

## Administrative Approval Action

Case File / Name: ASR-0037-2023 DSLC - BLOCK 07 LABORATORY BUILDING

LOCATION:This site is located on the west side of Centennial Parkway, west of Main Campus<br/>Drive at 811 Partners Way on the Centennial Campus-NCSU.REQUEST:Development of a vacant, 1.888 acre/82,228 sf tract zoned CMP SRPOD. A<br/>proposed 6-story, 326,897 sf public & institutional, civic/college, university use for a<br/>Life Science Building on Centennial Campus. No proposed right-of-way dedication<br/>is included in this development plan nor required per the rezoning REZN-0065-2020.<br/>The site is located in sub-district B of the Centennial Master Plan (MP-1-20).

REZN-0065-2020/MP-1-20 - Centennial Campus Master Plan - NCSU. 1st Adopted - May 18, 2021; 2nd Adopted - June 1, 2021. Effective June 6, 2021.

#### DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 24, 2023 by McAdams Company.

### **CONDITIONS OF APPROVAL and NEXT STEPS:**

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

#### The following items are required prior to approval of Site Permitting Review plans:

#### General

- 1. A copy of sheet MP-2 of the master plan document set, from REZN-0065-2020 & MP-1-20, is inserted into the civil Site Permit plans set.
- 2. A detail illustration of proposed short-term bicycle parking racks and space maneuverability diagram is inserted into the civil Site Permit Review plans set.
- 3. A copy of the SWS Will Serve letter is transposed into the civil Site Permit Review plans set and details of the SWS enclosure, and screening area are provided at SPR review. All screening complies with UDO Sec.7.2.5 & the SWS Manual, per their design & site layout approval.

#### **Public Utilities**

4. note on SPR that domestic BFP shall be located (inside bldg) within 50' of piping behind WM



## Administrative Approval Action

 submit grease trap calcs / specs / details to RW FOG for review, obtain FOG approval email & affix to SPR. contact (https://raleighnc.gov/permits/services/fats-oil-and-grease-fog-interceptors) or (fog@raleighnc.gov) for more info

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

#### The following items must be approved prior to the issuance of building permits:

#### Stormwater

1. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

#### The following are required prior to issuance of building occupancy permit:

#### Stormwater

- 1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

#### 3-Year Expiration Date: September 27, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

#### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ Danial / Stagall

Date: 09/27/2023

Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy

# CENTENNIAL CAMPUS INNOVATION DISTRICT BLOCK 07 LABORATORY BUILDING - PHASE B

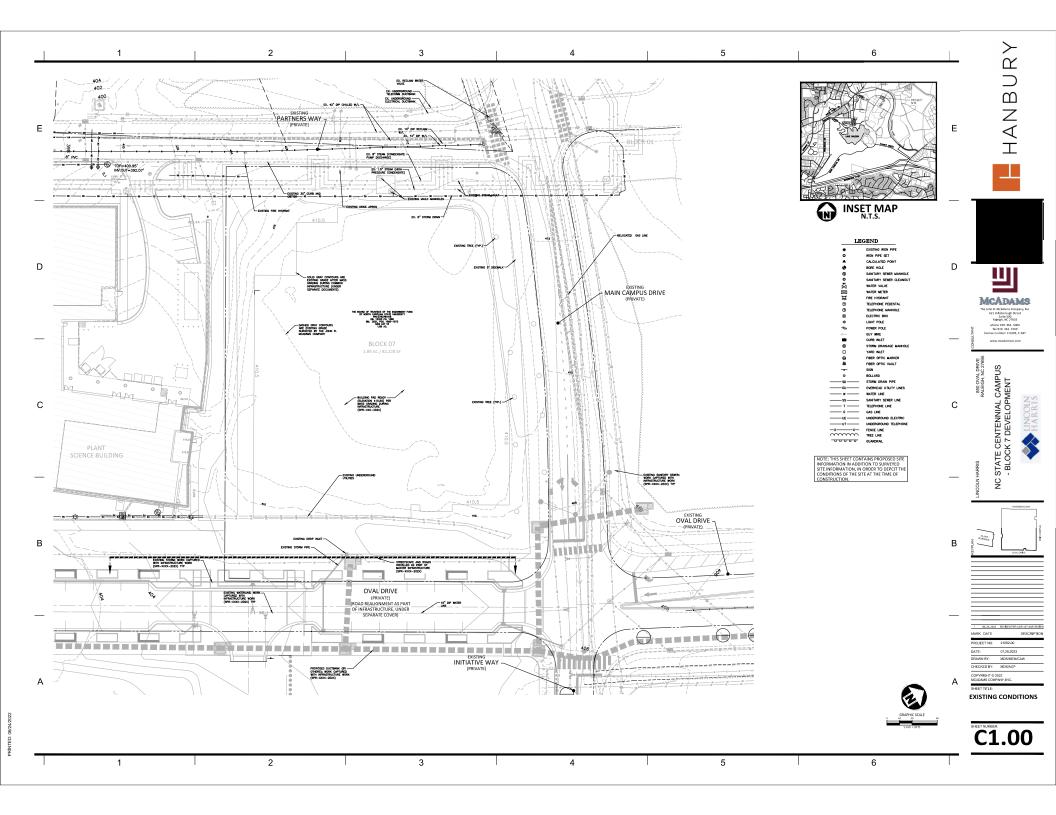
MCADAMS The John R. McAdams Company, Inc

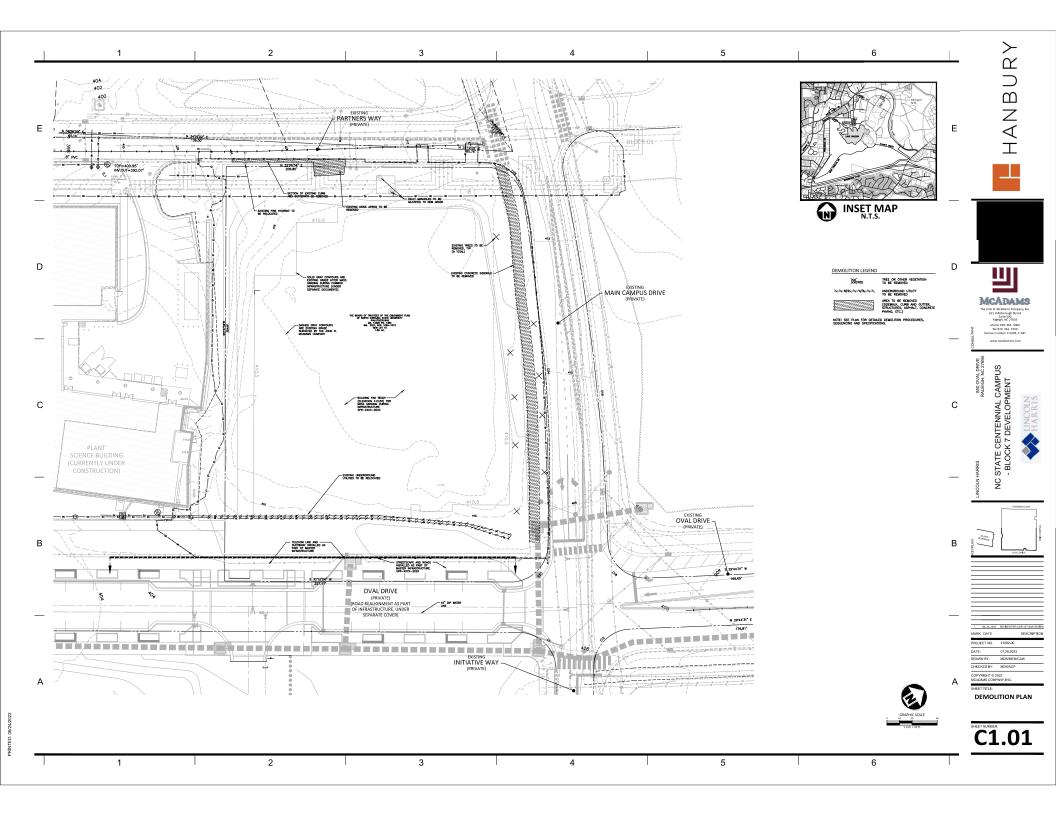
> Suite 500 Raleigh, NC 27603 shone 919, 361, 5000 fax 919, 361, 2269

