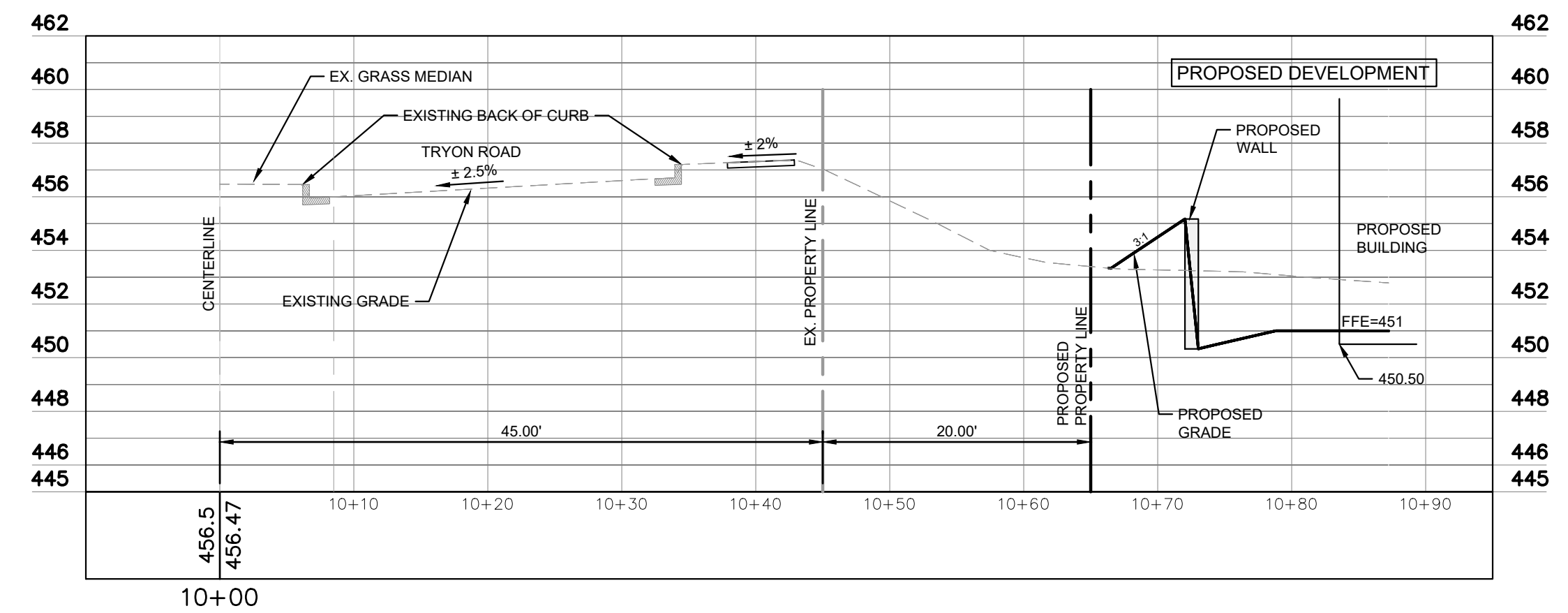
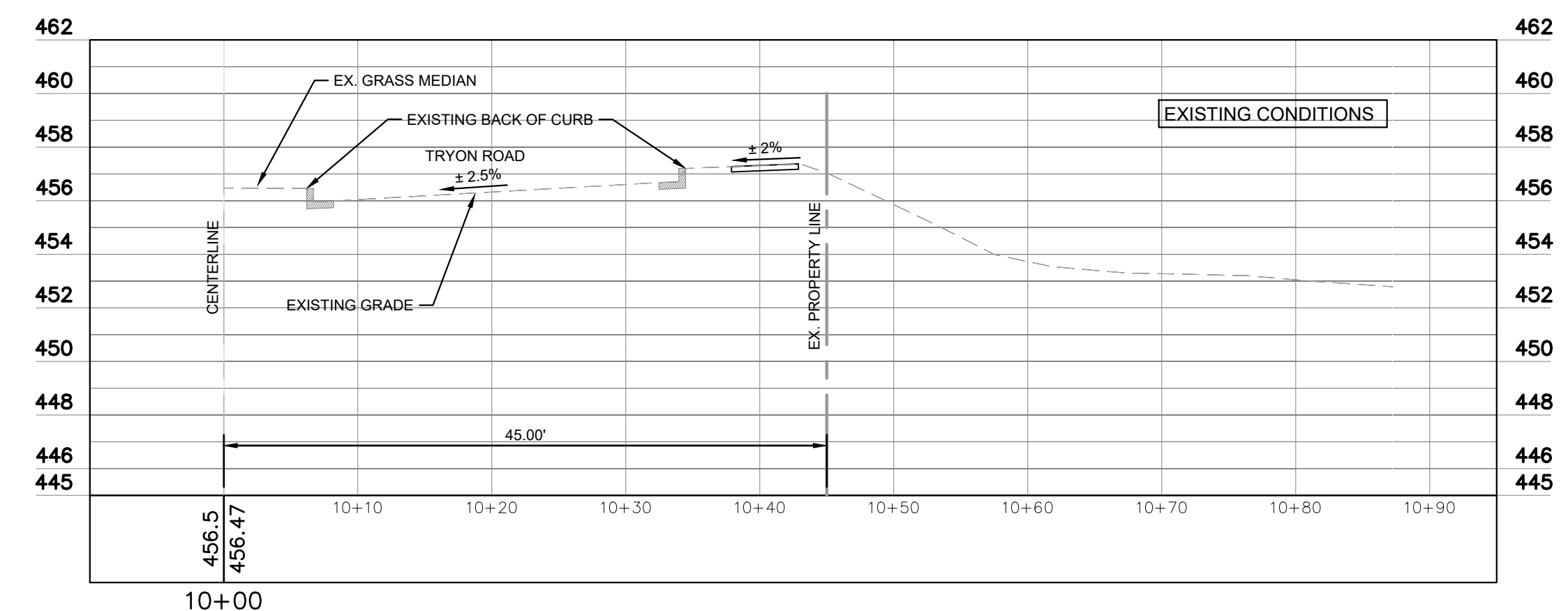
Plotted By: Barnes, Michael. Sheet: Sec-4020 Tryon Apartments - ASR. Layout: C4-10 TRYON ROAD CROSS-SECTION PLAN. October 11, 2024. 10:00. 10am. K:\RAL\_LDEV\118129112\_4020 Tryon Apartments\Planning\_Phase\15\_CAD\_Files\PlanSheets\C4-10 TRYON ROAD CROSS-SECTION PLAN.dwg  
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**GRADING AND DRAINAGE LEGEND**

	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)

CROSS-SECTION A-A



**ASR-0036-2024**

SURVEY NOTE:  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A ALTANSPTS LAND TITLE SURVEY OBTAINED ON 03/31/2020 BY NEWCOMB LAND SURVEYORS, LLC, 7008 HARPS MILL ROAD, SUITE 105, RALEIGH, NC 27615, PHONE: (919) 847-1800. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



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2	CITY COMMENTS	9/23/2024	MDB
1	CITY COMMENTS	8/16/2024	MDB

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**PRELIMINARY  
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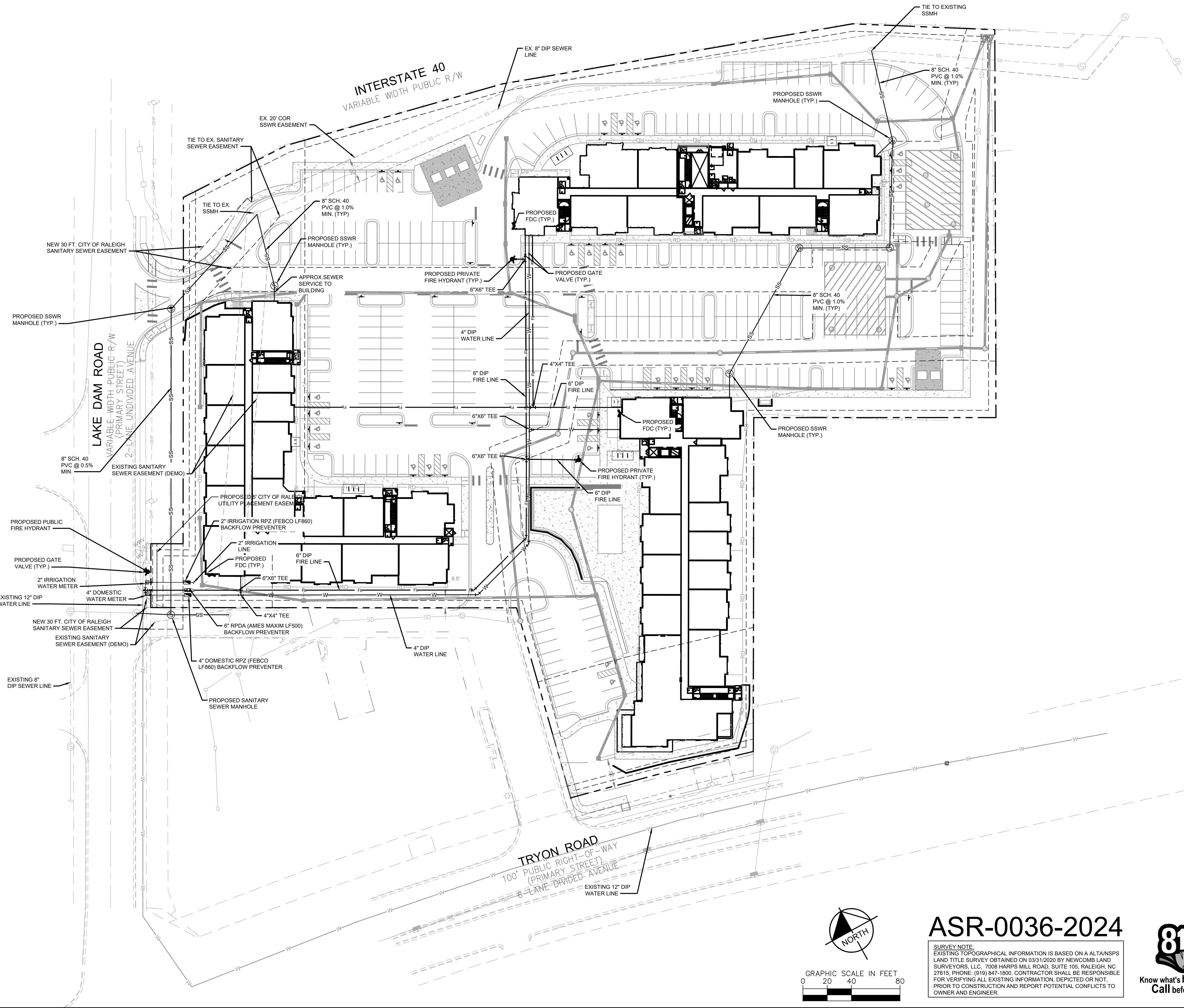
KHA PROJECT	118129112
DATE	06/07/2024
SCALE	AS SHOWN
DESIGNED BY	MDB
DRAWN BY	MDB
CHECKED BY	TRC

**TRYON ROAD  
CROSS-SECTION  
PLAN**

**4020 TRYON ROAD  
APARTMENTS**  
 PREPARED FOR  
**ECG ACQUISITIONS**  
 RALEIGH, NC

SHEET NUMBER  
**C4-10**

Plotted By: Barnes, Michael. Sheet: 4020 Tryon Apartments - ASR. Layout: C6-00 PRELIMINARY UTILITY PLAN. October 11, 2024. 10:00:22am. K:\RAL\_LDEV\118129112\_4020 Tryon Apartments\Planning\Phase15\_CAD Files\PlanSheets\C6-00 PRELIMINARY UTILITY PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
C	CABLE
□	LIGHT POLE
M	WATER METER
X	GATE VALVE
○	POINT OF CONNECTION
⊥	BACKFLOW PREVENTOR
⋈	PIPE TEE/BENDS
⋈	REDUCER
⋈	FIRE HYDRANT (FH)
⋈	FIRE DEPARTMENT CONNECTION (FDC)
⋈	SANITARY SEWER CLEANOUT (SSCO)
⋈	SANITARY SEWER MANHOLE (SSMH)
⋈	SANITARY SEWER GREASE TRAP

- STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORRID HANDBOOK, CURRENT EDITION).
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - MAINTAIN 18" VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADLE HAVING 6" MIN. CLEARANCE (PER CORRID DETAILS W-41 & S-49).
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORRID HANDBOOK PROCEDURE.
  - INSTALL 2" PE WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UO / BLDG PERMIT. CONTACT (919) 996-4516 OR EGG@RALEIGH.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UO / BLDG PERMIT. CONTACT (919) 996-4516 OR EGG@RALEIGH.GOV FOR MORE INFORMATION.

NO.	REVISIONS	DATE	BY
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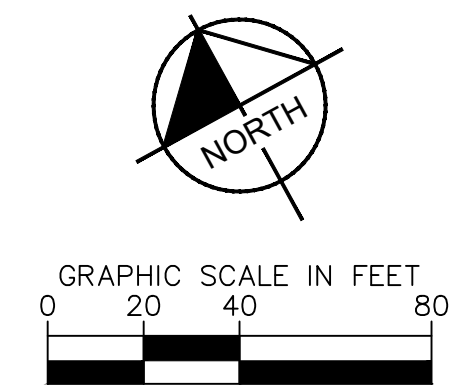
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PRELIMINARY UTILITY PLAN

4020 TRYON ROAD APARTMENTS PREPARED FOR ECG ACQUISITIONS

RALEIGH NC

SHEET NUMBER C6-00

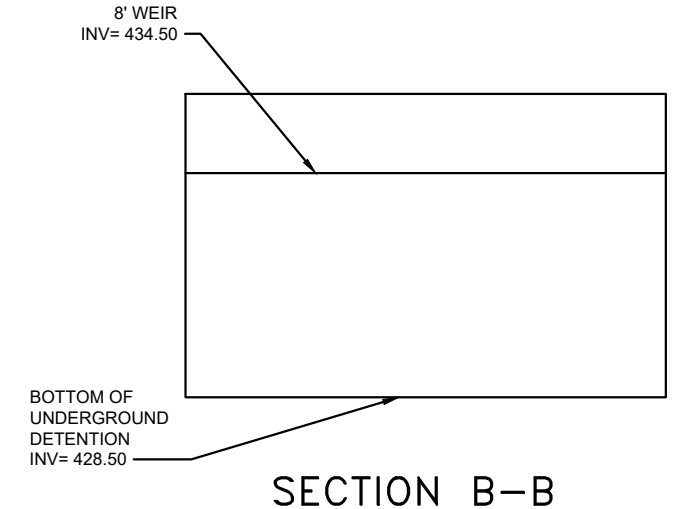
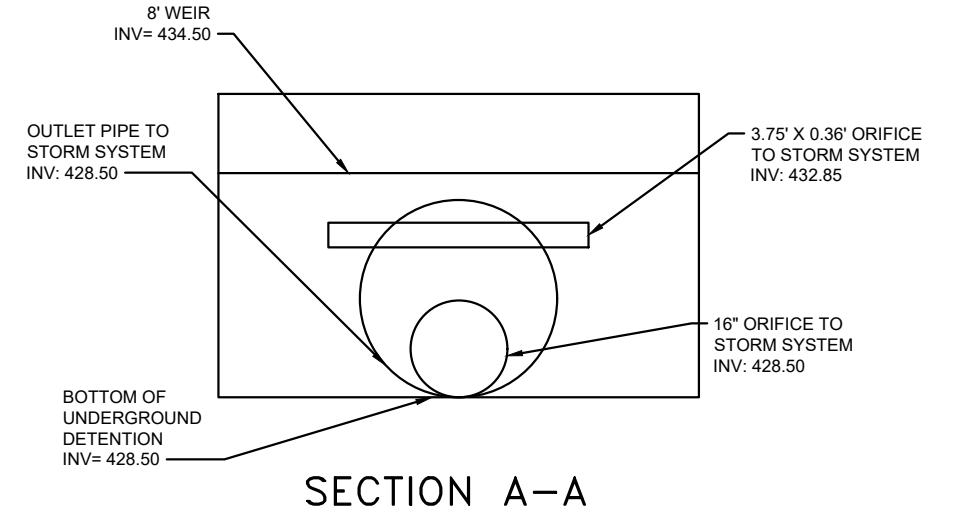
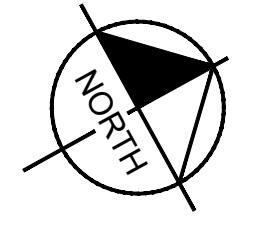
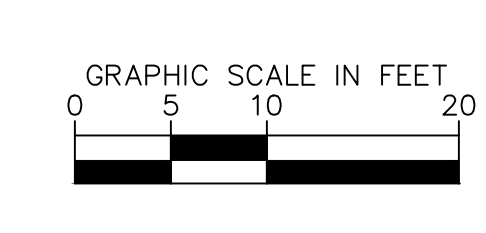
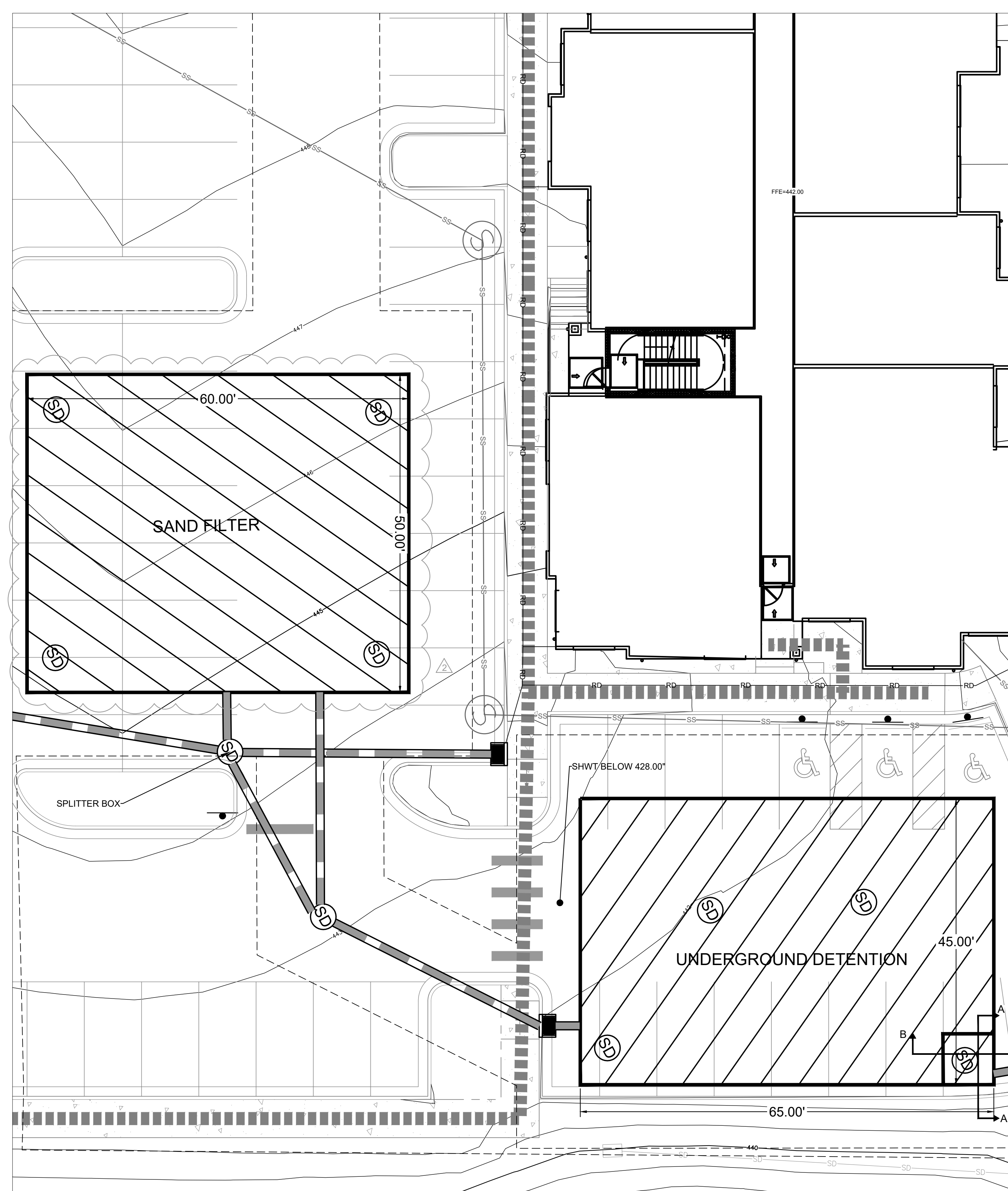


