

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| <b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>  |   |
|--|---|
| Building and Development Type<br>(Check all that apply)  | Site Transaction History  |
| <input type="checkbox"/> Detached<br><input type="checkbox"/> Attached<br><input type="checkbox"/> Townhouse<br><input type="checkbox"/> Apartment<br><input type="checkbox"/> Tiny house<br><input type="checkbox"/> Open lot | <input checked="" type="checkbox"/> General<br><input type="checkbox"/> Mixed use<br><input type="checkbox"/> Civic<br><input type="checkbox"/> Cottage Court<br><input type="checkbox"/> Frequent Transit Development Option |
| Subdivision case #: _____<br>Scoping/sketch plan case #: <u>0016-2024</u><br>Certificate of Appropriateness #: _____<br>Board of Adjustment #: _____<br>Zoning Case #: _____<br>Design Alternate #: _____                      |   |
| GENERAL INFORMATION  |   |
| Development name: O'Reilly Auto Parts  |   |
| Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>  |   |
| Property address(es): 811 S. New Hope Road   |   |
| Site P.I.N.(s): 1733037229   |   |
| Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  |   |
| Construction of a new 7,453 sq. ft. building for the purpose of the retail sale of auto parts and accessories.   |   |
| <b>Current Property Owner(s):</b>  |   |
| Company: O'Reilly Automotive Stores, Inc   | Title:  |
| Address: 233 S. Patterson Ave. Springfield, MO 65802   |   |
| Phone #: (417) 862-2674  | Email: esa@esterlyschneider.com   |
| <b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>  |   |
| Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder   |   |
| Company: Craig A. Schneider  | Address: 1736 E. Sunshine St. Ste 417 Springfield, MO 65804   |

|   |   |
|---|---|
| Phone #:  | Email:  |
| <b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b> |   |
| <b>Developer Contact:</b>   |   |
| Company:  | Title:  |
| Address:  |   |
| Phone #:  | Email:  |
| Applicant Name: Craig A. Schneider  |   |
| Company:  | Address: 1736 E. Sunshine St. Ste 417 Springfield, MO 65804 |
| Phone #: 417-862-0558   | Email: esa@esterlyschneider.com                             |

| DEVELOPMENT TYPE + SITE DATE TABLE<br>(Applicable to all developments) |   |
|--|---|
| SITE DATA  | BUILDING DATA   |
| Zoning district(s) (please provide the acreage of each):<br>CX-3       | Existing gross floor area (not to be demolished):<br>0 s.f. |
| Gross site acreage:<br>1.767   | Existing gross floor area to be demolished:<br>0 s.f.       |
| # of parking spaces proposed: 35                                       | New gross floor area: 7,453 s.f.                            |
| Max # parking permitted (7.1.2.C): 35                                  | Total sf gross (to remain and new): 7,453 s.f.              |
| Overlay District (if applicable): N/A                                  | Proposed # of buildings: 1                                  |
| Existing use (UDO 6.1.4): Vacant                                       | Proposed # of stories for each: 1                           |
| Proposed use (UDO 6.1.4): Retail Sales                                 | Proposed # of basement levels (UDO 1.5.7.A.6) 0             |

| STORMWATER INFORMATION   |  |
|--|--|
| Imperious Area on Parcel(s):<br>Existing (sf) <u>1,307</u> Proposed total (sf) <u>31,847</u> | Impervious Area for Compliance<br>(includes ROW):<br>Existing (sf) _____ Proposed total (sf) _____ |

| RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS                        |  |
|---|--|
| Total # of dwelling units: N/A                                      | Total # of hotel bedrooms:   |
| # of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____ |  |
| # of lots:  | Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No |
|   | A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No             |

Continue to Applicant Signature Block on Page Three.

**APPLICANT SIGNATURE BLOCK**

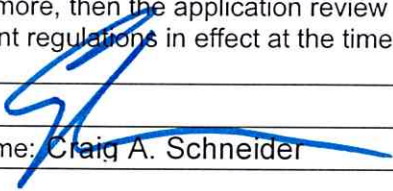
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date: 6/6/24