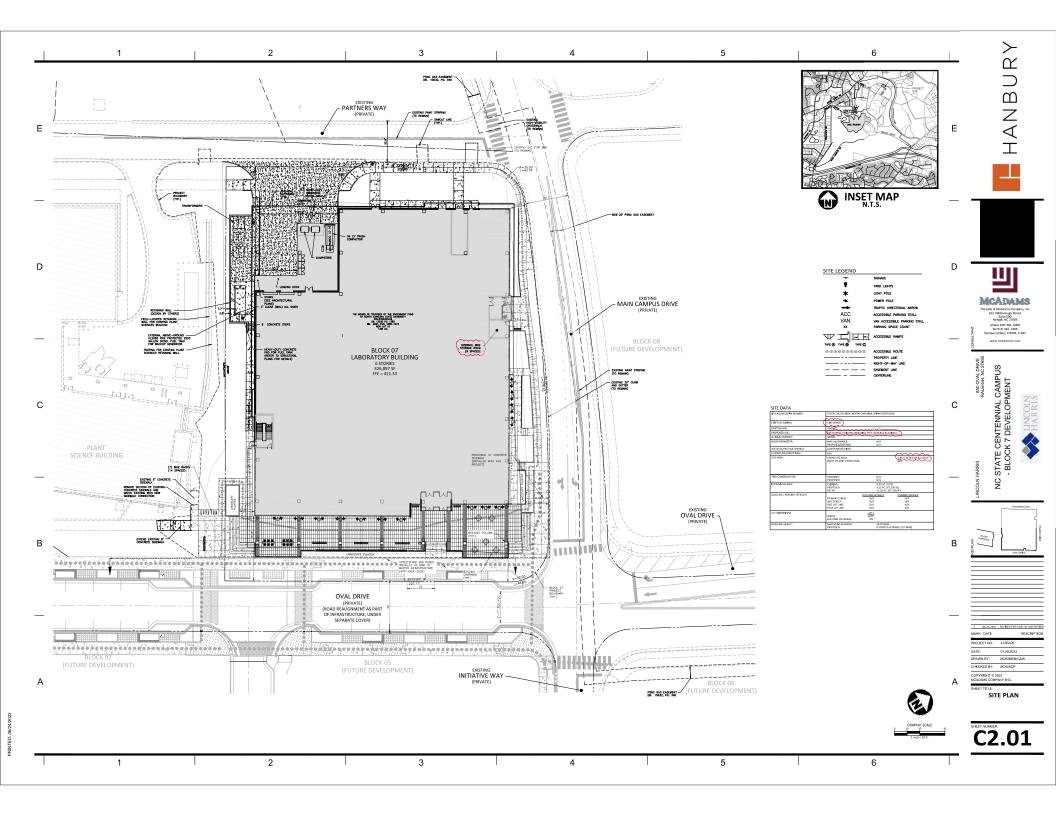
ADAM PIKE pike@mcdamsco.com OFFICE: 919.361.5000 x128 DIRECT: 919.287.0780

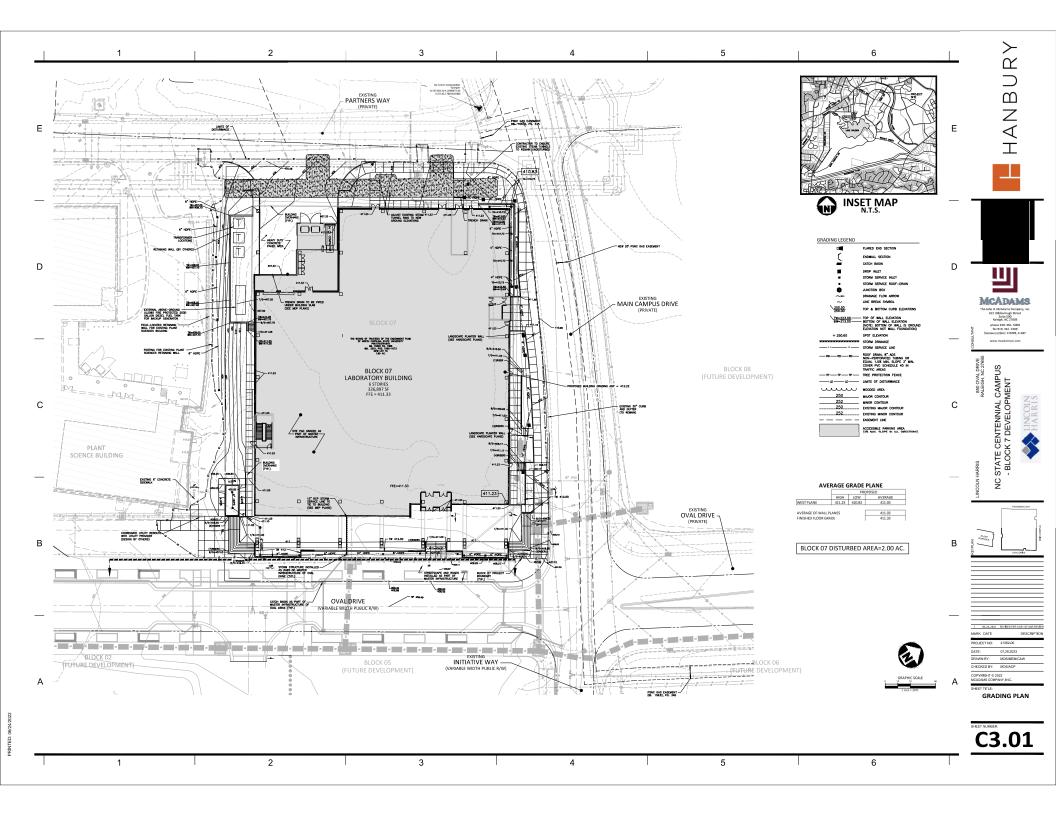
	1		Cummunum		
Administrative Site Review Application		811 PARTNERS WAY			CLIENT LINCOLN HARRIS
Administrative Site Review Application Review Application Relief	RALE	IGH, NORTH CAROLINA, 27606			4725 PIEDMONT ROW DR, SUITE 800 CHARLOTTE, NORTH CAROLINA, 28210 704.714.7600
Other Use Only, Case # Planner (print; Please neview UGD Section 15.2.8. to determine the site gint for if descence determining a Site Plan Ter is needed a Site Plan Ter Vertication expects can be automated online via the <u>Plannet and Development Destin</u> (Net): There is a Net in the welfactor service.)					LINCOLN HARRIS
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Aductive     Aductive     Aductive     Companyation     Constraints     C		PROJECT NUMBER: 2021110701			PROJECT DIRECTORY
GENERAL INFORMATION Development innere Block 07 Laboratory Building		CASE NUMBER: REZN-0065-2020	SHEET INDEX C0.00 PROJECT NOTES C1.00 EXISTING CONDITIONS		LINCOLN HARRIS 4725 PIEDMONT ROW DR, SUITE 800 CHARLOTTE, NORTH CAROLINA, 28210 204 214 7600
Inside City Imits*         Yes [2] No           Property address(et)         811 Partners Way           Size P1A (s);0793751518		CASE NUMBER: MP-1-2020	C1.00 EXISTING CONDITIONS C1.01 DEMOLITION PLAN C2.01 SITE PLAN		MEP ENGINEER AFFILIATED ENGINEERS INC
Plause describe the scope of work include any additions, expansions, and uses (UCO 6.1.4). New We adjusted by the scope of work include any additions reparations, and uses (UCO 6.1.4).		CASE NUMBER: ASR-0037-2023	C3.01 GRADING PLAN C4.01 UTILITY PLAN		1414 RALEIGH ROAD #305 CHAPEL HILL, NC 27517 PHONE: 919.419.9802
New as a cherce office busing and associated in resolutione Current Preperty Owner(s): Board of Trustees of the Endowment Fund of The North Carolina State Univa			C8.00 SITE DETAILS C8.01 WATER DETAILS		STRUCTURAL ENGINEER LYNCH-MYKINS STRUCTURAL ENGINEERS, P
Conserver, Centernial Development Righthabididar Tile. Address: Campus Box 7230 Phone R		DATE: JUNE 27, 2023	C8.02 STORM DRAINAGE DETAILS C8.03 SANITARY SEWER DETAILS		301 N. WEST STREET #105 RALEIGH, NC 27603 PHONE: 919.782.1833
Applicant Name (If different from owner, See "who can apply" in instructions): Petadonah p to oknet (2) asses or toritad purchaser () Owner's authorized agent, () [Seement holder Company, Centennial Development Rig() Address 4725 Priodmont Rew Dr, Ste 800, Charlotte, NC 28210		REVISED: AUGUST 24, 2023	MP-3 APPROVED DEVELOPMENT F MP-7 APPROVED TREE CONSERVA	LAN (FOR REFERENCE ONLY) FION PLAN (FOR ENTIRE CENT CAMPUS)	GEOTECHNICAL ENGINEER COMPANY NAME
Company, Containtial Development Rig Address: 4725 Pertmont Mow Dr. 55a 800, Charloss, NC 28210 Page 1 of 3 residence, ov		SITE DATA Im address/meanualeri Im address/meanualeri			ADDRESS CITY, STATE, ZIP PHONE: XXX, XXX, XXX
		DISTRIG 20146: (CMF 3900) DISTRIG 081: VPCAR			ARCHITECT HANBURY 223 S. WILMINGTON STREET #200
Phone 8: 919.645.6968 Enel: downorg/sincorhanis.com Note: place attack purchase agreement or contract, leave or leavement when submitting this form: Developer contract: David Common	APPLICANT SIGNATURE BLOCK	Instruction (Construction) (Construc			223 S. WILMINGTON STREET #200 RALEIGH, NC 27601 PHONE: 919.301.0202
Company; Lincoln Hamis Title: Sr. Vice President. Address: 1730 Varisht Dr. Suite 300, Rateigh, NC 27606	Primum to state two IN-C. Gen. 541.5 (100-000), spectrations for development approvals may be made by the landowner, a leasance or parson holding an option or contract to purchase or stease land, or an authorized aport of the landowner. An economent holding may aport apply for development approval to auto belowingement as is	MARTER LUPPY INALIZATION         MARTER INFLUE ONE           VICTORIAN/RMA FRALL         Marter INFLUE			
Pione # 1916 645.6968 Ereak doomor@incomhams.com Appliant Name: David Connor Comany: Lincoin Hamts Address: 1720 Varsity Dr. Suite 300, Raleigh, NC 27006 Privale # 1918 645.6968 Ereak doomor@incoinhams.com	activitized by the assessment, by submitting this application. The undersigned applicant acknowledges that they are attract the property owner or one of the propone autorized by state two (N.C.G.S. 1607–100(a)) to make this application, as specified in the	THE COMPARIZON MOLECULAR DECISION	BUILDING ELEVATIONS (BY HANBU A201 EXTERIOR ELEVATIONS - OVERAL		
DEVELOPMENT TYPE + SITE DATE TABLE	correct and the undersigned understands that developments approach are subject to invocation for false statements or minerpresentations made in securing the development approach, pursued to M.C. Gen. Stat. § 1605-403().	First Lunderstation         BiodProDuct         N/A           MMTRINOS.MEA         BIODPRC:         BIOLS (2014)           BIODPRC:         BIOLS (2014)           BIODPRC:         LSRAC (2014)           BIOLS (2014)         LSRAC (2014)			
(Applicable to all developments) SUEDING DATA BUEDING DATA	The undersigned indicates that the property overrigits is avere of this application and that the proposed preject described in this replication will be maintained in all respects in sections with the piper and specifications submitted tensels, and in accordance with the provisions and regulations of the City of Raliegh Linkled Development, Claffance.	RALENG / PARING STERACIS RALENG / PARING STERACIS PROVIDE STERAC			
2014 Sectors and a sector and a	This undersigned hereby acknowledges that, pursuent to statis law (N.C.G.S. 143-1566)), Privil permit application is placed on heal at the sequent of the applicant for a period of static consolvier involtes or move, or if he topplicant fields is sequent to committee or provides additional dimensionalizably pair (C) for a period of all consolvier motives or more, then the application review is discontinuous and pair application in required to provide and the devicement to placement error to be required provides in treasment admits and pair to the average placetarian.	KAN LOT LINE: N/A N/A LOT DAMENGONS     WOTH::::::::::::::::::::::::::::::::::::			
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			IMPERVIOUS AREA TRACKING TABLE	annua nama;	
Page 2 of 3. seven and se	Pige 3 of 3: Revision values ratiogence gov	HONORD NA 842 HARDAG MCUMOD NA	ACREAGE 1.89 AC. MAX: IMPERIOUS 1.55 AC.	SITE	
	0	INTERNATION REQUIRED PER VOID: N/A PROVINCE. N/A			
NOTE: NO TREE CONSERVATION PLAN REQUIRED DUE TO PROPOSED SITE AREA BEING LESS THAN 2.00 ACRES. UDO 4.7.4.11		200			REVISIONS
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS,		8111			1 08.22 2003 NEVERO PER COR 131 ASPREMENT
SOLID WASTE COMPLIANCE STATEMENT:	6	CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-806-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITES LOCATED.			
THE DEVELOPER ADMONILEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN THE SOLD WASTE DESIGN MANUAL.     THE SOLD WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE (S	ruive 4	their own locator shall contact any local utilities that provide their own locator services independent of 'nc811'			
<ol> <li>THE SOLD MASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE (S SHEET.</li> <li>REFLIGE WILL BE COLLECTED IN CENTRAL COMPACTOR AND/OR DUMPSTERS AND RECYCLING THE STEL.</li> </ol>		BEFORE YOU CITY. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.		N.T.S. Digitally stoned by Jermont.Purifoy@ratebainc.gov Date: 2023.09.25 11:181 3104'00'	ADMINISTRATIVE SITE REVIEW PLANS FOR:
				Date: 2023.09.25 11:181 3104'00' Jermont Purifay Raleigh	CENTENNIAL CAMPUS INNOVATION DISTRICT - BLOCK 07 - PHASE B RALEIGH, NORTH CAROLINA, 27606
				Final drawing - NOT released for construction	RALEIGH, NORTH CAROLINA, 27606 PROJECT NUMBER: 2021110701

