



# Administrative Approval Action

Case File / Name: ASR-0037-2021  
DSLCL - Townebank Falls of Neuse ASR

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the northeast quadrant of Harps Mill Road and Falls of Neuse Road. The site is located within the corporate city limits of the City of Raleigh. The current four addresses are listed as follows: 7100 Falls of Neuse Road (1717059939), 7104 Falls of Neuse Road (PIN#: 1717068089), 7105 Harps Mill Road (PIN#: 1717160037), 7109 Harps Mill Road (PIN#: 1717160037).

**REQUEST:** Development of a 2 story general building type, comprising 15,000 sf, bank facility use with associated parking. The four existing properties to be recombined are listed to total 2.07 acres; zoned OX-3-PL-CU with approved Administrative Alternate (AAD-11-21).

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 21, 2021 by Kimley-Horn.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Per Solid Waste Department instruction; cover letter shall incorporate Will Serve Letter prior to Site Permit Review.

### **Engineering**

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

### **Stormwater**

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

## Urban Forestry

7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Slope Easement Required
-------------------------------------	-------------------------

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

## Engineering

2. A cross access agreement among the subject development for ASR-0037-2021 and 1717160219 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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3. A 10' X 10' slope easement is required on private property at the adjacent property line at the northwest corner of the site. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, then further recordings and building permit issuance will be withheld.
4. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Public Utilities

7. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes (.19) acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. A demolition permit shall be obtained prior to building permits.
2. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.

## Engineering

3. A fee-in-lieu for 326 LF 1' of sidewalk width along the Harps Mill Street frontage shall be paid to the City of Raleigh (UDO 8.1.10).



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4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
5. A public infrastructure surety for (8) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (15) understory street trees along Harps Mill Rd. .

## *The following are required prior to issuance of building occupancy permit:*

### General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

### Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following



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must take place by the following dates:

**3-Year Expiration Date:** March 29, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 11/30/2021  
Development Services Dir/Designee  
Staff Coordinator: Cara Russell





[illegible]

Know what's below.  
Call before you dig.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM A TOPOGRAPHIC SURVEY FOR TOWNEBANK FALLS OF NEUSE RIVER DATED 08/12/2020; LOCATED IN HALE COUNTY, RALEIGH, NC 27615; PROVIDED BY SEPT ENGINEERING & SURVEYING, INC. 1 GLENWOOD AVE, STE 400, RALEIGH, NC 27603; 919-788-9677. EXISTING INFORMATION IS BASED UPON INFORMATION AVAILABLE TO THE ENGINEER AT TIME OF DESIGN AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY OWNER OR ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