**ASR-0036-2024**

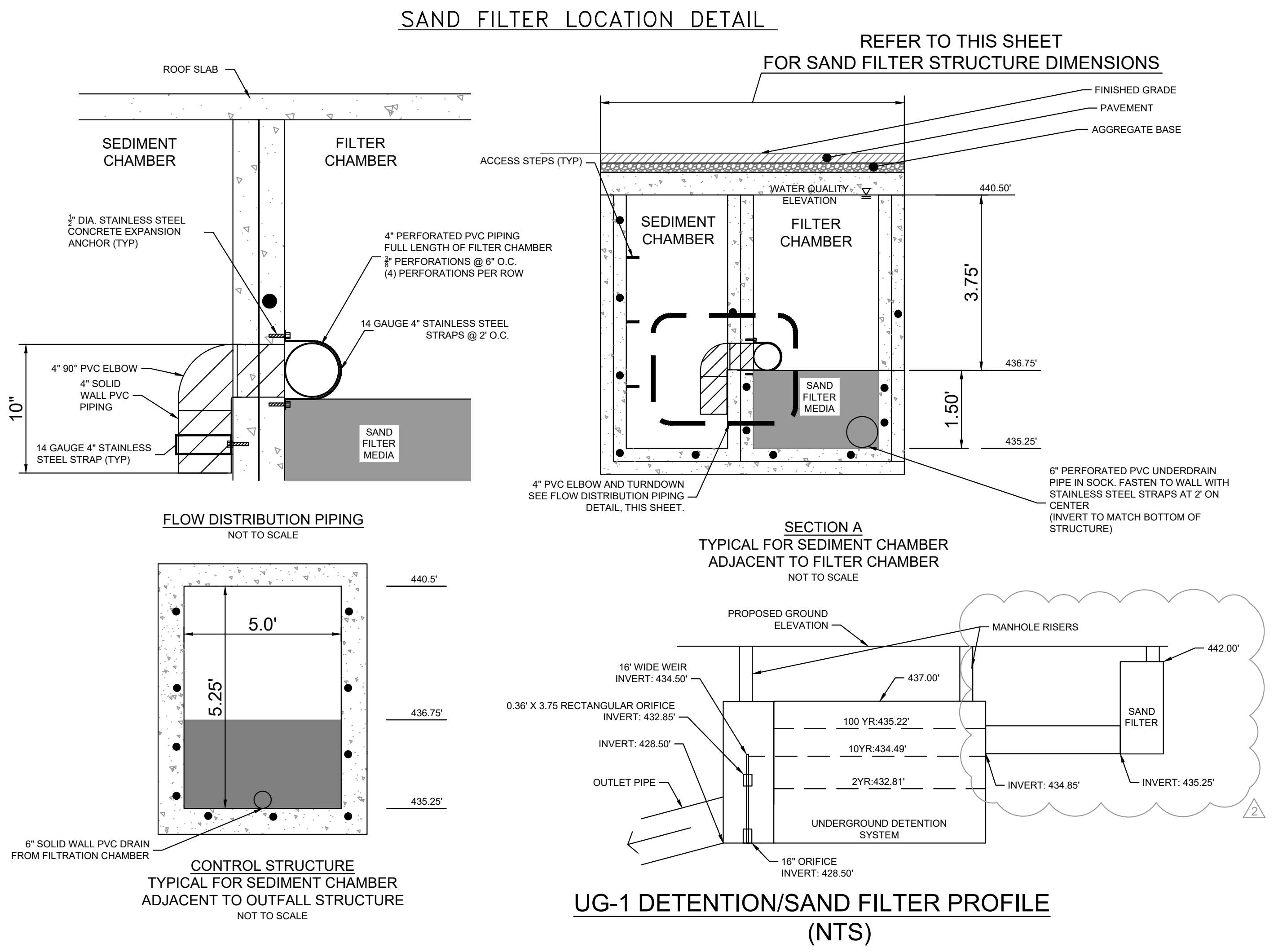
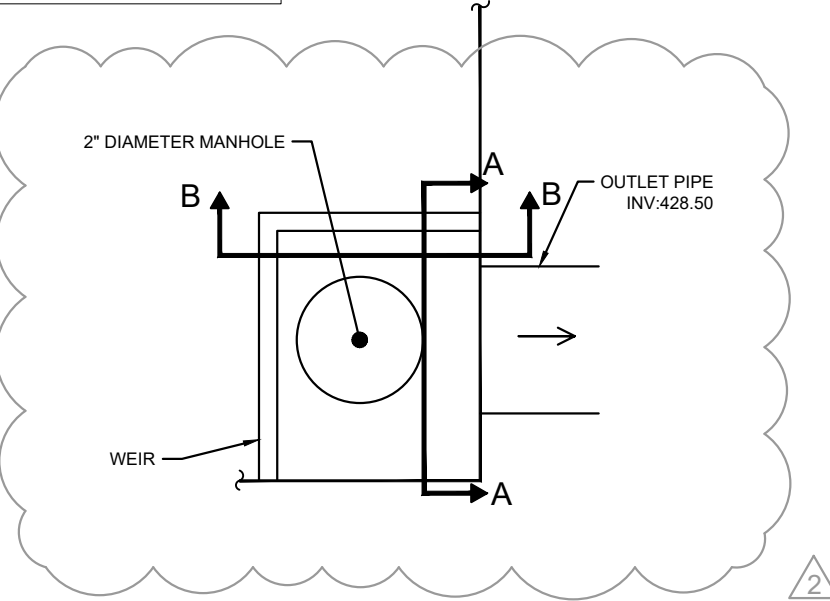
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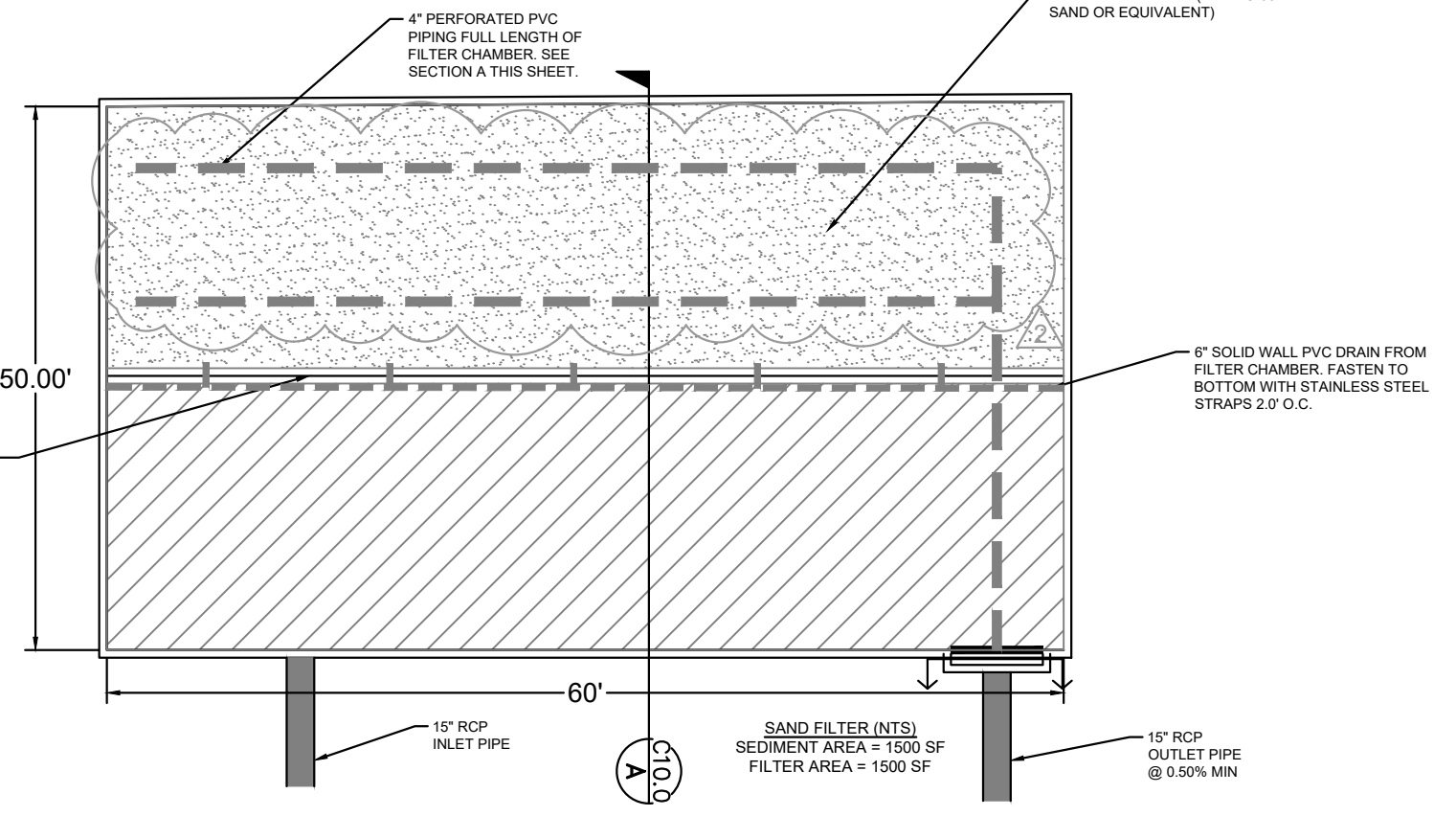
Plotted By: Barnes, Michael. Sheet: 4020 Tryon Apartments - ASR - Layout: C9-00 UNDERGROUND DETENTION AND SAND FILTER DETAILS. October 11, 2024. 10:00:32am. K:\RAL\_LDE\118129112\_4020 Tryon Apartments\Planning Phase\FP15\_CAD Files\PlanSheets\C9-00 UNDERGROUND DETENTION AND SAND FILTER DETAILS.dwg. This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, as intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



UNDERGROUND DETENTION WEIR MANHOLE (NTS)



- KEYNOTES**
- SEDIMENT CHAMBER AREA
  - FILTER CHAMBER AREA
  - OUTFALL STRUCTURE AREA



**ASR-0036-2024**

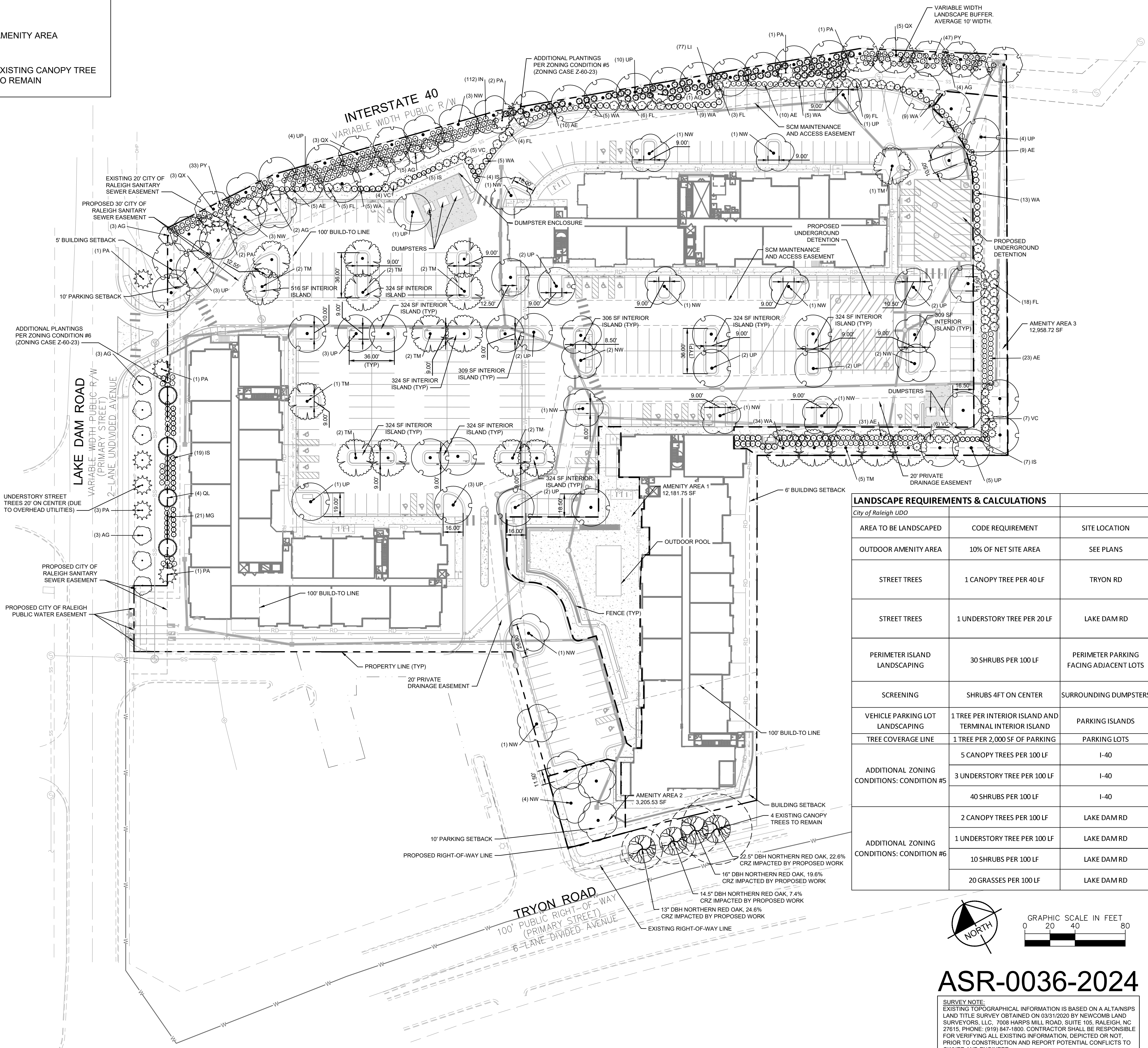
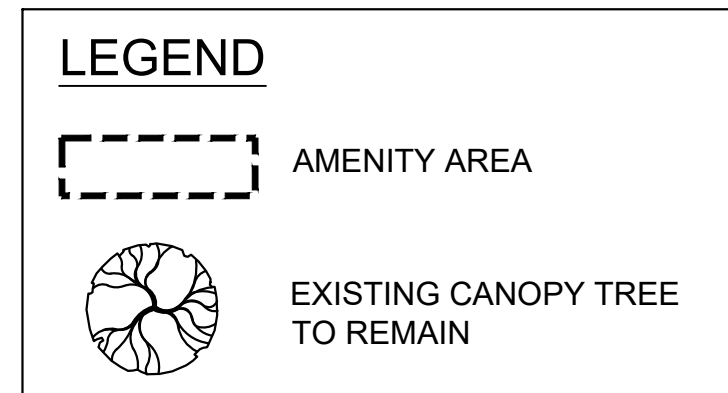
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<p><b>4020 TRYON ROAD APARTMENTS</b> PREPARED FOR <b>ECG ACQUISITIONS</b></p>	<p>RALEIGH NC</p>									
	<p>SHEET NUMBER <b>C9-00</b></p>									
<p><b>UNDERGROUND DETENTION AND SAND FILTER DETAILS</b></p>	<p>DATE: 06/07/2024 SCALE: AS SHOWN DESIGNED BY: MDB DRAWN BY: MDB CHECKED BY: TRC</p>									
<p><b>Kimley»Horn</b></p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050 421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>9/23/2024</td> <td>MDB</td> </tr> <tr> <td>1</td> <td>8/16/2024</td> <td>MDB</td> </tr> </tbody> </table>	No.	DATE	BY	2	9/23/2024	MDB	1	8/16/2024	MDB
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<p><b>NOT FOR CONSTRUCTION</b></p>										

Plotted By: Barnes, Michael. Sheet: 4020 Tryon Apartments - ASR. Layout: L-100 LANDSCAPE PLAN. October 11, 2024. 10:00:42am. K:\RAL\_LDEV\118129112\_4020 Tryon Apartments\Planning\PhaseP15\_CAD Files\PlanSheets\L-100 LANDSCAPE PLAN.dwg  
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- NOTES:**
- PLANTINGS LOCATED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE PRUNED TO MAINTAIN VISIBILITY BETWEEN 2- FEET AND 8- FEET ABOVE FINISHED GRADE.
  - UTILITIES ON THIS SHEET ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
  - THIS SHEET IS INTENDED FOR REFERENCE ONLY. FOR SITE IMPROVEMENTS, SEE CIVIL SHEETS.
  - SEE SHEET L2.0 FOR LANDSCAPE NOTES AND DETAILS.
  - SEE SHEET TC1.0 FOR TREE CONSERVATION AREA CALCULATIONS.

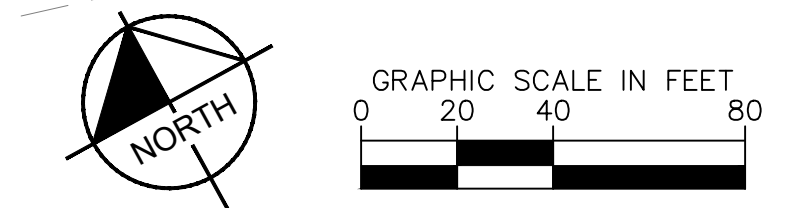


**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	HEIGHT
<b>TREES</b>						
AG	21	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	8.8B	1.5" MIN.	6' MIN	
NW	24	N'YSSA SYLVATICA 'WILDFIRE'	8.8B	3" CAL.	10-12' MIN	
PA	12	PRUNUS X 'OKAME'	8.8B	1.5" MIN.	6' MIN	
QL	4	QUERCUS ROBUR X BICOLOR 'LONG REGAL PRINCE' OAK	8.8B	3" CAL.	6' MIN	
QX	11	QUERCUS TEXANA 'QNTF'	8.8B	3" CAL.	10-12' MIN	
TM	18	TAXODIUM DISTICHUM 'MICKELSON'	8.8B	3" CAL.	10-12' MIN	
UP	48	ULMUS AMERICANA 'PRINCETON'	8.8B	3" CAL.	10-12' MIN	
<b>SHRUBS</b>						
AE	88	ABELIA X 'EDWARD GOUCHER'	3 GAL.	18" MIN.		
FL	45	FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD'	3 GAL.	18" MIN.		
IN	112	ILEX VOMITORIA 'NANA'	3 GAL.	18" MIN.		
IS	35	ILEX GLABRA 'SHAMROCK'	3 GAL.	18" MIN.		
LI	77	LOROPETALUM CHINENSE RUBRUM 'KUROBIN'	3 GAL.	18" MIN.		
MG	37	MUHLBERGIA CAPILLARIS 'GULF COAST'	3 GAL.	18" MIN.		
PY	80	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	3 GAL.	18" MIN.		
VC	22	VIBURNUM AWABUKI 'CHINDO'	3 GAL.	18" MIN.		
WA	85	WEIGELA FLORIDA 'ALEXANDRA'	3 GAL.	18" MIN.		