Printed Name: Craig A. Schneider



# O'Reilly AUTO PARTS

ASR-SR-56-2016 has sunset  
SPR-0189-2020

-Planning Notes

## New O'Reilly Auto Parts Store 811 SOUTH NEW HOPE ROAD RALEIGH, NC #4

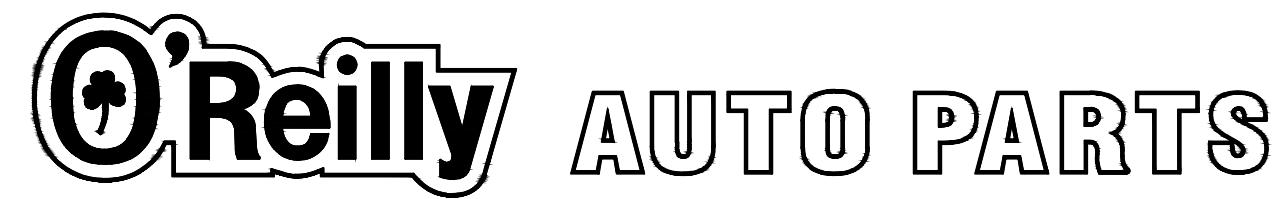
### ABBREVIATIONS LEGEND

|  |                              |
|--|------------------------------|
| AFF ABOVE FINISHED FLOOR                   | INSUL INSULATE               |
| AC ACQUISITION                             | INT INTERIOR                 |
| AC AIR CONDITIONING                        | JT JOINT                     |
| ALT ALTERNATE                              | JT JOINT                     |
| AL ALUMINUM                                | JNT JOINT                    |
| ALUM ALUMINUM                              | KIT KITCHEN                  |
| AB ANCHOR BOLT                             | LH LEFT HAND                 |
| ARCH ARCHITECT (URAL)                      | LF LINEAL FOOT               |
| BSMT BASEMENT                              | LTL LENGTH                   |
| BNG BEARING                                | L LIVE LOAD                  |
| BM BENCH MARK                              | MACH MACHINE                 |
| BEL BELOW                                  | MH MANHOLE                   |
| BLK BLOCK                                  | MFR MANUFACTURER             |
| BLK BLOCKING                               | MAS MASONRY                  |
| BD BOARD                                   | MO MASONRY OPENING           |
| BW BOTH WAYS                               | MAX MAXIMUM                  |
| BT BOTTOM                                  | MECH MECHANICAL              |
| BF BOTTOM OF FOOTING                       | MED MEDIUM                   |
| BFB BOTTOM OF FOOTING                      | MOD MODIFIED BITUMEN ROOFING |
| BRK BRICK                                  | MBR METAL                    |
| BLDG BUILDING                              | MT METAL                     |
| BUR BUILT UP ROOFING                       | M METER(S)                   |
| CAB CABINET                                | MLK MILKWORK                 |
| CLG CEILING                                | MIN MIN                      |
| CL CENTER LINE                             | MISC MISCELLANEOUS           |
| CO CENTER OF                               | MOUNTED (ING)                |
| CO CENTER TO CENTER                        | MT NOMINAL                   |
| CLR CLEAR                                  | N NORTH                      |
| COL COLUMN                                 | NIC NOT IN CONTRACT          |
| CONC CONCRETE                              | NTS NOT TO SCALE             |
| CONM CONCRETE MASONRY UNIT                 | OC ON CENTER(S)              |
| CONSTR CONSTRUCTION                        | OPG OPENING                  |
| CONTR CONTRACTOR                           | OPH OPPOSITE HAND            |
| CNT CONTINUOUS                             | OD OUTSIDE DIAMETER          |
| CNTR COUNTER                               | OD OUT TO OUT                |
| CFL COUNTER FLASHING                       | OH OVERHEAD                  |
| CRK COUNTERSUNK                            | DA OVERALL                   |
| CRK COURSE(S)                              | PC OVERHEAD                  |
| CRS CURB FOOT                              | PC OVERHEAD                  |
| CY CURB YARD                               | PNT PAINTED                  |
| DL DEAD LOAD                               | PTD PAINTED                  |
| DEM DEMOLISH DEMOLITION                    | PARKING                      |
| DTL DETAIL                                 | PLM PLASTIC LAMINATE         |
| DIAG DIAGONAL                              | PL PLATE                     |
| DIAM DIAMETER                              | PVD PLYWOOD                  |
| DM DIMENSION                               | PVC POLYVINYL CHLORIDE       |
| DR DOOR                                    | PSF POUNDS PER SQUARE FT.    |
| DS DOWN SPOUT                              | PSI POUNDS PER SQUARE IN.    |
| DRAIN DRAIN                                | PT PRESSURE TREATED          |
| D DWG DRAWING                              | PL PROPERTY LINE             |
| DF DRINKING FOUNTAIN                       | REM REMOVE                   |
| E EAST                                     | RET RETURN                   |
| EIPF EXTERIOR INSULATION AND FINISH SYSTEM | RH RIGHT HAND                |
| ELEC ELECTRICAL                            | RD ROOF DRAIN                |
| EWC ELECTRIC WATER COOLER                  | RFG ROOFING                  |
| EL ELEVATION                               | RO ROOF                      |
| ELEV ELEVATION                             | RO ROUGH OPENING             |
| ELEV ELEVATOR                              | SNT SEALANT                  |
| EMER EMERGENCY                             | SNT SEALANT                  |
| EQ EQUAL                                   | SEC SECTION                  |
| EXG EXISTING                               | SECT SECTION                 |
| EXIST EXISTING                             | SHTG SHEATHING               |
| EXP EXPOSED                                | SHT SHEET                    |
| EXT EXTERIOR                               | SMT SIMLAR                   |
| FOF FACE OF FINISH                         | SC SOLID CORE                |
| FO FACE OF                                 | S SOUTH                      |
| FOM FACE OF MASONRY                        | SF SQUARE FOOT               |
| FOS FACE OF STUDS                          | SI SQUARE INCH               |
| FIN FINISHED                               | SI SQUARE YARD               |
| FFE FINISHED FLOOR ELEV.                   | STD STANDARD                 |
| FFL FINISHED FLOOR LINE                    | STO STORAGE                  |
| FE FIRE EXTINGUISHER                       | SUS SUSPENDED                |
| FEC FIRE EXTINGUISHER CABINET              | SYM SYMMETRY (ICAL)          |
| FT FIRE TREATED                            | TEL TELEPHONE                |
| FLG FLASHING                               | TV TELEVISION                |
| FLR FLOOR                                  | THK THICKNESS                |
| FD FLOOR DRAIN                             | T&G TONGUE & GROOVE          |
| FTG FOOTING                                | TMG TOP OF MASONRY           |
| FDN FOUNDATION                             | TOM TOP OF MASONRY           |
| FNDN FOUNDATION                            | TS TOP OF STEEL              |
| FUR(FURRING)                               | TOS TOP OF STEEL             |
| GA GAUGE, GAUGE                            | TOW TOP OF WALL              |
| GC GALVANIZED                              | TYP TYPICAL                  |
| GALV GALVANIZED                            | UNO UNLESS OTHERWISE NOTED   |
| GC GENERAL CONTRACTOR                      | UNO UNLESS OTHERWISE NOTED   |
| GL GLASS, GLAZING                          | UNO UNLESS OTHERWISE NOTED   |
| GP GYPSUM                                  | UNO UNLESS OTHERWISE NOTED   |
| GYP GYPSUM WALL BOARD                      | UNO UNLESS OTHERWISE NOTED   |
| GWB GYPSUM WALL BOARD                      | UNO UNLESS OTHERWISE NOTED   |
| HTG HEATING                                | UNO UNLESS OTHERWISE NOTED   |
| HVAC HEATING/VENTILATING/AIR COND.         | UNO UNLESS OTHERWISE NOTED   |
| HT HEIGHT                                  | UNO UNLESS OTHERWISE NOTED   |
| HC HOLLOW CORE                             | UNO UNLESS OTHERWISE NOTED   |
| HM HOLLOW METAL                            | UNO UNLESS OTHERWISE NOTED   |
| HK HOOK(S)                                 | UNO UNLESS OTHERWISE NOTED   |
| HOR HORIZONTAL                             | UNO UNLESS OTHERWISE NOTED   |
| HBR HOSE BRIB                              | UNO UNLESS OTHERWISE NOTED   |
| INS INSULATE(D), (ION)                     | UNO UNLESS OTHERWISE NOTED   |

### SYMBOLS LEGEND

|  |                          |                    |
|--|--------------------------|--------------------|
|  | SECTION NUMBER           | WT? WALL TYPE MARK |
|  | SECTION / ELEVATION MARK |                    |
|  | SHEET NUMBER             | ? DOOR MARK        |
|  | DETAIL NUMBER            | ? WINDOW MARK      |
|  | DETAIL MARK              | # GRID MARK        |
|  | SHEET NUMBER             |                    |

### OWNER OR TENANT



O'REILLY AUTOMOTIVE STORES, INC.  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2674 PHONE

### ARCHITECT

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esterlyschneider.com

### STRUCTURAL ENGINEER



### GENERAL NOTES

A. CONTRACT ADMINISTRATION (LIMITED SERVICE): THE ARCHITECT AND/OR ENGINEER OF RECORD INDICATED HEREIN ARE PROVIDING A LIMITED SERVICE AND NOT PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT WHICH IS THE RESPONSIBILITY OF OTHERS. THE ARCHITECT AND/OR ENGINEER ARE NOT RESPONSIBLE FOR FIELD ACTIVITIES ON THIS PROJECT WITHOUT DIRECT INSPECTION OF THE WORK IN PROGRESS. IF FIELD CONDITIONS ARE UNCOVERED THAT REQUIRE A CHANGE OR ADDITIONAL INFORMATION, THE ARCHITECT AND/OR ENGINEER DOES NOT DELEGATE AUTHORITY TO ANYONE ELSE FOR DETERMINING THE MEANING OF PLANS OR SPECIFICATIONS AS AUTHENTICATED HEREIN.

B. QUALITY STANDARDS AND BUILDING CODES: CONTRACTORS SHALL BE RESPONSIBLE FOR KNOWING THE QUALITY AND PUBLIC SAFETY REGULATIONS SET FORTH IN THE GOVERNING CODES AND OTHER APPLICABLE REGULATIONS OF LOCAL AND STATE AGENCIES HAVING JURISDICTION WHICH GOVERN EACH CONTRACTOR'S WORK.

C. EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING WORK. NOTIFY THE ARCHITECT AND/OR ENGINEER OF RECORD IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.

### QUALITY CONTROL

- REFER TO PROJECT MANUAL, SECTION 01 45 16 - QUALITY CONTROL PROCEDURES, FOR ADDITIONAL REQUIREMENTS.
- REFER TO STRUCTURAL DRAWINGS FOR SCHEDULE OF SPECIAL INSPECTIONS, IF INDICATED.
- WHERE REQUIRED, THE OWNER SHALL PROVIDE THE SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING AND SPECIAL INSPECTIONS INDICATED.

### MECH. / ELEC. ENGINEER

JON E. ECKHARDT, P.E.  
License No. 049917  
3333 E. Battlefield, Suite 1000  
Springfield, Missouri 65804  
phone: 417-881-0020  
fax: 417-881-0053

### CIVIL ENGINEER



### RIGHT OF WAY OBSTRUCTION NOTES

STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.

A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES."

PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.

THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.

ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.

ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

### SITE PERMIT REVIEW SHEET INDEX

| SHEET NUMBER | SHEET NAME   |
|--------------|--|
| TT1          | SITE PERMIT REVIEW COVER SHEET                                     |
| G1           | CODE SUMMARY SHEET   |
| SV1          | SITE SURVEY (FOR REFERENCE ONLY)                                   |
| D1           | DEMOLITION PLAN  |
| C1.1         | SITE GRADING PLAN  |
| C1.2         | SITE STORMWATER PLAN   |
| C2           | SITE DEVELOPMENT PLAN  |
| L1.1         | LANDSCAPE PLAN   |
| LS1          | LINE OF SITE ROOF TOP UNIT SCREENING DIAGRAMS (FOR REFERENCE ONLY) |
| US1          | UTILITIES SITE PLAN  |
| SE1          | SITE ELECTRICAL PLAN   |
| SP1          | SITE PHOTOMETRIC PLAN  |

### PUBLIC IMPROVEMENT QUALITY TABLE

| PHASE NUMBER                 | PHASE 1 |
|------------------------------|---------|
| NUMBER OF LOT(S)             | 1       |
| LOT NUMBER(S) BY PHASE       | 1       |
| NUMBER OF UNITS              | 0       |
| LIVABLE BUILDINGS            | 0       |
| OPEN SPACE                   | 0       |
| NUMBER OF OPEN SPACE LOTS    | 0       |
| PUBLIC WATER (LF)            | 0       |
| PUBLIC SEWER (LF)            | 0       |
| PUBLIC STREET (LF) - FULL    | 0       |
| PUBLIC STREET (LF) - PARTIAL | 0       |
| PUBLIC SIDEWALK (LF)         | 85'     |
| STREET SIGNS (LF)            | 0       |
| WATER SERVICE STUBS          | 1       |
| SEWER SERVICE STUBS          | 1       |

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND /OR NCDOT STANDARDS AND SPECIFICATIONS.

### PROTECTIVE YARD

PROTECTIVE YARD IS NOT REQUIRED PER SECTION 5.3.1.D.2 NOTE A. THE SITE IS LESS THAN 2 ACRES.

### TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).

- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
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Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

| Building and Development Type (Check all that apply)   | Site Transaction History  |
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| <input type="checkbox"/> Detached<br><input type="checkbox"/> Attached<br><input type="checkbox"/> Townhouse<br><input type="checkbox"/> Apartment<br><input type="checkbox"/> Tiny house<br><input type="checkbox"/> Open lot | <input checked="" type="checkbox"/> General<br><input type="checkbox"/> Mixed use<br><input type="checkbox"/> Civic<br><input type="checkbox"/> Cottage Court<br><input type="checkbox"/> Frequent Transit Development Option |
| Subdivision case #: _____<br>Scoping/sketch plan case #: 0016-2024<br>Certificate of Appropriateness #: _____<br>Board of Adjustment #: _____<br>Zoning Case #: _____<br>Design Alternate #: _____                             |   |

### GENERAL INFORMATION

Development name: O'Reilly Auto Parts  
 Inside City limits? Yes  No   
 Property address(es): 811 S. New Hope Road  
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 Address: 233 S. Patterson Ave. Springfield, MO 65802  
 Phone #: (417) 862-2674 Email: esa@esterlyschneider.com  
 Applicant Name (if different from owner. See "who can apply" in instructions):  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
 Company: Craig A. Schneider Address: 1736 E. Sunshine St. Ste 417 Springfield, MO 65804

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Phone #: \_\_\_\_\_ Email: \_\_\_\_\_  
**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**  
 Developer Contact: \_\_\_\_\_ Title: \_\_\_\_\_  
 Company: \_\_\_\_\_ Title: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ Email: \_\_\_\_\_  
 Applicant Name: Craig A. Schneider  
 Company: \_\_\_\_\_ Address: 1736 E. Sunshine St. Ste 417 Springfield, MO 65804  
 Phone #: 417-862-0558 Email: esa@esterlyschneider.com

### DEVELOPMENT TYPE + SITE DATE TABLE

| SITE DATA  | BUILDING DATA   |
|--|---|
| Zoning district(s) (please provide the acreage of each):<br>CX-3 | Existing gross floor area (not to be demolished):<br>0 s.f. |
| Gross site acreage:<br>1.767                                     | Existing gross floor area to be demolished:<br>0 s.f.       |
| # of parking spaces proposed: 35                                 | New gross floor area: 7,453 s.f.                            |
| Max # parking permitted (7.1.2.C): 35                            | Total sf gross (to remain and new): 7,453 s.f.              |
| Overlay District (if applicable): N/A                            | Proposed # of buildings: 1                                  |
| Existing use (UDO 6.1.4): Vacant                                 | Proposed # of stories for each: 1                           |
| Proposed use (UDO 6.1.4): Retail Sales                           | Proposed # of basement levels (UDO 1.5.7.A.6) 0             |

### STORMWATER INFORMATION

|  |  |
|--|--|
| Imperious Area on Parcel(s):                   | Impervious Area for Compliance (includes ROW): |
| Existing (sf) 1,307 Proposed total (sf) 31,847 | Existing (sf) _____ Proposed total (sf) _____  |

### RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

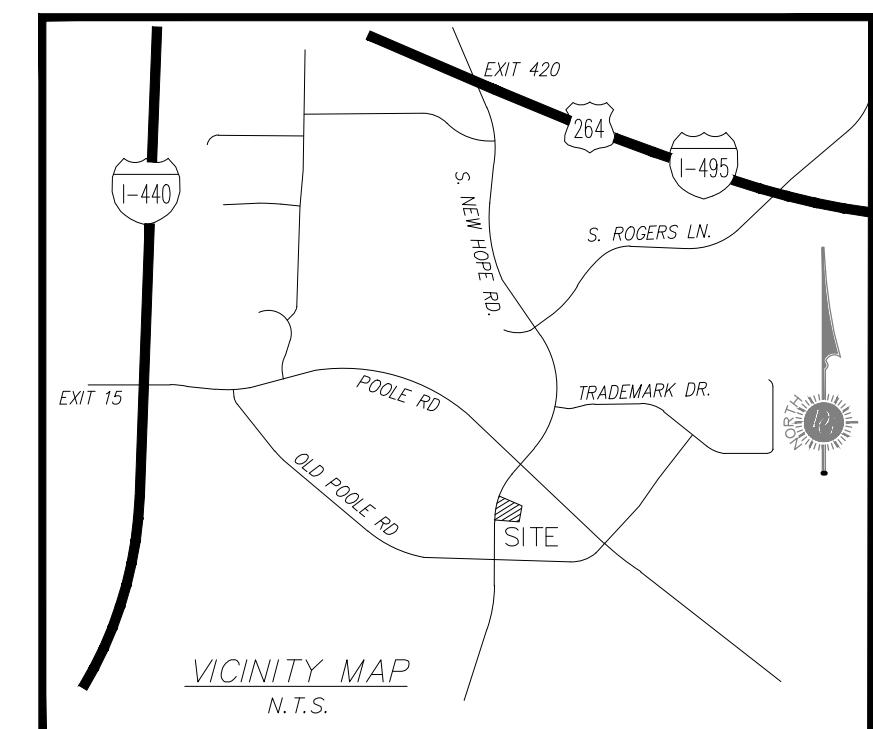
|   |  |
|---|--|
| Total # of dwelling units: N/A                    | Total # of hotel bedrooms:   |
| # of bedroom units: 1br _____ 2br _____ 3br _____ | 4br or more _____  |
| # of lots:  | Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No |
|   | A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No  |

Continue to Applicant Signature Block on Page Three.