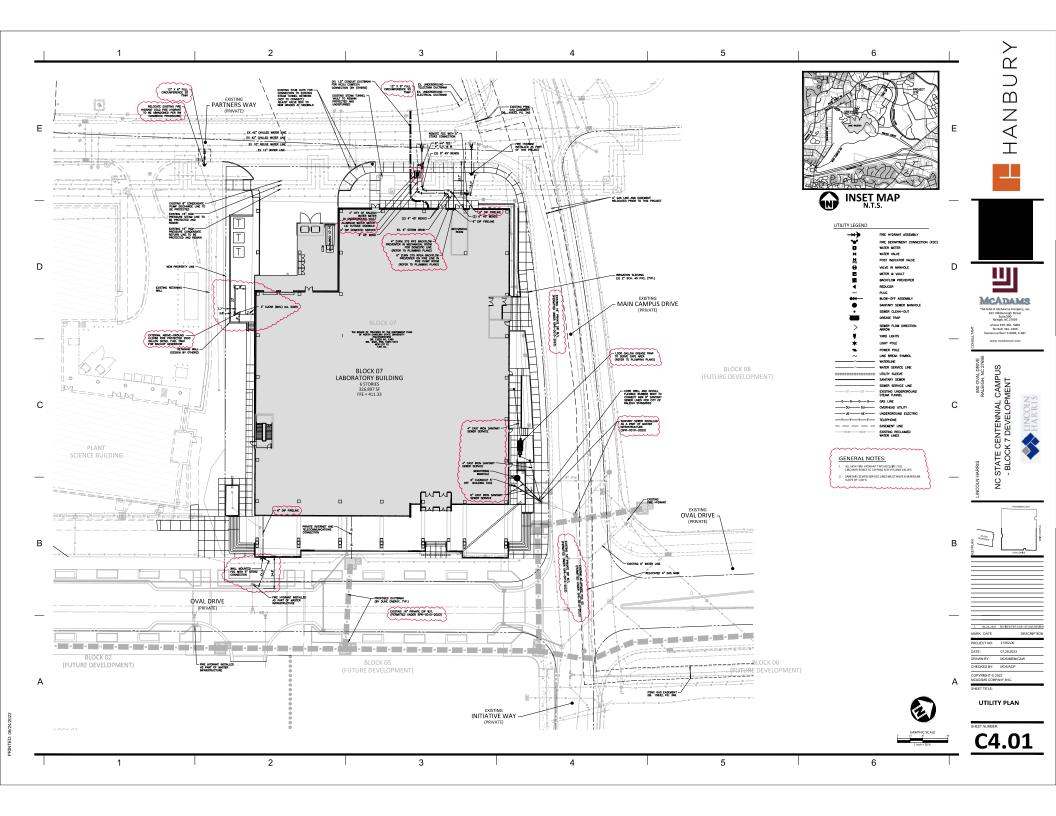
<form><ul> <li>B. B. B</li></ul></form>		1	2		3		4		5		6		
<form></form>						NORTH CAROLINA STATE UN STANDARD UTILITY NOTES (A	NORTH CAROLINA STATE UNIVERSITY PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)		(REZONING CASE: REZN-0065-2020, MASTER PLAN: MP-1-20)				
<form><ul> <li>A. B. A. B. B. A. B. A. B. B. A. B. B. A. B. B.</li></ul></form>			ALL DRIVENSIONS AND GRADES SHOWN C CONTRACTOR SHALL NOTIFY THE ENGINE NECESSARY FLAN OR GRADE CHANGES. N. DUE TO DIMENSIONS OR GRADES SHOWN	IN THE PLANS SHALL BE FIELD VERIFIE ER IF ANY DISCREPANCES EXIST PRIOR 2 EXTRA COMPENSATION SHALL BE PJ INCORRECTLY ON THESE PLANS IF SUR INCORRECTLY ON THESE PLANS IF SUR	TO BY THE CONTRACTOR PHOR TO CONSTRUCTION. IR TO PROCEEDING WITH CONSTRUCTION, FOR W/D TO THE CONTRACTOR FOR ANY WORK DONE ICH NOTIFICATION HAS NOT BEEN GIVEN.	1. 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION) 2. UTILITY SEPARATION REQUIREMENTS:	BE IN ACCORDANCE WITH CITY OF BALEIGH DESIGN STANDARCS,		MCADAMS RESPONSE: UNDERSTOOD.				
<form><ul> <li>Substanting</li> <li>Substan</li></ul></form>		<ol> <li>ALL CUT AND FILL SLOPES AND CHARNEL SIDE SLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEEDED UNTEL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:</li> </ol>				2.1. A DISTANCE OF 100" SHALL BE MAINTAINED BETV INPOUNDED RESERVOR USED AS A SOURCE OF C SAMETARY SWEEP PRE SHALL BE SPECIFIED A INSI BE LESS THAN 25 YOU A PRIVATE WELL OR SO'F DISTANCE OF THE SECOND A PRIVATE WELL OR SO'F	AVEN SANTARY SEVER & ANY PRIVATE OR PUBLIC WATER SUPPLY RENONG WATER. IF ADECUATE LATERAL SEPARATION CANNOT B ALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM YOUR A PUBLIC WELL	Y SOURCE SUCH AS AN E ACHIEVED, FERROUS IN SEPARATION SHALL NOT	<ol> <li>THE CMP BOUNDARY SHALL SERVE AS THE REGULATING DISTRICT BOUNDARY, DISTRICT DIMENSIONAL STANDARDS. AS SUCH, THE BLOCKS, LOTS, AND ACCES MICADAMS RESPONSE: UNDERSTOOD.</li> </ol>	AND THE CAMPUS SHALL BE CONSIDERED ONE SINGLE ISS STANDARDS OF UDO ARTICLE 8.3 SHALL NOT APPLY	SLE PROPERTY FOR PURPOSES OF REVIEW AND APPLICATION OF ALL N.Y TO THIS CMP.		
<form><ul> <li>Name and the second second</li></ul></form>		C.1. SHINKS SILENKS - MARIEL 1. JAVIL 32 SHINKE DASK 2.5 UIS. HM 1, GOO SHARK FOOT. (2) SHINKE SILENKS - MARIEL 1. JAVIL 32 SHINKE DASK 2.5 UIS. HM 1, GOO SHARK FOOT NIXON WITH 1 RUSHE. (3) MARKETATEL X. HAVE AND A SHINKE DASK 2.5 UIS. HM 1, GOO SHARK FOOT NIXON WITH 1 RUSHE.		2.3. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPA ORSTEEL ENCASEMENT EXTENDED 10' ON EACH S	ARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER IDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERUNI	RMAIN, DIP MATERIALS RESPECIFICATIONS	1.5.4 (µ) PHIMARY AND SIDE STREET DESIGNATION     1.5.8 PEDESTRIAN ACCESS REQUIREMENT     MICADAMIS RESPONSE, UNDERSTODO.		MAN UN UNITED BY THE SOVERERN STATE OF NORTH CARDUNA AN XIALLY, THIS APPLICATION ELECTS THAT THIS CARP	Ĕ			
<form></form>		C.3. ASPHALT TACK AND STRAW MULCH 6 GALLONS FOR 1,000 SQLARE FOOT, ALL SEEDING SHALL BE MULCHED. 3. CITY ENSINEER AND OTHER APPLICABLE AGENCIES SHALL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHOD	<ol> <li>PROR TO BESINNING CONSTRUCTION, TH CONFERENCE WITH THE CITY OF RALEIGH REPRESENTATIVE OF THE OWNER.</li> </ol>	HE GENERAL CONTRACTOR SHALL SCHE STORMWATER AND EROSION CONTRO	HEDULE AND ATTEND A PRE-CONSTRUCTION ROL DEPARTMENT, THE ENGINEER AND A	2.4. 5.0 <sup>°</sup> MINIMUM HORIZONTAL SEPARATION IS REQU SPECIFIED FOR SANITARY SEWER	JRED NETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIE	ES, UNLESS DIP MATERIAL IS	<ol> <li>ALL CONDITIONS SHOWN IN CORRESPONDING MASTER PLAN ARE SUBJECT TO MCADAMS RESPONSE: UNDERSTOOD.</li> </ol>		SHALL BE ADMINISTERED PURSUANT TO AN EXISTING MEMORANDUM OF 7 SEQUER FRET OF GROSS FLOOR AREA OF THE DAME ENTITIATION TO 20 BY THE OTY OF ARLENGT A VALUARY TO YAKE BE THE TRANSMIC	F	
<form><ul> <li>Second and a constraint of a con</li></ul></form>		CONTING, FUNKIAN REAMBOOD BY THE ANY BANGTONE AUTOMATING VERTIL BERKETON INDUCTS THAT THE ANY BANGTO CONTING, FUNKIANIS AND ANY THETTICH IN CONTENSION RECEIPTING THE ANY BANGTON THAT THE ANY BANGTON CONTING AND ANY BANGTON AND ANY THE CARACTER ANY BANGTON TO BERMINING CONSTRUCTION.	<ol> <li>EXISTING UTILITIES AND STRUCTURES SHO THE BEST AVAILABLE RECORD DRAWINGS, CONSTRUCTION, ANY DISOREPANCIES SHA</li> </ol>	WIN, BOTH UNDERGROUND AND AND LTHE CONTRACTOR SHALL VERIFY FIEL ALL BE REPORTED TO THE ENGINEER IN	OVE GROUND, ARE BASED ON A FIELD SURVEY AND ELD CONDITIONS PRIOR TO BEGINNING RELATED IMMEDIATELY.	2.6. ALL OTHER UNDERGROUND UTILITIES SHALL CROS	SS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATI	TION REQUIRED	<ol> <li>FOR ANY DEVELOPMENT PLAN APPLICATION THAT PROPOSES TO INCREASE OR SROPS FLOOR APPLA WITHIN THE MASTER PLAN APPL. FOR THE PLAPOSE OF T</li> </ol>				
<form><ul> <li>A. A. A</li></ul></form>		CORSTRUCTION ON EXEXUATION TO HAVE EXISTING UTILITIES LOCATED. CONTINCTION SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THER OWN LOCATOR SERVICES INDEPENDENT OF "NO312". REPORT ANY DISCREMANCES TO THE ENGINEER IMMEDIATEX.	<ol> <li>SCAL UNDER BUILDINGS, PAVED AREAS A, COMPACTED AS RECOMMENDED BY THE</li> </ol>	NATINAN SLOPIS GREATER THAN 3., GEOTECHNICAL ENGINEER.	A USY MAAL BE APPROVED, PLACED AND	<ol> <li>DEVILOPER SHALL PROVIDE 30 DAYS ADVANCE WRITT UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY</li> </ol>	IN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EDD	ISTING CITY OF RALEIGH	HAS NOT BEIN CONSTRUCTIO. MCADAMS RESPONSE: UNDERSTOOD. 8. PRIMARY STREETS ARE EXISTING AND WILL REMAIN PRIVATE AS SHOWN. ANY BAI INSEY STREET DESIZED ANALY IN 18Y ACT AT THE THE DETUS ADDICATO	NEW STREETS WITHIN THE CAMPUS WILL PRIVATE AN			