**LANDSCAPE REQUIREMENTS & CALCULATIONS**

AREA TO BE LANDSCAPED	CODE REQUIREMENT	SITE LOCATION	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	SEE PLANS	284,882 SF	284,882 x 0.1 = 28,314 SF	28,346 SF	3.2.4.A4
STREET TREES	1 CANOPY TREE PER 40 LF	TRYON RD	150 LF	150/40 = 4	4 EXISTING CANOPY TREES TO REMAIN	8.5.9.B
STREET TREES	1 UNDERSTORY TREE PER 20 LF	LAKE DAM RD	184 LF	184/20 = 10	10 UNDERSTORY TREES	8.5.9.B
PERIMETER ISLAND LANDSCAPING	30 SHRUBS PER 100 LF	PERIMETER PARKING FACING ADJACENT LOTS	725 LF	725/100x30=218	218 SHRUBS	7.1.7.C
SCREENING	SHRUBS 4FT ON CENTER	SURROUNDING DUMPSTERS	155 LF	155/4=39	39 SHRUBS	7.2.5.C.1
VEHICLE PARKING LOT LANDSCAPING	1 TREE PER INTERIOR ISLAND AND TERMINAL INTERIOR ISLAND	PARKING ISLANDS	53 ISLANDS	53/1 = 52	53 CANOPY TREES	7.1.7.D.F
TREE COVERAGE LINE	1 TREE PER 2,000 SF OF PARKING	PARKING LOTS	125453 SF	125453/2000=63	63 TREES	7.1.7.F
ADDITIONAL ZONING CONDITIONS: CONDITION #5	5 CANOPY TREES PER 100 LF	I-40	674 LF	674/100x5=34	34 CANOPY TREES	2-60-23
	3 UNDERSTORY TREE PER 100 LF	I-40	674 LF	674/100x3=21	21 UNDERSTORY TREES	2-60-23
	40 SHRUBS PER 100 LF	I-40	674 LF	674/100x40=270	270 SHRUBS	2-60-23
ADDITIONAL ZONING CONDITIONS: CONDITION #6	2 CANOPY TREES PER 100 LF	LAKE DAM RD	184 LF	184/100x2=4	4 CANOPY TREES	2-60-23
	1 UNDERSTORY TREE PER 100 LF	LAKE DAM RD	184 LF	184/100x1=2	2 UNDERSTORY TREES	2-60-23
	10 SHRUBS PER 100 LF	LAKE DAM RD	184 LF	184/100x10=19	19 SHRUBS	2-60-23
	20 GRASSES PER 100 LF	LAKE DAM RD	184 LF	184/100x20=37	37 GRASSES	2-60-23



**ASR-0036-2024**

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KHA PROJECT 118129112  
 DATE 06/07/2024  
 SCALE AS SHOWN  
 DESIGNED BY MDB  
 DRAWN BY MDB  
 CHECKED BY TRC

RALEIGH NC

**LANDSCAPE PLAN**

PRELIMINARY  
NOT FOR CONSTRUCTION

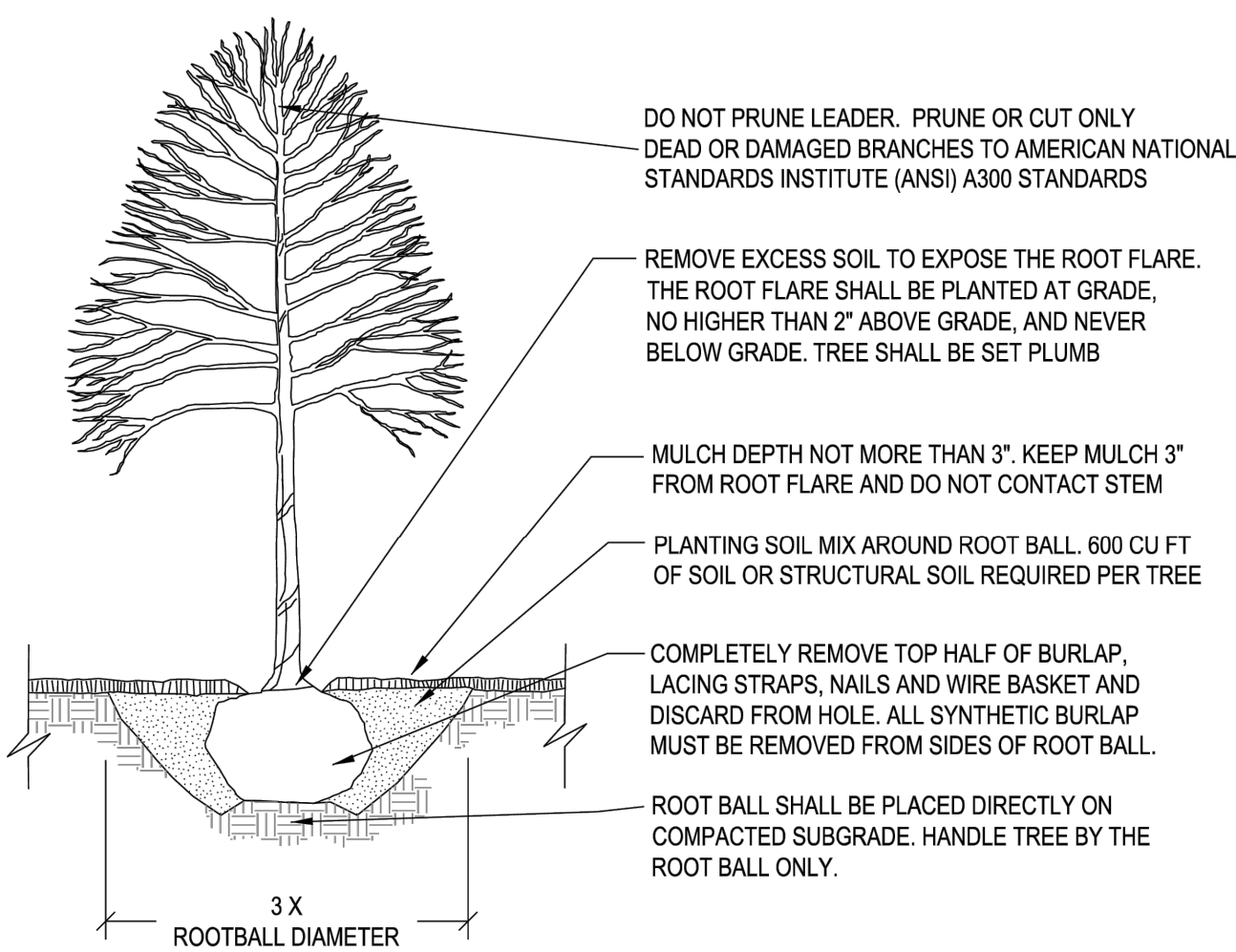
4020 TRYON ROAD APARTMENTS PREPARED FOR ECG ACQUISITIONS

RALEIGH

SHEET NUMBER L1-00

DATE

Plotted By: Barnes, Michael. Sheet: Sec-4020 Tryon Apartments - ASR - Layout L2-00 LANDSCAPE DETAILS October 11, 2024. 10:00:52am. K:\RAL\_DEVELOPMENT\18129112\_4020 Tryon Apartments\Planning Phase\FIS\_CAD Files\PlanSheets\L2-00 LANDSCAPE DETAILS.dwg. This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB

MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION: CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER: TREES@RALEIGHNC.GOV WWW.RALEIGHNC.GOV

NOTES:

- 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL

Table with columns: REVISIONS, DATE, NOT TO SCALE. Includes entry 10/20/19 and title TREE PLANTING DETAIL TPP-03.

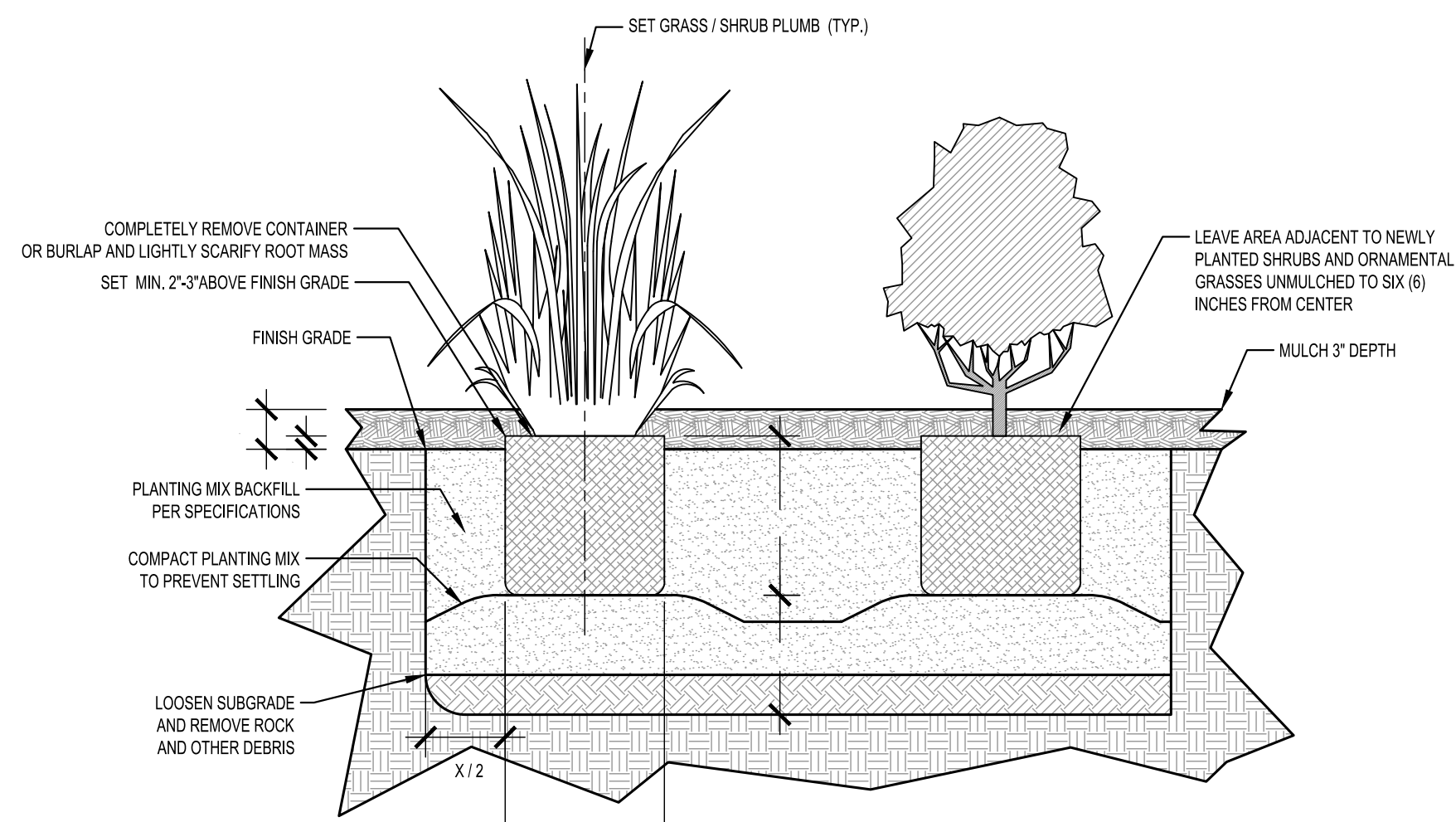
1 CITY OF RALEIGH TREE PLANTING DETAIL

SCALE: NTS

SECTION

GENERAL LANDSCAPE NOTES:

- 1. ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
2. ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
3. PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE.
4. ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
5. SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED.
6. SEE PLAN FOR SPACING.



2 SHRUB PLANTING DETAIL

SCALE: NTS

SECTION

GENERAL LANDSCAPE NOTES:

- 1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
7. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE 3 INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN OR OWNER PREFERENCE.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
11. THE CONTRACTOR SHALL COMPLETELY WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION.
12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
13. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
14. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
15. STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK' REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
16. ALL SHRUB, GROUND COVER AND PERENNIAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN OR OWNER PREFERENCE TO A DEPTH OF THREE (3) INCHES.
17. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE.
18. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
19. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE.
20. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
21. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO).
23. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.
24. THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.

Kimley HORN logo

Table with columns: No., REVISIONS, CITY COMMENTS, MDE, DATE.

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LANDSCAPE DETAILS

4020 TRYON ROAD APARTMENTS PREPARED FOR ECG ACQUISITIONS RALEIGH NC

SHEET NUMBER L2-00

ASR-0036-2024

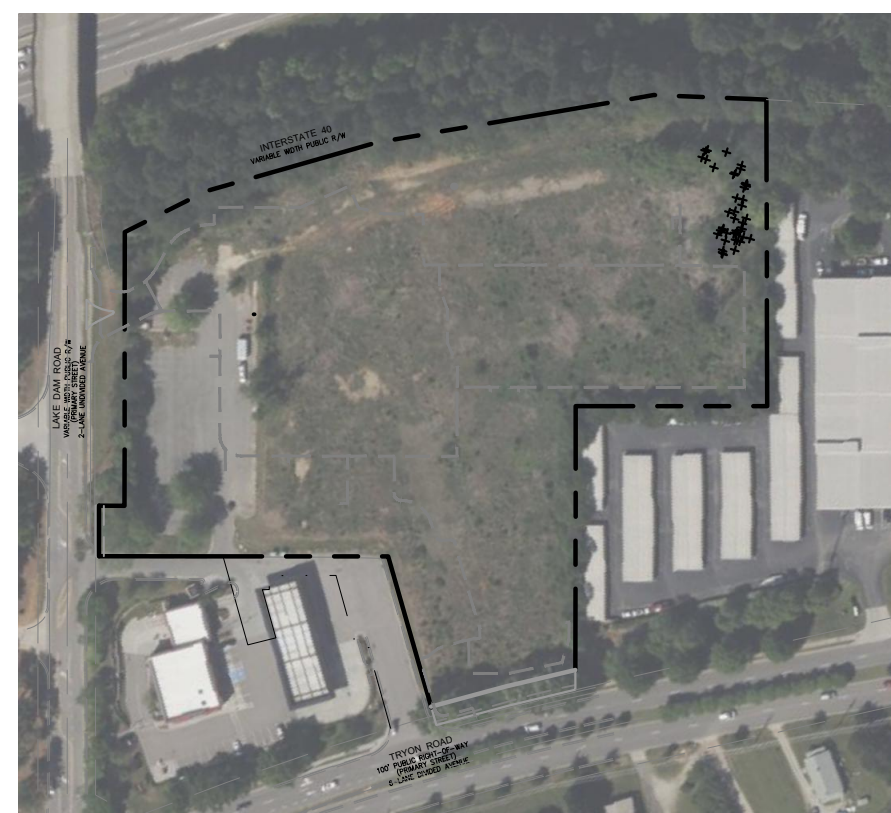
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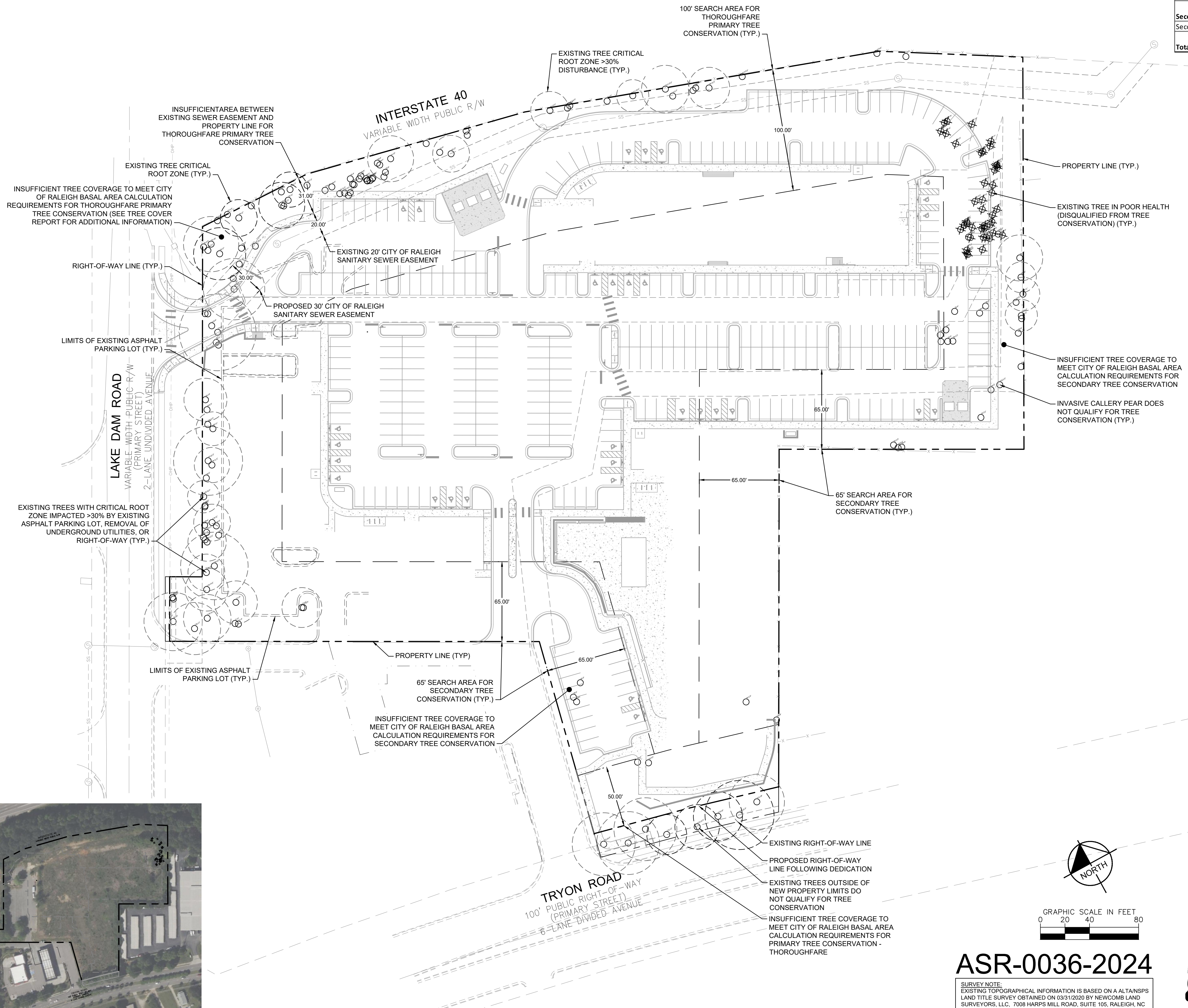
Know what's below. Call before you dig.



Plotted By: Barnes, Michael. Sheet: Sec: 0200 Tryon Apartments - ASR. Layout: TC1-00 TREE CONSERVATION PLAN. October 11, 2024. 10:01:04am. K:\RAL\_LDEV\118128112\_4020 Tryon Apartments\Planning\Phase\ASR\_P15\_CAD Files\PlanSheets\TC1-00 TREE CONSERVATION PLAN.dwg  
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1 SITE AERIAL  
 TC1.0 SCALE: 1" = 200'



**PRELIMINARY TREE CONSERVATION LEGEND**

- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE >30% DISTURBANCE
- EXISTING TREE
- EXISTING TREE IN POOR HEALTH (DISQUALIFIED FROM TREE CONSERVATION)
- LIMITS OF EXISTING ASPHALT PARKING LOT TO BE REMOVED

**TREE SURVEY LEGEND**

Label	Common Name
T1	red maple
T2	river birch
T3	common persimmon
T4	eastern red cedar
T5	sweetgum
T6	tulip poplar
T7	sourwood
T8	loblolly pine
T9	black cherry
T10	callery pear
T11	white oak
T12	scarlet oak
T13	southern red oak
T14	willow oak
T15	northern red oak
T16	post oak
T17	black locust
T18	American elm

Note: Callery pear (*Pyrus calleryana*) is listed as an invasive species on the NC Invasive Plant Council list, and does not qualify for tree conservation

- TREE CONSERVATION NOTES:**
- TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM A TREE SURVEY PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED JANUARY 6, 2024.
  - TREES OVER 10 INCHES DBH WITH 25% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - TREES LOCATED WITHIN UTILITY EASEMENTS MUST BE EXCLUDED FROM TREE CONSERVATION AREAS.
  - NO TREE MAY BE USED TO MEET TREE CONSERVATION REQUIREMENTS IF IT IS UNHEALTHY OR HAZARDOUS. SEE CERTIFIED ARBORIST'S MEMO AND TREE COVER REPORT INCLUDED IN PLAN SUBMITTAL FOR DETAILS ON UNHEALTHY TREES ON SITE.
  - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
  - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).