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**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esterlyschneider.com

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
SITE PERMIT REVIEW COVER SHEET  
CASE PROJECT: SPR-0189-2020

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM # 4775  
DATE: 1-12-24  
REVISION  
DATE:

TT1



RECEIVED  
APR 18 2015  
1738 S. SOUTHWEST ST. SUITE 100  
CHARLOTTE, NC 28203

# MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

## SURVEY LEGAL DESCRIPTION

ALL THAT LAND SITUATE, LYING AND BEING IN THE CITY OF RALEIGH, ST. MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA, BEING LOT 36 OF EAST PARK PHASE ONE, AS RECORDED IN BOOK OF MAPS 2004, PAGE 648, WAKE COUNTY REGISTRY, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH END OF THE CURVED SOUTHEAST CORNER JOINING THE SOUTHERLY RIGHT OF WAY OF POOLE ROAD (VARIABLE R/W) AND THE EASTERLY RIGHT OF WAY OF SOUTH NEW HOPE ROAD (110' R/W); THENCE CONTINUING ALONG SAID RIGHT OF WAY OF SOUTH NEW HOPE ROAD S33°29'02"W A DISTANCE OF 50.33' TO A POINT; THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 890.83' BEING SUSTAINED BY A CHORD BEARING S34°44'50"W AND A CHORD DISTANCE OF 148.63' TO A NAIL FOUND, SAID NAIL BEING THE POINT OF BEGINNING FOR THIS TRACT OF LAND; THENCE LEAVING SAID RIGHT OF WAY OF SOUTH NEW HOPE ROAD S59°59'09"E A DISTANCE OF 304.65' TO A POINT THAT FALLS ON A SANITARY SEWER MANHOLE; THENCE S51°00'00"W A DISTANCE OF 194.03' TO A 1" PIPE FOUND; THENCE N78°06'30"W A DISTANCE OF 318.65' TO A 1" PIPE FOUND ALONG THE AFROREMENTIONED RIGHT OF WAY OF SOUTH NEW HOPE ROAD; THENCE CONTINUING ALONG SAID RIGHT OF WAY OF SOUTH NEW HOPE ROAD ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 900.55', BEING SUSTAINED BY A CHORD BEARING N20°43'08"E AND A CHORD DISTANCE OF 291.61', TO SAID POINT OF BEGINNING.

## RECORD LEGAL DESCRIPTION

LYING AND BEING SITUATE IN WAKE COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ALL OF LOT(S) 36, EAST PARK, PHASE I, ACCORDING TO THE PLAT THEREOF RECORDED IN THE BOOK OF MAPS 2004, PAGE 648, WAKE COUNTY REGISTRY.

## SCHEDULE B SECTION II

- CHICAGO TITLE INSURANCE COMPANY  
COMMITMENT NUMBER: 15-230889A  
EFFECTIVE DATE: NOVEMBER 6, 2015 @ 8:30 A.M.
- COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, AND LIENS PROVIDED FOR IN INSTRUMENT(S) FILED FOR RECORD IN BOOK 4548, PAGE 887, WAKE COUNTY REGISTRY, AND ANY RELATED MAPS, PLANS, BYLAWS AND OTHER DOCUMENT(S) AND AMENDMENT(S), WHICH PROHIBIT GASOLINE OR PETROLEUM PRODUCTS TO BE SOLD ON SUBJECT PROPERTY.
  - ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLATS) RECORDED IN BOOK OF MAPS 2004, PAGE 648; BOOK OF MAPS 2004, PAGE 620; PLAT BOOK 2001, PAGE 140; PLAT BOOK 1990, PAGE 614; PLAT BOOK 1989, PAGE 824; PLAT BOOK 1989, PAGE 221; PLAT BOOK 1988, PAGE 1021; PLAT BOOK 1988, PAGE 1242; PLAT BOOK 1987, PAGE 1810 AND PLAT BOOK 1984, PAGE 1783, WAKE COUNTY REGISTRY, AS SHOWN HEREON.
  - EASEMENT FOR RIGHT OF WAY TO SOUTHERN BELL RECORDED IN BOOK 4789, PAGE 595, WAKE COUNTY REGISTRY. BLANKET EASEMENT ACROSS SUBJECT PROPERTY.
  - EASEMENT TO AT&T RECORDED IN BOOK 4310, PAGE 813, WAKE COUNTY REGISTRY. DOES NOT AFFECT THE SUBJECT PROPERTY.
  - EASEMENT TO NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 16207, PAGE 1207, WAKE COUNTY REGISTRY. THE EASEMENT GRANTS A UTILITY AND TEMPORARY CONSTRUCTION EASEMENT ALONG THE R/W OF SOUTH NEW HOPE ROAD AND IS SHOWN ON THE DRAWING.
  - EASEMENT TO CAROLINA POWER & LIGHT RECORDED IN BOOK 4282, PAGE 752, WAKE COUNTY REGISTRY. BLANKET EASEMENT ACROSS SUBJECT PROPERTY.

## FLOOD ZONE

ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 3720173300, EFFECTIVE DATE: MAY 2, 2006. ENTIRE PROPERTY LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN.

## BENCHMARK INFORMATION

- CITY STATE BOLT ON FIRE HYDRANT, WEST SIDE OF SOUTH NEW HOPE ROAD, ACROSS STREET FROM SUBJECT PROPERTY. ELEV=261.81
- ASR-ALBERT BOLT ON FIRE HYDRANT, EAST SIDE OF SOUTH NEW HOPE ROAD, SOUTH OF SUBJECT PROPERTY. ELEV=273.67

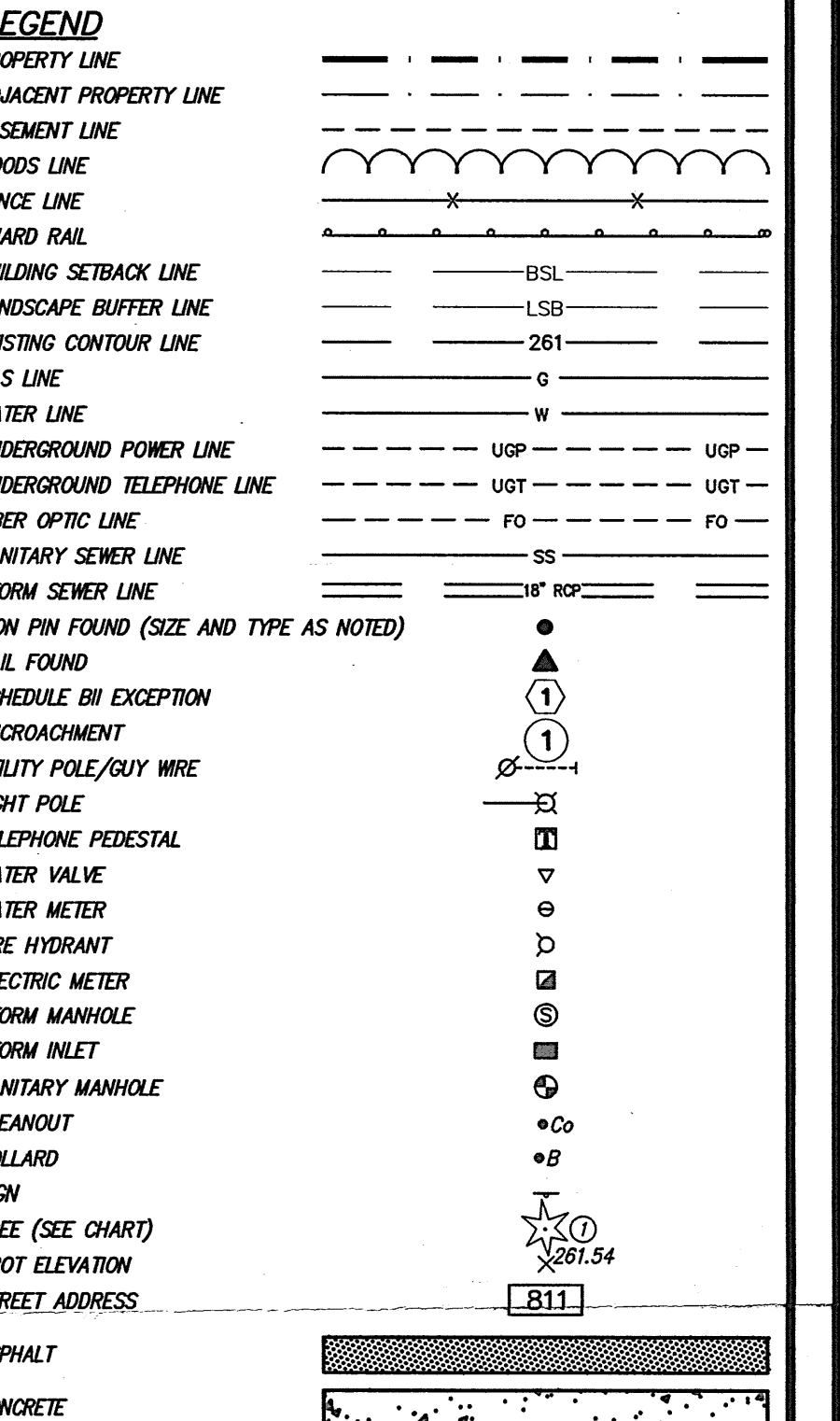
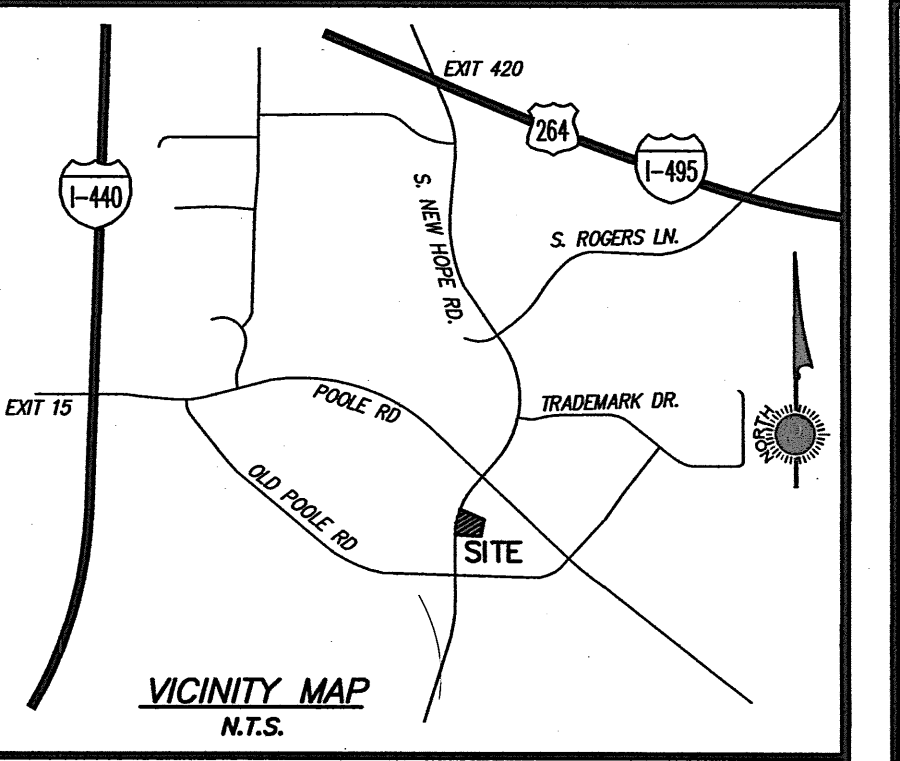
## UTILITY CONTACTS