<form></form>		<ol> <li>PROPERTIES AND INSHE OF-WAY ADJOINING THE STEE SHALL BE EXPT CLEAN OF MUD OR SLET CARRED FROM THE STE BY VEHICULAR TRAFFIC OR RUNAFF, ARE MUD OR SLET THAT MAD/RETERTLY DESINTO ADJOINING PROPERTIES OR ROWT OF-WAY SHALL BE READVOID INVESTMENT BY THE CONTRACTOR.</li> </ol>		THE LATEST CITY OF RALEIGH, NCSU,	, AND/OR INCOUT STANDARDS AND SPECIFICATIONS	6. 3.0° MINIMUM COVER IS REQUIRED ON ALL WATER MI	AINS & SEWER FORCEMAINS, 4.0' MINIMUM COVER IS REQUIRED	ON ALL REUSE MAINS			VED NON-CONFORMING AT THE TIME OF THIS APPLICATION SHALL NOT BE IG AREAS SCHEDULED FOR FUTURE DEVELOPMENT WILL BE SUBJECT TO TH	1	
<form><ul> <li>A. A. A</li></ul></form>		ALL CONSTRUCTION TRAFFIC SHALL SHTTP: AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.     EXCLUSION DAMATERIAL FROM TRENCISS SHALL BE PLACED ON THE UPGRADE SDE OF THE TRENCH TO ALLOW MATERIAL TO     EXCLUSION THE TRENCI.	2. ALL DIMENSIONS SHOWN ON SITE PLAN	ARE MEASURED TO FACE OF CURS UN	INLESS OTHERWISE NOTED.	8. INSTALL N° COPPER* WATER SERVICES WITH METERS I IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY S	LOCATED AT ROW OR WITHIN A 2'32' WATERLINE EASEMENT IMM IZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADM	MEDIATELY ADJACENT. NOTE: RIQUATE FLOW & PRESSURE	20. BUILDING HEIGHT (UDD SECTION 4.6.2.8): 20.1. HEIGHT SHALL BE SET BY CMP PER TEXT CHANGE TO 15-20.				
		<ol> <li>Averandou Leven and Hanker, And Hanker JG, ALL BROOM CONTROL CRAFKS SHE THE REPORTING UT OF GRADING CONTRACTION BUILTS ST THERMOST DURING, NAIO SKY LEVEN PRIMARKSINI IN THE GRADING AUTOMATION SHE TERMES CONTRACTION OF THE PLANS AND BASED ON THE BEST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING, CONTRACTION TO FEED FUNDS AND BASED ON THE BEST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING, CONTRACTION TO FEED FUNDS AND BASED ON THE BEST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING, CONTRACTION TO FEED FUNDS AND BASED ON THE BEST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING, CONTRACTION OF THE PROVIDENCE AVAILABLE AND THE REST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING, CONTRACTION OF THE DEVICE AVAILABLE AND THE REST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING, CONTRACTION OF THE DEVICE AVAILABLE AND THE REST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESING. CONTRACTION OF THE DEVICE AVAILABLE AVAILABLE AND THE AVAILABLE AND THE AVAILABLE AVAILABLE AVAILABLE OF DESING, CONTRACTION OF THE DEVICE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE AVAILABLE</li></ol>	<ol> <li>EXISTING IMPROVEMENTS DAMAGED DL AND TO THE SATISFACTION OF THE OWN</li> </ol>	JRING CONSTRUCTION SHALL BE REPLI VER, BY THE CONTRACTOR RESPONSIBIL	LACED/RESTORED TO THEIR ORIGINAL CONDITION BLE FOR THE DAMAGE.	10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL V SEWER SERVICES HAVING BUILDING DRAINS LOWER TH	NATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQ HAN 1.0° ABOVE THE NEXT UPSTREAM MANHOLE	QUINED ON ALL SANITARY	11. ALLOWABLE BUILDING TYPES (UDD SECTION 1.4.2): 11.1. ALL BUILDING TYPES AS SET FORTH BY UDD ARTICLE 1.4 SHALL BE ALLOWE			_	
			<ol> <li>CONTRACTOR SHALL NOTIFY "NCELL" (8: CONSTRUCTION OR EXCAVATION TO HAN THAT PROVIDE THEIR OWN LOCATOR SEI</li> </ol>			WETLAND &/OR FLODOPLAIN IMPACTS (RESPECTIVELY 12. INCDOT / RAUROAD ENCROACHMENT AGREEMENTS AT WITHIN STATE OR RAUROAD ROW PRIOR TO CONSTRU	() PRIOR TO CONSTRUCTION RE REQUIRED FOR ANY UTILITY WORK [INCLUDING MAIN EXTENSIO ACTION	IONS & SERVICE TAPS]	12. LANDSCAPE AND SCREENING (UDD SECTION 7.2.4; 7.2.5):			D	
<form><ul> <li>Numerican Action of Ac</li></ul></form>	,	1. THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC	7. CONTRACTOR IS RESPONSIBLE FOR COOP ANY REQUIRED RELOCATIONS ().E. POWE	RDINATING CONSTRUCTION ACTIVITIES ER POLES, TELEPHONE PEDESTALS, WA	IES WITH THE APPROPRIATE UTILITY COMPANIES FOR MATER MOTERS, ETC.).	INFORMATION			12.2. EXISTING STREET YARDS ALONG FRONTAGE OF CENTENNIAL PARKWAY AN	ND AVENT FERRY ROAD WILL REMAIN.			М
A Constraint of A Constrain		<ol> <li>PHIOR TO START OF WORK, A PRE CONSTRUCTION MEETING MUST RESITUP WITH THE CONTINUCTOR AND THE CITY OF RALEXSH TRANSPORTATION RELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-966-3408 TO SET UP THE MEETING.</li> </ol>	ATTEND A PRE-CONSTRUCTION CONFERE REPRESENTATIVE OF THE ENGINEER AND THE PLAN AND OPERATION OF THE FACIL	ENCE WITH THE CITY OF PALEISH PUBL OWNER. THE PURPOSE OF THIS MEET LITIES DURING CONSTRUCTION.	BUC WORKS DEPARTMENT (\$19) 996-2409, AND A ETING IS TO REVIEW THE SPECIFIC COMPONENTS OF	OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE BLDS PERMIT: CONTACT (\$19) 996-5923 OR CR055.CD	INV CROSS CONNECTION COORDINATOR FOR EACH DEVICE PRIOR NNECTION@RALEIGHNC.GOV FOR MORE INFORMATION	OR TO ISSUANCE OF A UC /	13. GENERAL DEVELOPMENT STANDARDS: OUTDOOR DISPLAY/STORAGE (ARTICLE	(7.5.2)			The Jo
		AUMAND. 5. A TUMPOWAY STREET CLOSURE REQUEST MUST BE SUBMITTED AT LAST A MINAMA OF TWO WEIRS PROR TO THE START OF WORK, SEP "MINI-OF-WAY CLOSURES" ON WWW.ARLIGHNC.COV. SHID THE MINI-OF-WAY OBSTRUCTION FROM REQUEST TO REISTOWNERSKUSSERULDENCE OV.	<ol> <li>ACCESSIBLE RAMPS SHALL BE CONSTRUCT 11. ALL SIDEWALKS THAT CONNECT TO THE I VISION AND PEOPLE WITH MOBILITY DIS VISION AND PEOPLE WITH WITH MOBILITY DIS VISION AND PEOPLE WITH WITH WITH WITH WITH WITH WITH WITH</li></ol>	CTED IN ACCORDANCE WITH THE NCSU PUBLIC RIGHT-OF-WAY MUST BE ACCE ABILITIES, PEDRISTRIAN EXISTING ROLD	SU FACILITIES AND ADA DETAILS. CESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW UTIS AND ALTIBINATE PEDISTRIAN POUTES DURING	REPLACEMENT PROJECT IS \$250,000 OR GREATER - THI MORE INFORMATION.	NAVAS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSEED MAD FROJECT MUST BE PUBLICLY RIDHEVER IS MORE STRINGENT. CO.	IN GRURBAN MAIN INTACT NOSU FACILITIES FOR	14. PRIMARY STREET SETBACKS (UDD SECTION 4.6.1.8.1): 14.1. MEASURED FROM THE REGULATING CAMPUS BOUNDARY			_	ONSULTANT