**Tree Conservation Plan Data**  
 Net Project Area - 6.54 AC

6.54 Total Acres (10% = 0.65 AC Required for TCA)

Primary Tree Conservation Areas	Number of Acres	Percentage of Tract
Primary Tree Conservation Area - Thoroughfare	0	0.00%
<b>Total Primary Tree Conservation Area</b>	<b>0</b>	<b>0.00%</b>
Secondary Tree Conservation Areas	Number of Acres	Percentage of Tract
Secondary Tree Conservation Areas	0	0.00%
<b>Total Secondary Tree Conservation Area</b>	<b>0</b>	<b>0.00%</b>
<b>Total Tree Conservation Area</b>	<b>0.00</b>	<b>0.00%</b>

NO.	REVISIONS	DATE	BY
2	CITY COMMENTS	9/23/2024	MDB
1	CITY COMMENTS	8/16/2024	MDB

**Kimley»Horn**  
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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050  
 421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601

**PRELIMINARY NOT FOR CONSTRUCTION**

KHA PROJECT	DATE	SCALE	DESIGNED BY	MDB	DRAWN BY	MDB	CHECKED BY	TRC
118128112	06/07/2024	AS SHOWN						

**TREE CONSERVATION PLAN**

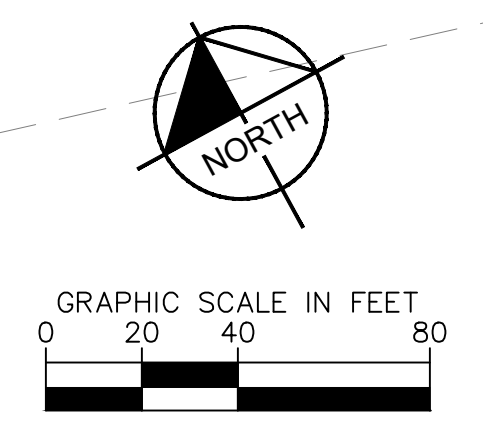
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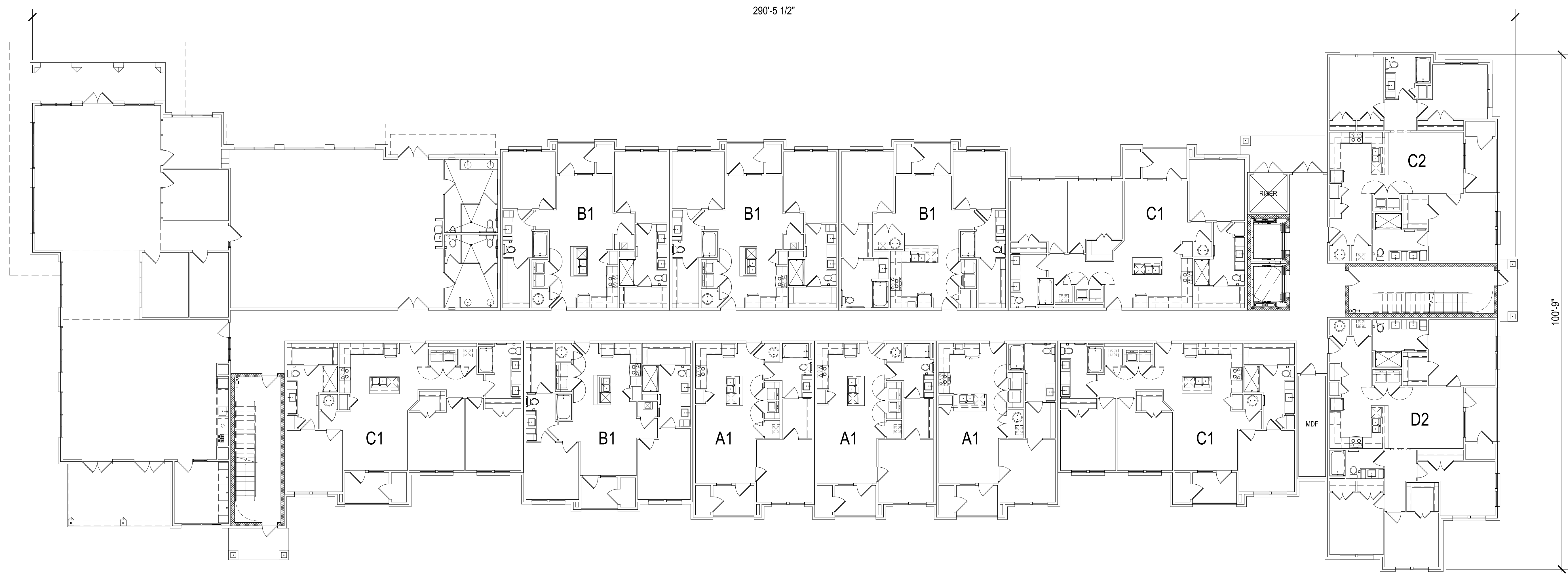
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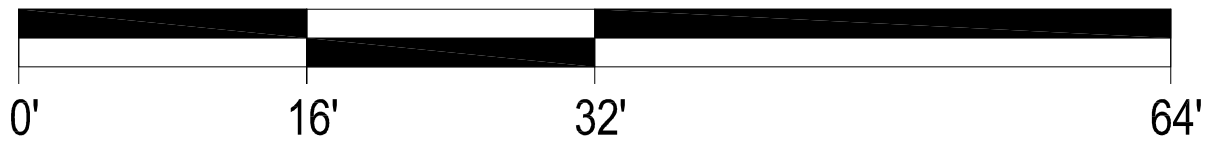
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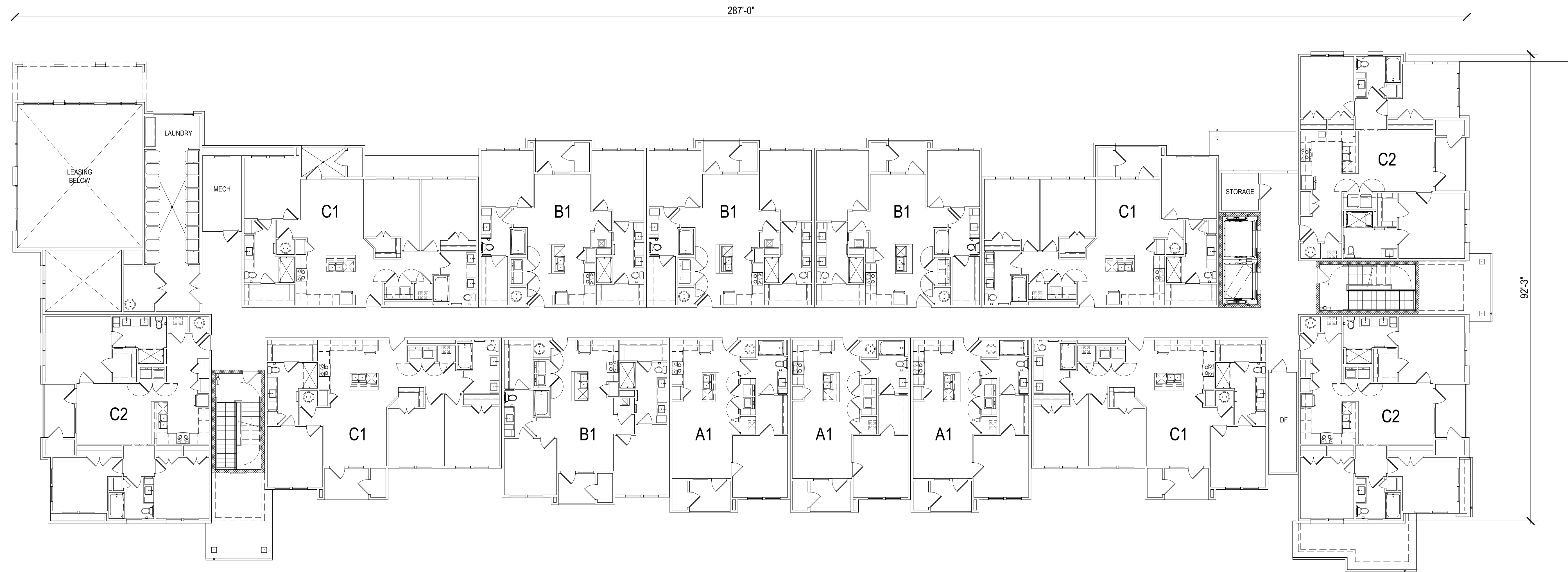
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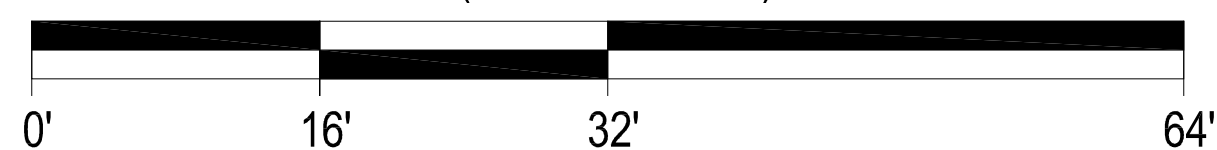
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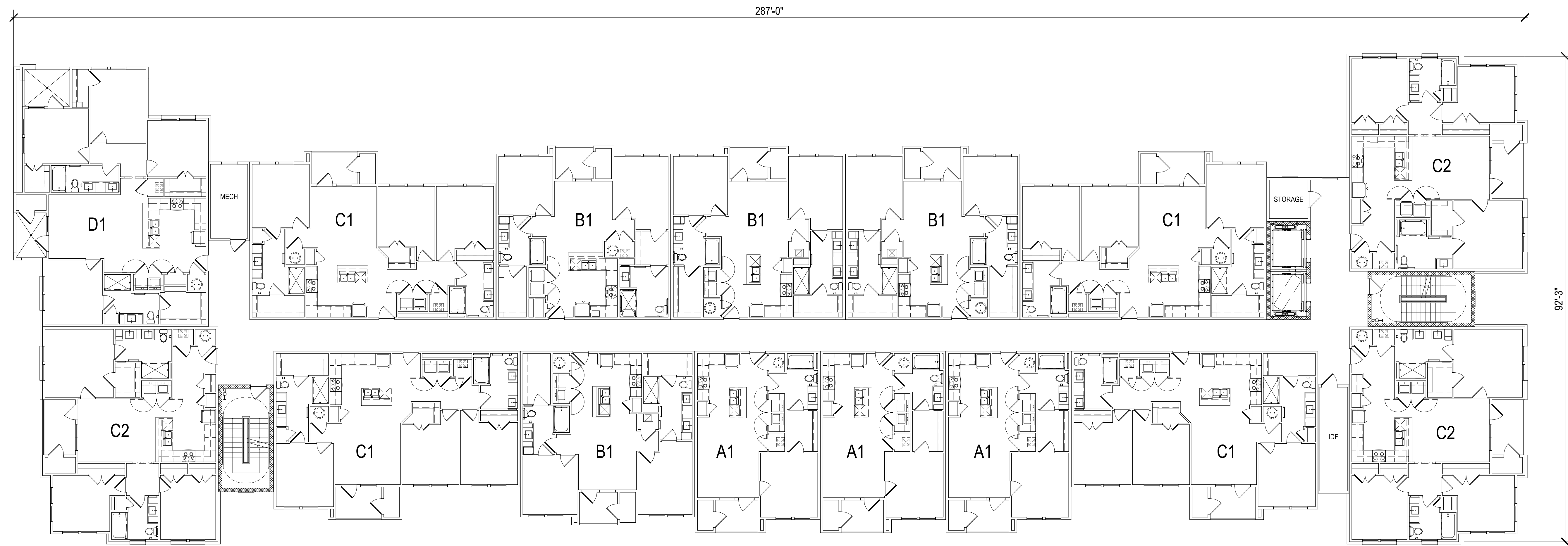


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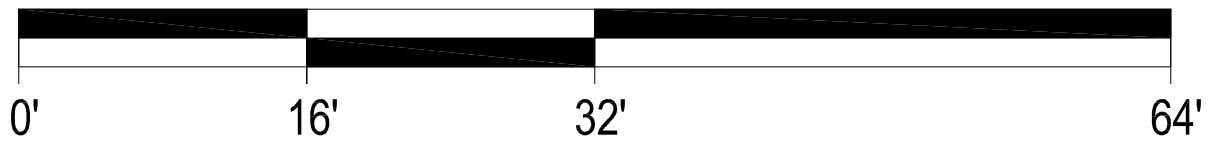


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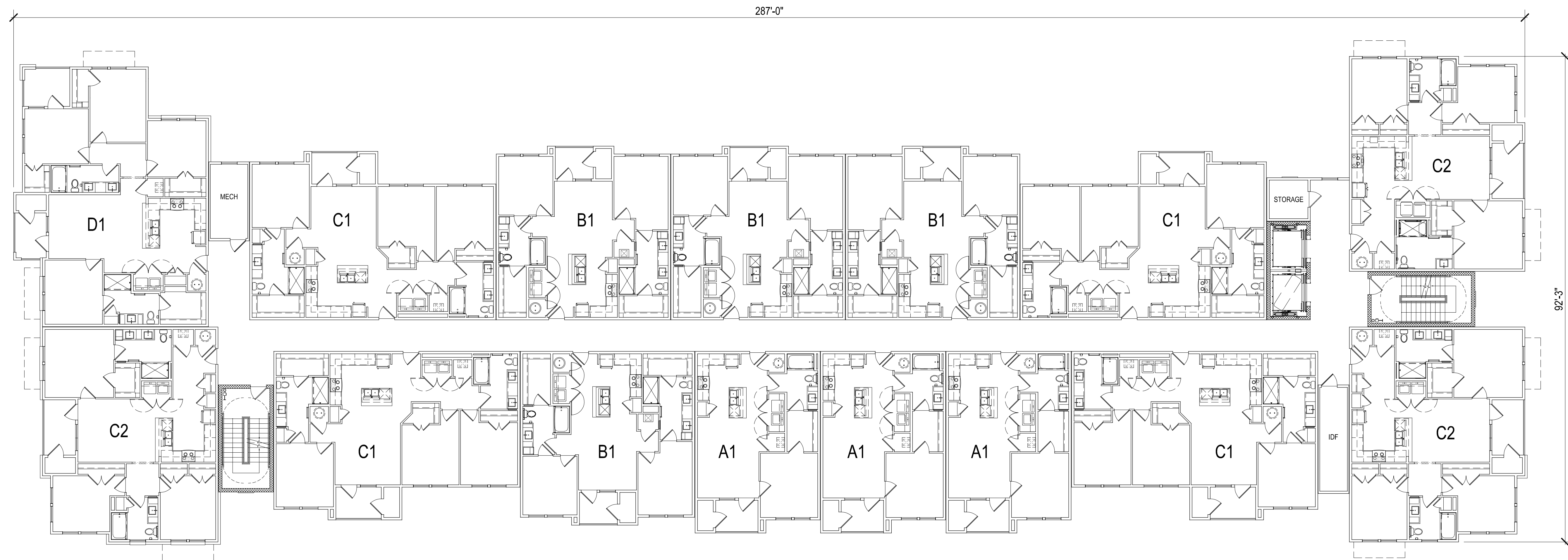




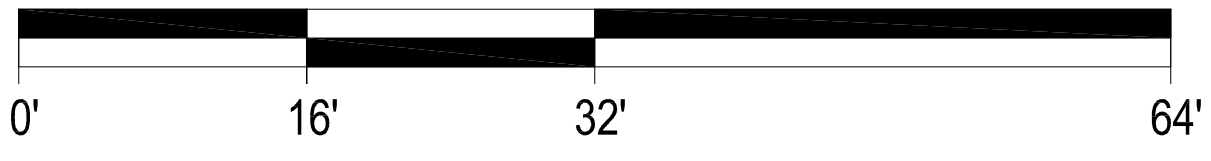
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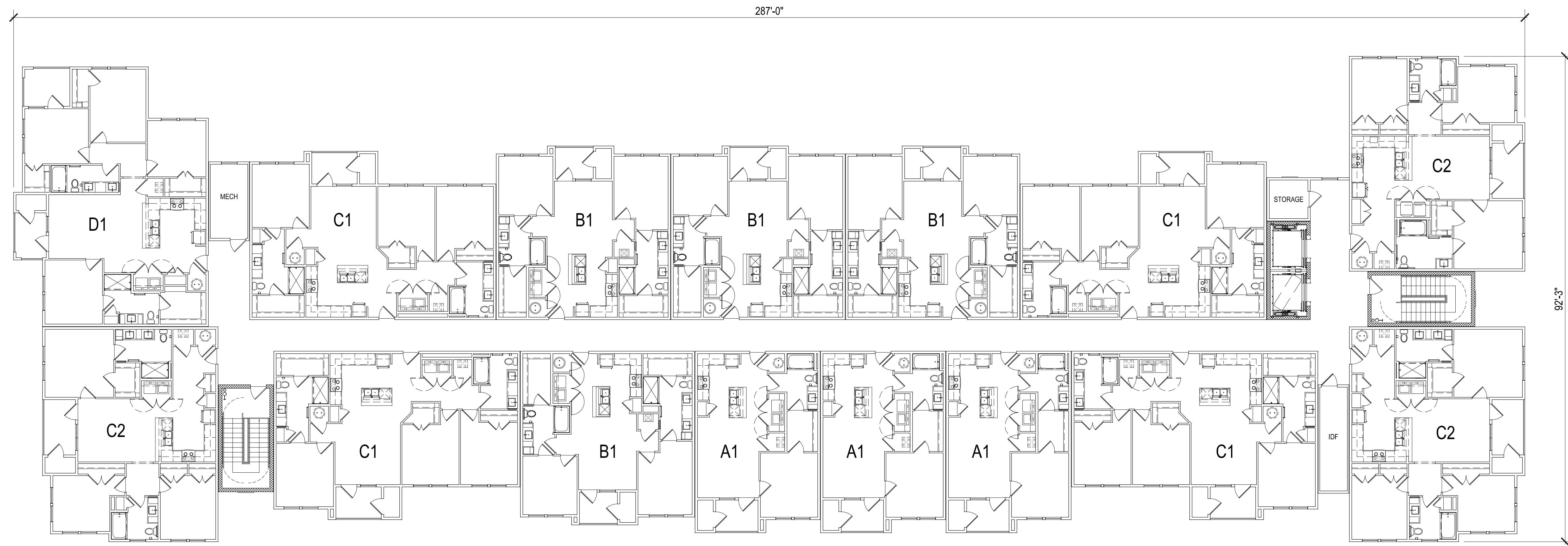
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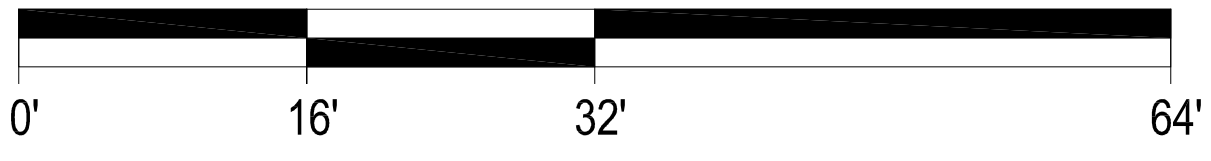
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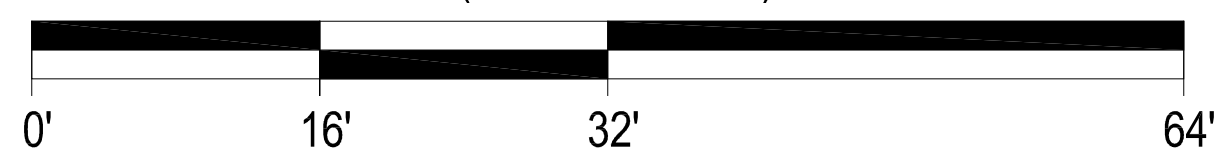
**2 BUILDING TYPE I - SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"

TRANSPARENCY CALCULATION (CLUBHOUSE)			
	WALL AREA	WINDOW AREA	TRANSPARENCY
GROUND STORY	853 SQ. FT.	486 SQ. FT.	57%
UPPER STORY	351 SQ. FT.	124 SQ. FT.	35%
MAXIMUM VERTICAL BLANK WALL MEASUREMENT			11'-10"
MAXIMUM HORIZONTAL BLANK WALL MEASUREMENT			5'-2"



**1 BUILDING TYPE I - WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



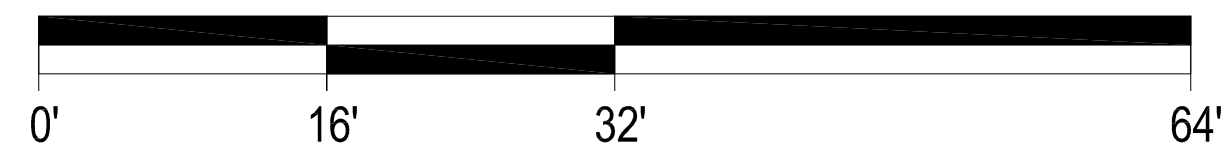


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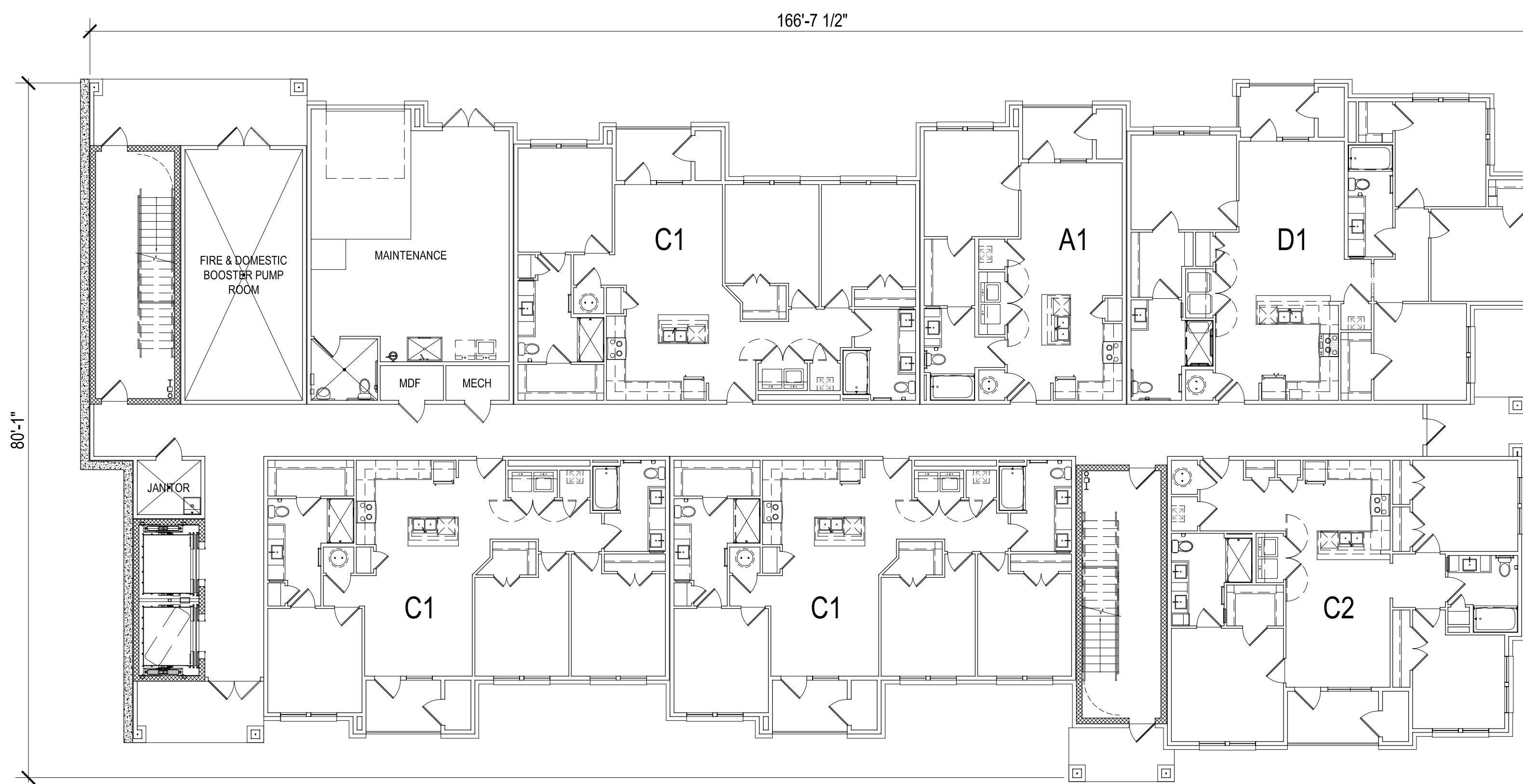


