

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: ASR-0037-2021

Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
<b>Building Type</b>		<b>Site Transaction History</b>	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-32-20 – 7100</u>	
		Administrative Alternate #: _____	
<b>GENERAL INFORMATION</b>			
Development name: Townebank Falls of Neuse			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <u>7100, 7104 FALLS OF NEUSE RD; 7105, 7109 HARPS MILL RD; RALEIGH, NC 27615</u>			
Site P.I.N.(s): 1717059939; 1717068089; 1717160037; 1717161131			
Please describe the scope of work. Include any additions, expansions, and change of use. Construct a 2 story bank, parking lot, driveways, drive-thru banking area, sidewalk, and associated stormwater and utility infrastructure.			
Current Property Owner/Developer Contact Name: TowneBank			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: TowneBank		Title: _____	
Address: 6001 Harbour View Blvd, Suffolk, VA 23435			
Phone #: _____		Email: _____	
Applicant Name: Diana Howell			
Company: Kimley-Horn and Associates, Inc.		Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601	
Phone #: (919) 678-4129		Email: diana.howell@kimley-horn.com	

### DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-PL-CU	Existing gross floor area (not to be demolished): 0 SF
	Existing gross floor area to be demolished: 13,158 SF
Gross site acreage: 1.95 AC	New gross floor area: 15,000 SF
# of parking spaces required: 38	Total sf gross (to remain and new): 15,000 SF
# of parking spaces proposed: 44	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): TWO FAM RESIDENTIAL	
Proposed use (UDO 6.1.4): OFFICE	

### STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>0.43</u> Square Feet: <u>18,730</u>	Proposed Impervious Surface: Acres: <u>1.05</u> Square Feet: <u>45,738</u>
Is this a flood hazard area?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

### RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br N/A      2br N/A      3br N/A      4br or more N/A	
# of lots: N/A	Is your project a cottage court?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

### SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Diana Howell will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: <u><i>Diana Howell</i></u> 2021.04.27 09:17:33-04'00'	Date: 4/27/2021
Printed Name: Diana Howell	



SITE DATA	
PROJECT INFORMATION	
PROJECT NAME:	TOWNEBANK FALLS OF NEUSE ROAD
CURRENT OWNER:	TOWNEBANK
JURISDICTION:	CITY OF RALEIGH
PIN #'S:	1717059939; 1717068089; 1717160037; 1717161131
STREET ADDRESS:	7100, 7104 FALLS OF NEUSE RD; 7105, 7109 HARPS MILL RD; RALEIGH, NC 27615
SITE SIZE & COVERAGES	
GROSS SITE AREA	2.07 ACRES (90169 SF)
TOTAL ROW DEDICATION	0.12 ACRES
NET SITE AREA	1.95 ACRES (84942 SF)
GROSS BUILDING SQUARE FOOTAGE	15,000 SF
MAXIMUM BUILDING HEIGHT:	30'
PROPOSED BUILDING HEIGHT:	41'-6"
REQUIRED AMENITY AREA	10% (8495 SF)
PROVIDED AMENITY AREA	19% (16228 SF)
ZONING	
EXISTING ZONING:	OX-3-PL-CU
PROPOSED ZONING:	OX-3-PL-CU
EXISTING USE (WITHIN PROJECT LIMITS):	TWO UNIT LIVING
PROPOSED USE (WITHIN PROJECT LIMITS):	BANK/OFFICE
FRONTAGE REQUIREMENTS:	PL
SETBACK REQUIREMENTS	
BUILDING FRONT PROPERTY LINE	5'
PRIMARY STREET BUILD-TO	100'
BUILDING SIDE / REAR PROPERTY LINE	6'
PARKING FRONT PROPERTY LINE	10'
PARKING SIDE / REAR PROPERTY LINE	3'
TRANSITION YARD	35' TYPE B2
PROPERTY LINE LANDSCAPE BUFFER	30' EXCEPT FOR THE FIRST 10' (PER Z-32-20)
7113 HARPS MILL ROAD	
BUILDING USE BREAKDOWN	
MIXED USE OFFICE	
2 STORY, 7,500 SF EACH; 15,000 SF TOTAL	
OFF-STREET PARKING	
REQUIRED PARKING:	1 SPACE/400SF; 15,000 SF = 38 SPACES REQUIRED
REQUIRED HANDICAP PARKING:	3 SPACES (MIN. 1 VAN SPACE)
PARKING MAXIMUM (150% OF MIN. REQUIREMENT):	57 SPACES
PROVIDED PARKING:	44 SPACES
PROVIDED HANDICAP PARKING:	3 SPACES (1 VAN SPACE)
REQUIRED BICYCLE PARKING:	SHORT TERM = 4 SPACES LONG TERM = 4 SPACES
PROVIDED BICYCLE PARKING:	4 OUTDOOR SPACES 4 INDOOR SPACES TO BE PROVIDED INTERIOR TO THE BUILDING

PM PEAK HOUR			
T	TOTAL	IN	OUT
	17	3	14
	37	19	18
	54	22	32
	2	0	2
	2	2	0
	4	2	2
	50	20	30
	12	6	6
	38	14	24
	9	6	3
	29	8	21

