



# Administrative Approval Action

Case File / Name: ASR-0037-2023  
DSLC - BLOCK 07 LABORATORY BUILDING

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Centennial Parkway, west of Main Campus Drive at 811 Partners Way on the Centennial Campus-NCSU.

**REQUEST:** Development of a vacant, 1.888 acre/82,228 sf tract zoned CMP SRPOD. A proposed 6-story, 326,897 sf public & institutional, civic/college, university use for a Life Science Building on Centennial Campus. No proposed right-of-way dedication is included in this development plan nor required per the rezoning REZN-0065-2020. The site is located in sub-district B of the Centennial Master Plan (MP-1-20).

REZN-0065-2020/MP-1-20 - Centennial Campus Master Plan - NCSU. 1st Adopted - May 18, 2021; 2nd Adopted - June 1, 2021. Effective June 6, 2021.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 24, 2023 by McAdams Company.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. A copy of sheet MP-2 of the master plan document set, from REZN-0065-2020 & MP-1-20, is inserted into the civil Site Permit plans set.
2. A detail illustration of proposed short-term bicycle parking racks and space maneuverability diagram is inserted into the civil Site Permit Review plans set.
3. A copy of the SWS Will Serve letter is transposed into the civil Site Permit Review plans set and details of the SWS enclosure, and screening area are provided at SPR review. All screening complies with UDO Sec.7.2.5 & the SWS Manual, per their design & site layout approval.

### **Public Utilities**

4. note on SPR that domestic BFP shall be located (inside bldg) within 50' of piping behind WM



# Administrative Approval Action

Case File / Name: ASR-0037-2023  
DSLC - BLOCK 07 LABORATORY BUILDING

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

5. submit grease trap calcs / specs / details to RW FOG for review, obtain FOG approval email & affix to SPR. contact (<https://raleighnc.gov/permits/services/fats-oil-and-grease-fog-interceptors>) or ([fog@raleighnc.gov](mailto:fog@raleighnc.gov)) for more info

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

*The following are required prior to issuance of building occupancy permit:*

## Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### 3-Year Expiration Date: September 27, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 09/27/2023  
Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy



ZONING CONDITIONS:  
REZONING CASE: REZN-0065-2020, MASTER PLAN: MP-1-20)

- THIS CAMPUS IS AN AREA OF LAND OWNED BY THE GOVERNMENT OF THE STATE OF NORTH CAROLINA AND, AS SUCH, IS NOT SUBJECT TO LOCAL SUBDIVISION REGULATIONS OR SUBDIVISION REVIEW PROCEDURES. CAMPUS IS PERMANENTLY UNDEVELOPED.
- ALL EXISTING LOTS AND AS-BUILT CONDITIONS WITHIN THE CAMPUS DISTRICT BOUNDARY, INCLUDING THOSE THAT MAY BE EXTENDING NORTH CONFORMED TO THE TIME OF THIS APPLICATION SHALL NOT BE SUBJECT TO THE DEVELOPMENT STANDARDS AND REGULATIONS OF THE CURRENT CITY OF RAUHLAND. HOWEVER, ANY LOTTING AREAS DEVELOPED AFTER THE DATE OF THIS APPLICATION SHALL BE SUBJECT TO THE STANDARDS OF THIS CMP AND THE CITY OF RAUHLAND.
- ALL CAMPUS AREAS SHALL BE SUBJECT TO THE CITY OF RAUHLAND ZONING ORDINANCES.
- THE CMP BOUNDARY SHALL SPRING AS THE REGULATING DISTRICT BOUNDARY AND THE CAMPUS SHALL BE CONSIDERED ONE SINGLE PROPERTY FOR PURPOSES OF REVIEW AND APPLICATION OF ALL DISTRICT DEVELOPMENT STANDARDS. AS SUCH, THE BLOCK, LOTS, AND ACCESS STANDARDS OF LAND ARTICLE 8 SHALL NOT APPLY TO THIS CMP.

- [illegible]

30. BUILDING HEIGHT (JUDO SECTION 4.6.2.9)

30.1. HEIGHT SHALL BE SET BY CMP PER TEXT CHANGE TO 15-30.

30.2. HEIGHT TO BE SET BY SUB-DISTRICT

MEASURES RESPONSE: UNDETERMINED

31. ALLOWANCE BUILDING TYPES (JUDO SECTION 4.1.2)

31.1. ALL BUILDING TYPES AS SET FORTH BY ORDINANCE 1.4 SHALL BE ALLOWED WITHIN THIS CMP DISTRICT.

31.2. REFERENCE TO BUILDING TYPES IS DONE IN RELATION TO ARTICLE 1.4 AND DOES NOT INDICATE ANY DIMENSIONAL STANDARDS FROM CHAPTER 8

MEASURES RESPONSE: UNDETERMINED

32. LANDSCAPE AND SCREENING (JUDO SECTION 2.2.4, 7.2.4, 7.2.5)

32.1. UNLESS OTHERWISE STATED WITHIN THE MASTER PLAN, NO DISTRICT OR PROPOSED STREET SHALL BE PUBLIC. THEREFORE, STREET YARDS, TRANSITION YARDS BETWEEN SUB-DISTRICTS AND INTERNAL USES DO NOT APPLY.

32.2. DISTRICT STREET YARDS ALONG PORTAGES OF ORDINARY PARKWAY AND AVENUE FERRY ROAD WILL REMAIN.

32.3. ALL NEW AND EXISTING STREETS WITHIN THE CMP BOUNDARY WILL BE PRIVATE. AS SUCH, EXCEPT WHERE VISIBLE FROM CENTINELA PARKWAY OR AVENUE FERRY ROAD, SCREENING OF LANDSCAPING STANDARDS AND ABOVE GROUND STORAGE FACILITIES SHALL NOT APPLY WITHIN THE CAMPUSE DISTRICT OR ITS SUB-DISTRICTS.

MEASURES RESPONSE: UNDETERMINED

33. GENERAL DEVELOPMENT STANDARDS: OUTDOOR DISPLAYS/STANDARDS (JUDO 7.2.3)

33.1. ALL NEW AND EXISTING STREETS WITHIN THE CMP BOUNDARY WILL BE PRIVATE. EXCEPT WHERE VISIBLE FROM CENTINELA PARKWAY OR AVENUE FERRY ROAD, OUTDOOR DISPLAY STANDARDS SHALL NOT APPLY WITHIN THE CAMPUSE DISTRICT OR ITS SUB-DISTRICTS.

MEASURES RESPONSE: UNDETERMINED

34. PRIMARY STREET REQUIREMENTS (JUDO SECTION 4.6.1.3)

34.1. OVERSEEN FROM THE REGULATING CAMP BOUNDARY

34.2. NO BUILD-TO REQUIREMENTS SHALL APPLY WITHIN THE CMP.

MEASURES RESPONSE: NO BUILD-TO IS SHOWN

35. SIDE STREET REQUIREMENTS (JUDO SECTION 4.6.1.3)

35.1. OVERSEEN FROM THE REGULATING CAMP BOUNDARY

35.2. NO BUILD-TO REQUIREMENTS SHALL APPLY WITHIN THE CMP.

MEASURES RESPONSE: NO BUILD-TO IS SHOWN

36. INTERIOR SIDE/REAR SETBACKS (JUDO SECTION 4.6.1.3.2)

36.1. NEW AND REAR SETBACKS SHALL APPLY ONLY TO THE REGULATING CAMP BOUNDARY; THESE SETBACKS WILL NOT APPLY BETWEEN USES OR SUB-DISTRICTS INTERNAL TO THE CAMPUS.

37. NEIGHBORHOOD TRANSITION ZONES (JUDO SECTION 3.1.2)

37.1. APPLICABILITY OF THE NEIGHBORHOOD TRANSITION ZONE SHALL BE LIMITED TO LOCATIONS WHERE THE CMP BOUNDARY BENEVOLENTLY ADJACES A PROPERTY OF A-1, B-1, B-2, R-4, R-8, OR 10 DISTRICT. NEIGHBORHOOD TRANSITION ZONES WILL APPLY TO THE ADJACENT PROPERTY CONTAINING A CMX ZONE.