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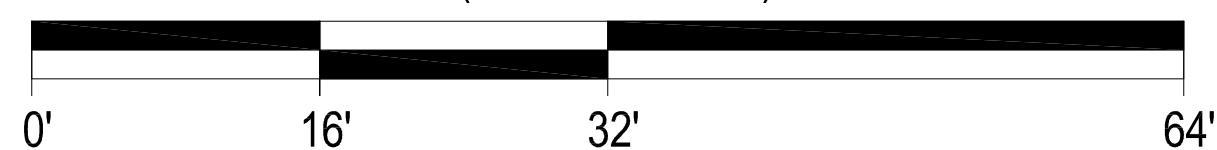
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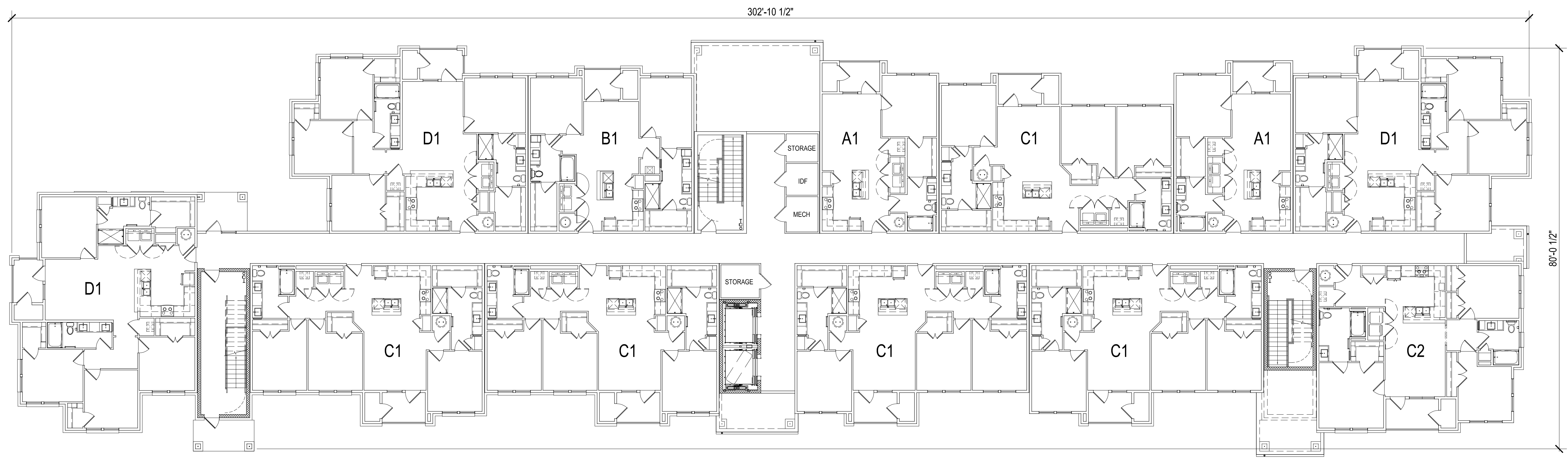




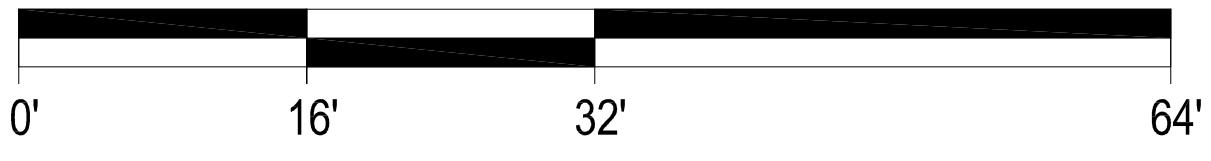


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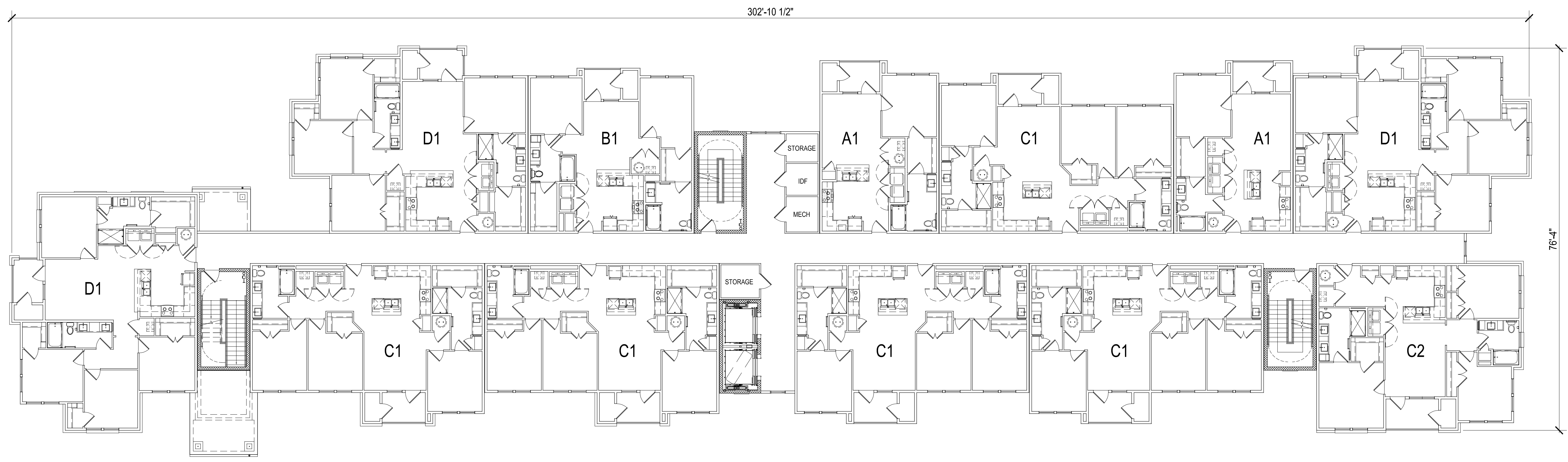




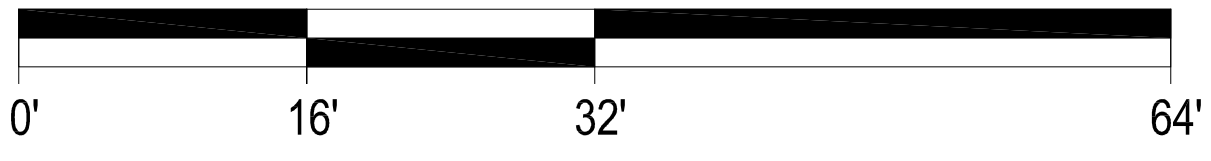
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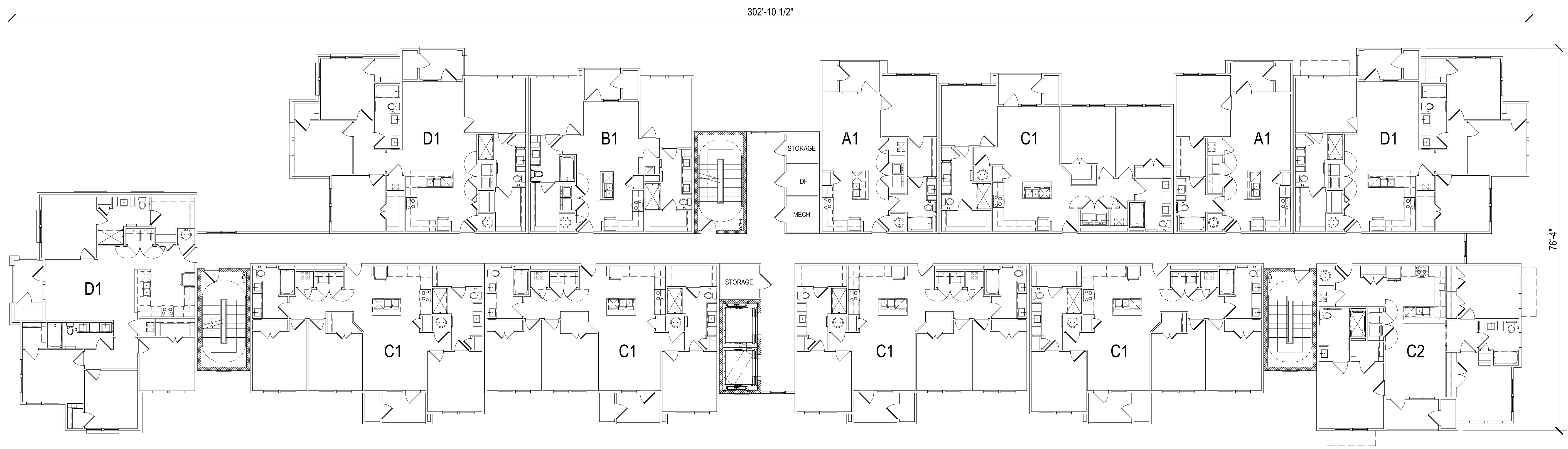
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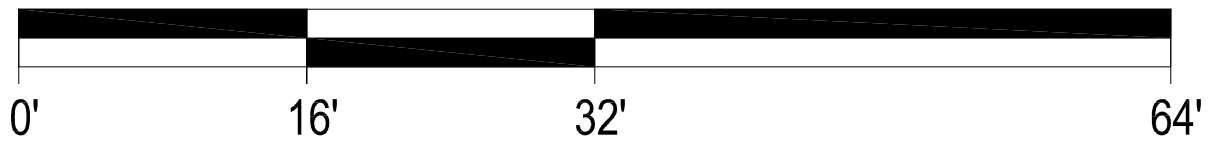
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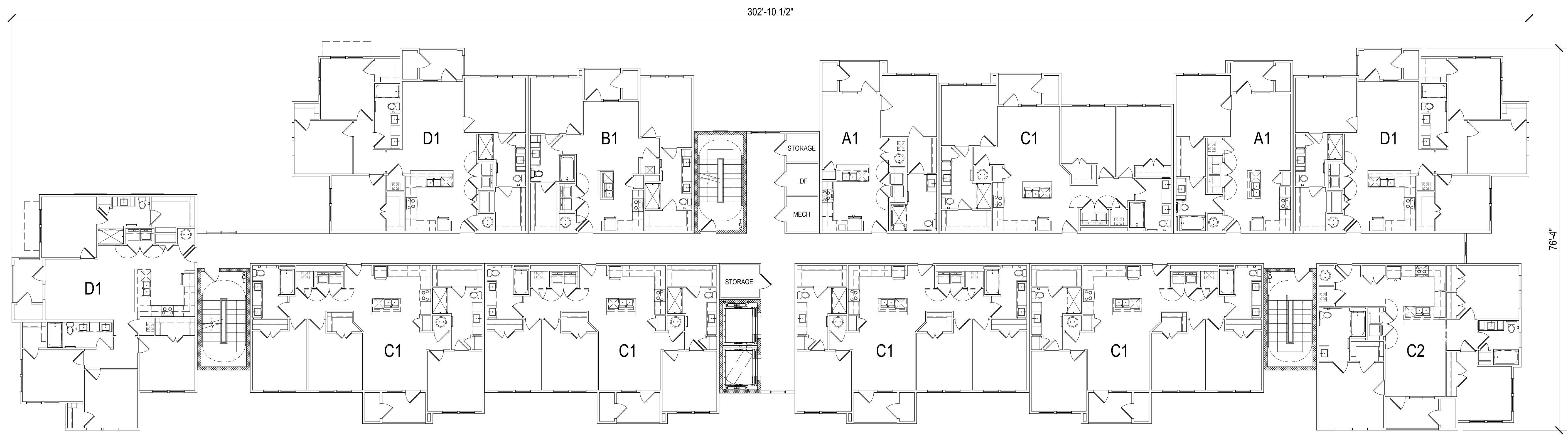
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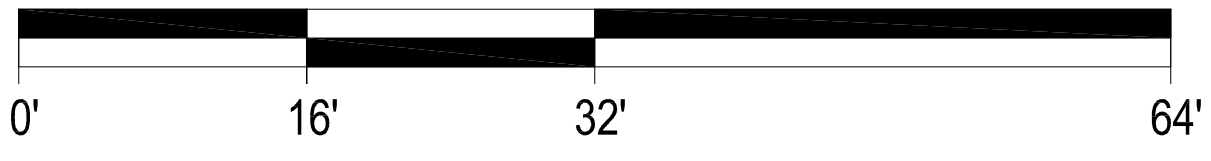
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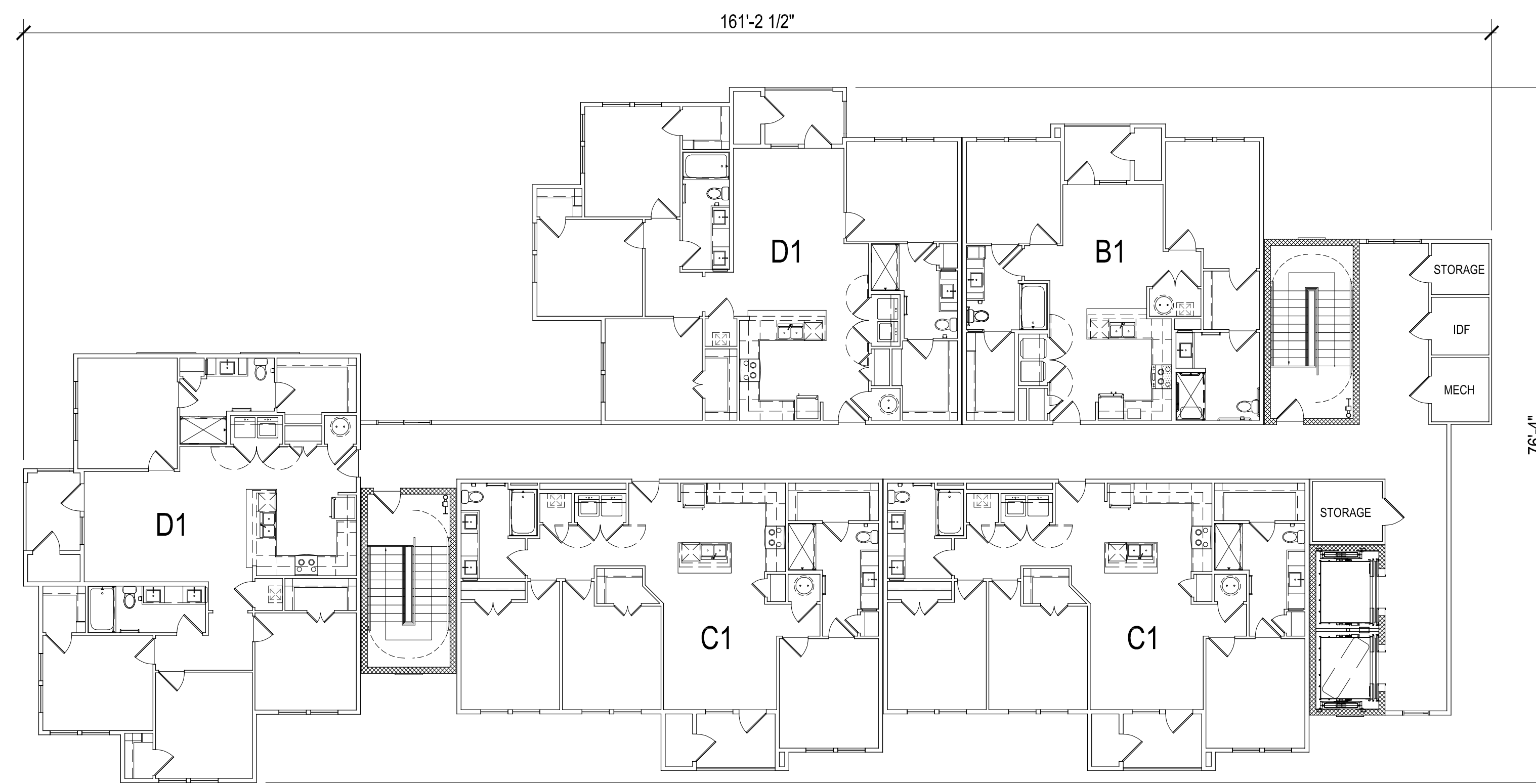
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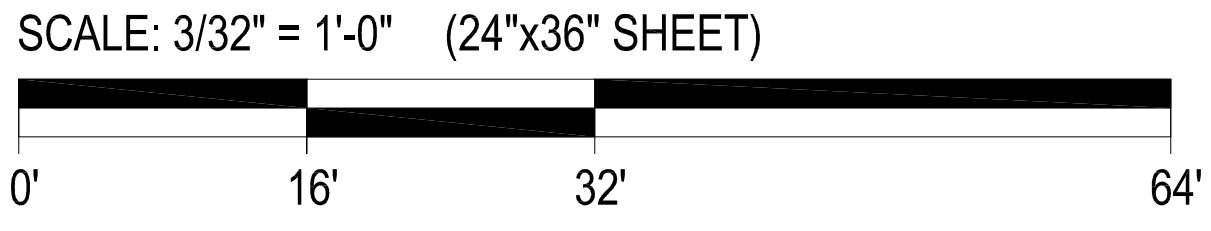




**2 BUILDING TYPE II - EAST ELEVATION**  
SCALE: 3/32" = 1'-0"



**1 BUILDING TYPE II - SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



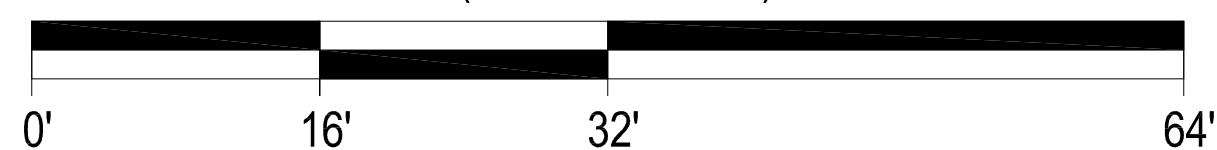


**2 BUILDING TYPE II - WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**1 BUILDING TYPE II - NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