FALLS OF  
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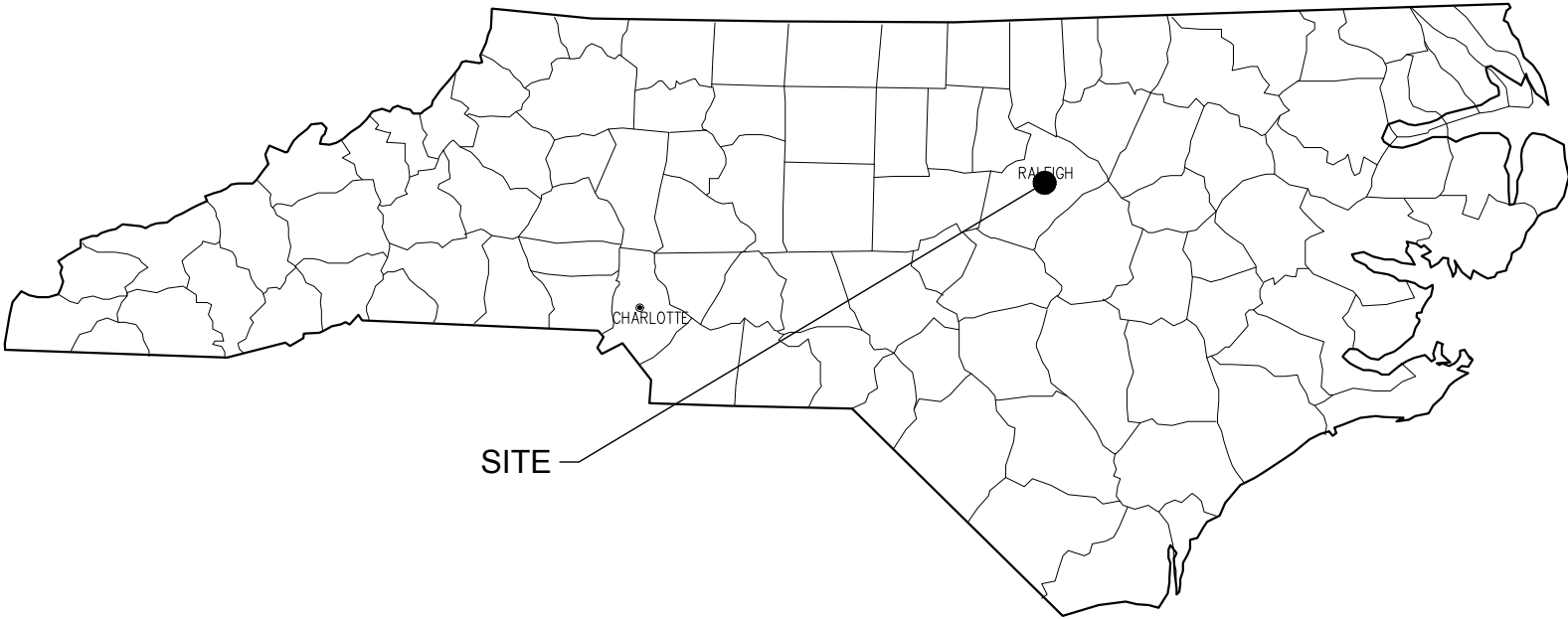
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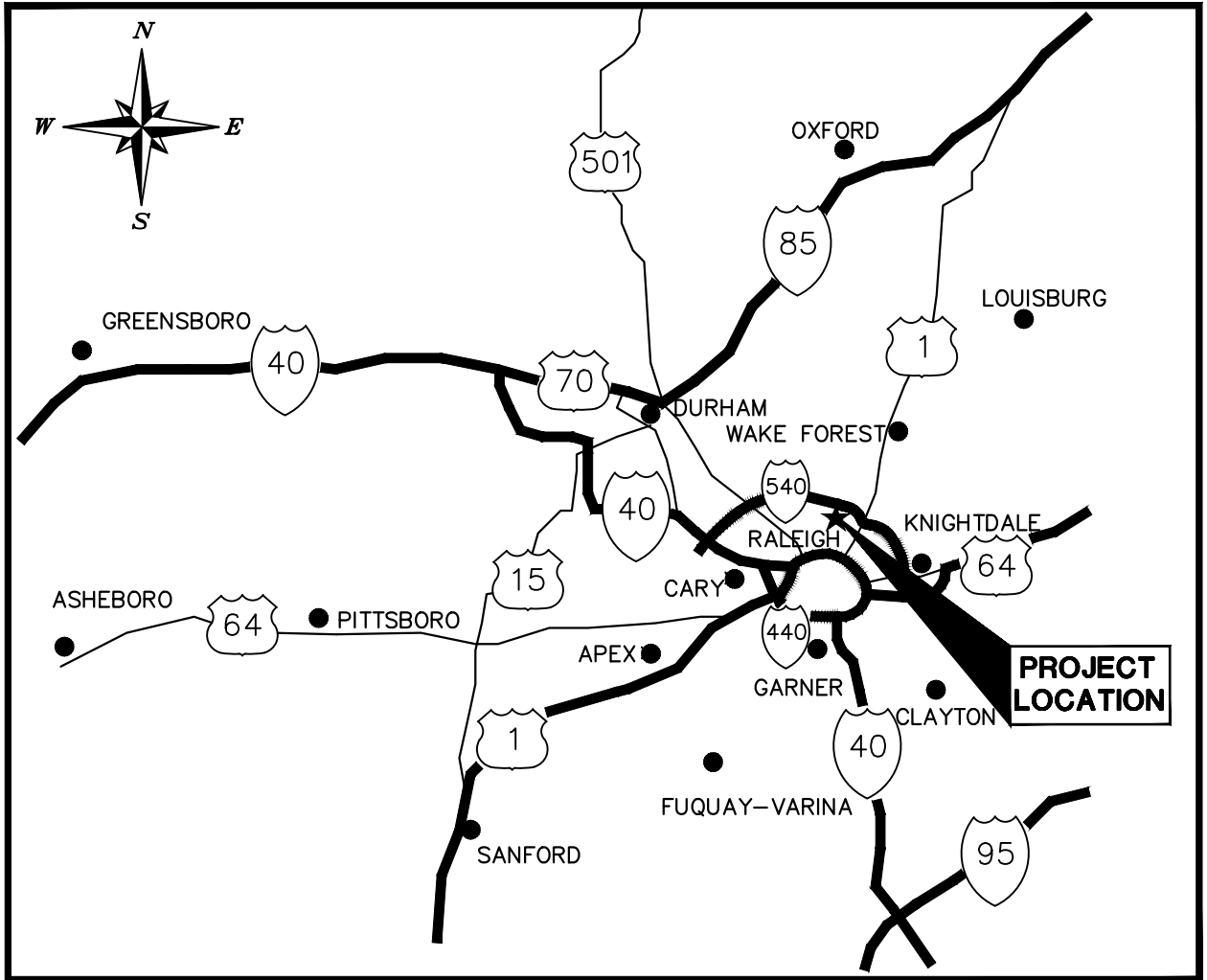