TOWNEBANK  
FALLS OF NEUSE

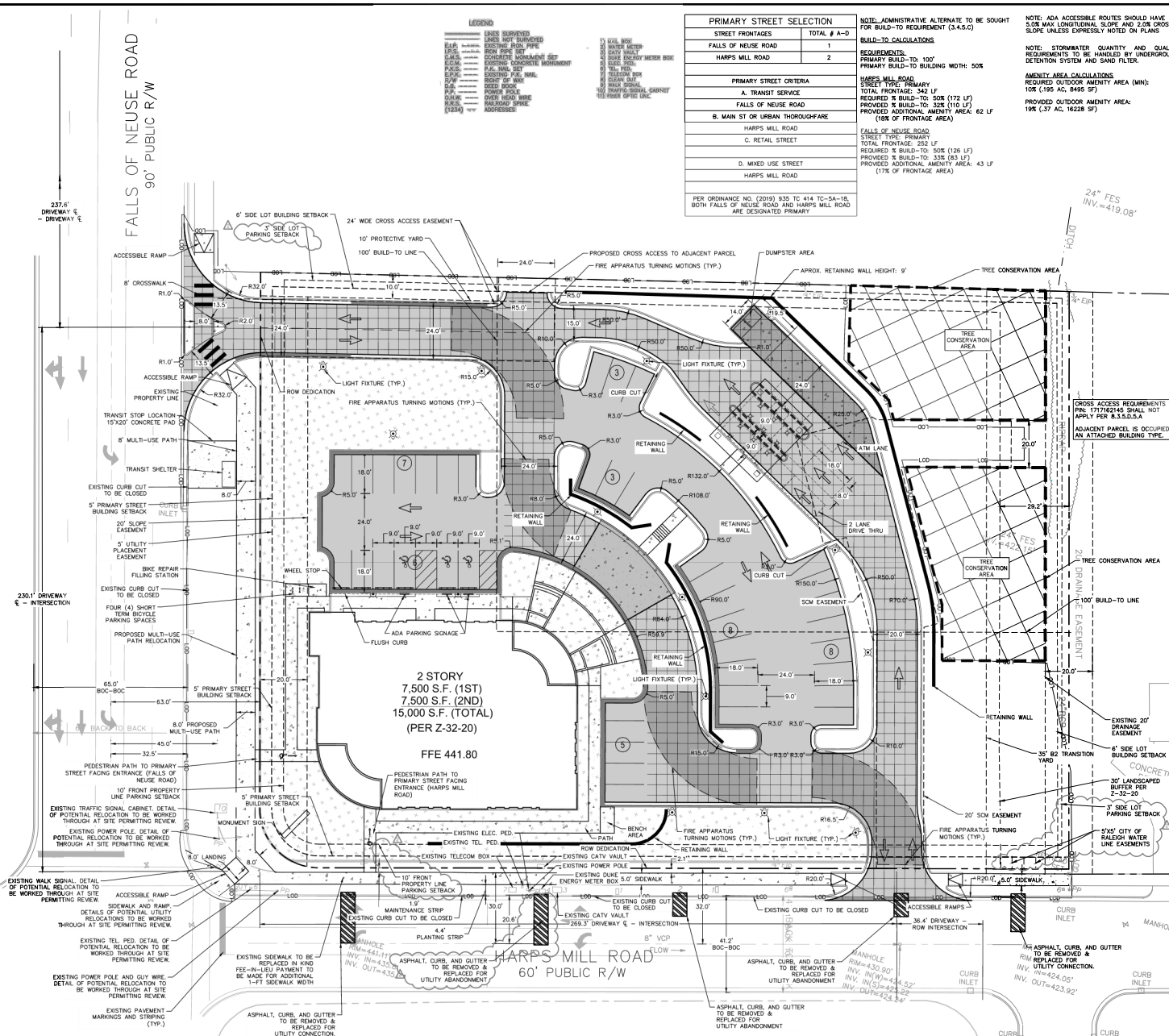
**Kimley»»Horn**

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EIGH

SHEET NUMBER  
C1.0

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PRIMARY STREET SELECTION	
STREET FRONTS	TOTAL # A-D
FALLS OF NEUSE ROAD	1
HARPS MILL ROAD	2
PRIMARY STREET CRITERIA	
A. TRANSIT SERVICE	
FALLS OF NEUSE ROAD	
B. MAIN ST OR URBAN THOROUGHFARE	
HARPS MILL ROAD	
C. RETAIL STREET	
D. MIXED USE STREET	
HARPS MILL ROAD	

PER ORDINANCE NO. (2019) 935 TC 414 TC -5A-18,  
BOTH FALLS OF NEUSE ROAD AND HARPS MILL ROAD  
ARE DESIGNATED PRIMARY

NOTE: ADMINISTRATIVE ALTERNATE TO BE Sought  
FOR BUILD-TO REQUIREMENT (3.4.5.C)

BUILD-TO CALCULATIONS

REQUIREMENTS:

PRIMARY BUILD-TO: 100'  
PRIMARY BUILD-TO TO BUILDING WIDTH: 50%

HARPS MILL ROAD

STREET TYPE: PRIMARY  
TOTAL FRONTAGE: 342 LF  
REQUIRED % BUILD-TO: 50% (171 LF)  
PROVIDED % BUILD-TO: 32% (110 LF)  
PROVIDED TOTAL FRONTAGE AREA: 62 LF  
(18% OF FRONTAGE AREA)

FALLS OF NEUSE ROAD

STREET TYPE: PRIMARY  
TOTAL FRONTAGE: 342 LF  
REQUIRED % BUILD-TO: 50% (176 LF)  
PROVIDED % BUILD-TO: 33% (83 LF)  
PROVIDED TOTAL FRONTAGE AREA: 43 LF  
(17% OF FRONTAGE AREA)