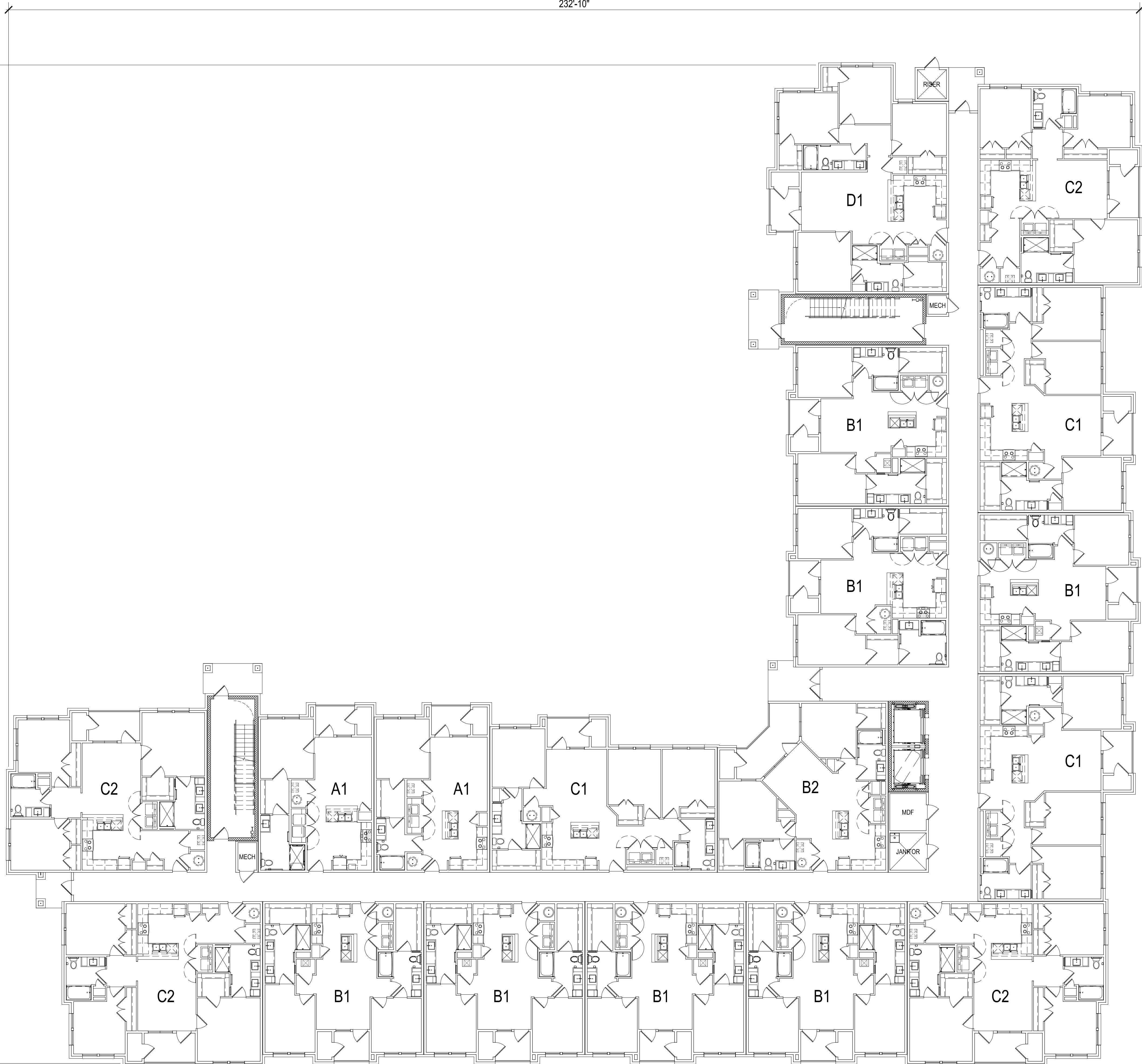
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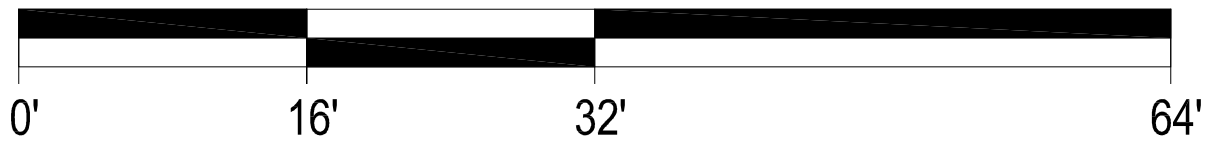


232'-10"

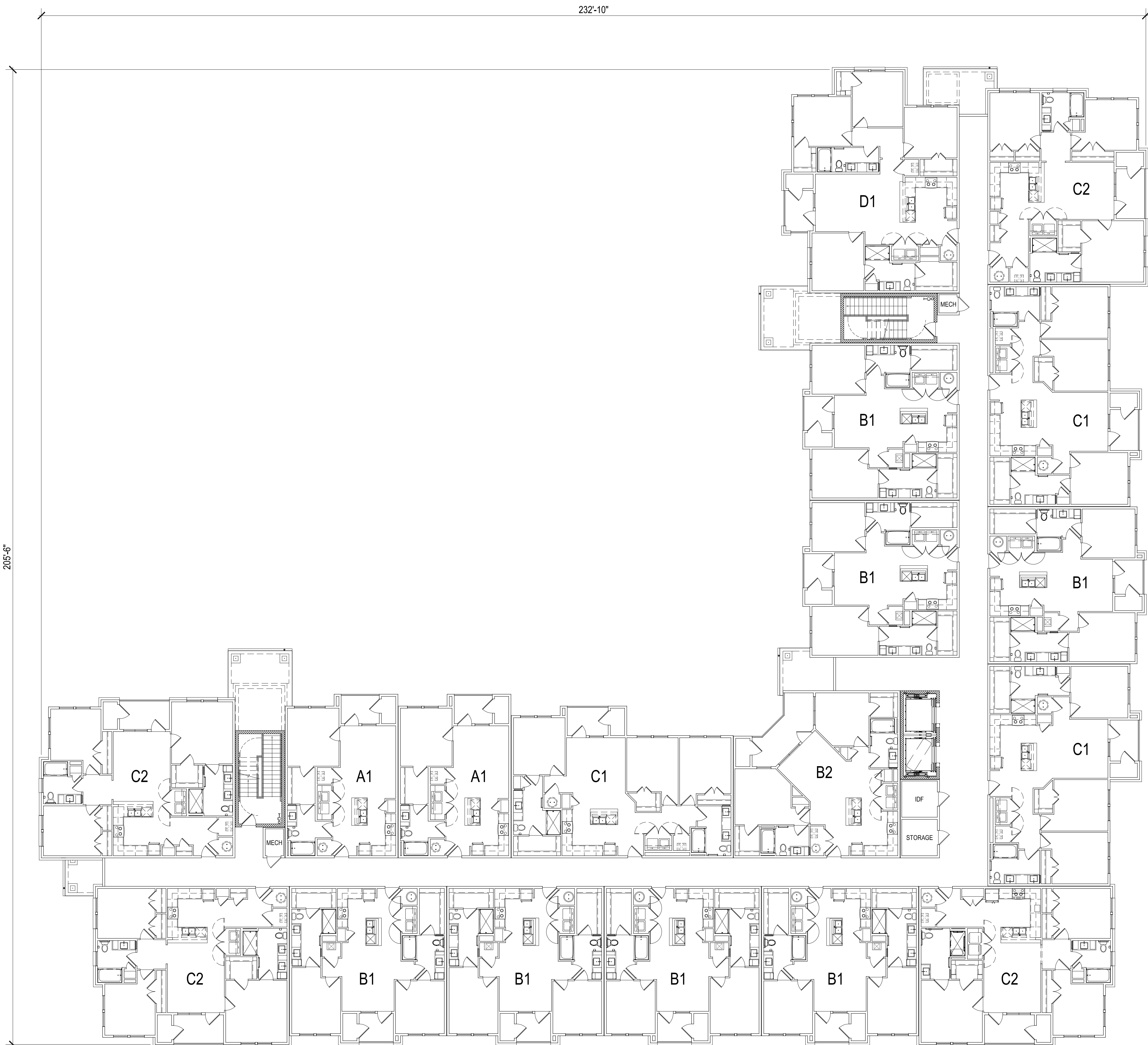
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SCALE: 3/32" = 1'-0" (24"x36" SHEET)



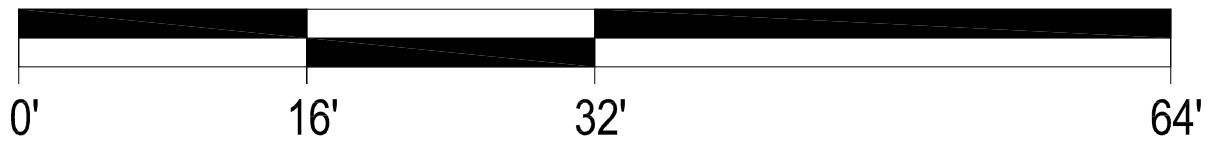
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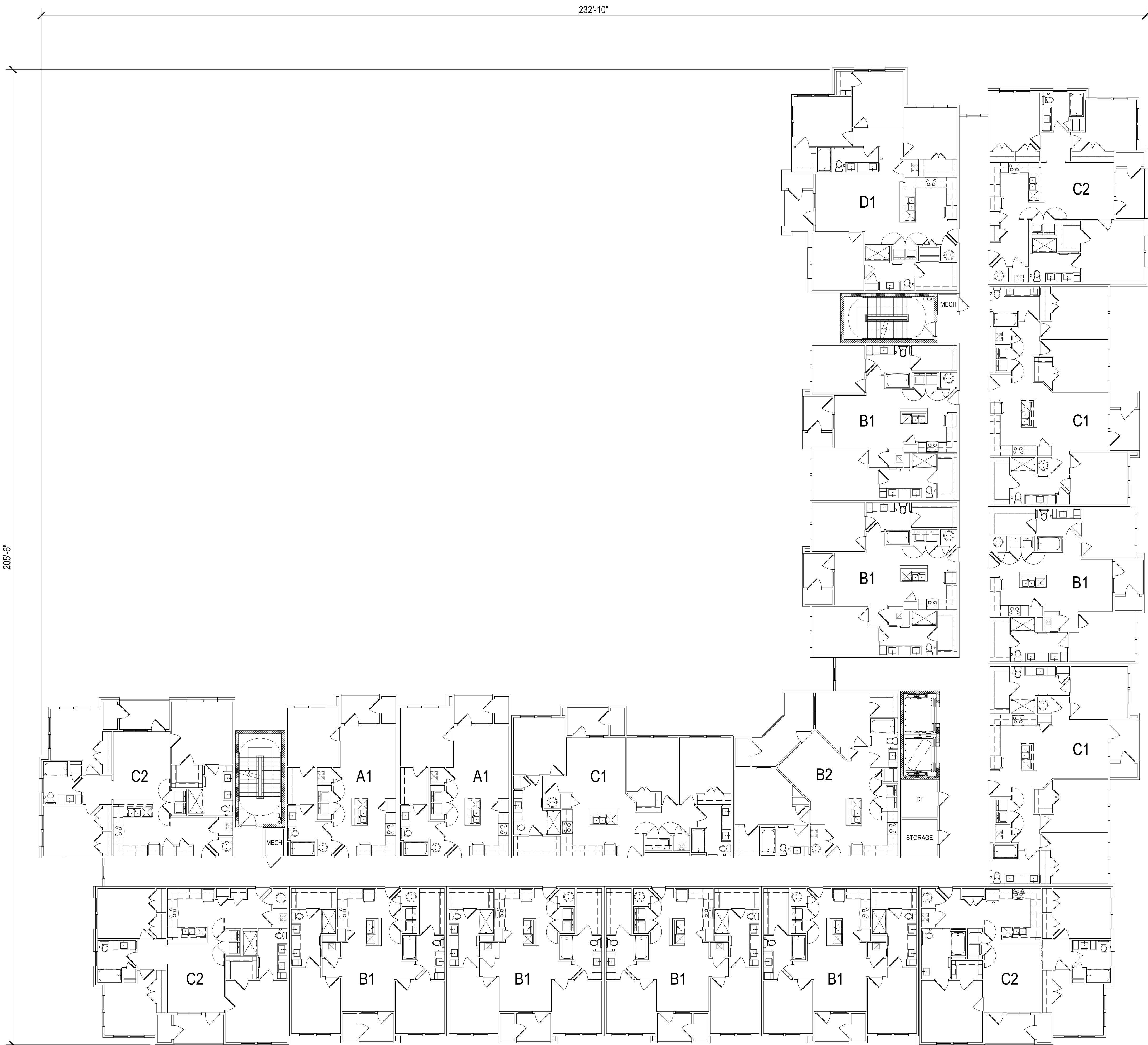
232'-10"

205'-6"

SCALE: 3/32" = 1'-0" (24"x36" SHEET)



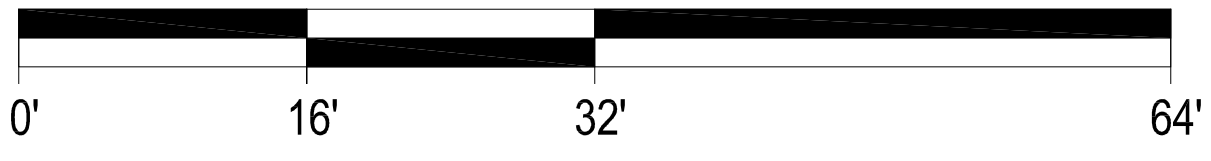
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232'-10"

205'-6"

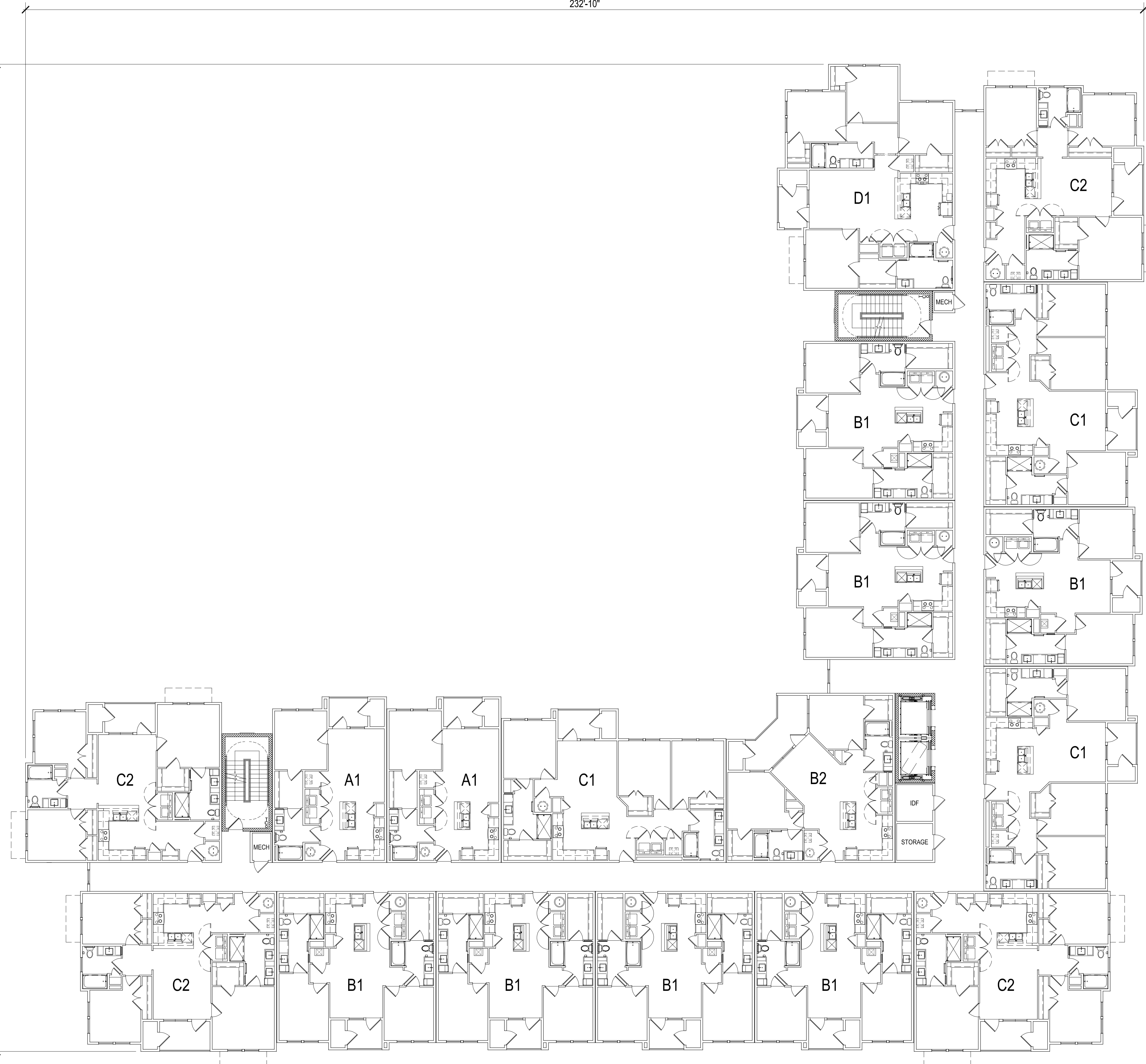
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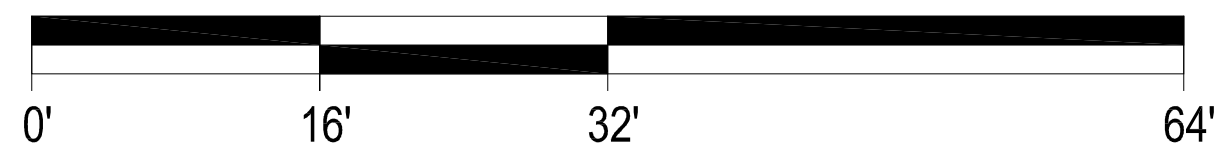
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232'-10"

205'-6"

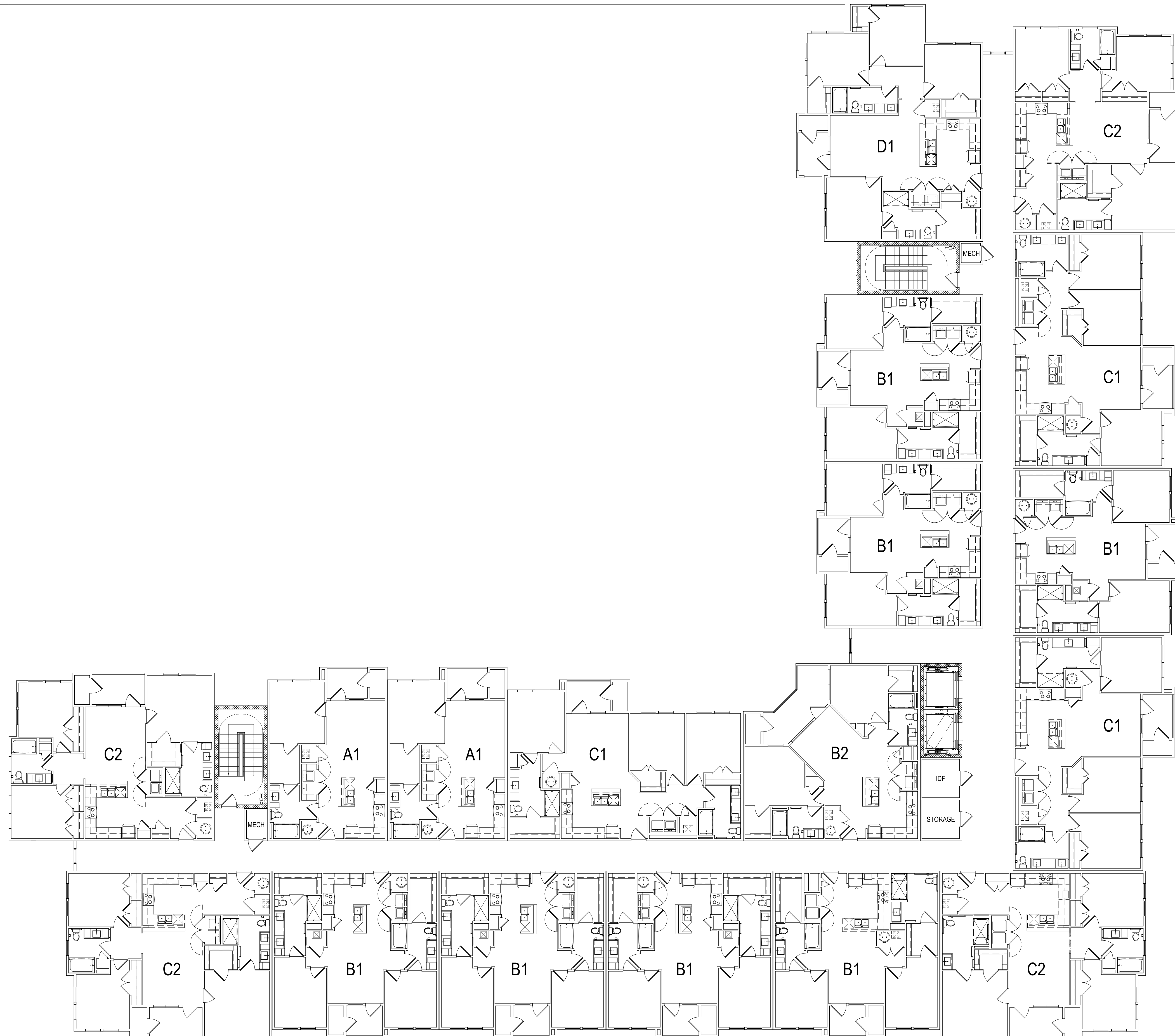


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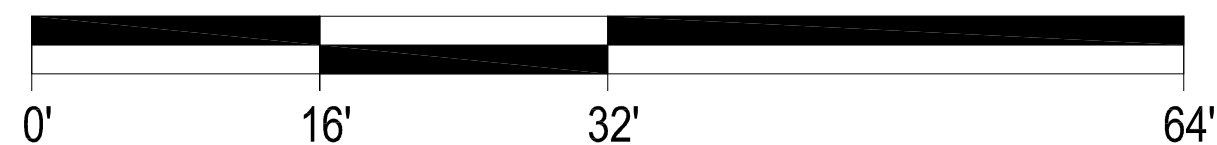