**WATER & SANITARY SEWER**  
AUTHORITY: CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT  
ADDRESS: 1 EXCHANGE PLAZA, SUITE 620 RALEIGH, NC 27601  
CONTACT: RUSS TALLEY  
PHONE #: (919) 998-4540  
INTERNET/WWW: WWW.RALEIGH-NC.GOV

**TIME WARNER CABLE**  
ADDRESS: 2505 ATLANTIC AVE., #101 RALEIGH, NC 27604  
CONTACT: CUSTOMER SERVICE  
PHONE #: (919) 508-5400

**POWER**  
AUTHORITY: DUKE ENERGY  
ADDRESS: P.O. BOX 1771 RALEIGH, NC 27602  
CONTACT: CUSTOMER SERVICE  
PHONE #: (919) 508-5400

**GAS**  
AUTHORITY: PSNC ENERGY  
ADDRESS: 3518 SPRING FOREST ROAD RALEIGH, NC 27618  
CONTACT: SHAWN PHILLIPS  
PHONE #: (919) 367-2732  
NOTE: THERE IS NO GAS SERVICE AT THIS LOCATION. THE CLOSEST GAS LINE (4" STEEL) IS +/- 700' NORTH AT OLD POOLE ROAD.



ABBREVIATIONS:

|     |                              |        |                          |
|-----|------------------------------|--------|--------------------------|
| R/W | RIGHT OF WAY                 | SDMH   | STORM SEWER MANHOLE      |
| PID | PARCEL IDENTIFICATION NUMBER | SSMH   | SANITARY SEWER MANHOLE   |
| N/F | NOW OR FORMERLY              | PVC    | PVC VINYL CHLORIDE       |
| MAP | MAPS                         | CMP    | CORRUGATED METAL PIPE    |
| DB  | DEED BOOK                    | RCP    | REINFORCED CONCRETE PIPE |
| PG  | PAGE                         | XTMR   | POWER TRANSFORMER        |
| C   | CHORD                        | APPROX | APPROXIMATE              |
| R   | RADIUS                       | WH     | WIRE HEIGHT              |
| A   | ARC                          |        |                          |

## CERTIFICATION

I hereby certify to Chicago Title Insurance Company and O'Reilly Automotive Stores, Inc., a Missouri Corporation:

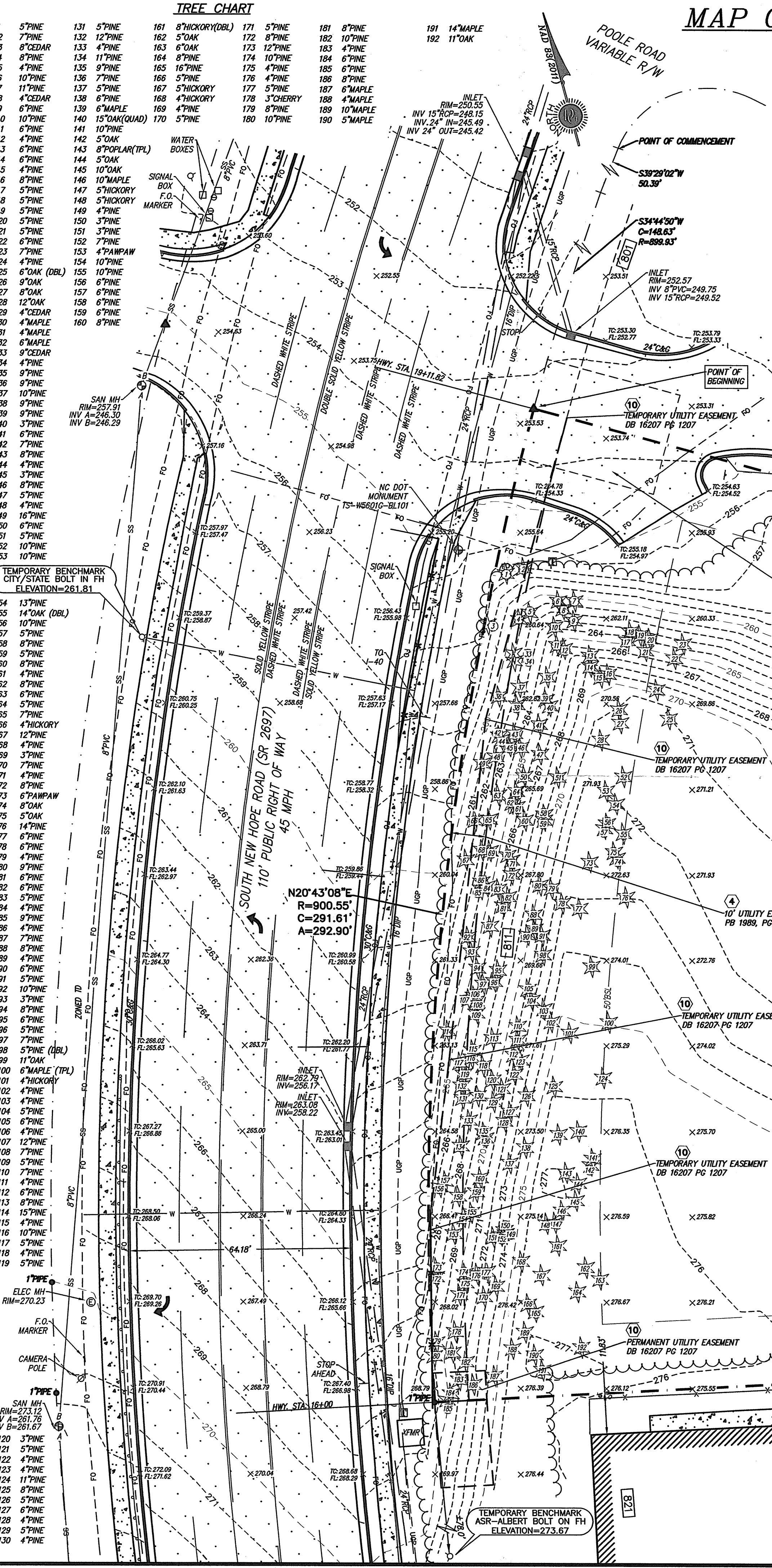
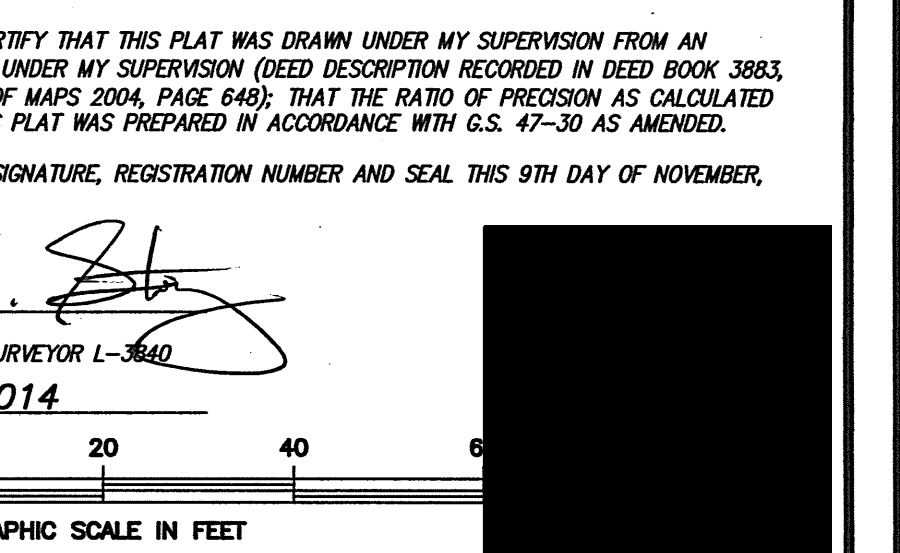
- The plat of survey prepared by me entitled "ALTA/ACSM Land Title Survey" is actually made upon the ground and that it and the information, courses and distances shown thereon are correct;
- The title lines and lines of actual possession are the same;
- The size, location and type of buildings and improvements are as shown and all are within the boundary lines of the property;
- There are no violations of zoning ordinances, restrictions or other rules and regulations with reference to the location of said buildings and improvements;
- There are no discrepancies, conflicts, shortages in area or boundary line conflicts, easements, encroachments, driveways, cemeteries, burial grounds or use affecting this property appearing from a careful physical inspection of the same, other than those shown and depicted thereon;
- All monuments shown actually exist, and the location, size and type of materials are correctly shown;
- The distance from the nearest intersecting street or road is as shown;
- This property has direct access to South New Hope Road, a publicly dedicated street;
- All utility services required for the operation of the property either enter the property through adjoining public streets or the survey shows the physical private land;
- The parcel described hereon does not lie within flood hazard areas according to the maps of the Federal Emergency Management Agency and the Department of Housing and Urban Development; and
- This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS. The field work was completed on November 9, 2015.

7. JOHN M. STORY, CERTIFY THAT THIS PLAT IS OF AN EXISTING PARCEL OR PARCELS OF LAND, AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

7. JOHN M. STORY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 3883, PAGE 180 AND BOOK OF MAPS 2004, PAGE 648); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:13,636; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 9TH DAY OF NOVEMBER, A.D. 2015.

JOHN M. STORY  
PROFESSIONAL LAND SURVEYOR L-3640  
APRIL 14, 2014



### TREE CHART

|     |                |     |                 |     |                    |     |           |     |           |     |           |
|-----|----------------|-----|-----------------|-----|--------------------|-----|-----------|-----|-----------|-----|-----------|
| 1   | 5" PINE        | 131 | 5" PINE         | 161 | 8" HACKBERRY (DBL) | 171 | 5" PINE   | 181 | 8" PINE   | 191 | 14" MAPLE |
| 2   | 7" PINE        | 132 | 12" PINE        | 162 | 5" OAK             | 172 | 8" PINE   | 182 | 10" PINE  | 192 | 11" OAK   |
| 3   | 8" CEDAR       | 133 | 4" PINE         | 163 | 4" PINE            | 173 | 4" PINE   | 183 | 4" PINE   |     |           |
| 4   | 8" PINE        | 134 | 11" PINE        | 164 | 8" PINE            | 174 | 10" PINE  | 184 | 6" PINE   |     |           |
| 5   | 10" PINE       | 135 | 5" PINE         | 165 | 16" PINE           | 175 | 4" PINE   | 185 | 6" PINE   |     |           |
| 6   | 10" PINE       | 136 | 5" PINE         | 166 | 5" PINE            | 176 | 4" PINE   | 186 | 6" PINE   |     |           |
| 7   | 11" PINE       | 137 | 5" PINE         | 167 | 5" HACKBERRY       | 177 | 5" PINE   | 187 | 6" MAPLE  |     |           |
| 8   | 4" CEDAR       | 138 | 6" PINE         | 168 | 4" HACKBERRY       | 178 | 3" CHERRY | 188 | 4" MAPLE  |     |           |
| 9   | 6" PINE        | 139 | 6" MAPLE        | 169 | 4" PINE            | 179 | 8" PINE   | 189 | 10" MAPLE |     |           |
| 10  | 10" PINE       | 140 | 15" OAK (QUAD)  | 170 | 5" PINE            | 180 | 10" PINE  |     |           |     |           |
| 11  | 5" PINE        | 141 | 10" PINE        |     |                    |     |           |     |           |     |           |
| 12  | 4" PINE        | 142 | 5" OAK          |     |                    |     |           |     |           |     |           |
| 13  | 6" PINE        | 143 | 8" POPLAR (TPL) |     |                    |     |           |     |           |     |           |
| 14  | 5" PINE        | 144 | 5" OAK          |     |                    |     |           |     |           |     |           |
| 15  | 4" PINE        | 145 | 10" PINE        |     |                    |     |           |     |           |     |           |
| 16  | 5" PINE        | 146 | 10" MAPLE       |     |                    |     |           |     |           |     |           |
| 17  | 5" PINE        | 147 | 5" HACKBERRY    |     |                    |     |           |     |           |     |           |
| 18  | 5" PINE        | 148 | 5" HACKBERRY    |     |                    |     |           |     |           |     |           |
| 19  | 5" PINE        | 149 | 4" PINE         |     |                    |     |           |     |           |     |           |
| 20  | 5" PINE        | 150 | 5" PINE         |     |                    |     |           |     |           |     |           |
| 21  | 5" PINE        | 151 | 5" PINE         |     |                    |     |           |     |           |     |           |
| 22  | 5" PINE        | 152 | 7" PINE         |     |                    |     |           |     |           |     |           |
| 23  | 4" PINE        | 153 | 4" PAMPAS       |     |                    |     |           |     |           |     |           |
| 24  | 4" PINE        | 154 | 10" PINE        |     |                    |     |           |     |           |     |           |
| 25  | 5" OAK (DBL)   | 155 | 10" PINE        |     |                    |     |           |     |           |     |           |
| 26  | 5" OAK         | 156 | 6" PINE         |     |                    |     |           |     |           |     |           |
| 27  | 5" OAK         | 157 | 6" PINE         |     |                    |     |           |     |           |     |           |
| 28  | 12" OAK        | 158 | 6" PINE         |     |                    |     |           |     |           |     |           |
| 29  | 4" CEDAR       | 159 | 5" PINE         |     |                    |     |           |     |           |     |           |
| 30  | 4" MAPLE       | 160 | 6" PINE         |     |                    |     |           |     |           |     |           |
| 31  | 4" MAPLE       |     |                 |     |                    |     |           |     |           |     |           |
| 32  | 6" MAPLE       |     |                 |     |                    |     |           |     |           |     |           |
| 33  | 8" CEDAR       |     |                 |     |                    |     |           |     |           |     |           |
| 34  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 35  | 9" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 36  | 9" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 37  | 10" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 38  | 9" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 39  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 40  | 3" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 41  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 42  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 43  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 44  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 45  | 3" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 46  | 8" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 47  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 48  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 49  | 16" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 50  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 51  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 52  | 10" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 53  | 10" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 54  | 13" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 55  | 14" OAK (DBL)  |     |                 |     |                    |     |           |     |           |     |           |
| 56  | 10" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 57  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 58  | 8" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 59  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 60  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 61  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 62  | 8" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 63  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 64  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 65  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 66  | 4" HACKBERRY   |     |                 |     |                    |     |           |     |           |     |           |
| 67  | 12" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 68  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 69  | 3" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 70  | 7" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 71  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 72  | 8" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 73  | 6" PAMPAS      |     |                 |     |                    |     |           |     |           |     |           |
| 74  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 75  | 5" OAK         |     |                 |     |                    |     |           |     |           |     |           |
| 76  | 14" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 77  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 78  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 79  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 80  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 81  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 82  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 83  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 84  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 85  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 86  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 87  | 7" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 88  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 89  | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 90  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 91  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 92  | 10" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 93  | 3" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 94  | 8" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 95  | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 96  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 97  | 7" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 98  | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 99  | 11" OAK        |     |                 |     |                    |     |           |     |           |     |           |
| 100 | 6" MAPLE (TPL) |     |                 |     |                    |     |           |     |           |     |           |
| 101 | 4" HACKBERRY   |     |                 |     |                    |     |           |     |           |     |           |
| 102 | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 103 | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 104 | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 105 | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 106 | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 107 | 12" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 108 | 7" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 109 | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 110 | 7" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 111 | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 112 | 6" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 113 | 8" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 114 | 15" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 115 | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 116 | 10" PINE       |     |                 |     |                    |     |           |     |           |     |           |
| 117 | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 118 | 4" PINE        |     |                 |     |                    |     |           |     |           |     |           |
| 119 | 5" PINE        |     |                 |     |                    |     |           |     |           |     |           |