37.2. NEIGHBORHOOD TRANSITION ZONES, WHERE APPLICABLE, SHALL COMPLY WITH THE REQUIREMENTS OF JUDO SECTION 3.1.2, EXCEPT THAT TRANSITION ZONE IS PROHIBITIVE ZONE, SHALL ALLOW FOR BETTER QUALIFYING PER THE PROHIBITIVE AREA TO MEET THE PLANNING STANDARD OF THE PROHIBITIVE ZONE.

38. LOADING (JUDO SECTION 7.2)

38.1. LOADING ON PUBLIC OR PRIVATE PUBLIC STREETS IS PLANNED FOR THE CAMPUSE. STREET YARDS, TRANSITIONAL YARDS, AND SCREENING BETWEEN DISTRICTS AND INTERNAL USES DO NOT APPLY.

MEASURES RESPONSE: UNDETERMINED

39. STREETS AND BLOCKS (JUDO SECTION 4.2.2)(10-3)

39.1. DISTRICT DEVELOPMENT STANDARDS SHALL APPLY TO THE REGULATING DISTRICT BOUNDARY AND THE CAMPUSE SHALL BE CONSIDERED AS ONE SINGLE PROPERTY FOR PURPOSES OF REVIEW AND APPLICATION OF ALL DISTRICT DEVELOPMENT STANDARDS. AS SUCH, THE STREETS AND BLOCKS STANDARDS OF JUDO ARTICLE 8.3 SHALL NOT APPLY TO THIS CMP.

MEASURES RESPONSE: UNDETERMINED

40. GROUND FLOOR ELEVATION (JUDO SECTION 5.1.5)

40.1. THE GROUND FLOOR ELEVATION REQUIREMENTS SHALL NOT APPLY TO INTERNAL, PRIVATE STREETS WITHIN THE CMP.

21.1. NO EXISTING OR NEW PUBLIC STREETS ARE PROPOSED WITHIN THE CAMPUS DISTRICT BOUNDARY. TRANSPARENCY STANDARDS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS.  
MCADAMS RESPONSE: UNDERSTOOD.

- [illegible]

22.1. NO EXISTING OR NEW PUBLIC STREETS ARE PROPOSED WITHIN THE CAMPUS DISTRICT BOUNDARY. BLANK WALL STANDARDS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS. MACADAMS RESPONSE: UNDERSTOOD.

- 3.1. NO EXISTING OR NEW PUBLIC UTILITIES ARE SITED WITHIN THE CAMPU'S DISTRICT BOUNDARY. PRIVATE RESIDENTIAL GARAGE PARKING STANDARDS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS. **MEASURABLE RESPONSE: UNDEVELOPED.**
4. PARKING AND LOADING (LOAD UNLOAD ZONE 7.5)
- 4.1. CENTENNIAL CAMPUS SHALL BE TREATED AS A SINGLE DEVELOPMENT UNDER THE CMP.
- 4.2. EXISTING PARKING WITHIN THE CAMPU'S LOCATION WITHIN PARKING LOTS AND PARKING STRUCTURES, THE TOTALS IN TABLE 6 DO NOT INCLUDE ALL SPACES LOCATED WITHIN INDIVIDUAL RESIDENTIAL LOT/LOAD ZONES.
- 4.3. REMOVI PARKING REGULATIONS AS SET FORTH IN LOAD ZONE SECTION 7.5.3 SHALL NOT APPLY TO THE CENTENNIAL CAMP.
- 4.4. EXISTEY HEREIN MODIFIED BY THE CMP. THE STANDARDS OF LOAD ZONE SECTION 7.3 SHALL APPLY TO ALL NEW DEVELOPMENTS WITHIN THE CAMPU'S CAMPUS BOUNDARY. **MEASURABLE RESPONSE: UNDEVELOPED.**
5. SPECIALIZED VEHICULAR PARKING PROVISIONS:
- 5.1. ONE PARKING SPACE IS REQUIRED FOR DWELLING UNIT; HOWEVER, NO MORE THAN TWO-ON-TWO SPACES PARKING SPACES FOR DWELLING UNIT ARE ALLOWED.
- 5.2. NO VEHICLE PARKING IS REQUIRED FOR THE FIRST SEVENTY DWELLING UNITS.
- 5.3. ONE PARKING SPACE FOR 300 SQUARE FEET IS REQUIRED FOR EACH 1,000 SQUARE FEET OF GROUND FLOOR AREA OR THE MINIMUM NUMBER OF PARKING SPACES SET FORTH IN SECTION 7.1.2.C., WHICHEVER IS LESS.
- 5.4. NO VEHICLE PARKING IS REQUIRED FOR THE FIRST 160 SQUARE FEET OF GROUND STORY SPACE COVERED GROUND FLOOR AREA.
- 5.5. A 50% REDUCTION IN THE NUMBER OF REQUIRED PARKING SPACES IS ALLOWED FOR USES WITH A MAIN ENTRANCE WITHIN A MAXIMUM DISTANCE OF 1,500 FEET OF AN OPERATING TRAM STOP OR STATION PROVIDED THAT THE 50% REDUCTION IS BASED ON A 1,500-FOOT WALKING DISTANCE TO EACH CATCH-UP POINT WITHIN 15 MINUTES OF THE TRAM STOP. DISTANCES GREATER THAN 15 MINUTES MEASURABLE RESPONSE: THERE IS NO LONGER A MINIMUM PARKING REQUIREMENT. NO ADDITIONAL PARKING IS REQUIRED TO BE PROVIDED.

26.1. THE PROPOSED OPEN SPACE PLAN SHALL SATISFY ALL OPEN SPACE REQUIREMENTS ON THE CAMPUS. NO ADDITIONAL OPEN SPACE REQUIREMENTS SHALL APPLY, INCLUDING OUTDOOR AMENITY AREA GENERAL REQUIREMENTS AND STANDARDS UNDER UD0 SECTION 1.5.3(C).

- 26.3. INDIVIDUAL DEVELOPMENTS SHALL NOT BE REQUIRED TO PROVIDE OPEN SPACE WITHIN A SPECIFIC DEVELOPMENT OR SUB-DISTRICT. MACADAMS RESPONSE: ALL EXISTING OPEN SPACE SHOWN IN THE MASTER PLAN WILL REMAIN DURING THIS DEVELOPMENT AND NO ADDITIONAL OPEN SPACE IS PROPOSED WITH THIS DEVELOPMENT.

22.1. UNDER THE FEDERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT PROGRAM, NORTH CAROLINA STATE UNIVERSITY HAS A MUNICIPAL SEWAGE TREATMENT PLANT (MS4) PERMIT. THE PERMIT AUTHORIZES THE UNIVERSITY TO DISCHARGE STORMWATER RUNOFF TO LOCAL STREAMS AND REQUIRES THE UNIVERSITY TO DEVELOP A STORMWATER MANAGEMENT PROGRAM.

22.2. THE DEVELOPMENT IS SUBJECT TO STORMWATER REVIEW UNDER THE UNIVERSITY'S MS4 PERMIT. CITY OF RALEIGH REVIEW WILL ONLY APPLY TO SEDIMENT AND EROSION CONTROL, FOR PRIVATE DEVELOPMENTS WITH A MAXIMUM BRANCH OVER 12,000 SQUARE FEET. UNIVERSITY OF THE CITY OF RALEIGH, NORTH CAROLINA STATE UNIVERSITY, AND THE DISTRICTS OF RALEIGH, NORTH CAROLINA, ARE THE ONLY AGENCIES WITH JURISDICTION OVER THE PROJECT.