232'-10"

205'-6"



SCALE: 3/32" = 1'-0" (24"x36" SHEET)

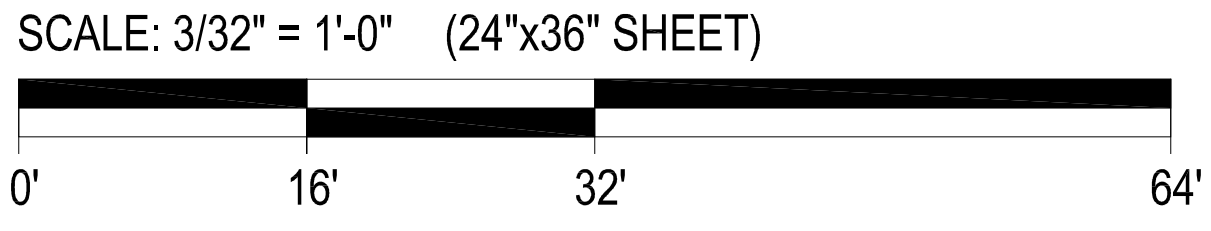




**2 BUILDING TYPE III - WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**1 BUILDING TYPE III - SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



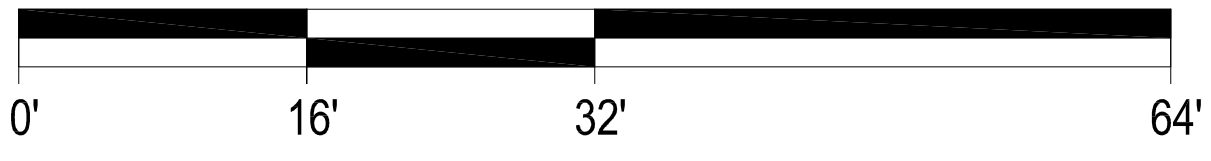


**2 BUILDING TYPE III - NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

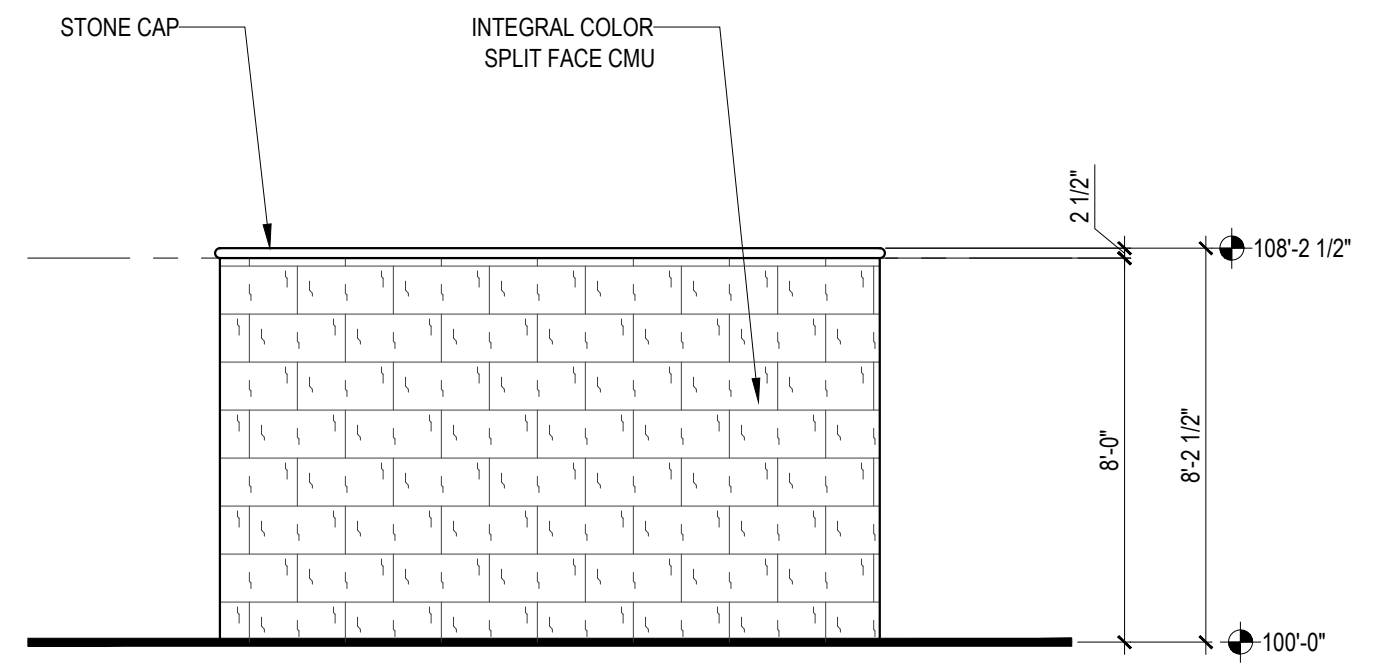


**1 BUILDING TYPE III - EAST ELEVATION**  
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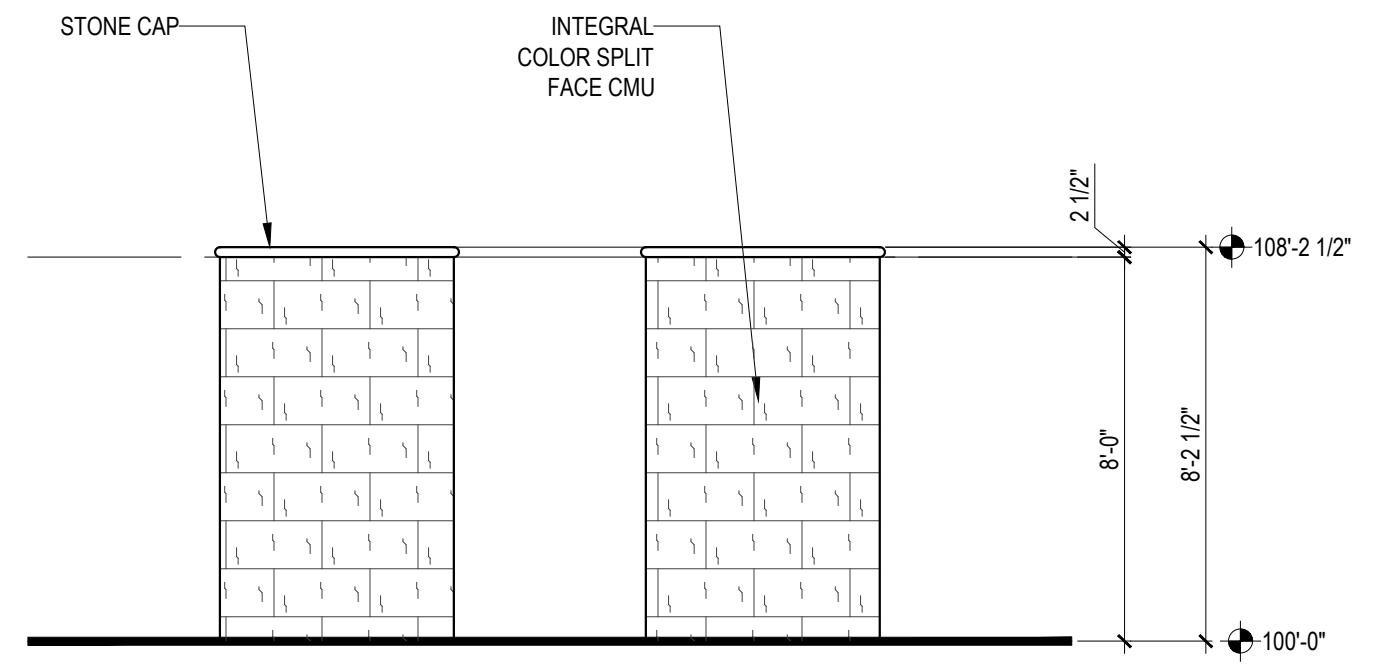
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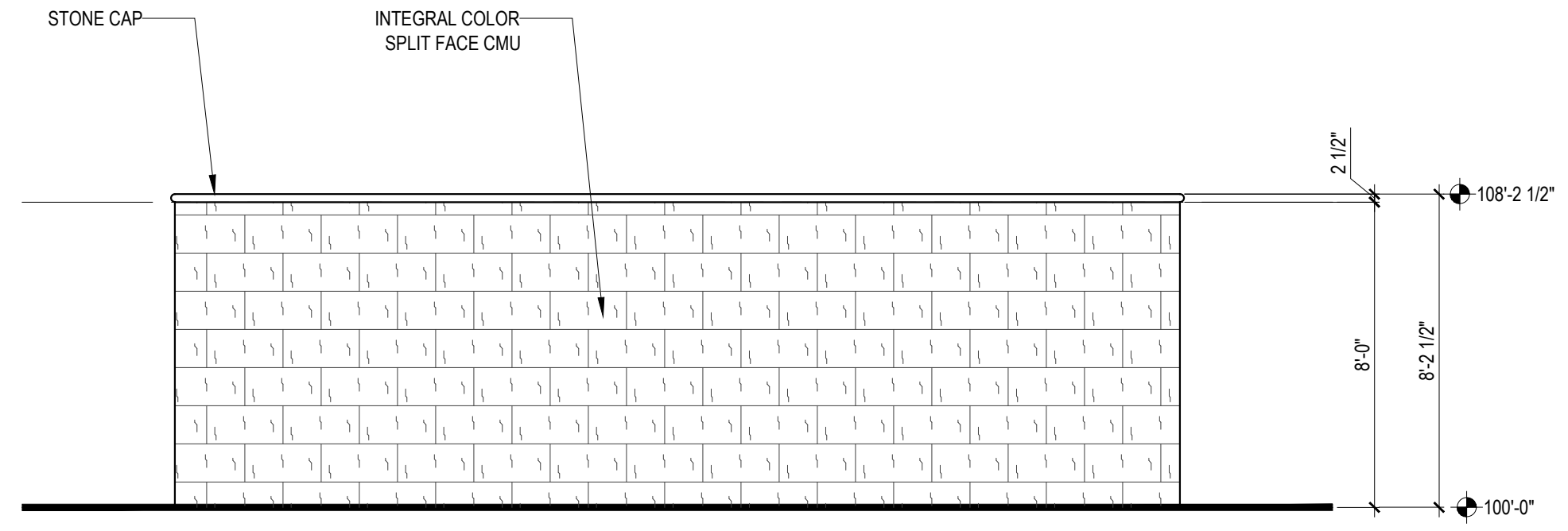
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 USER: E.JONES XREF(8): X:BLK.dwg X:2-DUMPSTER ENCLOSURE.dwg X:LEGEND-NOTES-ACCESSORY.dwg



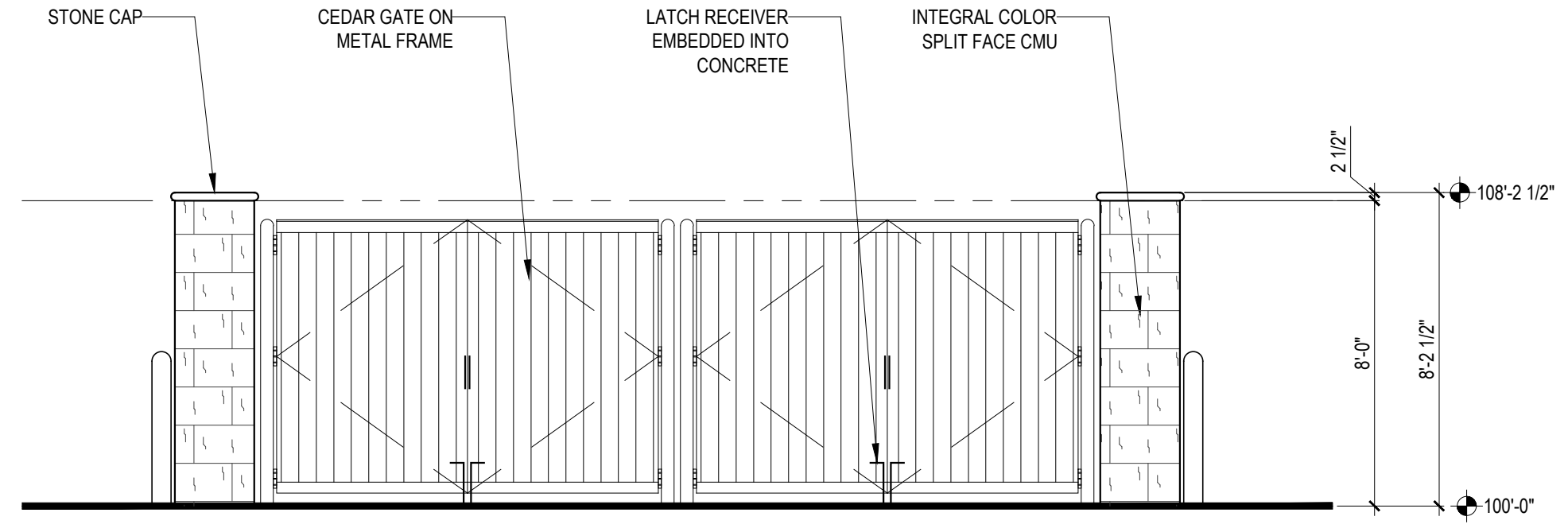
5 2-DUMPSTER ENCLOSURE - RIGHT ELEVATION  
 SCALE: 1/4" = 1'-0"



4 2-DUMPSTER ENCLOSURE - LEFT ELEVATION  
 SCALE: 1/4" = 1'-0"



3 2-DUMPSTER ENCLOSURE - REAR ELEVATION  
 SCALE: 1/4" = 1'-0"

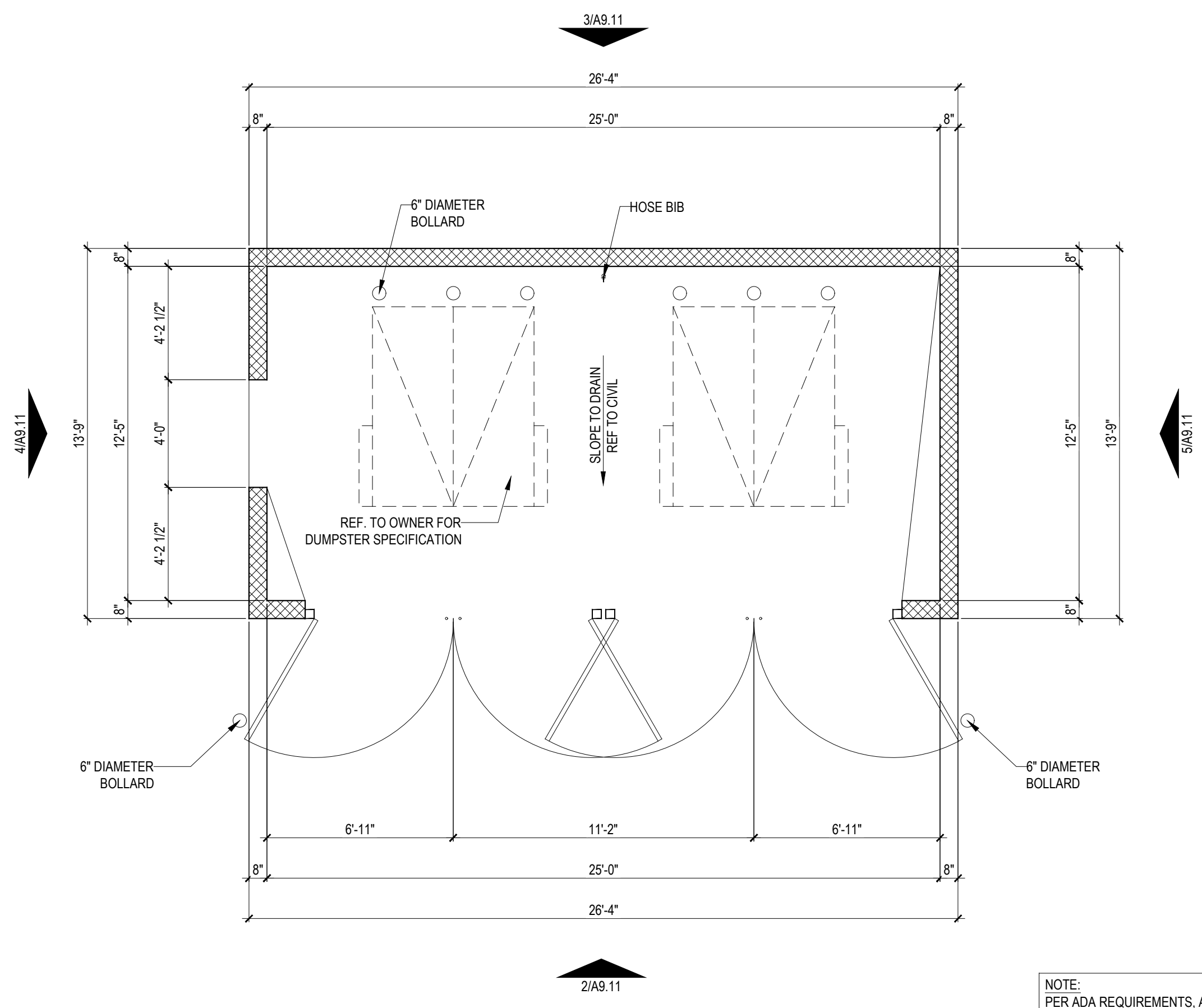
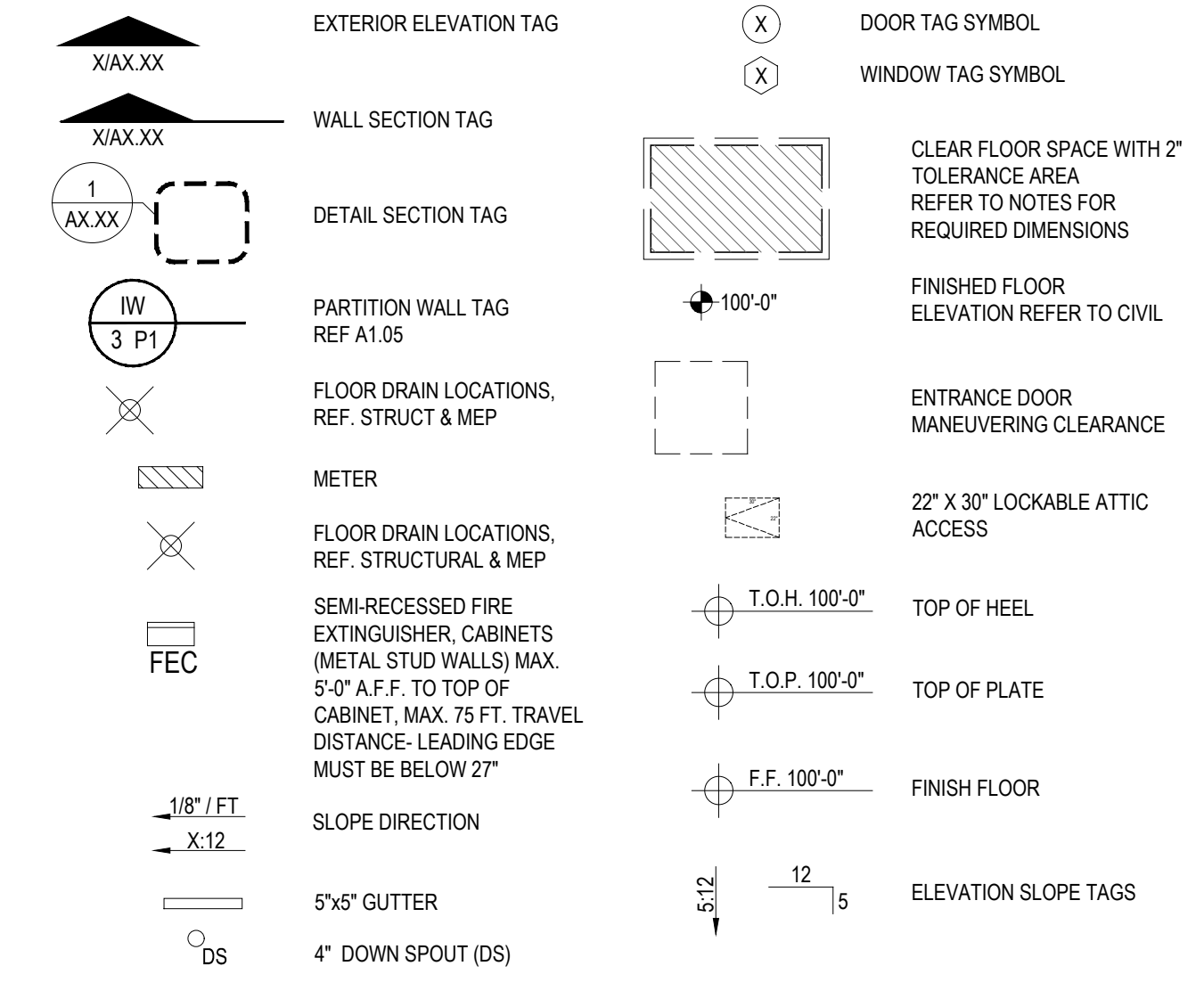