## TIER THREE SITE PLAN FOR:

# TOWNEBANK FALLS OF NEUSE ROAD

ASR-0037-2021

7100 FALLS OF NEUSE RD (PIN#:1717059939), 7104 FALLS OF NEUSE RD (PIN# 1717068089),  
7105 HARPS MILL RD (PIN# 1717160037), 7109 HARPS MILL RD (PIN# 1717161131);  
RALEIGH, NORTH CAROLINA 27615



### PROJECT LOCATION

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	ADMINISTRATIVE ALTERNATE
C1.0	EXISTING CONDITIONS
C2.0	DEMOLITION PLAN
C4.0	SITE PLAN
C4.1	SIGHT DISTANCE PLAN
C5.0	GRADING & DRAINAGE PLAN
C5.1	UNDERGROUND DETENTION DETAIL
C6.0	UTILITY PLAN
C7.0	SITE DETAILS
TC1.0	TREE CONSERVATION AREA PLAN
L1.0	LANDSCAPE PLANTING PLAN
L2.0	LANDSCAPE DETAILS
SL1.0	SITE LIGHTING PLAN
A204	ARCHITECTURAL ELEVATIONS

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<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Z-32-20-7100 Administrative Alternate #:	
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Phone #:	Email:
Applicant Name: Diana Howell	
Company: Kimley-Horn and Associates, Inc.	Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601
Phone #: (919) 678-4129	Email: diana.howell@kimley-horn.com

Page 1 of 2

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If yes, please provide: Alluvial soils: Flood study: FEMA Map Panel #:	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

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Signature:	Date: 2021.04.27 09:17:33-04'00'
Printed Name: Diana Howell	

Page 2 of 2

REVISION 02.19.21

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VICINITY MAP

SCALE: 1" = 500'



Know what's below.  
Call before you dig.

### OWNER/DEVELOPER

TOWNEBANK  
6001 HARBOUR VIEW BLVD  
SUFFOLK, VA 23435  
CONTACT: KEITH HORTON  
EMAIL: KEITH.HORTON@TOWNEBANK.NET

### CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST, STE 600  
RALEIGH, NC 27601  
CONTACT: DIANA HOWELL, P.E.  
PHONE: (919) 678-4129  
EMAIL: DIANA.HOWELL@KIMLEY-HORN.COM

### SURVEYOR

B.L. SCOTT LAND SURVEYING  
P.O. BOX 12493  
RALEIGH, NC 27605  
CONTACT: BARRY L. SCOTT, NC PLS  
PHONE: (919) 859-0464

### ARCHITECT

HBA ARCHITECTURE & INTERIOR DESIGN, INC.  
ONE COLUMBUS CENTER SUITE 1000  
VIRGINIA BEACH, VA 23462  
CONTACT: KATIE K. MARTIN  
PHONE: (757) 995-7681  
EMAIL: KATIE@HBAONLINE.COM

### LANDSCAPE ARCHITECT

SEPI, INC.  
ONE GLENWOOD AVENUE, SUITE 600  
RALEIGH, NC 27603  
CONTACT: JAE WAGONER  
PHONE: (919) 747-5830  
EMAIL: JWAGONER@SEPIINC.COM

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NC DOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM A TOPOGRAPHIC SURVEY FOR TOWNEBANK FALLS OF NEUSE ROAD AND DATED 08/12/2020; LOCATED IN WAKE COUNTY, RALEIGH, NC 27615. PROVIDED BY SEPI ENGINEERING AND CONSTRUCTION, INC. 1 GLENWOOD AVE, STE 600, RALEIGH, NC 27603. 919-789-9977. EXISTING INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE TO THE ENGINEER AT TIME OF DESIGN AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY OWNER OR ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
NC LICENSE #F-0102