<form></form>		<ol> <li>THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.</li> </ol>	CONSTRUCTION WILL BE REQUIRED TO B 2010 ADA STANDARDS FOR ACCESSING O 2010 ADA STANDARDS FOR ACCESSING O 2010 ADA STANDARDS FOR ACCESSING O 2010 ADA STANDARDS FOR ACCESSING ON A REQUIREMENT. THE OLIVER GEOREMS A HEA GEORTICHNICAL ENGINEER DEEMS A HEA	IE COMPLIANT WITH THE PUBLIC RGH DESIGN AND THE MANUAL ON UNEOS RE SHOWN WITHIN THIS SET AND INTE NICAL REPORT SHALL OVER HIDE ALL T WIER SECTION IS REQUIRED.	HITS OF WAY ACCESSIBILITY GUDELINIS (PROWAG), DRM TRAFFIC CONTROL DEVICES (MUTCD). TENDED TO BE A MINIMUM PAVEMENT SECTION TYPICAL PAVEMENT SECTIONS SHOWN, IF THE		GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON MPE. 2" & REVAITHOUT RITINGS TO THE WATER METER. PRIVATE WATER: RS ARE REQUIRED TO SEPARATE PUBLIC WATER SYSTEMS FROM	& SAVALLEIR SYSTEMS MAY PRIVATE	15. SIDE STREET SETBACKS (UDD SECTION 4.6.1.8.2): 15.1. MEASURED FROM THE REGULATING CAMPUS BOUNDARY				RIVE 27695
<form><ul> <li>Numerican Antipanti and Antipa</li></ul></form>	,	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).	<ol> <li>EQUIPMENT AND PRODUCTS OTHER THA OWNER IN WRITING FRIOR TO ORDERING RELATED TO SUBSTITUTION OF ALTERNA</li> </ol>	AN THOSE SPECIFIED MAY BE USED PRO G OR INSTALLATION. THE CONTRACTO ITE DOLIPMENT.	ROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST	<ol> <li>ALL SEVER MAINS SHALL BE DUCTLE IRON PIPE, DEPARTMENT STANDARDS AND SPECIFICATIONS UNITED DEVELOPMENT ORDINANCE (UDD).</li> </ol>	AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET NCSU AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDE	U FACILITIES BOOK AND/OR	16. INTERIOR SIDE/REAR SETBACKS (UDD SECTION 4.6.1.8.2):	OUNDARY, THESE SETBACKS WILL NOT APPLY BETWEE	TEN USES OR SUB-DISTRICTS WITE NAL TO THE CAMPUS.		50 OVAL DR LEIGH, NC 2
<text><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></text>	<u> </u>	PAVEMENT MARKING NOTES	GUIDANCE.			INTERCEPTION DRESSAULTE WITERANTEN DORRODON SIST THE CURRENT CITY OF PALEER APPLICATION METHODS. 4. IN ACCORDANCE WITH GENERAL STATUTE 87-32: LECTORATE IN TO CATAGO & CONTRACTOR	WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDRO PUBLIC UTLITIES DEPARTMENT HANDBOOK FOR APPROVED COV (6), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, LOODRDMATE DRECTLY WITH THE NOT LEAST THE OCTOBER 1.	GEN SUUFIDE VTINGS AND 2014 SHALL BE 1T FOR DETAILS	17. NEIGHBORHOOD TRANSITION ZONES (UDD SECTION 3.5.2):			с	850 RALEI
<list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item>	:		1. ALL STORM DRAINAGE PIPES SHOWN	SHALL BE CLASS III REINFORCED CONC		<ol> <li>EDISTING UTILITIES SHOWN ARE BASED ON FIELD SHALL VERIEV CONDITIONS PRIOR TO BEGINNING THE PLANS SHALL BE REPORTED TO THE ENGINEER</li> </ol>	SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CO CONSTRUCTION, ANY DISCREPANCIES BETWEEN ACTUAL FIELD O IR INWEDIATELY.	ONTRACTOR CONDITIONS AND	<ol> <li>NEKHBORHOOD TRANSITION ZONES, WHERE APPLICABLE, SHALL COMPLY ALLOW FOR EXISTING QUALITYING TREES OR TREE PROTECTION AREAS TO MCADAMS RESPONSE: UNDERSTOOD.</li> </ol>	Y WITH THE REQUIREMENTS OF USO SECTION 3.5.2.1 2 SATISFY THE PLANTING STANDARD OF THE PROTECT	, EXCEPT THAT TRANSITION ZONE APROTECTIVE YARD, SHALL TIVE YARD.	2	
<ul> <li>Neurophinistic series of the se</li></ul>	3	<ol> <li>ALL PAVEMENT MARKINGS SHALL BE PLACED PER THE INCOOT DIVISION 12 STANDARD DETAILS. IF DIVISIE AMARKINGS ARE REDURED, THEY SHALL BE PLACED PER DITL OF INJERIES STANDARD BICYCLE FACILITIES OF INCOUTRANSPORTATION DETAILS.</li> </ol>	3. ALL CONCRETE SHALL MEET A NINIM 4. ALL PIPE IN STORM CRAIN STRUCTUR	IUM 3000 PSI COMPRESSIVE STRENGTY IES SHALL BE STRUCK EVEN WITH INSIG	TH.	<ol> <li>ALL WATER AND SEWER MAINS WITHIN PUBLIC E THE CITY OF PALESKL. ALL WATER AND SEWER M NESU FACILITIES DEPARTMENT.</li> <li>ALL UTITYS SEVER SHALL BE SCHEDULE AD PUC</li> </ol>	ASEMENTS OF RIGHTS OF WAY TO BE OWNED, OPERATED, AND P ANNS INSIDE NOSU PROPERTY TO BE OWNED, OPERATED AND MA	MAINTAINED BY MINTAINED BY	18.1. NO EXISTING OR PROPOSED PUBLIC STREETS ARE PLANNED FOR THE CAM MCADAMS RESPONSE: UNDERSTOOD.     19. STREETS AND BLOCKS (UDO SECTION 4.6.2.[0]1-3]:				
<form><ul> <li>Network in the second seco</li></ul></form>			<ol> <li>THE INTERIOR SURFACES OF ALL STOP STANDARD, USING MORTAR MIRED T</li> </ol>	RM DRAINAGE STRUCTURES SHALL BE TO MANUFACTURER'S SPECIFICATIONS.	E POINTED UP AND SMOOTHED TO AN ADDEPTABLE 65.	8. VIDEO SURVEILLANCE OF ALL SAM TARY SEWER N			20. GROUND FLOOR ELEVATION (UDD SECTION 1.5.7.R):		SINGLE PROPERTY FOR PURPOSES OF REVIEW AND APPLICATION OF ALL X TO THIS CMP.		<b>NRRIS</b>
<text><text><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item><list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></list-item></text></text>		1. NC STATE OWNS THE DOMESTIC WATER AND FIRE SERVICE ON CAMPUS. THE DISTRIBUTION SYSTEM IS CONNECTED TO THE CITY OF PALEIGH.	B. MATERIALS DEEMED BY THE OWNER REMOVED AND REPLACED WITH SUIT.	'S REPRESENTATIVE OR GEDTECH AS UR TABLE MATERIAL.	UNERLITABLE FOR BACKFILL PURPOSES SHALL BE				21. TRANSPARENCY (UDD SECTION 1.5.9): 21.1. NO EXISTING OR NEW PUBLIC STREETS ARE PROPOSED WITHIN THE CAMP		DS ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL		INCOLN HA
<list-item><ul> <li>A. B. A. B. B. A. B. B.</li></ul></list-item>		2. Second Sec	10. UNDER NO ORCUMSTANCES SHALL W	VATER BE ALLOWED TO RISE IN UNBAC	ACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.	NCSU NATURAL GAS NOT			22. BLANK WALL (UDD SECTION 1.5.10):	US DISTRICT BOUNDARY, BLANK WALL STANDARDS AN	ARE NOT APPLICABLE TO PRIVATE STREETS WITHIN CENTENNIAL CAMPUS.		5