**STREET INFORMATION**  
SOUTH NEW HOPE ROAD  
OPERATING AUTHORITY: NORTH CAROLINA DOT,  
DIVISION 5, DISTRICT 1  
4009 DISTRICT DRIVE  
RALEIGH, NC 27607  
SCOTT WHEELER  
(919) 733-3213  
SPEED LIMIT: 45 MPH  
CLASSIFICATION: PRIMARY  
FRONT: 50'  
REAR & SIDE: 20'

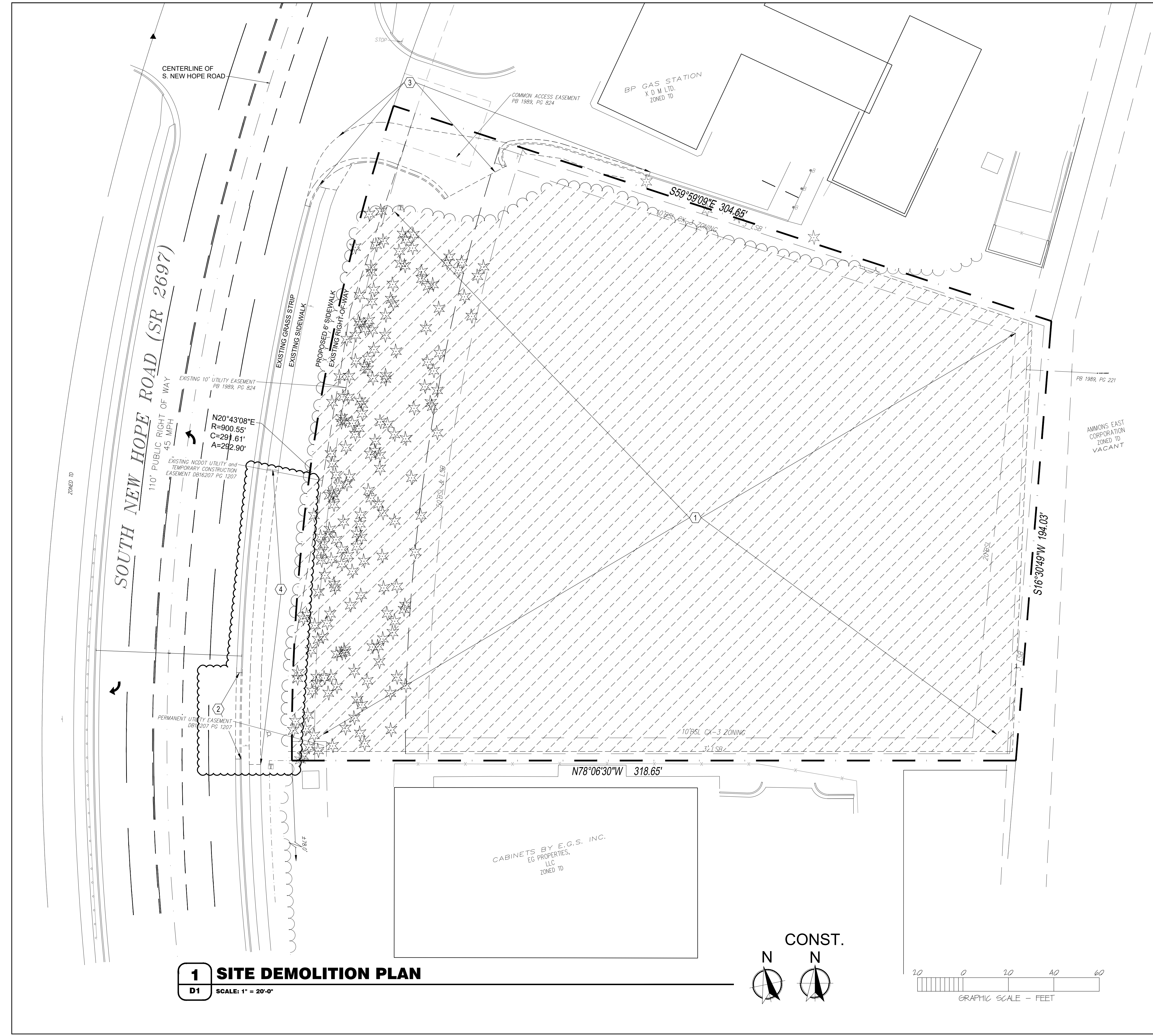
**ZONING INFORMATION**  
ZONING AUTHORITY: CITY OF RALEIGH  
DEPARTMENT OF CITY PLANNING  
ONE EXCHANGE PLAZA  
RALEIGH, NC 27601  
TELEPHONE: 919-998-2626  
CONTACT: CYNTHIA TAYLOR  
ZONING: TD (THOROUGHFARE DISTRICT)  
SETBACKS:  
FRONT: 50'  
REAR & SIDE: 20'

**ENCROACHMENTS**  
1. SANITARY SEWER CLEANOUT AND  
PILING SANITARY SEWER  
LATERAL ENCROACH ALONG THE  
SOUTH PROPERTY LINE.