KHA PROJECT  
116860000  
DATE  
10/01/2021  
SCALE AS SHOWN  
DESIGNED BY THO  
DRAWN BY THO  
CHECKED BY DMH

COVER SHEET

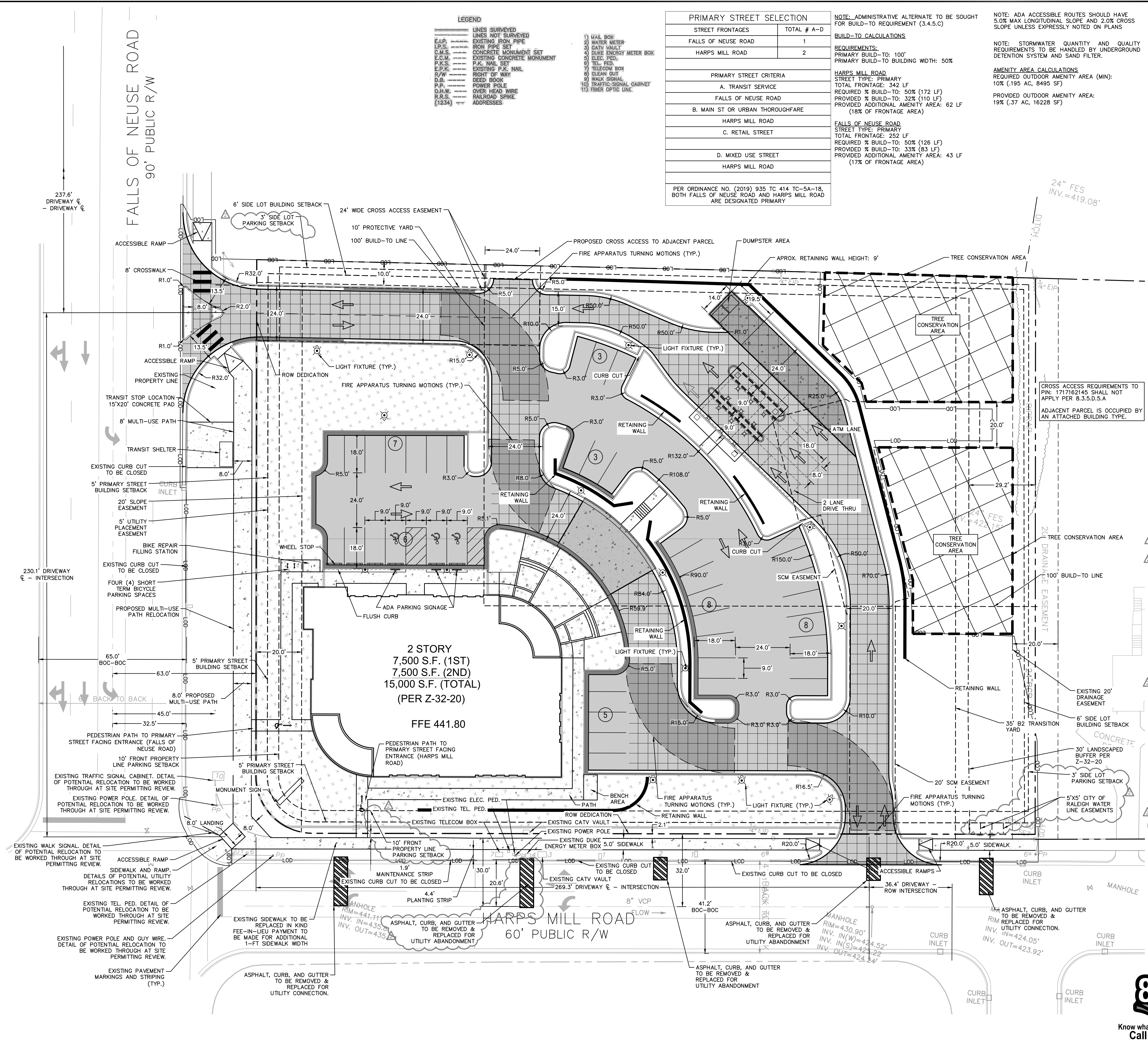
TOWNEBANK  
FALLS OF NEUSE

SHEET NUMBER  
C0.0

RALEIGH



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kinney-Horn and Associates, Inc. shall be without liability to Kinney-Horn and Associates, Inc.



PRIMARY STREET SELECTION	
STREET FRONTAGES	TOTAL # A-D
FALLS OF NEUSE ROAD	1
HARPS MILL ROAD	2
PRIMARY STREET CRITERIA	
A. TRANSIT SERVICE	
FALLS OF NEUSE ROAD	
B. MAIN ST OR URBAN THOROUGHFARE	
HARPS MILL ROAD	
C. RETAIL STREET	
D. MIXED USE STREET	
HARPS MILL ROAD	
PER ORDINANCE NO. (2019) 935 TC 414 TC--5A--18, BOTH FALLS OF NEUSE ROAD AND HARPS MILL ROAD ARE DESIGNATED PRIMARY	

**NOTE: ADMINISTRATIVE ALTERNATE TO BE SOUTHERN FOR BUILD-TO REQUIREMENT (3.4.5.C)**

**BUILD-TO CALCULATIONS**

**REQUIREMENTS:**

PRIMARY BUILD-TO: 100'  
PRIMARY BUILD-TO: BUILDING WIDTH: 50%

**HARPS MILL ROAD**

STREET TYPE: PRIMARY  
TOTAL FRONTAGE: 342 LF  
REQUIRED % BUILD-TO: 50% (172 LF)  
REQUIRED % BUILD-TO: 32% (110 LF)  
PROVIDED ADDITIONAL AMENITY AREA: 62 LF  
(18% OF FRONTAGE AREA)

**FALLS OF NEUSE ROAD**

STREET TYPE: PRIMARY  
TOTAL FRONTAGE: 252 LF  
REQUIRED % BUILD-TO: 50% (126 LF)  
PROVIDED % BUILD-TO: 33% (83 LF)  
PROVIDED ADDITIONAL AMENITY AREA: 43 LF  
(17% OF FRONTAGE AREA)

NOTE: ADA ACCESSIBLE ROUTES SHOULD HAVE  
5.0% MAX LONGITUDINAL SLOPE AND 2.0% CROSS  
SLOPE UNLESS EXPRESSLY NOTED ON PLANS

NOTE: STORMWATER QUANTITY AND QUALITY  
REQUIREMENTS TO BE HANDLED BY UNDERGROUND  
DETENTION SYSTEM AND SAND FILTER.