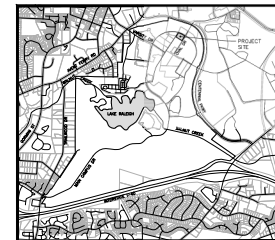
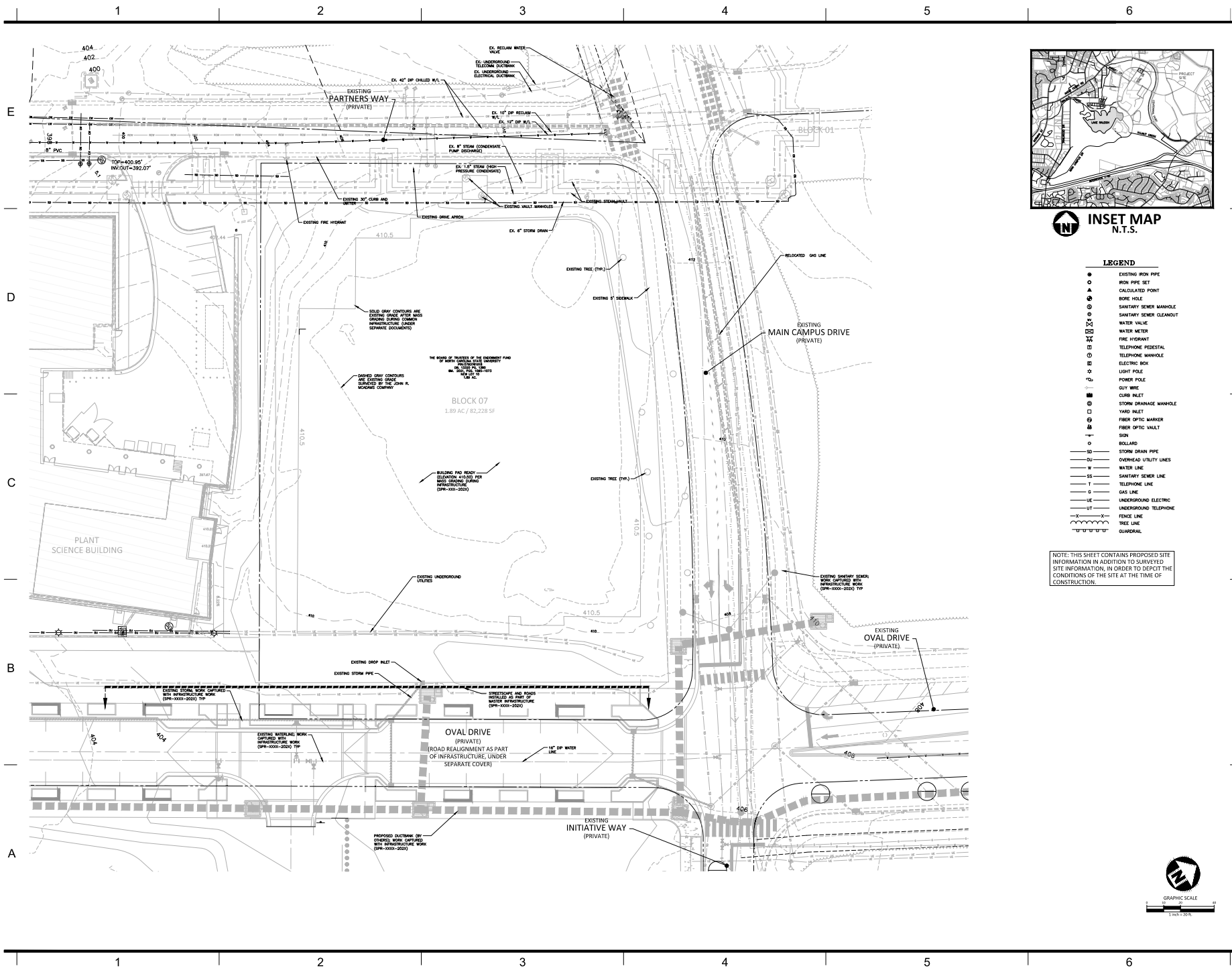
- 27.3. STORMWATER MANAGEMENT FACILITIES MAY BE SHARED FACILITIES OR DESIGNED AS PART OF INDIVIDUAL DEVELOPMENT PLANS. MACADAM'S RESPONSE: AN EXISTING WET POND WILL BE UTILIZED FOR THIS DEVELOPMENT AND STORMWATER DESIGN WILL BE REVIEWED UNDER THE UNIVERSITY'S MSH PERMIT.

28.1. ALL CAMPUS SIGNAGE SHALL COMPLY WITH THE NORTH CAROLINA STATE UNIVERSITY "CAMPUS SIGNAGE PROGRAM - EXTERIOR SIGNAGE" AND IS NOT SUBJECT TO THE CITY OF RALEIGH SIGNAGE STANDARDS LISTED INUDO SECTION 7.3.

28.2. HE UNIVERSITY'S "CAMPUS SIGNAGE PROGRAM" IS SUBJECT TO CHANGE AT THE DISCRETION OF THE UNIVERSITY. THE "CAMPUS SIGNAGE PROGRAM" CAN BE FOUND AT: [https://projects.ncsu.edu/facilities/files/nc\\_state\\_university\\_exterior\\_signage.pdf](https://projects.ncsu.edu/facilities/files/nc_state_university_exterior_signage.pdf)  
MCADAMS RESPONSE: ALL PROPOSED SIGNAGE WILL COMPLY WITH THE NC SU CAMPUS SIGNAGE PROGRAM.

-

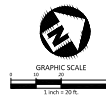




**INSET MAP**  
N.T.S.

- LEGEND**
- EXISTING IRON PIPE
  - IRON PIPE SET
  - △ CALCULATED POINT
  - BORE HOLE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEAFOUT
  - WATER VALVE
  - WATER METER
  - FIRE HYDRANT
  - TELEPHONE PEDISTAL
  - TELEPHONE MANHOLE
  - ELECTRIC BOX
  - LIGHT POLE
  - POWER POLE
  - GUY WIRE
  - CURB INLET
  - STORM DRAINAGE MANHOLE
  - YARD INLET
  - FIBER OPTIC MARKER
  - FIBER OPTIC VAULT
  - SIGN
  - BOLLARD
  - STORM DRAIN PIPE
  - OVERHEAD UTILITY LINES
  - WATER LINE
  - SANITARY SEWER LINE
  - TELEPHONE LINE
  - GAS LINE
  - UNDERGROUND ELECTRIC
  - UNDERGROUND TELEPHONE
  - FENCE LINE
  - TREE LINE
  - GUARDRAIL

NOTE: THIS SHEET CONTAINS PROPOSED SITE INFORMATION IN ADDITION TO SURVEYED SITE INFORMATION, IN ORDER TO DEPICT THE CONDITIONS OF THE SITE AT THE TIME OF CONSTRUCTION.