<ul> <li>A. A. C. A. A.</li></ul>			<ol> <li>CONTRACTOR SHALL BE RESPONSIBLE ANY DAMAGED ITEMS SHALL NOT RE</li> </ol>	E FOR CHECKING ALL PIPE AND STRUCT INSTALLED.	CTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION	NUTERING AND LATERAL PIPING SHALL BE INCLUDED DEPENDENT TARBANS OF MAINS AND SHALL SERVICES	IN THE PROJECT. PINC ENERGY SHALL		23. PRIVATE RESIDENTIAL GARAGE PARKING OPTIONS (UDO SECTION 1.5.12):				·
		STATE WASTEWATER COLLECTION PERMIT.	14. ALL PRIMATE STORM DRAINAGE EASE	MENTS AND STORWWATER MEASURE	RES WILL BE MAINTAINED BY THE PROPERTY OWNER[S]				24. PARKING AND LOADING (UDD SECTION 7.1): 26.1. CENTENNIAL CAMPUS SHALL BE TREATED AS A SINGLE DEVELOPMENT UN	NDER THE CMP.		В	KEYPLAN
<ul> <li>a. Submit control in the set of the set of</li></ul>						IDENTIFICATION OF UNDERGROUND UTILITIES AND P 1. ALL UNDERGROUND PIPING AND UTILITIES, EXCEPT	IPING T LAWN IRRIGATION LINES, SHALL HAVE		24.3. REMOTE PARKING REGULATIONS AS SET FORTH IN UDO SECTION 7.1.5.8 5 24.4. EXCEPT WHERE INCOMPLIE IN THIS CARP, THE STANDARDS OF UDO SECTIO INCADARAS RESPONSE. UNDERISTOCO.	SHALL NOT APPLY TO THE CENTENNIAL CMP.			
						AND A SHORE OF HOMINE HAR AND AND/ON WARP NON-DETECTABLE AND DETECTABLE WARPING T. 2. DENTERCATION TAPE (NON-DETECTABLE WARPING AND BALING 15" TO SUT ABOVE THE SERVICE HE FINISHED GRADE. IT SHALL CONSIT OF MULTIPLE OVERALL THREE VERY OF THREE TARE TO AND TO WERALL THREE VERY OF THREE TARE TO AND TO SUT AND THE SERVICE OF THE SERVICE AND THE OVERALL THREE VERY OF THREE TARE TO AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THREE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SUT AND THE SERVICE AND THE SERVI	VES. TAMEI SHALL BE SIX INCHES (0°) WIDE, AND A MINIMUM OF 10° BELOW AYERS OF POLITETHIL BE WITH AN IT SHALL BE WATALLED OWTHIN KINK		25.1. ONE PARKING SPACE IS REQUIRED PER DWELLING UNIT; HOWEVER, NO M 25.2. NO VEHICLE PARKING IS REQUIRED FOR THE FIRST SUCCED DWELLING UN	4175.			
						WATERWORKS ASSOCIATION (APWA) COLOR COD	IE STANDARDS.		25.4. NO VEHICLE PARKING IS REQUIRED FOR THE FIRST 10,000 SQLARE FEET O 25.5. A 25% REDUCTION IN THE NUMBER OF REQUIRED PARKING SPACES IS ALL 25% REDUCTION IN THE NUMBER OF REQUIRED PARKING SPACES IS ALL	OF GROUND STORY GROSS FLOOR AREA.	A WALKING DISTANCE OF 1,320 FEET OF AN OPERATING TRANSIT STOP OR		
						FOOT INTERVALS. THE TAPE SHALL CONSIST OF AL	UMINUM FOIL CORE OR STAINLESS STEEL		DURING PEAR COMMUTE HOURS. MCADAMS RESPONSE: THERE IS NO LONGER A MINIMUM PARKING REQUI 26. COVERAGE GENERAL REQUIREMENT (UDO SECTION L.S.3.C):	REMENT THEREFORE NO ADDITIONAL PARKING IS REQ	EQUIRED TO BE PROVIDED.		1 01.2 MARK DA
						STUNUMBUS.			26.2. OPEN SPACE LOCATIONS AND ACREAGES FOR THE OVERALL CAMPUS ARE MASTER PLAN. THESE DALET AREAS MAY CHANGE AT THE DECRETION OF THE TOTAL AREAS SHOWN IN TABLE 5.	EA AS ILLUSTRATED ON THE OPEN SPACE PLAN AND WE THE UNIVERSITY AND THE STATE OF NORTH CAROLIN	WILL BE PRESERVED OR MAINTAINED AS SET FORTH WITHIN THIS CAMPUS INA, HOWEVER, THE TOTAL OPEN SPACE PROVIDED WILL NOT BE LESS THAT	AN	DATE: DRAWN BY
2. CONVECTOR OF VARIANCES OF LINEAR						4. TRACE WIRE SHALL BE INSTALLED ON ALL NON-MU UNES, AND INSTALLED FREY WITH COMPRESSION UNDERGOUND SHALL HAVE A TRACE R WIRE INS THE WIRE SHALL BE TARED TO THE SOTTOM OF T INTERNAS. TRACE WIRE SHALL BE SINGLE-COMD SINGLE-CONDUCTOR WIRE WITH TYPE "UP (UND SINGLE-CONDUCTOR WIRE WITH TYPE "UP (UND SINGLE TYPE)").	TAKLE PIPE, INCLUDING LAWN INNGATION ASKET FITTINGS INSTALLED ULLED ALONG THE LINIGHT OF THE PIPE. IN PIPE AT A MAXIMUM OF DO FOOT TOTOS, 30 GAUGE NINIMUM, COPPER ADDRING FEEDERI INSULATION, AND ING THROUGHT THE INSIDE OF FACTURE AND AND THROUGHT THE INSIDE OF FACTURE AND AND ING THROUGHT THE INSIDE OF FACTURE AND AND		27. GENERAL STORMWATER				CHECKED COPYRIGH MCADAMS SHEET TIT
2. CONTINUENDUM LES VIEL DE VI						BOX. 6. IDENTERCATION OF UNDERGROUND ELECTRIC UTI	unes		27.2. ALL DEVELOPMENT IS SUBJECT TO STORAWATER REVIEW UNDER THE UN DEVELOPMENTS WITH UNDO DISTURBANCE OVER 12,000 SQUARE FEET. U DEVELOPMENT UNDER THE UNIVERSITY'S STORAWATER MANAGEMENT I	WVERSITY'S MS4 PERMIT. CITY OF RALEISH REVIEW WI JPON REQUEST BY THE CITY OF RALEISH, NORTH CARD PERMIT.	WILL ONLY APPLY TO SEDIMENT AND EROSION CONTROL FOR PRIVATE ROLINA STATE UNIVERSITY WILL PROVIDE EVIDENCE OF APPROVAL OF NEW		знеет тл Р
Meeting TO MANNELSE, AND AND ON SITE (IN CONTROL AND						2. IDENTIFICATION TAPE SHALL BE SKI INCHES (6°) W ELECTROLUTILITY LINE, AND A MINANUM OF 310 B OF MULTINE LAYERS OF POLYETHEREE WITH AND M MLS. IT SHALL BE INSTALLED CONTINUOUS FROM 10	DE, AND BURIED 18" TO 50" ABOVE THE ICOW IMMSHED GRADE IT SHALL CONSIST ERAL THICORES OF THREE TO THE (3-5) ICTION BOX TO JUNCTION BOX OR		28. SIGNAGE (UDD SECTION 7.3): 28.1. ALL CAMPUS SIGNAGE SHALL COMPLY WITH THE NORTH CAROLINA STATE STANDARDS LISTED IN UDD SECTION 7.3.	E UNIVERSITY "CAMPUS SIGNAGE PROGRAM - EXTERIO	RIOR SIGNAGE" AND IS NOT SUBJECT TO THE CITY OF RALEIGH SIGNAGE		SHEET NU
CODE NUCL COLOR TWO COLOR TWO COLOR TO THE THE COLOR TWO THE THE COLOR TWIN THE THE COLOR TWI						MANHOLE TO MANHOLE, AND SHALL TERMINATE A LUNCTION ROX OR MANHOLE. THE BLACK COLORID BE ABMAXION RESISTANT AND BLATINTETE ON A C CONFORMS TO THE MATIONAL ELECTRIC SAFETY COL CODE (NEC) COLOR STANDARDS.	NANAMUM OF SK(6) INCHES AWAY FROM ETTERING ON THE WARNING TAPE SHALL SCIENCEDED BACKSTIDUNG THAT E (NESC) OR THE NATIONAL ELECTRIC		28.2. HE UNIVERSITY'S "CAMPUS SORAGE PRODUCT" IS SUBJECT TO CHANGE HTTPS://WOJECTS.ACSUJEDU/ACUTIES/HES/NC_STATE_UNIVERSITY_E MCADAMS RESPONSE: ALL PROPOSED SISPANGE WILL COMPLY WITH THE P	AT THE DISCRETION OF THE UNIVERSITY. THE "CAMPL "XTERIOR, SIGNAGE POP WSU CAMPUS SIGNAGE PROGRAM.	PUS SIGNAGE PROGRAM" CAN BE FOUND AT:		С