AMENITY AREA CALCULATIONS  
REQUIRED OUTDOOR AMENITY AREA (MIN):  
10% (.195 AC, 8495 SF)

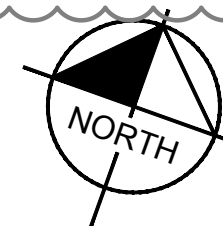
PROVIDED OUTDOOR AMENITY AREA:  
19% (.37 AC, 16228 SF)

# SITE LEGEND


	PROPERTY LINE
	EASEMENT LINE
	STANDARD CURB AND GUTTER
	FLUSH CURB AND GUTTER
	PARKING SPACE COUNT
	DRIVE THRU STACKING SPACE
	RETAINING WALL
	WHEEL STOP
	ACCESSIBLE PARKING SIGNAGE
	ACCESSIBLE ROUTE
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	CONCRETE DRIVE
	DUMPSTER PAD CONCRETE
	AMENITY AREA
	TREE CONSERVATION AREA (TCA)
	ASPHALT, CURB, AND GUTTER TO REMOVED AND REPLACED

SITE DATA	
PROJECT INFORMATION	
PROJECT NAME:	TOWNEBANK FALLS OF NEUSE ROAD
CURRENT OWNER:	TOWNEBANK
J. RESIDCTION:	CITY OF RALEIGH
PI# #S:	1717059939; 1717068089; 1717160037; 1717161131
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EXISTING ZONING:	OX-3-PL-CU
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EXISTING USE (WITHIN PROJECT LIMITS):	TWO UNIT LIVING
PROPOSED USE (WITHIN PROJECT LIMITS):	BANK/OFFICE
FRONTAGE REQUIREMENTS:	
	PL
SETBACK REQUIREMENTS	
BUILDING FRONT PROPERTY LINE	5'
PRIMARY STREET BUILD-TO	100'
BUILDING SIDE / REAR PROPERTY LINE	6'
PARKING FRONT PROPERTY LINE	10'
PARKING SIDE / REAR PROPERTY LINE	3'
TRANSITION YARD:	55% TYPE-2
PROPERTY LINE LANDSCAPE BUFFER 7105-HARPS-MILL-ROAD	30' EXCEPT FOR THE FIRST 10' (PER Z-32-20)
BUILDING USE BREAKDOWN	
MIXED USE OFFICE	
2 STORY, 7,500 SF EACH; 15,000 SF TOTAL	
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PROVIDED BICYCLE PARKING:	4 OUTDOOR SPACES 4 INDOOR SPACES TO BE PROVIDED INTERIOR TO THE BUILDING

NOTE: SIDEWALK AND RAMP UPDATES ALONG FALLS OF NEUSE ROAD AND HARRIS MILL ROAD MAY REQUIRE POTENTIAL UTILITY RELOCATIONS. DETAILS OF POTENTIAL RELOCATIONS TO BE WORKED THROUGH AT SITE PERMITTING REVIEW.