**HANBURY**

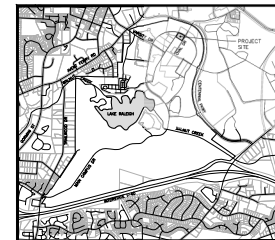
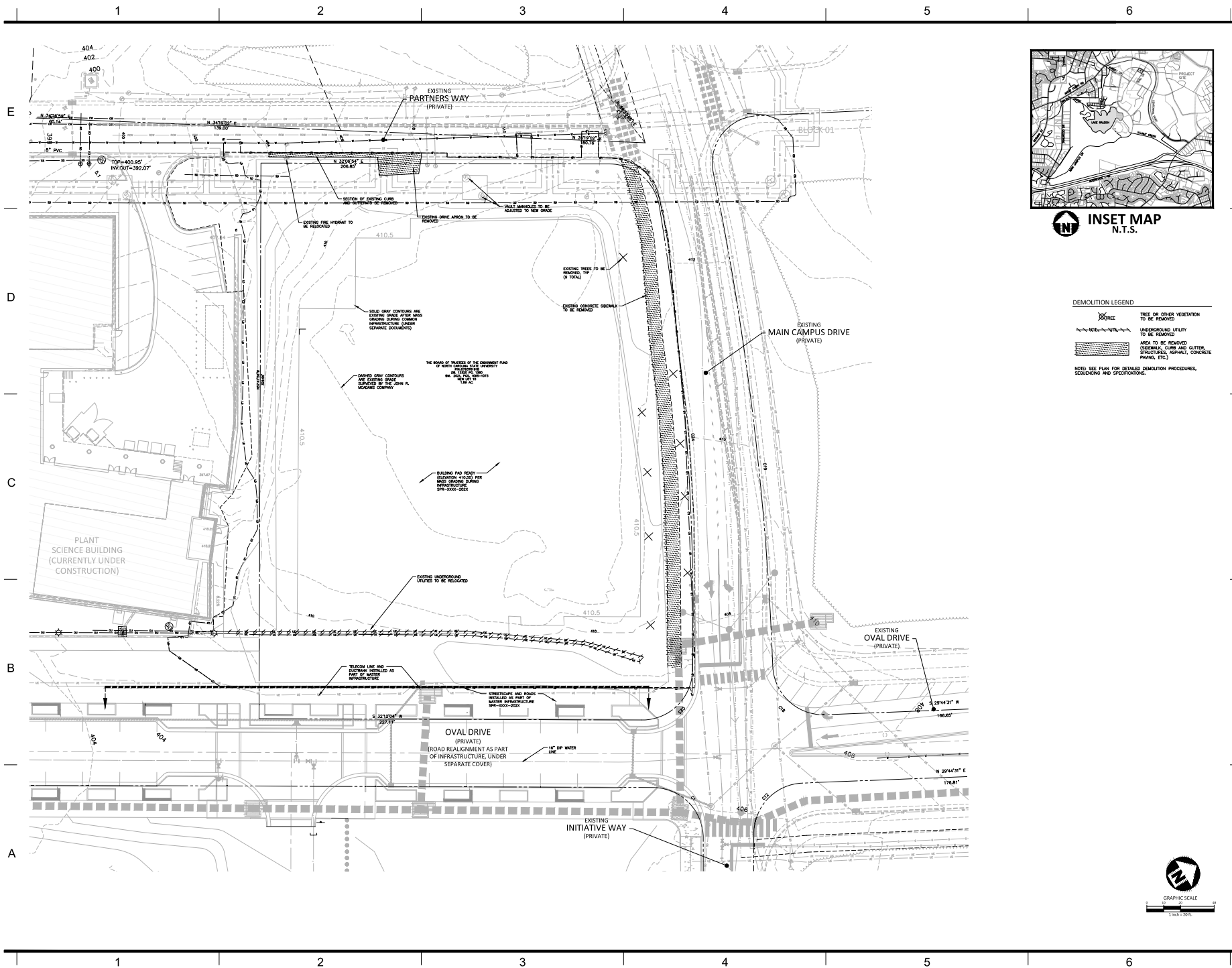
**McADAMS**  
The John R. McAdams Company, Inc.  
4214 Hildebrand Street  
Raleigh, NC 27603  
Phone: 919.361.3000  
Fax: 919.361.3000  
E-mail: hmc@mcadams.com  
www.mcadams.com

CONSULTANT  
JRD OVAL DRIVE  
RALEIGH, NC 27605

**Lincoln Harris**  
NC STATE CENTENNIAL CAMPUS  
- BLOCK 7 DEVELOPMENT

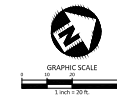
REPLAN  
AS SHOWN  
DATE: 07/26/2022

MARK	DATE	DESCRIPTION
PROJECT NO.	21062.00	
DATE:	07/26/2022	
DRAWN BY:	MOD/ME/CAN	
CHECKED BY:	MOD/INCP	
COPYRIGHT © 2022	McADAMS COMPANY, INC.	
SHEET TITLE:	EXISTING CONDITIONS	
SHEET NUMBER:	C1.00	



**INSET MAP**  
N.T.S.

- DEMOLITION LEGEND**
- TREES OR OTHER VEGETATION TO BE REMOVED
  - UNDERGROUND UTILITY TO BE REMOVED
  - AREA TO BE REMOVED (STRUCTURAL, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE, PAVING, ETC.)
- NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



**HANBURY**

**McADAMS**  
The John R. McAdams Company, Inc.  
4214 Hildebrand Street  
Charlotte, NC 28217  
Phone 352.363.5000  
Fax 352.363.2000  
E-mail: hmc@mcadamsco.com  
www.mcadamsco.com

**CONSULTANT**

**Lincoln Harris**  
200 OVAL DRIVE  
RALEIGH, NC 27605

**NC STATE CENTENNIAL CAMPUS  
- BLOCK 7 DEVELOPMENT**

**Lincoln Harris**

**DEMOLITION PLAN**

**C1.01**

MARK	DATE	DESCRIPTION
PROJECT NO.	21062.00	
DATE:	07.26.2023	
DRAWN BY:	MDS/NE/CAN	
CHECKED BY:	MDS/NE/CAN	
COPYRIGHT © 2023	McADAMS COMPANY, INC.	
SHEET TITLE:	DEMOLITION PLAN	
SHEET NUMBER:	C1.01	





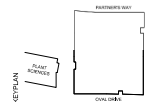


The John A. McAdams Company, Inc.  
6211 Hillsborough Street  
Charlotte, NC 28217  
Phone 813.361.3300  
Fax 813.361.3300  
Internet: hmc@hmc.com, C-387

CONSULTANT

JOS. OVAL DRIVE  
RALEIGH, NC 27605

LINCOLN HARRIS

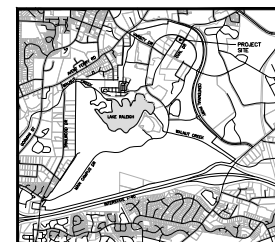
NC STATE CENTENNIAL CAMPUS  
- BLOCK 7 DEVELOPMENT

MARK	DATE	DESCRIPTION
1	06.24.2021	REVISED PER COR 101 AND REVIEW

MARK	DATE	DESCRIPTION
PROJECT NO.	21082.00	
DATE:	07.28.2023	
DRAWN BY:	MOS/ME/CA/CA	
CHECKED BY:	MOS/ME/CA/CA	
COPYRIGHT © 2023	MCADAMS COMPANY, INC.	
SHEET TITLE:	GRADING PLAN	

SHEET NUMBER

C3.01

INSET MAP  
N.T.S.

## GRADING LEGEND

FLARED END SECTION	FLARED END SECTION
EXTERNAL SECTION	EXTERNAL SECTION
CATCH BASIN	CATCH BASIN
DROP INLET	DROP INLET
STORM SERVICE INLET	STORM SERVICE INLET
STORM SERVICE ROOF-DRAIN	STORM SERVICE ROOF-DRAIN
JUNCTION BOX	JUNCTION BOX
DRAINAGE FLOW ARROW	DRAINAGE FLOW ARROW
LINE BREAK SYMBOL	LINE BREAK SYMBOL
TOP & BOTTOM CURB ELEVATIONS	TOP & BOTTOM CURB ELEVATIONS
TOP OF WALL ELEVATION	TOP OF WALL ELEVATION
NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION	NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION
SPOT ELEVATION	SPOT ELEVATION
STORM DRAINAGE	STORM DRAINAGE
STORM SERVICE LINE	STORM SERVICE LINE
ROOF DRAIN, 6" AGS	ROOF DRAIN, 6" AGS
NON-PERFORATED TURNING OR EQUAL 1/8" MIN. SLOPE 1" MIN. COVER PER SCHEDULE 40 IN TRAFFIC AREAS	NON-PERFORATED TURNING OR EQUAL 1/8" MIN. SLOPE 1" MIN. COVER PER SCHEDULE 40 IN TRAFFIC AREAS
LIMITS OF DISTURBANCE	LIMITS OF DISTURBANCE
WOODED AREA	WOODED AREA
MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR
EXISTING MAJOR CONTOUR	EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR	EXISTING MINOR CONTOUR
EASEMENT LINE	EASEMENT LINE
ACCESSIBLE PARKING AREA (OR MAX. SLOPE IN ALL DIRECTIONS)	ACCESSIBLE PARKING AREA (OR MAX. SLOPE IN ALL DIRECTIONS)