NOTE: ADA ACCESSIBLE ROUTES SHOULD HAVE 5.0% MAX LONGITUDINAL SLOPE AND 2.0% CROSS SLOPE UNLESS EXPRESSLY NOTED ON PLANS

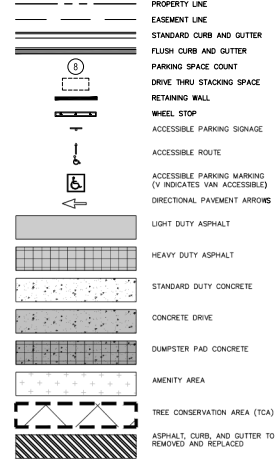
NOTE: STORMWATER QUANTITY AND QUALITY REQUIREMENTS TO BE HANDLED BY UNDERGROUND DETENTION SYSTEM AND SAND FILTER.

AMENITY AREA CALCULATIONS

REQUIRED OUTDOOR AMENITY AREA (MIN):  
10% (.195 AC, 8495 SF)

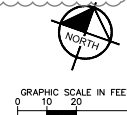
PROVIDED OUTDOOR AMENITY AREA:  
10% (.195 AC, 8495 SF)

## SITE LEGEND





SITE DATA	
<b>PROJECT INFORMATION</b>	
PROJECT NAME:	TOWNHOMES FALLS OF NEUSE ROAD
CLIENT OWNER:	TOWNHOMES
JURISDICTION:	CITY OF RALEIGH
PLN #/S:	17770803N, 17770808N, 17776503S, 17781813I
STREET ADDRESS:	1601 FALLS OF NEUSE RD, 7105, 7106 HAMPS MILL RD, RALEIGH, NC 27615
<b>SITE SIZE &amp; CONDIMERS</b>	
GROSS SITE AREA:	3.67 ACRES (16169 SF)
TOTAL FOR RESIDATION:	0.12 ACRES
NET SITE AREA:	1.86 ACRES (81446 SF)
GROSS BUILDING SQUARE FOOTAGE:	16,000 SF
MAXIMUM BUILDING HEIGHT:	30'
PROPOSED BUILDING HEIGHT:	24' MAX
PROPOSED HEIGHTY HEIGHT:	15' (MAX) 15'
PROPOSED HEIGHTY HEIGHT:	14'6" (MAX) 15'
<b>ZONING</b>	
EXISTING ZONING:	OH-3-C-1-01
PROPOSED ZONING:	OH-3-C-1-01
EXISTING USE (WITHIN PROPERTY LIMITS):	TWO UNIT LIVING
PROPOSED USE (WITHIN PROPERTY LIMITS):	BAR/JOINT
<b>FRONTAL REQUIREMENTS</b>	
	PL
<b>REAR REQUIREMENTS</b>	
REAR FACING PROPERTY LINE	10'
PRIMARY STREET BUILD-TO	6'
PARKING ON / NEAR PROPERTY LINE	10'
PARKING ON / NEAR PROPERTY LINE	6'
REAR FACING SIDE	10'-20'-20'-20'
<b>PROPERTY LINE LANDSCAPE BUFFER</b>	
	30' EXCEPT FOR THE FIRST 50' OVER 20'-20'
<b>BUILDING USE BREAKDOWN</b>	
MIXED USE OFFICE	
2 STORY, 7,000 SF EACH, 16,000 SF TOTAL	
<b>OFF-STREET PARKING</b>	
REQUIRED PARKING:	1 SPACE/RESID, 15.00 SF = 38 SPACES
REQUIRED HANDICAPPED PARKING:	3 SPACES (MIN. 1 VAN SPACE)
PARKING MAXIMUM (DUE TO MIN. REQUIREMENTS):	57 SPACES
PROPOSED PARKING:	44 SPACES
PROPOSED HANDICAPPED PARKING:	3 SPACES (1 VAN SPACE)
REQUIRED BICYCLE PARKING:	SHORT TERM 44+ SPACES LONG TERM 4+ SPACES
PROPOSED BICYCLE PARKING:	4 OUTDOOR SPACES 4 INDOOR SPACES TO BE PROVIDED INSIDE THE BUILDING

SIDEWALK AND RAMP UPDATES ALONG FALLS OF NEUSE ROAD AND HARPS MILL ROAD MAY REQUIRE POTENTIAL UTILITY RELOCATIONS. DETAILS OF POTENTIAL RELOCATIONS TO BE WORKED THROUGH AT SITE PERMITTING REVIEW.