GRAPHIC SCALE IN FEET





**FOR REVIEW ONLY**  
NOT FOR CONSTRUCTION

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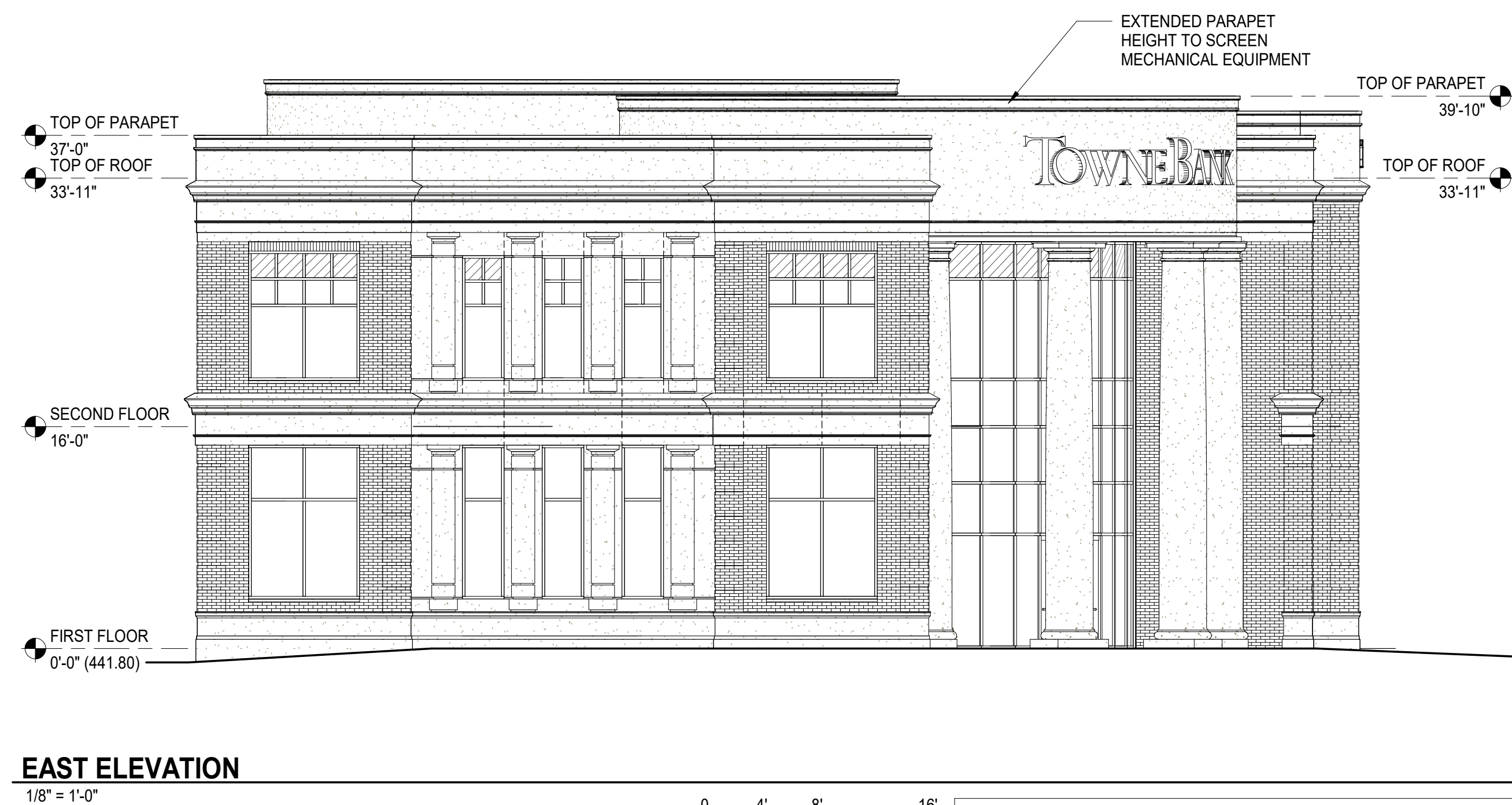
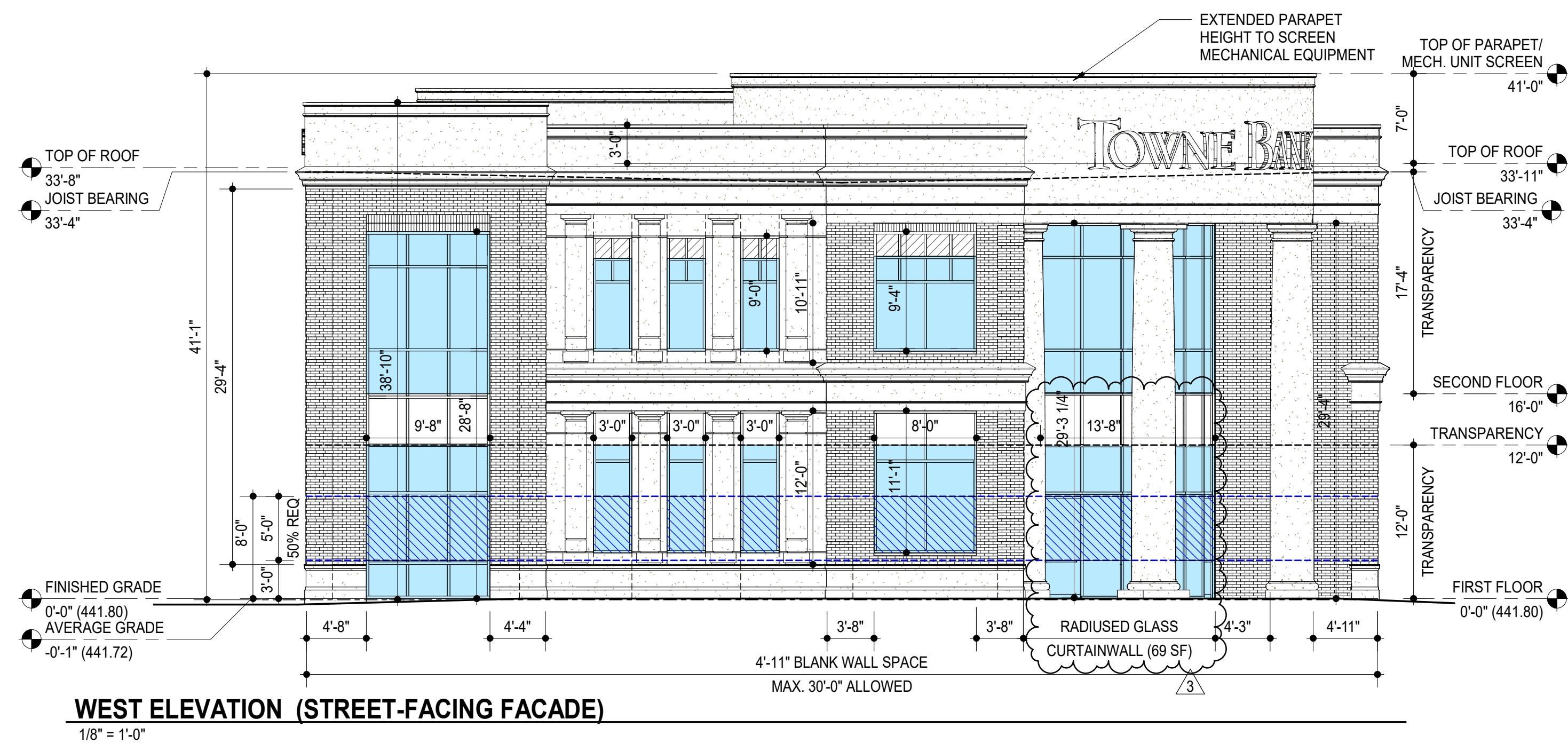
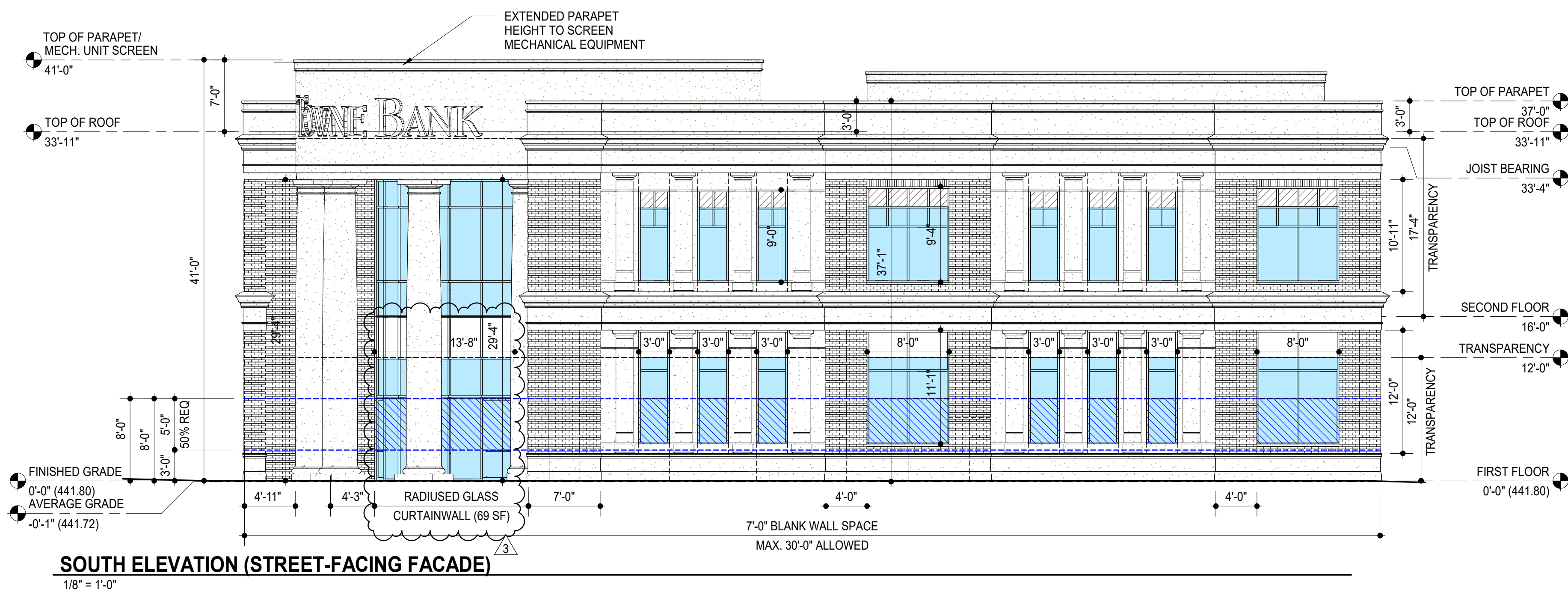
EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM A TOPOGRAPHIC SURVEY FOR TOWNESBANK FALLS OF NEUSE ROAD AND DATED 06/12/2021; LOCATED IN WAKE COUNTY, RALEIGH, NC 27615. PROVIDED BY SERI ENGINEERING AND CONSTRUCTION, INC. 1 GLENWOOD AVE, STE 600; RALEIGH, NC 27603. 919-886-9977 EXISTING INFRACTION SHOWN IS BASED UPON INFORMATION AVAILABLE TO THE ENGINEER AT TIME OF DESIGN AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY OWNER OR ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