## AVERAGE GRADE PLANE

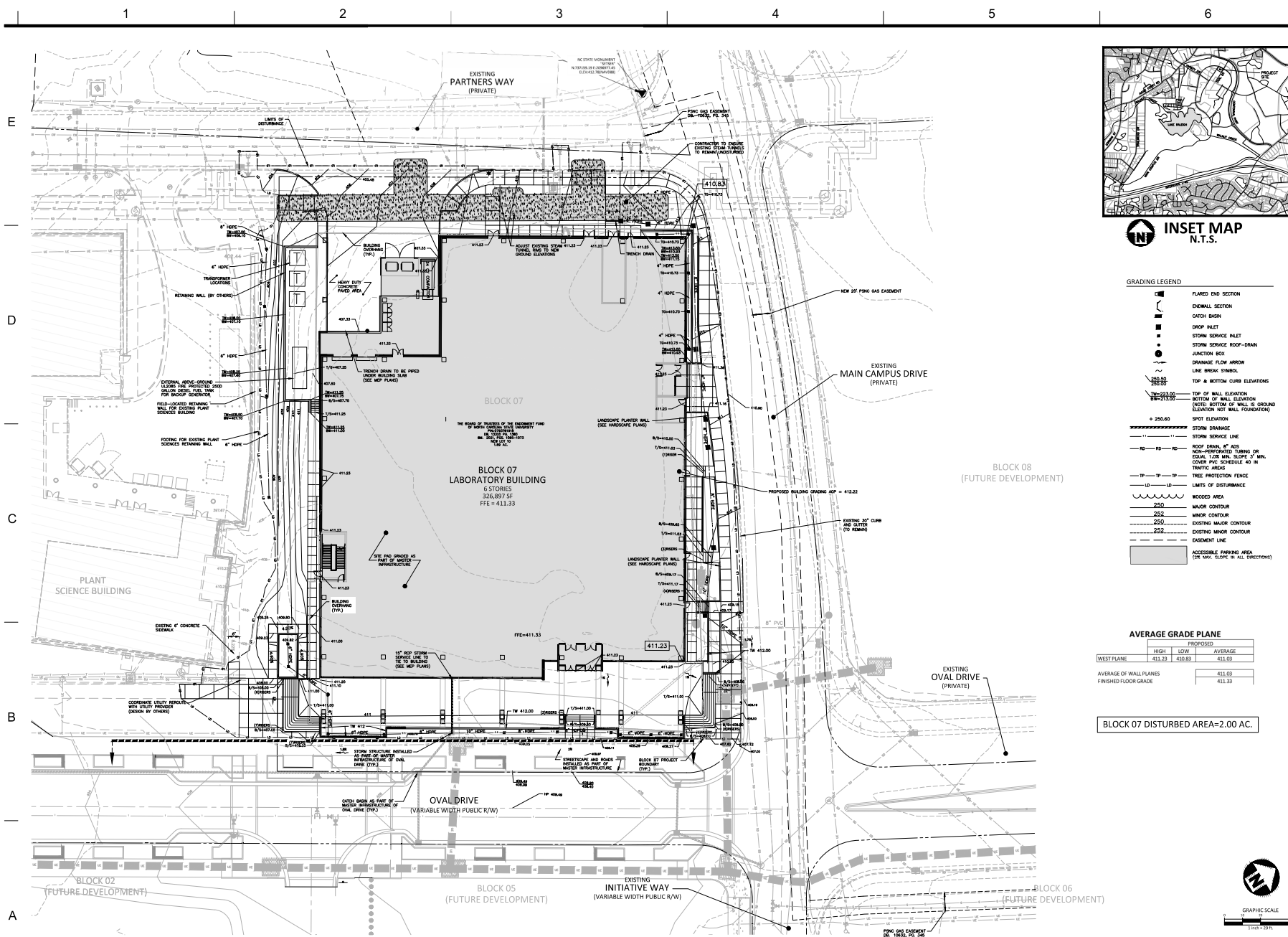
WEST PLANE	PROPOSED		AVERAGE
	HIGH	LOW	
411.23	411.23	411.23	411.23

AVERAGE OF WALL PLANS  
FINISHED FLOOR GRADE

411.23

411.23

BLOCK 07 DISTURBED AREA=2.00 AC.

GRAPHIC SCALE  
1" = 40.0'



1

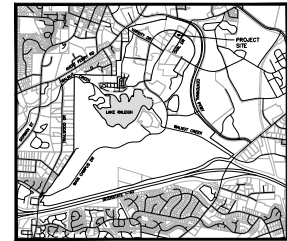
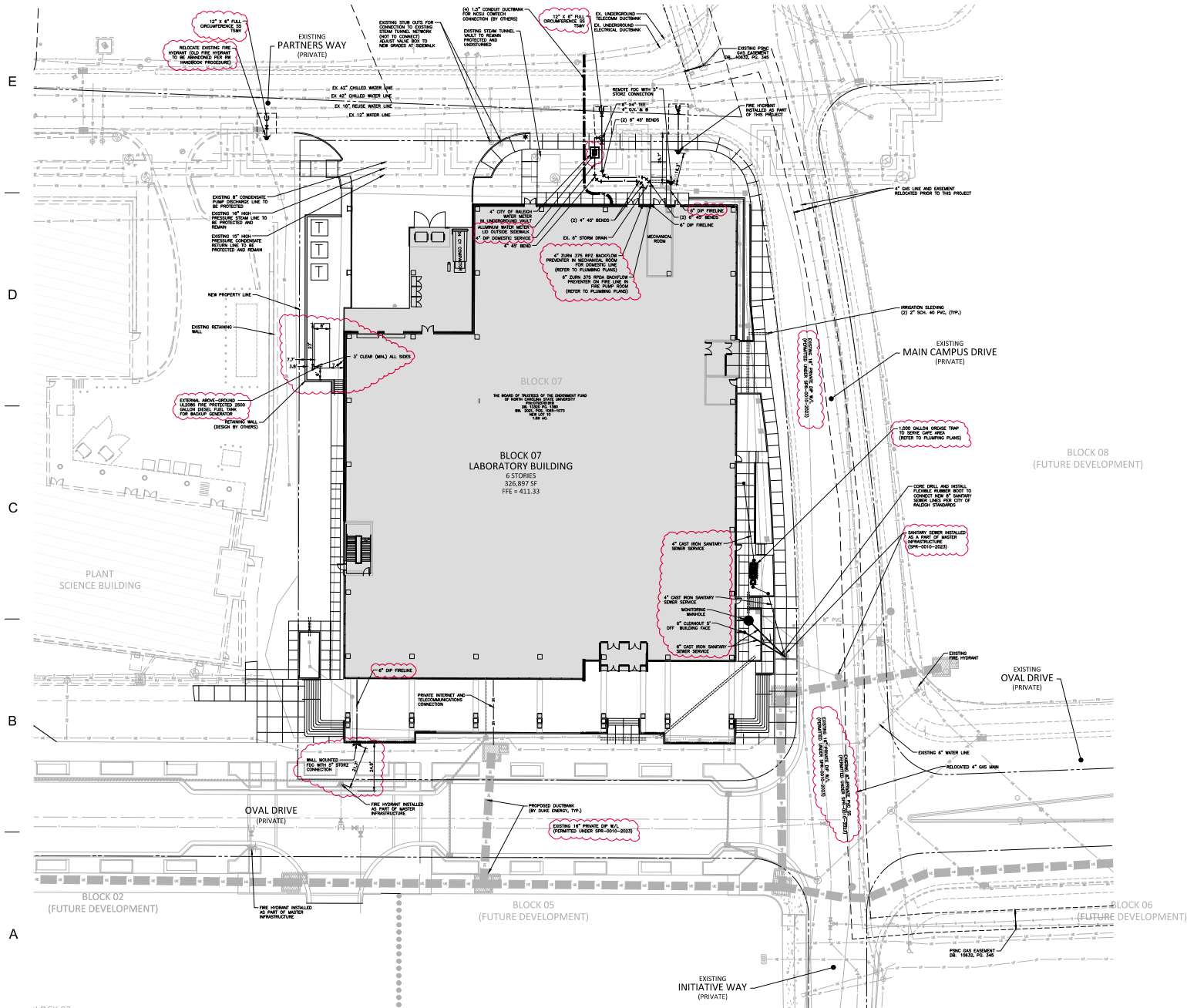
2