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CITY OF RALEIGH CURB RAMPS GENERAL NOTES

I. CITY OF RALE OF STANDARD CUTS RAMPS HAVE SEEN CEVELOPED IN ACCORDANCE WITH THE AMER CANS WITH DISASILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUDE UNES (PROWA)

L CIRE RAMPE SHALL BE PROJEKCIAT LOCITIONE AS REINAND MITHE MANS CRI IS RETTRE MITHER MORELRI, REIPHYLL NOCES (RAMPE SHALLS BL CARTE IS REPORTED IN THE ON MARKER, REIPHYLL NOCES (RAMPE SHALLS BL CARTER) THE CITION RULEON WHERE EXETING LIGHT POLIS, PRE HYDANTS, DROP INLESS, ET PLACEMENT.

DOUGLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SDOWNLK IS RECURED.

THE WALKING SURFACE SHALL SE SUP RESISTANT. THE COLOR FOR THE DETECTABLE WARNIN AREA SHALL BE YELLOW FOR CONTRAST.

NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 11FT (12-1) IN RELATIONS -1 P TO THE GRADE OF THE STREET.

 USE CLASS A (KKC PS) DOWORETE WITH A SIDEMALK FINISH IN ORDER TO DS TAIN A ROUGH INDISKID SUBSTICE. A 12" EXPANSION JOINT INSTALLED FULL DEPT- WILL BE REQUIRED WHERE THE CONCRETE SICEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ASUTS EXISTING CONCRETE.

IN NO CASE SHALL THE WIDTH OF THE SIDE AALK ACCESS RAMP BELESS THAN 45" ALL RAMPS SHALL BE INSTALLED THE SAVE WIDTH AS THE SIDEWALK.

3. CURS RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVE

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TYPE N-2 (RADIUS)

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CITY OF RALEIGH

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TYPE N-3

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CITY OF RALEIGH

CTTY OF RALEIGE STANDARD DETAIL

T-20.04.1

STANDARD DIFTALL

CURE FAMPS (NEW DUVELOTINE STT)

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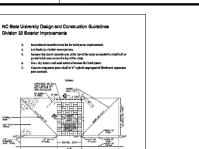
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STATE CENTENNIAL CAMPUS - BLOCK 7 DEVELOPMENT

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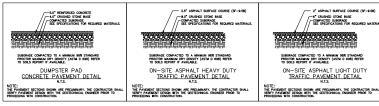


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Service Manufactor

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- 2" ASPHALT SURFACE COURSE (SF-9.58) -6" CRUSHED STONE BASE -COMPACTED SUBGRADE SEE SPECIFICATIONS FOR REQUIRED MATERIALS.