**Don't**  
before you dig.

SHEET NUMBER <b>C4.0</b>		<b>TOWNEBANK FALLS OF NEUSE</b>		<b>SITE PLAN</b>		KHA PROJECT 116860000 DATE 10/01/2021 SCALE AS SHOWN DESIGNED BY THO DRAWN BY THO CHECKED BY DMH						<b>Kimley»»Horn</b> © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-677-2000 FAX: 919-677-2050 WWW.KIMLEY-HORN.COM NC LICENSE #F-0102		3 REVISED PER ASR COMMENTS 10/21/21 SAC 2 REVISED PER ASR COMMENTS 08/31/21 SMH 1 REVISED PER ASR COMMENTS 06/30/21 SMH No. REVISIONS DATE BY	
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Design: 10/22/2021 9:50:37 AM; C:\Users\katiem\Documents\20130\_TB\_FallsOfNeuse\_F20\_katiem\baonline.com.rvt  
Project Manager: Checked: Drawn: Author:



ENLARGED PLAN AT SOUTH / WEST ELEVATION -  
RADIUSED CURTAINWALL TRANSPARENCY  
1/8" = 1'-0"

POST DEVELOPMENT GRADES:			
	PROPOSED LOW	PROPOSED HIGH	PROPOSED AVERAGE
HARPS MILL ROAD	441.63	441.80	441.72
FALLS OF NEUSE ROAD	441.63	441.80	441.72
AVERAGE			441.72

## ARCHITECTURAL SITE REVIEW SUBMISSION

BUILDING CLASSIFICATION: OX-3-PL (OFFICE AND RESIDENTIAL MIXED USE)