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NOT FOR CONSTRUCTION

EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM A TOPOGRAPHIC SURVEY FOR TOWNEBANK FALLS OF NEULIE ROAD AND DATED 08/12/2003; LOCATED IN WAGNER COUNTY, RALEIGH, NC 27603; PROVIDED BY SEPI ENGINEERING AND CONSTRUCTION, INC. GLENWOOD AVE, STE 600; RALEIGH, NC 27603; 919-788-9677. EXISTING INFORMATION SHOWN IS BASED UPON INFORMATION AVAILABLE TO THE ENGINEER AT TIME OF DESIGN AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY ENGINEER OR CONSTRUCTOR. NEULIE SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

SHEET NUMBER		C4.0																	
RALEIGH		NC																	
TOWNEBANK FALLS OF NEUSE		SITE PLAN																	
KHA PROJECT 110600000		10/01/2021																	
SCALE AS SHOWN		DESIGNED BY THO																	
DRAWN BY THO		CHECKED BY DMH																	
																			
<p><b>Kimley»Horn</b></p> <p>© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  421 FAYETTEVILLE STREET, SUITE 400, RALEIGH, NC 27601  PHONE: 919-677-2000 FAX: 919-677-1560  WWW.KIMLEY-HORN.COM  WFO LICENSE #F-002</p>		<table border="1"> <tr> <td>3</td> <td>REVISD PER ASR COMMENTS</td> <td>10/21/21</td> <td>SAG</td> </tr> <tr> <td>2</td> <td>REVISD PER ASR COMMENTS</td> <td>08/21/21</td> <td>SAH</td> </tr> <tr> <td>1</td> <td>REVISD PER ASR COMMENTS</td> <td>06/30/21</td> <td>SHH</td> </tr> <tr> <td>No.</td> <td>REVISIONS</td> <td>DATE</td> <td>BY</td> </tr> </table>		3	REVISD PER ASR COMMENTS	10/21/21	SAG	2	REVISD PER ASR COMMENTS	08/21/21	SAH	1	REVISD PER ASR COMMENTS	06/30/21	SHH	No.	REVISIONS	DATE	BY
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No.	REVISIONS	DATE	BY																

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PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
NC LICENSE #0102