3

4

5

6



**INSET MAP**  
N.T.S.

**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- THIRD LIGHT
- LIGHT POLE
- LINE BREAK SYMBOL
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- EXISTING UNDERGROUND STEAM TUNNEL
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- EXISTING RECLAIMED WATER LINES

**GENERAL NOTES:**

1. ALL NEW FIRE HYDRANT TAPS REQUIRE FULL CIRCUMFERENCE TO TAPPING SERVICE AND VALVES
2. SANITARY SEWER SERVICE LINES MUST HAVE A MINIMUM SLOPE OF 1.00%

HANBURY



**McADAMS**

The John S. McAdams Company, Inc.  
623 Hildebrand Street  
Durham, NC 27603  
Phone 919.361.5000  
Fax 919.361.2000  
E-mail: harris@mcadams.com  
www.mcadams.com

CONSULTANT

JOHN S. McADAMS COMPANY, INC.  
RALEIGH, NC 27603

LINCOLN HARRIS

MECHANICAL

DATE

DESCRIPTION

PROJECT NO.

DATE

DRAWN BY

CHECKED BY

COPYRIGHT © 2022

McADAMS COMPANY, INC.

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C4.01



GRAPHIC SCALE  
1" = 20'

C4.01

PRINTED: 06/24/2022

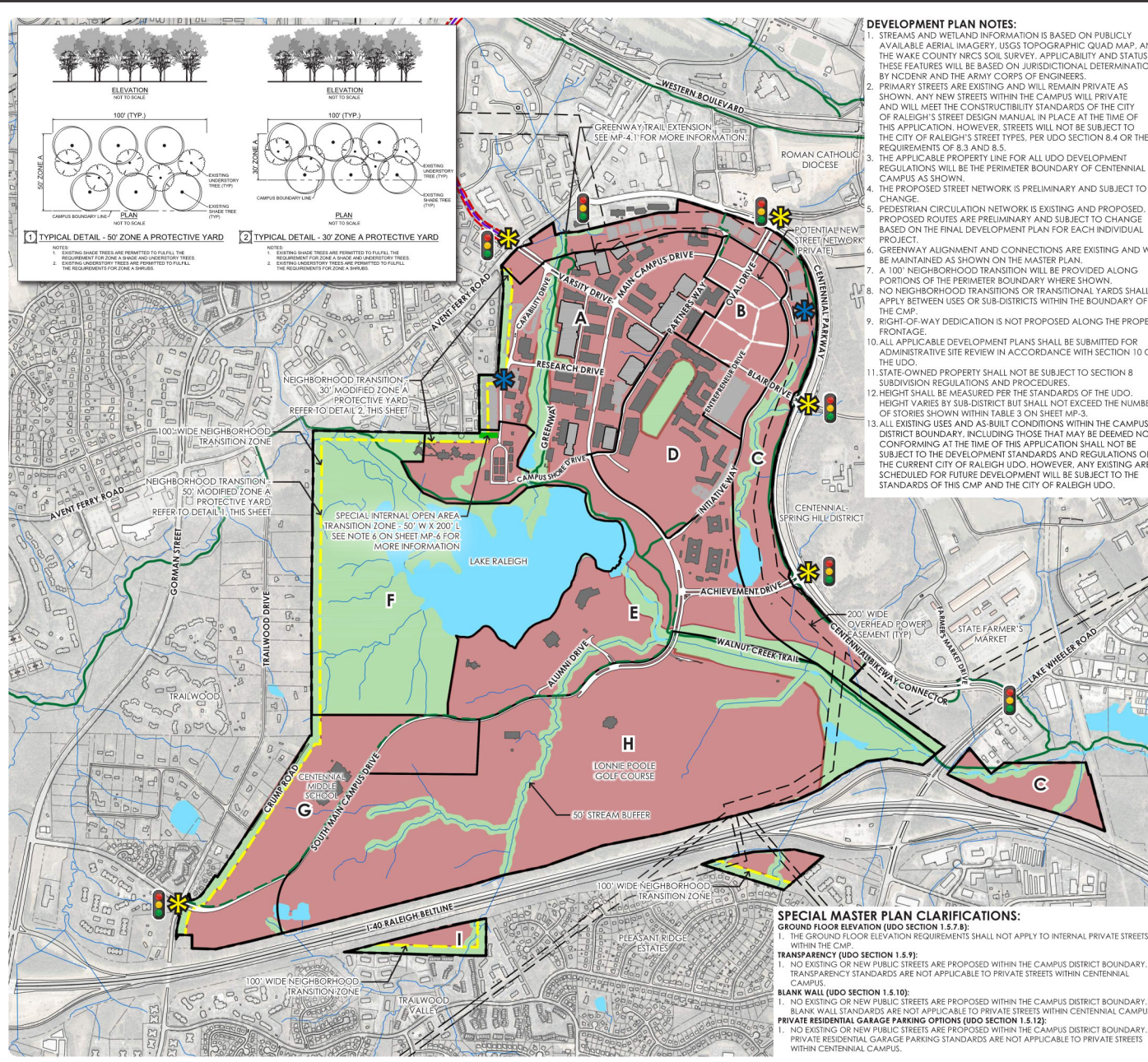












- DEVELOPMENT PLAN NOTES:**
1. STREAMS AND WETLAND INFORMATION IS BASED ON PUBLICLY AVAILABLE AERIAL IMAGERY, USGS TOPOGRAPHIC QUAD MAP, AND THE WAKE COUNTY NRCS SOIL SURVEY. APPLICABILITY AND STATUS OF THESE FEATURES WILL BE BASED ON JURISDICTIONAL DETERMINATION BY NC DENR AND THE ARMY CORPS OF ENGINEERS.
  2. PRIMARY STREETS ARE EXISTING AND WILL REMAIN PRIVATE AS SHOWN. ANY NEW STREETS WITHIN THE CAMPUS WILL PRIVATE AND WILL MEET THE CONSTRUCTIBILITY STANDARDS OF THE CITY OF RALEIGH'S STREET DESIGN MANUAL, IN PLACE AT THE TIME OF THIS APPLICATION. HOWEVER, STREETS WILL NOT BE SUBJECT TO THE CITY OF RALEIGH'S STREET TYPES, PER UDO SECTION 8.4 OR THE REQUIREMENTS OF 8.3 AND 8.5.
  3. THE APPLICABLE PROPERTY LINE FOR ALL UDO DEVELOPMENT REGULATIONS WILL BE THE PERIMETER BOUNDARY OF CENTENNIAL CAMPUS AS SHOWN.
  4. THE PROPOSED STREET NETWORK IS PRELIMINARY AND SUBJECT TO CHANGE.
  5. PEDESTRIAN CIRCULATION NETWORK IS EXISTING AND PROPOSED. PROPOSED ROUTES ARE PRELIMINARY AND SUBJECT TO CHANGE BASED ON THE FINAL DEVELOPMENT PLAN FOR EACH INDIVIDUAL PROJECT.
  6. GREENWAY ALIGNMENT AND CONNECTIONS ARE EXISTING AND WILL BE MAINTAINED AS SHOWN ON THE MASTER PLAN.
  7. A 100' NEIGHBORHOOD TRANSITION WILL BE PROVIDED ALONG PORTIONS OF THE PERIMETER BOUNDARY WHERE SHOWN.
  8. NO NEIGHBORHOOD TRANSITIONS OR TRANSITIONAL YARDS SHALL APPLY BETWEEN USES OR SUB-DISTRICTS WITHIN THE BOUNDARY OF THE CMP.
  9. RIGHT-OF-WAY DEDICATION IS NOT PROPOSED ALONG THE PROPERTY FRONTAGE.
  10. ALL APPLICABLE DEVELOPMENT PLANS SHALL BE SUBMITTED FOR ADMINISTRATIVE SITE REVIEW IN ACCORDANCE WITH SECTION 10 OF THE UDO.
  11. STATE-OWNED PROPERTY SHALL NOT BE SUBJECT TO SECTION 8 SUBDIVISION REGULATIONS AND PROCEDURES.
  12. HEIGHT SHALL BE MEASURED PER THE STANDARDS OF THE UDO. HEIGHT VARIES BY SUB-DISTRICT BUT SHALL NOT EXCEED THE NUMBER OF STORIES SHOWN WITHIN TABLE 3 ON SHEET MP-3.
  13. ALL EXISTING USES AND AS-BUILT CONDITIONS WITHIN THE CAMPUS DISTRICT BOUNDARY, INCLUDING THOSE THAT MAY BE DEEMED NON-CONFORMING AT THE TIME OF THIS APPLICATION SHALL NOT BE SUBJECT TO THE DEVELOPMENT STANDARDS AND REGULATIONS OF THE CURRENT CITY OF RALEIGH UDO. HOWEVER, ANY EXISTING AREAS SCHEDULED FOR FUTURE DEVELOPMENT WILL BE SUBJECT TO THE STANDARDS OF THIS CMP AND THE CITY OF RALEIGH UDO.

- DEVELOPMENT LEGEND:**
- EXISTING SIGNALIZED INTERSECTION