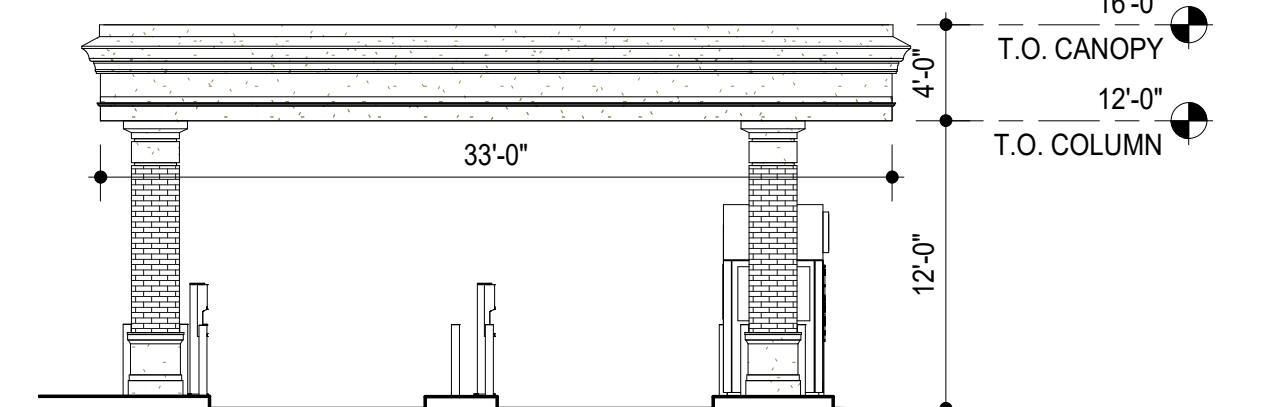
UNIFIED DEVELOPMENT ORDINANCE FOR CITY OF RALEIGH, NORTH CAROLINA

	REQUIRED	PROVIDED
<b>HEIGHT (PER 3.2.5)</b>		
PRINCIPAL BUILDING (MAX.):	SET BY DISTRICT - 50 FT	41'-6" MAX
ACCESSORY STRUCTURE (MAX.):	25 FT	16 FT
<b>FLOOR HEIGHTS (PER 3.2.5)</b>		
GROUND FLOOR ELEVATION (MIN.):	0 FT	0 FT
GROUND STORY HEIGHT (FLOOR TO FLOOR - MIN.):	11 FT	16 FT
UPPER STORY HEIGHT (FLOOR TO FLOOR - MIN.):	9 FT	16 FT
<b>TRANSPARENCY (PER 3.2.5)</b>		
GROUND STORY (MIN.):	33%	SOUTH: 34% WEST: 42%
UPPER STORY (MIN.):	20%	SOUTH: 23% WEST: 30%
BLANK WALL AREA (MAX.):	30 FT	7'-0" MAX. 4'-11" MAX.

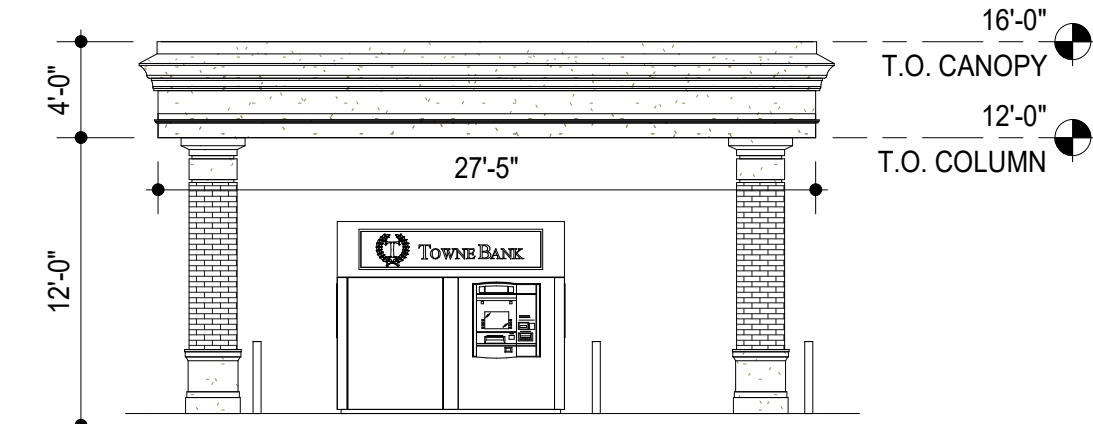
**TRANSPARENCY PERCENTAGE CALCULATIONS:**  
SOUTH WALL LOWER = 451 SF / 1328 SF = 34%  
SOUTH WALL UPPER = 431 SF / 1897 SF = 23%  
WEST WALL LOWER = 424 SF / 1004 SF = 42%  
WEST WALL UPPER = 427 SF / 1435 SF = 30%  
NOTE: PILLARS IN FRONT OF CURTAINWALL WINDOWS DO NOT COUNT TOWARD TRANSPARENCY.

50% OF REQUIRED TRANSPARENCY BETWEEN 3'-0" AND 8'-0"  
SOUTH WALL: 33% OF 1328 SF = 438 SF X 50% = 219 SF REQUIRED / 219 SF PROVIDED  
CALCULATIONS: 150 SF (FLAT WALL) + 69 SF (CURVED GLASS BEHIND COLUMNS) = 219 SF  
WEST WALL: 33% OF 1004 SF = 331 SF X 50% = 166 SF REQUIRED / 192 SF PROVIDED  
CALCULATIONS: 123 SF (FLAT WALL) + 69 SF (CURVED GLASS BEHIND COLUMNS) = 192 SF

PARAPETS GREATER THAN 4'-0" HAVE BEEN INDICATED IN ACCORDANCE WITH THE ROOF-MOUNTED EQUIPMENT SCREENING REQUIREMENT AS OUTLINED IN UDO SECTION 7.2.5.2



FRONT ELEVATION AT DRIVE THRU  
1/8" = 1'-0"



SIDE ELEVATION AT DRIVE THRU  
1/8" = 1'-0"

NEW BRANCH FOR  
TOWNE BANK - FALLS OF NEUSE  
RALEIGH, NC

ARCHITECTURAL ELEVATIONS

ARCHITECTURAL SITE REVIEW SUBMITTAL	4-23-2021
REVISED PER CITY COMMENTS	1 6-25-2021
REVISED PER CITY COMMENTS	2 8-25-2021
REVISED PER CITY COMMENTS	3 10-21-2021

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SCALE: 1/8" = 1'-0"

NOTE: THIS SHEET TO BE PRINTED IN COLOR