2 2-DUMPSTER ENCLOSURE - FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. PROVIDE A LIGHT BROOM FINISH AT ALL SLOPED CONCRETE SURFACES.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REFER TO SHEET A2.01 FOR TYPICAL DOOR THRESHOLD DETAILS.
4. A MINIMUM RATED 2A-10B-C FIRE EXTINGUISHER SHALL BE LOCATED WITHIN A 75-FOOT TRAVEL DISTANCE IN ALL BUILDINGS. MOUNT CABINETS SUCH THAT THE TOP CABINET SURFACE IS NO MORE THAN 5-FEET ABOVE FINISH FLOOR LEVEL.
5. GUTTERS AND DOWNSPOUTS TO BE PROVIDED AT ALL EAVES OF PITCHED ROOFS.
6. DOWNSPOUT LOCATIONS ARE CONCEPTUAL IN NATURE AND MUST BE COORDINATED BY THE CONTRACTOR ON SITE WITH THE LANDSCAPING, SIDEWALKS AND INDIVIDUAL BUILDING ORIENTATION AND DRAINAGE TO ENSURE THAT OUTFLOW FROM DOWNSPOUTS DOES NOT CROSS WALKING OR DRIVING SURFACES. IT IS THE INTENT OF THE ARCHITECT THAT DOWNSPOUTS TERMINATE IN UNDERGROUND DRAINAGE PIPING AND BE CARRIED AWAY FROM THE BUILDING AND OTHER FINISHED SURFACES WHERE POSSIBLE. LOCATE DOWNSPOUTS AT INTERIOR CORNERS WHEN POSSIBLE.
7. ALL ROOF TRUSSES SHALL BE DESIGNED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF PROJECT. TRUSS SHOP DRAWINGS SHALL BE AVAILABLE AT THE JOBSITE.
8. REFER TO STRUCTURAL DRAWINGS FOR ROOF FRAMING PLANS AND SPECIFICATIONS.
9. TRUSS HEEL HEIGHTS ARE FOR DESIGN INTENT ONLY. TRUSS MANUFACTURER TO VERIFY.
10. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
11. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS A MIN. 6'-8" A.F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
12. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
13. FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
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16. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND SHALL SLOPE AWAY FROM THE BUILDING 5% MIN FOR 10' PER NCBC 1804.4.
17. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL AND HARDSCAPE DRAWINGS FOR FINE GRADING.
18. SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT.
19. ALL EXTERIOR COLORS, FINISHES AND DECORATIVE TRIM BANDS TO TERMINATE AT INSIDE CORNER, U.N.O.
20. ALIGN ALL MECHANICAL VENTS BOTH HORIZONTALLY AND VERTICALLY.

SYMBOL LEGEND



1 2-DUMPSTER ENCLOSURE - FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

NOTE:  
 PER ADA REQUIREMENTS, ANY PEDESTRIAN GATE TO THE TRASH ENCLOSURE MUST NOT REQUIRE MORE THAN 5 LBS. OF FORCE TO OPERATE.  
 GATE OPERATING HARDWARE MUST NOT REQUIRE TIGHT PINCHING OR TWISTING OF THE WRIST AND MUST BE WITHIN 48" A.F.F.

Designed by: GJ  
 Drawn by: EJ  
 Architect of Record: TAD  
 Date Plotted: 10/02/2024  
 Issue for Pricing / Bidding: XX/XX/XXXX  
 Issue for Permit Application: XX/XX/XXXX  
 Issue for Construction: XX/XX/XXXX

Revisions:		
#	DATE	COMMENTS

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TRYON  
 AFFORDABLE HOUSING  
 RALEIGH, WAKE COUNTY  
 NORTH CAROLINA  
 EGG ACQUISITIONS, LLC

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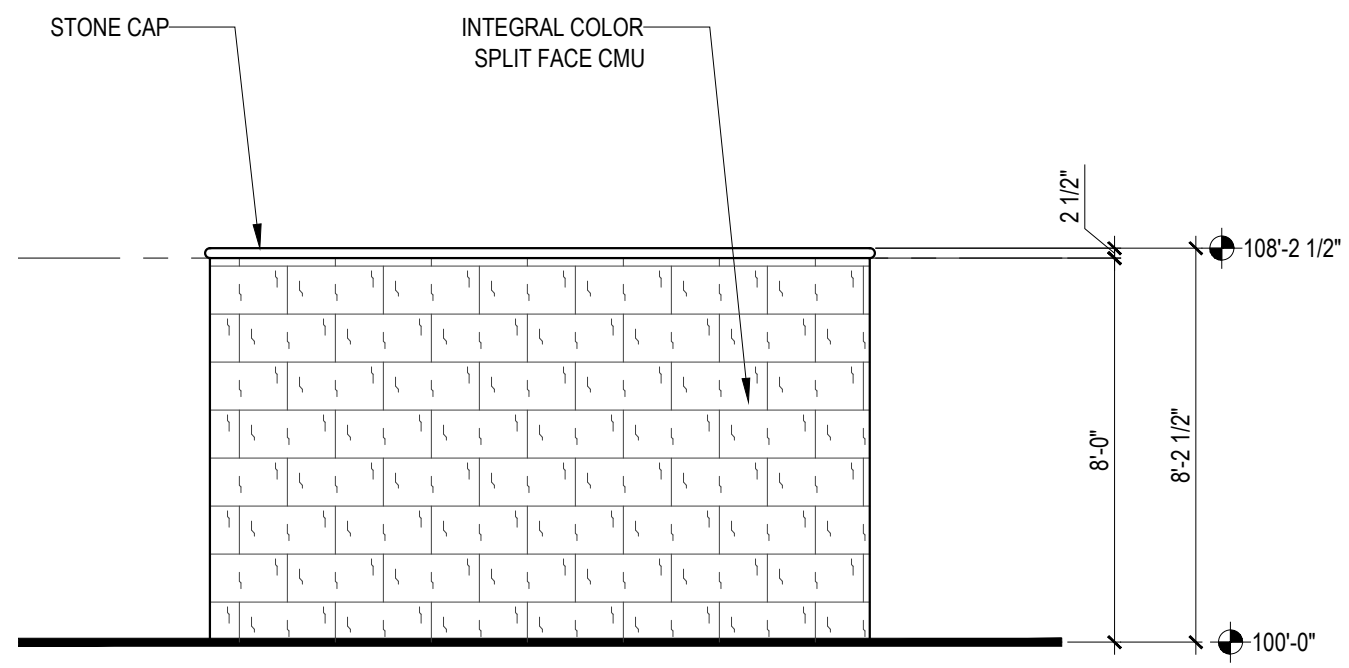
SHEET CONTENTS:  
 2-DUMPSTER ENCLOSURE - FLOOR PLAN AND ELEVATIONS

SHEET NO.  
 A9.11

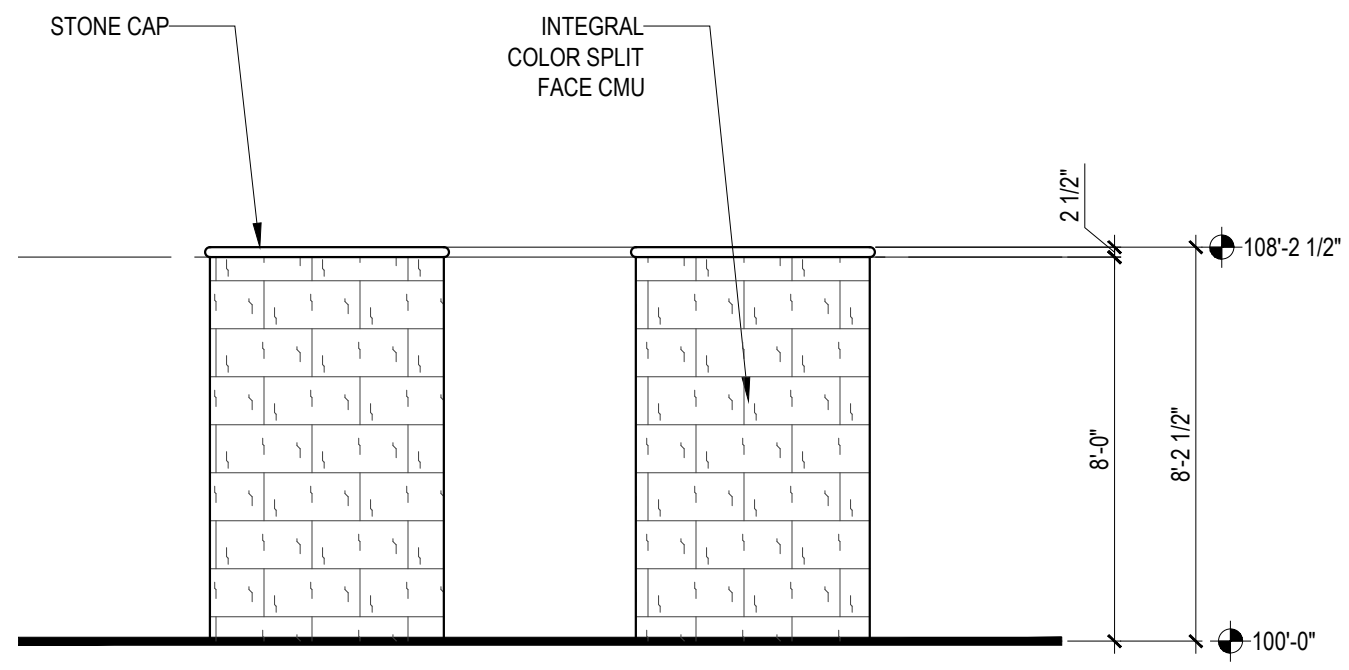
DESIGN DEVELOPMENT SET: 10-02-2024



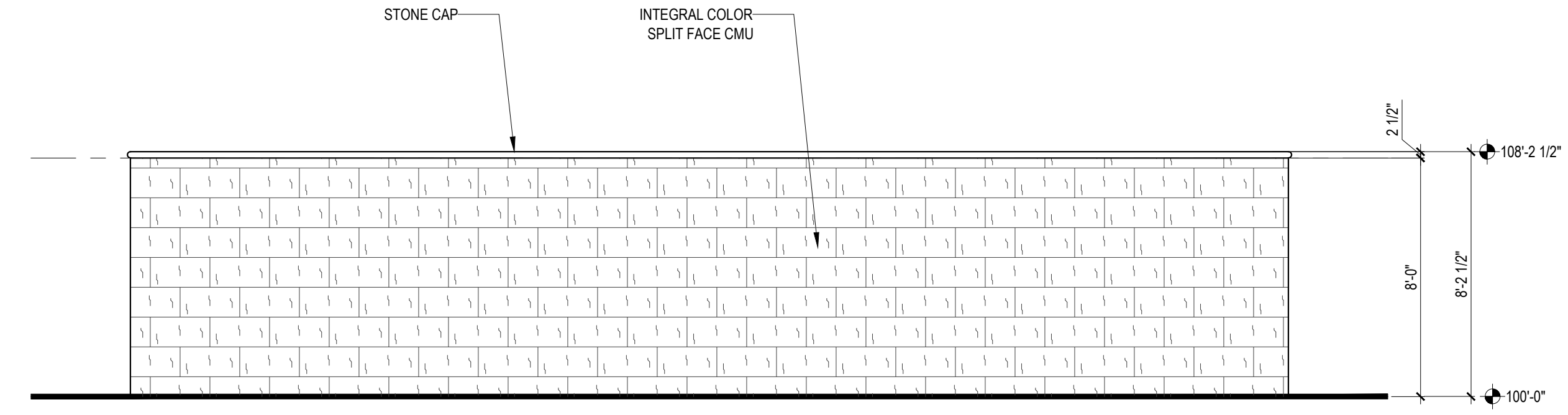
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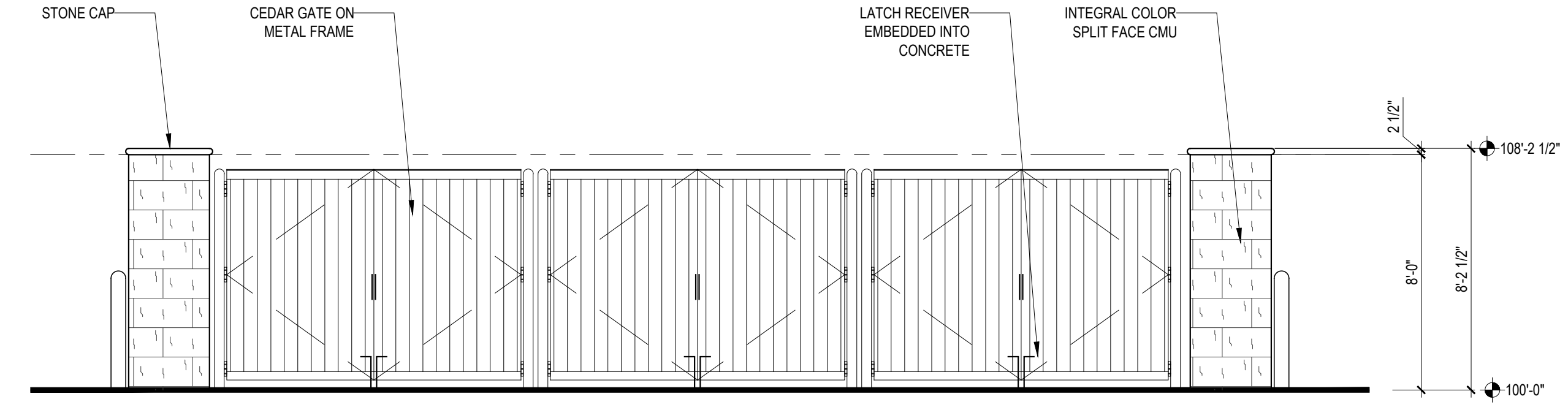
**5 3-DUMPSTER ENCLOSURE - RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 3-DUMPSTER ENCLOSURE - LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**3 3-DUMPSTER ENCLOSURE - REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

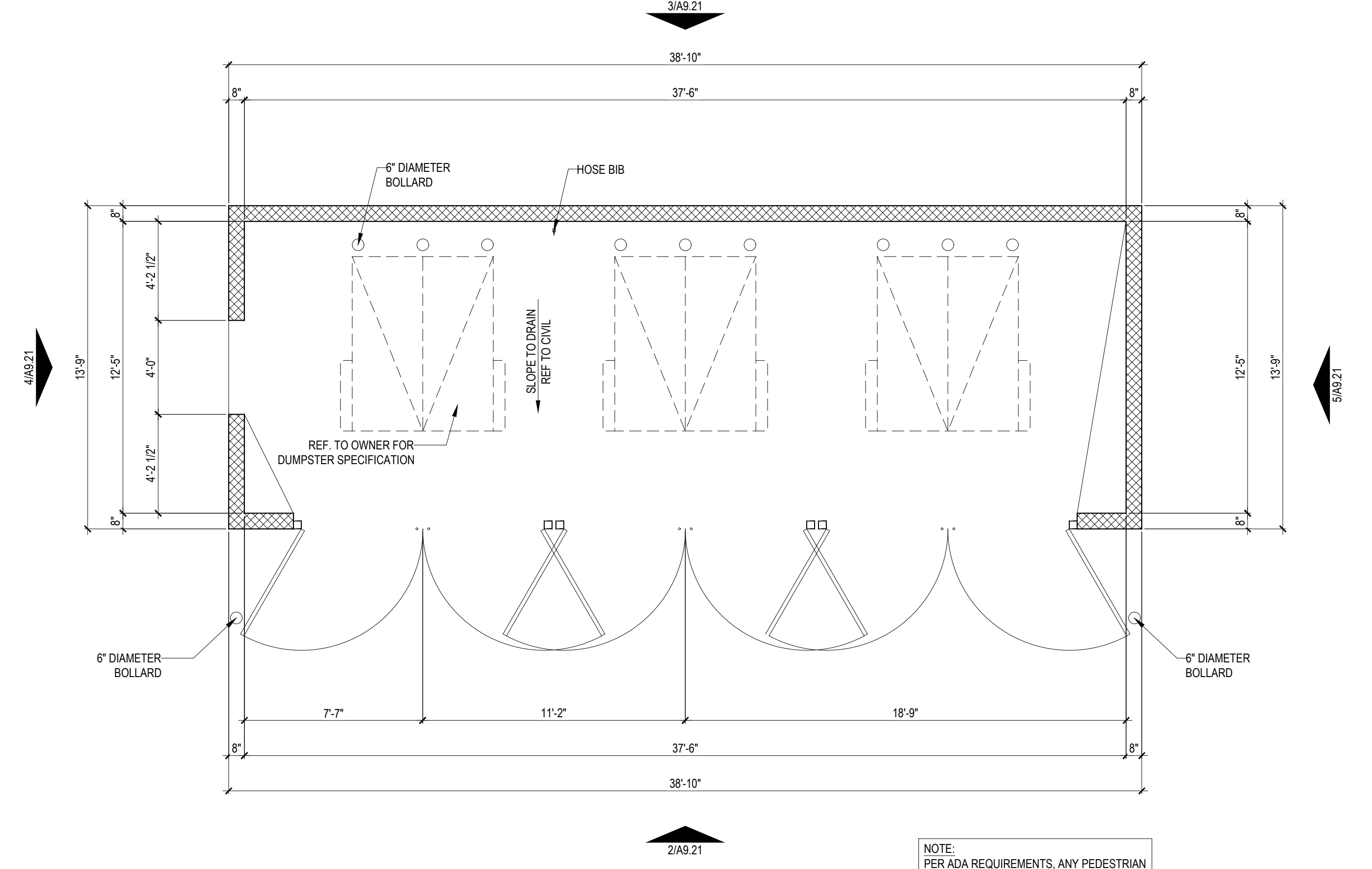


**2 3-DUMPSTER ENCLOSURE - FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

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  - ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REFER TO SHEET A2.01 FOR TYPICAL DOOR THRESHOLD DETAILS.
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### SYMBOL LEGEND

	EXTERIOR ELEVATION TAG		DOOR TAG SYMBOL
	WALL SECTION TAG		WINDOW TAG SYMBOL
	DETAIL SECTION TAG		CLEAR FLOOR SPACE WITH 2' TOLERANCE AREA REFER TO NOTES FOR REQUIRED DIMENSIONS
	PARTITION WALL TAG REF A1.05		FINISHED FLOOR ELEVATION REFER TO CIVIL
	FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP		ENTRANCE DOOR MANEUVERING CLEARANCE
	METER		22' X 30' LOCKABLE ATTIC ACCESS
	FLOOR DRAIN LOCATIONS, REF. STRUCTURAL & MEP		T.O.H. 100'-0"
	SEMI-RECESSED FIRE EXTINGUISHER CABINETS (METAL STUD WALLS) MAX. 5'-0" A.F.F. TO TOP OF CABINET, MAX. 75 FT. TRAVEL DISTANCE- LEADING EDGE MUST BE BELOW 27"		T.O.P. 100'-0"
	SLOPE DIRECTION		F.F. 100'-0"
	SLOPE DIRECTION		ELEVATION SLOPE TAGS
	5'x5' GUTTER		
	4' DOWN SPOUT (DS)		



**1 3-DUMPSTER ENCLOSURE - FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

NOTE:  
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Revisions:		
#	DATE	COMMENTS

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SHEET CONTENTS:  
 3-DUMPSTER ENCLOSURE - FLOOR PLAN AND ELEVATIONS

SHEET NO.  
**A9.21**  
 23301

DESIGN DEVELOPMENT SET: 10-02-2024