  - CAMPUS ACCESS POINT
  - PROPOSED UNIVERSITY STREET CONNECTION - REFER TO SHEET MP-4.1 FOR MORE INFORMATION
  - CMP ZONING BOUNDARY
  - PROPERTY LINE
  - 100' NEIGHBORHOOD TRANSITION ZONE
  - EXISTING BUILDING
  - EXISTING PARKING LOT
  - EXISTING PARKING GARAGE
  - DEVELOPABLE AREA
  - OPEN SPACE
  - EXISTING GREENWAY
  - STREAM
  - POND/LAKE
  - 50' NEUSE RIVER BUFFER
  - EXISTING STREETS
  - POTENTIAL NEW STREETS

**TABLE 2: OVERALL DENSITY SUMMARY**

CURRENT DENSITY ALLOWED (PER Z-5-87)	11,800,000 GFA
EXISTING/CONSTRUCTED BUILDING AREA (GFA)	4,795,627 GFA
REMAINING DENSITY ALLOCATION (PER Z-5-87)	7,025,721 GFA
PROPOSED NEW GFA	2,000,000 GFA
PROPOSED OVERALL MAXIMUM DENSITY	13,800,000 GFA

**TABLE 3: DEVELOPMENT PLAN / DENSITY ALLOCATION**

SUB-DISTRICT	HEIGHT/STORIES (BY SUB-DISTRICT)	DEVELOPMENT DENSITIES (RANGES BY SUB-DISTRICT)
A	12	1,500,000 - 2,500,000 SF
B	28	3,000,000 - 5,000,000 SF
C	7	200,000 - 300,000 SF
D	7	500,000 - 1,000,000 SF
E	7	500,000 - 1,000,000 SF
F	3 STRY/50'	0 - 10,000 SF
G	5 STRY/80'	500,000 - 1,000,000 SF
H	3 STRY/50'	25,000 - 75,000 SF
I	3	75,000 - 150,000 SF
EXISTING/CONSTRUCTED BUILDING AREA (GFA)	-	4,795,627 SF
TOTAL DENSITY (GFA):		NOT TO EXCEED 13,800,000 SF

1. STRUCTURES WITHIN THIS SUB-DISTRICT WILL LIKELY BE LIMITED TO SUPPORT STRUCTURES, SUCH AS PAVILIONS, RESTROOM BUILDINGS, RECREATION, RESEARCH, ETC.  
2. DEVELOPMENT DENSITY RANGES BY SUB-DISTRICT CONTAIN SUGGESTED DENSITY ALLOCATION ACROSS THE ENTIRE CAMPUS. MAXIMUM TOTAL DENSITY SHALL BE 13,800,000 SF. ONLY THE MAXIMUM DENSITY LIMIT PER SUB-DISTRICT IS ENFORCEABLE. THE LOWER BOUND IS NOT AN ENFORCEABLE DEVELOPMENT MINIMUM.

- MODIFICATIONS TO DISTRICT STANDARDS:**
- PRIMARY STREET SETBACKS (UDO SECTION 4.4.1.8.1):**
1. MEASURED FROM THE REGULATING CAMPUS BOUNDARY.
  2. NO BUILD-TO REQUIREMENTS SHALL APPLY WITHIN THE CMP.
- SIDE STREET SETBACKS (UDO SECTION 4.6.1.8.2):**
1. MEASURED FROM THE REGULATING CAMPUS BOUNDARY.
  2. NO BUILD-TO REQUIREMENTS SHALL APPLY WITHIN THE CMP.
- INTERIOR SIDE/REAR SETBACKS (UDO SECTION 4.6.1.8.2):**
1. SIDE AND REAR SETBACKS SHALL APPLY ONLY TO THE REGULATING CMP BOUNDARY. THESE SETBACKS WILL NOT APPLY BETWEEN USES OR SUB-DISTRICTS INTERNAL TO THE CAMPUS.
- NEIGHBORHOOD TRANSITION ZONES (UDO SECTION 3.5.2):**
1. APPLICABILITY OF THE NEIGHBORHOOD TRANSITION ZONE SHALL BE LIMITED TO LOCATIONS WHERE THE CMP BOUNDARY IMMEDIATELY ADJACES A PROPERTY OF AN R-1, R-2, R-4, R-6, OR R-10 DISTRICT, EXCEPT WHERE THE ADJUTING PROPERTY CONTAINS A CIVIC USE.
  2. NEIGHBORHOOD TRANSITION ZONES, WHERE APPLICABLE, SHALL COMPLY WITH THE REQUIREMENTS OF UDO SECTION 3.5.2. EXCEPT THAT TRANSITION ZONE A—PROTECTIVE YARD, SHALL ALLOW FOR EXISTING QUALIFYING TREES OR TREE PROTECTION AREAS TO SATISFY THE PLANTING STANDARD OF THE PROTECTIVE YARD. REFER TO DETAILS. THIS SHEET.
- LOADINGS (UDO SECTION 7.2):**
1. NO EXISTING OR PROPOSED PUBLIC STREETS ARE PLANNED FOR THE CAMPUS. STREET YARDS, TRANSITIONAL YARDS, AND SCREENING BETWEEN DISTRICTS AND INTERNAL USES DO NOT APPLY.
- STREETS & BLOCKS (UDO SECTION 4.6.2(D)1-3):**
1. THE CMP BOUNDARY SHALL SERVE AS THE REGULATING DISTRICT BOUNDARY AND THE CAMPUS SHALL BE CONSIDERED ONE SINGLE PROPERTY FOR PURPOSES OF REVIEW AND APPLICATION OF ALL DISTRICT DIMENSIONAL STANDARDS. AS SUCH, THE STREETS AND BLOCKS STANDARDS OF UDO ARTICLE 8.3 SHALL NOT APPLY TO THIS CMP.