421

KHA PROJECT	THO
116860000	THO
DATE	DMH
10/01/2021	
SCALE AS SHOWN	
DESIGNED BY	
DRAWN BY	
CHECKED BY	

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## THE PLAN

SITE

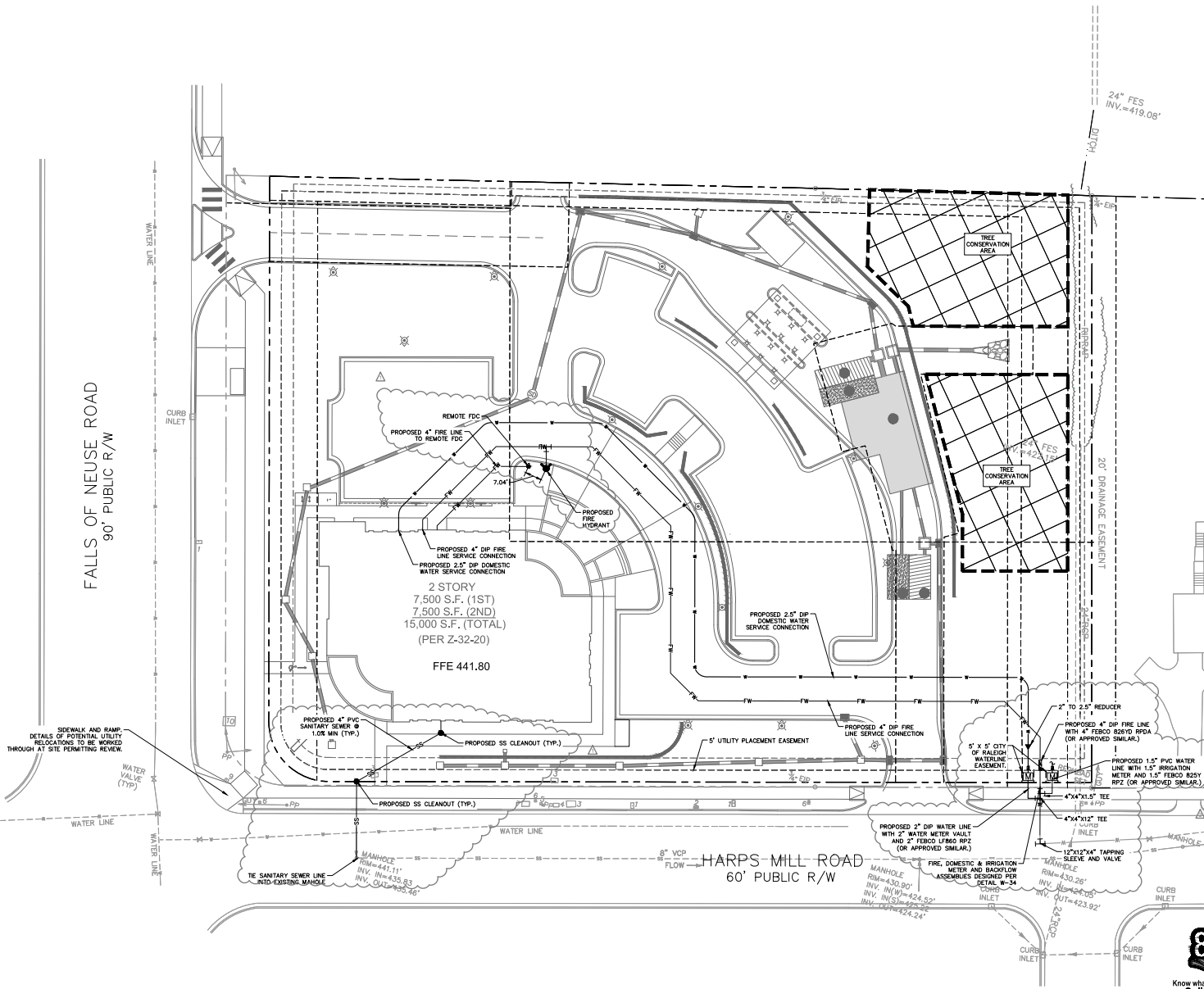
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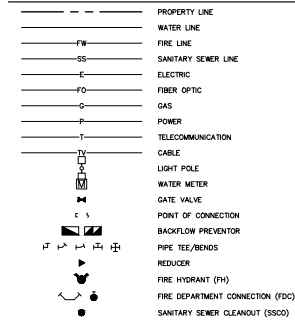
C4.0



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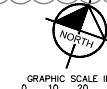


## UTILITY LEGEND



## STANDARD UTILITY NOTES (AS APPLICABLE):

- [illegible]



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GLENWOOD AVE, STE 400; RALEIGH, NC 27603; 919-758-9977 EXISTING INFORMATION SHOWN UPON INFORMATION AVAILABLE TO THE ENGINEER AT TIME OF DESIGN AND HAS NOT BEEN INDICATED OR VERIFIED BY OWNER OR ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



Know what's **bel**

Know what's below.  
Call before you dig.

[illegible]

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PHONE: 919-677-2000 FAX: 919-677-2050  
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KHA PROJECT	116860000	DATE	10/01/2021	SCALE	AS SHOWN	DESIGNED BY	THO	DRAWN BY	THO
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## UTILITY PLAN