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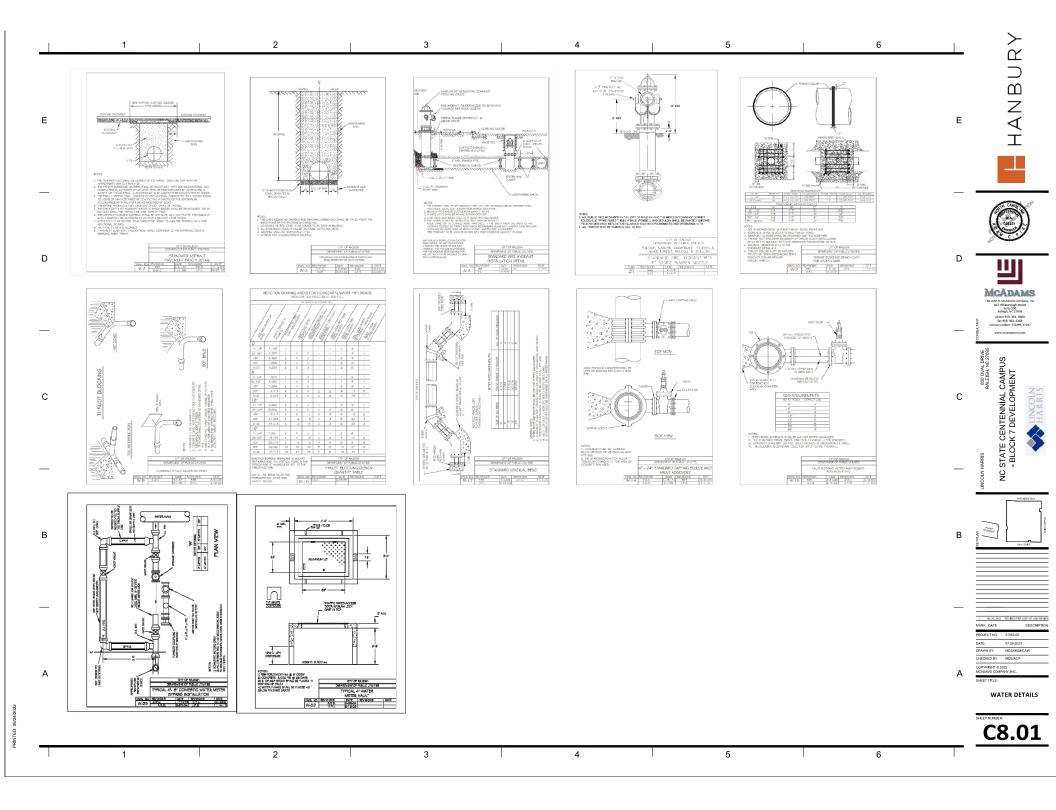
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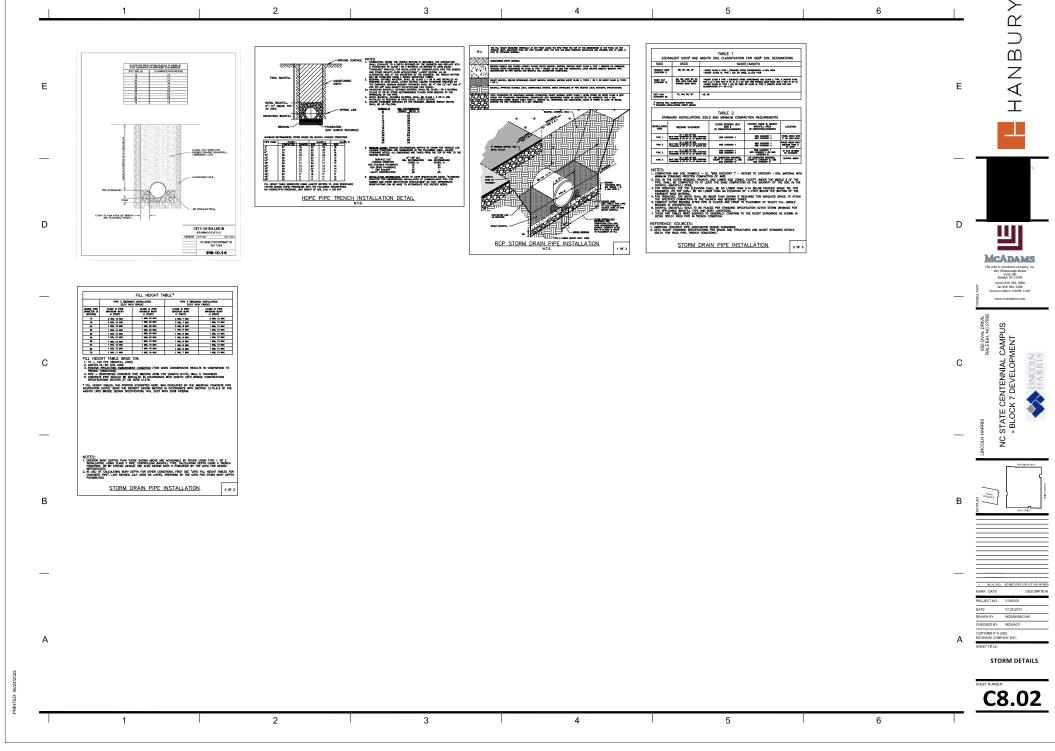
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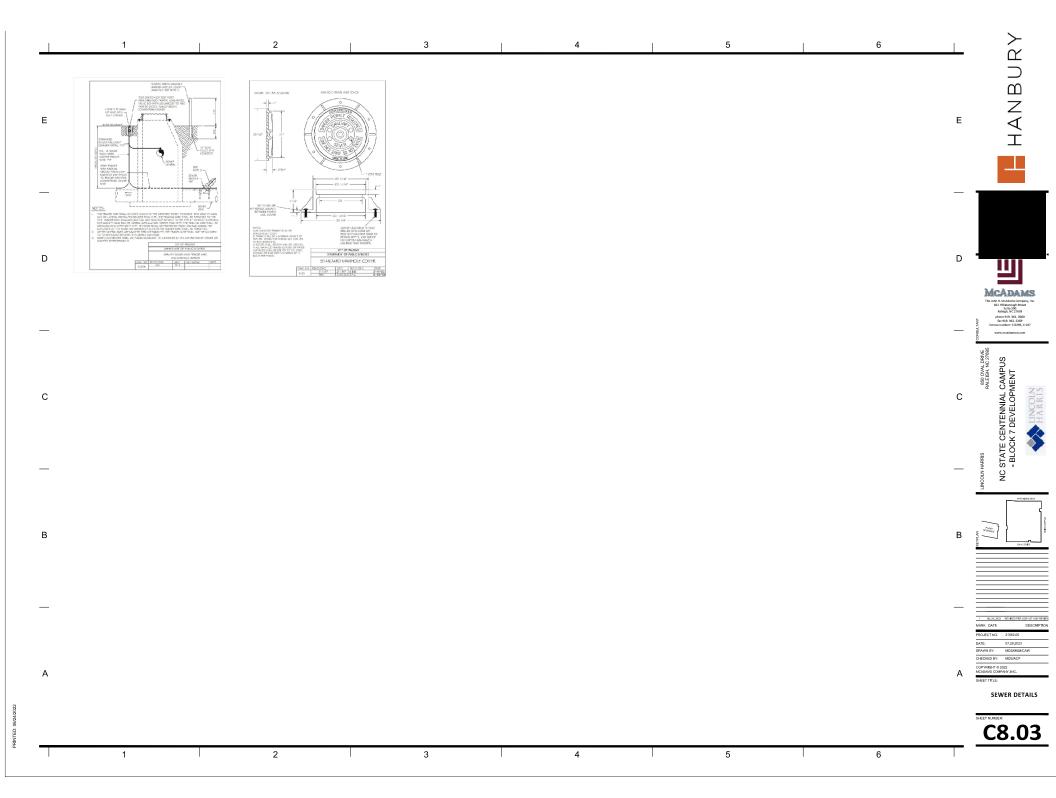
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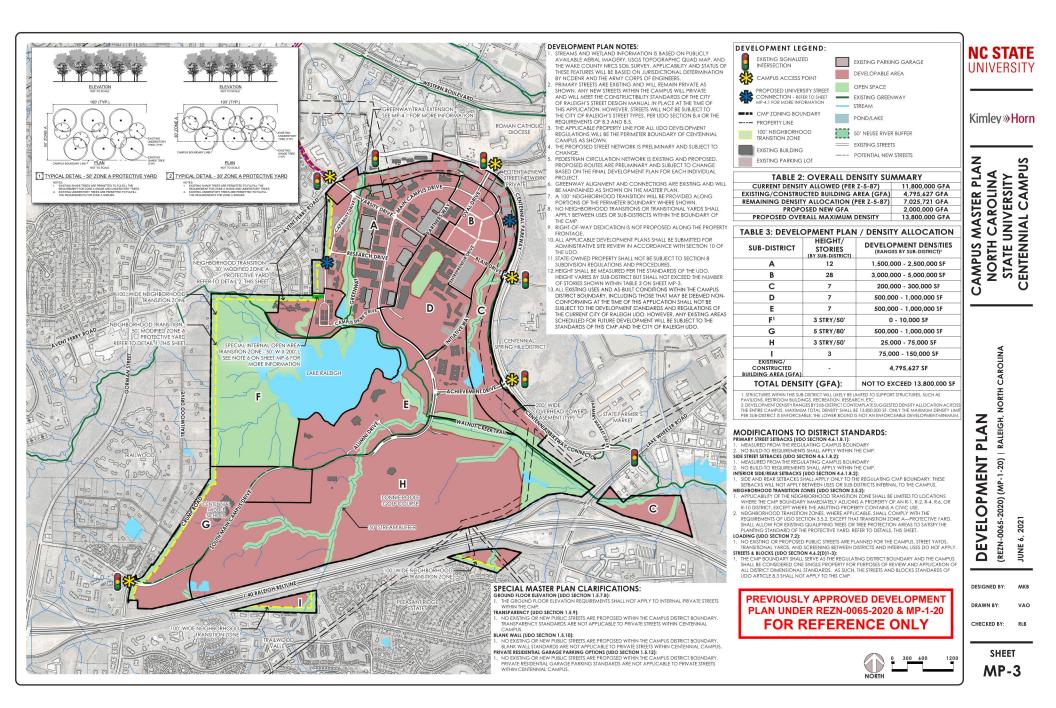
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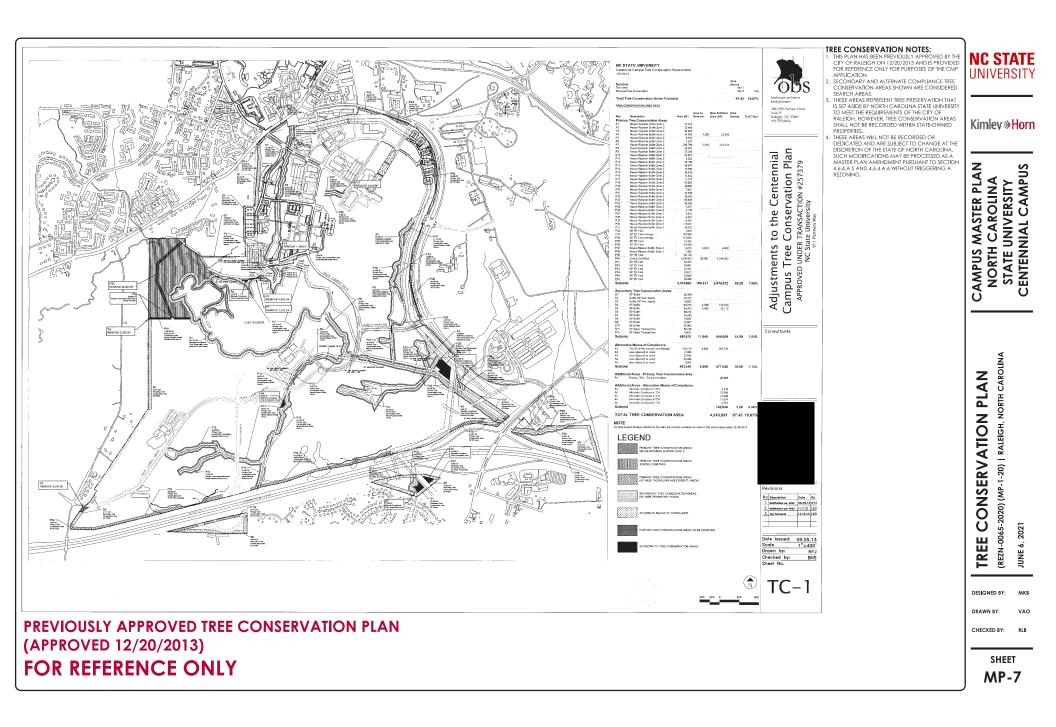














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