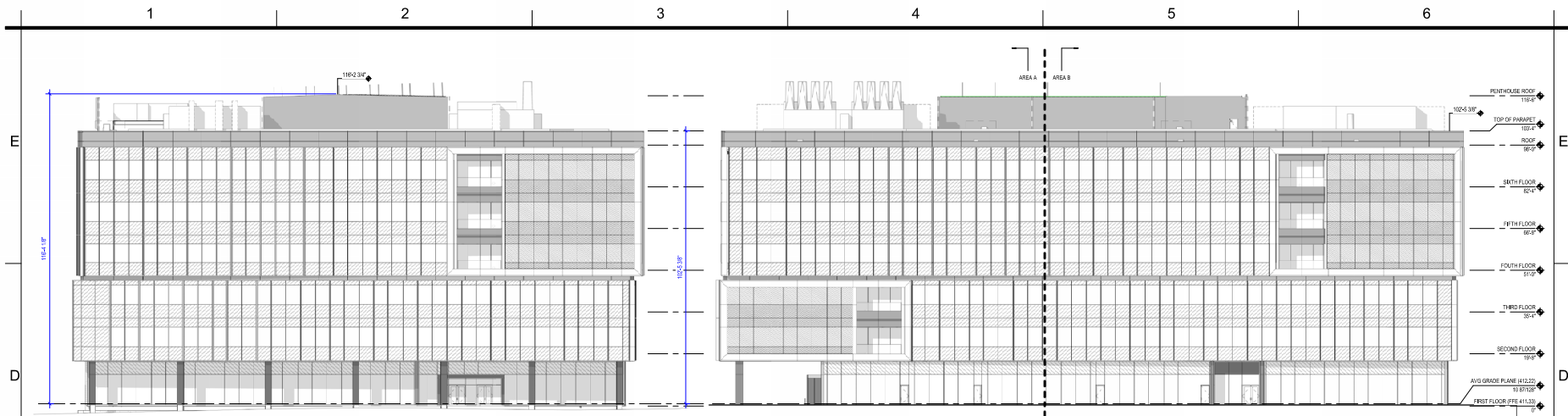
- SPECIAL MASTER PLAN CLARIFICATIONS:**
- GROUND FLOOR ELEVATION (UDO SECTION 1.5.7.8):**
1. THE GROUND FLOOR ELEVATION REQUIREMENTS SHALL NOT APPLY TO INTERNAL PRIVATE STREETS WITHIN THE CMP.
- TRANSPARENCY (UDO SECTION 1.5.9):**
1. NO EXISTING OR NEW PUBLIC STREETS ARE PROPOSED WITHIN THE CAMPUS DISTRICT BOUNDARY. TRANSPARENCY STANDARDS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS.
- BLANK WALL (UDO SECTION 1.5.10):**
1. NO EXISTING OR NEW PUBLIC STREETS ARE PROPOSED WITHIN THE CAMPUS DISTRICT BOUNDARY. BLANK WALL STANDARDS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS.
- PRIVATE RESIDENTIAL GARAGE PARKING OPTIONS (UDO SECTION 1.5.12):**
1. NO EXISTING OR NEW PUBLIC STREETS ARE PROPOSED WITHIN THE CAMPUS DISTRICT BOUNDARY. PRIVATE RESIDENTIAL GARAGE PARKING STANDARDS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS.

**PREVIOUSLY APPROVED DEVELOPMENT PLAN UNDER REZN-0065-2020 & MP-1-20 FOR REFERENCE ONLY**



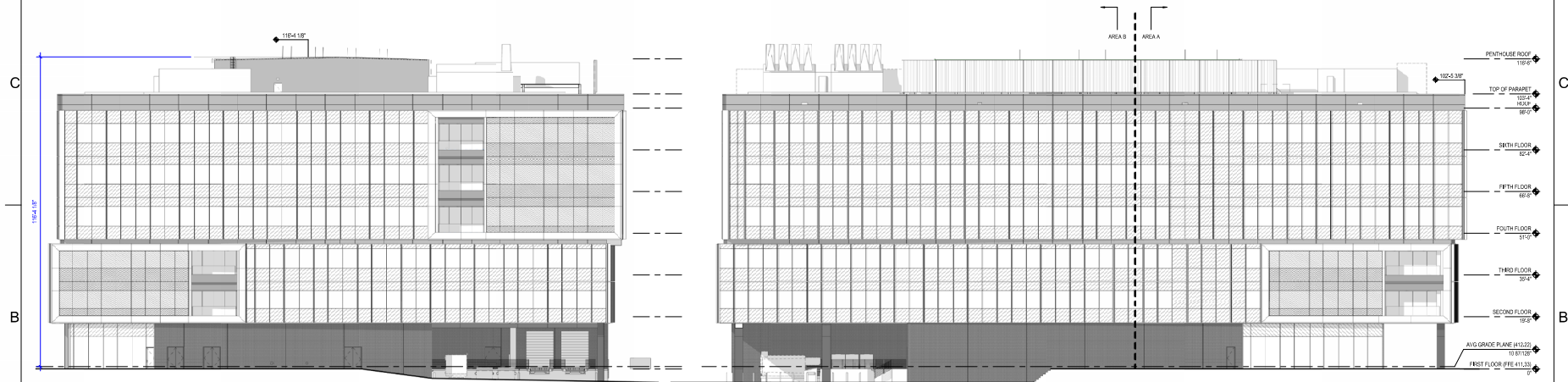






D1 EAST ELEVATION  
1/16" = 1'-0"

D3 NORTH ELEVATION  
1/16" = 1'-0"



B1 WEST ELEVATION  
1/16" = 1'-0"

B3 SOUTH ELEVATION  
1/16" = 1'-0"

GENERAL NOTES - OVERALL EXTERIOR ELEVATIONS		LEGEND - OVERALL EXTERIOR ELEVATIONS		KEYNOTES		GRAPHIC SCALE					
<p>1. REFER TO SHEET A-001 FOR OVERALL NOTES, MATERIAL LEGEND, SYMBOLS AND ABBREVIATIONS.</p> <p>2. REFER TO SHEETS A-011-A-012 FOR ENLARGED EXTERIOR ELEVATIONS.</p> <p>3. REFER TO SHEETS A-011-A-012 FOR ENLARGED CURTAIN WALL ELEVATIONS.</p>		<div><div></div>FULLY TEMPERED, CLEAR, SAFETY GLASS AT TERRACE GUARDRAILS ONLY (GL-2)</div> <div><div></div>LOW IRON, CLEAR VISION IGU AT FIRST FLOOR ONLY (GL-3)</div> <div><div></div>CLEAR VISION IGU (GL-4)</div>	<div><div></div>REFLECTIVE VISION IGU (GL-5)</div> <div><div></div>SPANDREL IGU (GL-6)</div> <div><div></div>REFLECTIVE SPANDREL IGU (GL-7)</div>			SCALE: 1/16" = 1' <div><div></div><div>0</div><div>16</div><div>32</div><div>48</div></div>					
1		2		3		4		5		6	

NOT FOR CONSTRUCTION

ASO OVERALL ELEVATIONS  
RALEIGH, NC 27605

LINCOLN HARRIS  
NC STATE CENTENNIAL CAMPUS  
- BLOCK 7 DEVELOPMENT

MARK	DATE	DESCRIPTION
P	07.28.2023	50% CD SUBMITTAL
E	08.16.2023	60% CD SUBMITTAL
A	12.16.2021	35% SD SUBMITTAL

MARK	DATE	DESCRIPTION
PROJECT NO.	21902.00	
DATE:	07.28.2023	
DRAWN BY:	AMB / ECH / JCC / RAC	
CHECKED BY:	JCC	
COPYRIGHT © 2022 HANBURY DESIGN WITHOUT VULTIAS - COMPANY		

SHEET TITLE:  
**EXTERIOR ELEVATIONS - OVERALL**

SHEET NUMBER:  
**A201**