TOWNEBANK  
FAIR SOURCE NEILSE

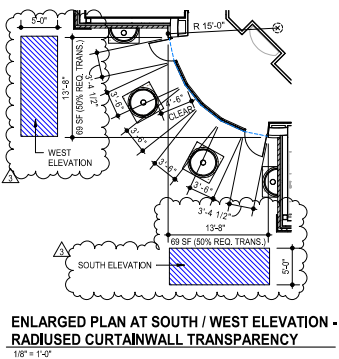
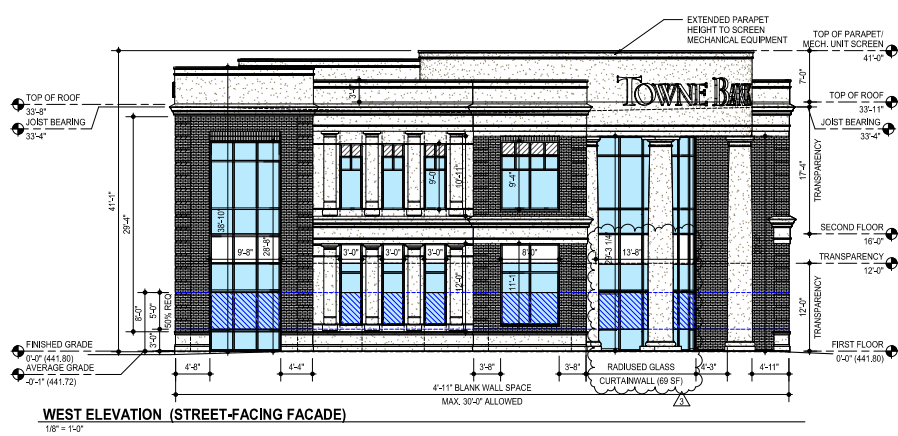
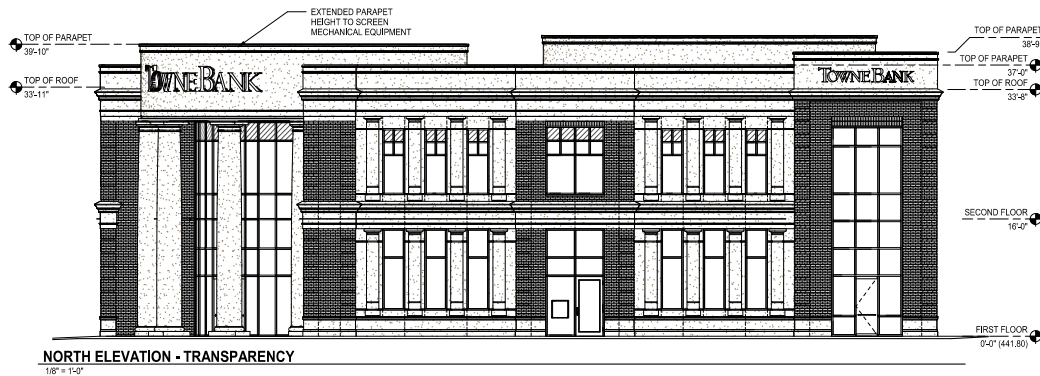
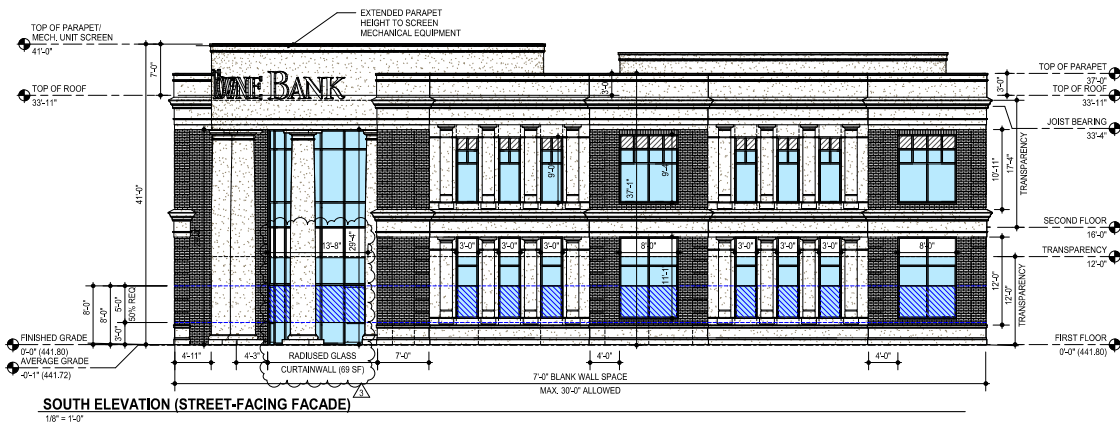
SHEET NUMBER  
C6.0







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POST DEVELOPMENT GRADES:			
	PROPOSED LOW	PROPOSED HIGH	PROPOSED AVERAGE
HARPS MILL ROAD	441.83	441.80	441.72
FALLS OF NEUSE ROAD	441.83	441.80	441.72
AVERAGE			441.72

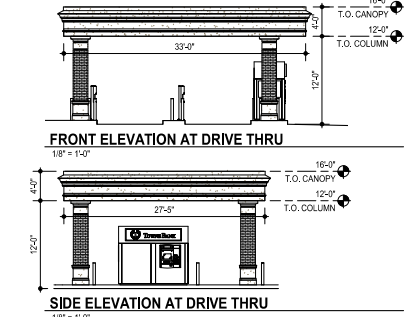
## ARCHITECTURAL SITE REVIEW SUBMISSION

BUILDING CLASSIFICATION: OX-3-PL (OFFICE AND RESIDENTIAL MIXED USE)

UNIFIED DEVELOPMENT ORDINANCE FOR CITY OF RALEIGH, NORTH CAROLINA

	REQUIRED	PROVIDED
<b>HEIGHT (PER 3.2.2)</b>		
PRINCIPAL BUILDING (MAX.):	SET BY DISTRICT - 50 FT	41'-0" MAX
ACCESSORY STRUCTURE (MAX.):	25 FT	16 FT
<b>FLOOR HEIGHTS (PER 3.2.3)</b>		
GROUND FLOOR ELEVATION (MIN.):	0 FT	0 FT
GROUND STORY HEIGHT (FLOOR TO FLOOR - MIN.):	11 FT	16 FT
UPPER STORY HEIGHT (FLOOR TO FLOOR - MIN.):	9 FT	16 FT
<b>TRANSPARENCY (PER 3.2.5)</b>		
GROUND STORY (MIN.):	33%	SOUTH 34% WEST 42%
UPPER STORY (MIN.):	20%	23% 30%
BLANK WALL AREA (MAX.):	30 FT	7'-0" MAX. 4'-11" MAX.

**TRANSPARENCY PERCENTAGE CALCULATIONS:**  
SOUTH WALL LOWER = 431 SF / 1328 SF = 32% WEST WALL LOWER = 424 SF / 1004 SF = 42%  
SOUTH WALL UPPER = 431 SF / 1897 SF = 23% WEST WALL UPPER = 427 SF / 1425 SF = 30%  
NOTE: PILLARS IN FRONT OF CURTAINWALL WINDOWS DO NOT COUNT TOWARD TRANSPARENCY.  
90% OF REQUIRED TRANSPARENCY BETWEEN 2'-0" AND 6'-0"  
SOUTH WALL: 33% OF 1328 SF = 438 SF X 50% = 219 SF REQUIRED / 219 SF PROVIDED  
CALCULATIONS: 150 SF (FLAT WALL) + 69 SF (CURVED GLASS BEHIND COLUMNS) = 219 SF  
WEST WALL: 33% OF 1004 SF = 331 SF X 50% = 166 SF REQUIRED / 166 SF PROVIDED  
CALCULATIONS: 123 SF (FLAT WALL) + 69 SF (CURVED GLASS BEHIND COLUMNS) = 192 SF  
PARAPETS GREATER THAN 4'-0" HAVE BEEN INDICATED IN ACCORDANCE WITH THE ROOF-MOUNTED EQUIPMENT SCREENING REQUIREMENT AS OUTLINED IN UDO SECTION 7.2.5.2



ARCHITECTURE  
INTERIOR DESIGN

20130

NOT FOR CONSTRUCTION

NEW BRANCH FOR  
TOWNE BANK - FALLS OF NEUSE  
RALEIGH, NC  
ARCHITECTURAL ELEVATIONS

ARCHITECTURAL SITE REVIEW SUBMITTAL	4/26/2021
REVIEWED PER CITY COMMENTS	1 6/26/2021
REVIEWED PER CITY COMMENTS	2 8/26/2021
REVIEWED PER CITY COMMENTS	3 10/26/2021

20130

A204

SCALE: 1/8" = 1'-0" 0 4' 8' 16'

NOTE: THIS SHEET TO BE PRINTED IN COLOR