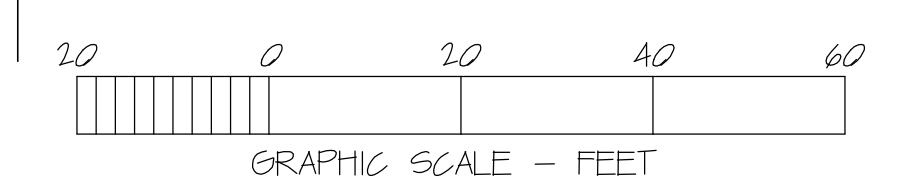
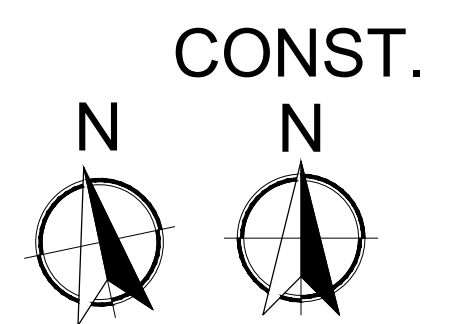
ALTA/ACSM LAND TITLE SURVEY  
FOR  
**O'REILLY AUTOMOTIVE STORES, INC.**  
811 SOUTH NEW HOPE ROAD  
ST. MATTHEWS TOWNSHIP  
CITY OF RALEIGH  
NORTH CAROLINA

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**1 SITE DEMOLITION PLAN**  
**D1** SCALE: 1" = 20'-0"



**GENERAL NOTES**

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- (B) SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- (C) REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- (D) EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- (E) ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- (F) REFER TO SITE UTILITY PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- (G) EXISTING UNDERGROUND INSTALLATION SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, POWER LINES, AND BURIED STRUCTURES IN THE VICINITY OF THE WORK ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS IS EXPRESSLY DISCLAIMED. GENERALLY SERVICE CONNECTIONS ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERY OF EXISTING UNDERGROUND INSTALLATIONS IN ADVANCE OF EXCAVATING OR TRENCHING BY CONTRACTING LOCAL UTILITIES.

**KEY NOTES**

- 1 AT INDICATED LOCATION, REMOVE AND DISCARD EXISTING VEGETATION, INCLUDING, BUT NOT LIMITED TO: TREES, SHRUBS, BRUSH, STUMPS AND ROOT SYSTEMS AS REQUIRED FOR PROPOSED IMPROVEMENTS. REFER TO CIVIL PLANS.
- 2 REMOVE PORTION OF EXISTING CURB AS REQUIRED TO INSTALL NEW ENTRANCE DRIVE AS SHOWN ON SHEET C2.1.
- 3 REMOVE PORTION OF EXISTING DRIVE AS REQUIRED TO INSTALL NEW IMPROVEMENTS AS SHOWN ON SHEET C2.1.
- 4 REMOVE PORTION OF EXISTING SIDEWALK AS REQUIRED TO INSTALL NEW CONSTRUCTION AS SHOWN ON CIVIL PLANS.

**ENVIRONMENTAL GENERAL NOTES**

- (A) AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- (B) IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

**SYMBOLS LEGEND**

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- EXISTING CONDITIONS TO REMAIN.
- - - EXISTING CONDITIONS TO BE REMOVED.

**CAUTION:**  
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
 Call before you dig.**

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**ARCHITECT**  
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 417.862.0558  
 Fax: 417.862.3265  
 e-mail: architect@estertyschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**  
**SITE DEMOLITION PLAN**

**O'Reilly AUTO PARTS**  
 CORPORATE OFFICES  
 233 SOUTH PATTERSON  
 SPRINGFIELD, MISSOURI 65802  
 (417) 862-2674 TELEPHONE

|          |         |
|----------|---------|
| COMM #   | 4775    |
| DATE:    | 1-12-24 |
| REVISION |         |
| DATE:    |         |



**NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.**

**SITE EXCAVATION REQUIREMENTS:**

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.
3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

**FLOOD ZONE:**

THE PROPERTY IS LOCATED INSIDE FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN BY FLOOD INSURANCE RATE MAP (FIRM) NO. 3720173300J, EFFECTIVE DATE: MAY 2, 2006.

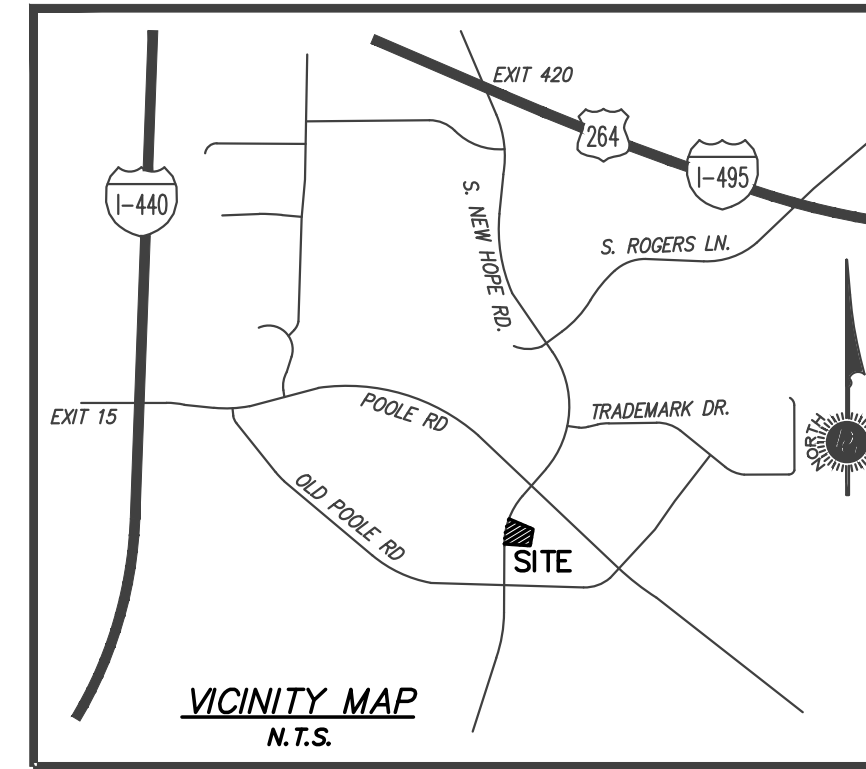
**GENERAL NOTES:**

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.



**SYMBOLS LEGEND**

| REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL. |                            |                          |              |
|---|----------------------------|--------------------------|--------------|
| --- 265 ---   | EXISTING GRADE LINES       | NEW SPOT ELEVATIONS LIST | ABBREVIATION |
| — 265 —   | PROPOSED NEW GRADE LINES   | GRADE                    | NONE         |
| [Hatched Box]   | NEW BUILDING CONSTRUCTION  | SIDEWALK                 | SW           |
| [Dotted Box]  | NEW TURF REINFORCEMENT MAT | TOP OF WALL              | TW           |
| [Cross-hatched Box]   | NEW POLE SIGN LOCATION     | TOP OF CURB              | TC           |
| [Solid Box]   | NEW CONCRETE PAVING BLOCK  | TOP OF PAVEMENT          | PVT          |
| [Square with X]   | SILT FENCE                 | NEW GRADE                | GD           |
| [Arrow]   | SURFACE FLOW ARROW         | CONCRETE                 | CONC         |
|   |                            | EXISTING TOP OF CURB     | ETC          |
|   |                            | EXISTING GRADE           | EGD          |
|   |                            | EXISTING PAVEMENT        | EPVT         |
|   |                            | EXISTING SIDEWALK        | ESW          |
|   |                            | FLOW LINE                | FL           |
|   |                            | TOP OF BERM              | TOP          |



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Engineering beyond™

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Springfield, MO 65807  
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west@own.com

COAFF-0972  
Engineer P.E.# 049021  
Aaron Padgett, PE

PROJ # 23SP10305 DRAWING # WB-110-545

**PIPES NOTES:**

1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP) AND HIGH DENSITY POLYETHYLENE (HDPE) MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

**SPECIAL NOTE:**  
ALL STORMWATER INLETS MUST BE A MINIMUM OF 20' FROM THE DUMPSTER PADS.

**KEY NOTES:**

- C1) RETAINING WALL UNDERDRAIN. REFER TO STRUCTURAL PLANS FOR CONSTRUCTION, LOCATION, AND SIZE. DAYLIGHT TO GRADE AT INV = 264.0.
- C2) INSTALL 4' X 4' AREA INLET. RIM = 262.2' PIPE C3 INV = 259.2' REFER TO DETAIL 3/C1.3.
- C3) INSTALL APPROX. 20 LF OF 18" PIPE. REFER TO PIPE NOTES.
- C4) INSTALL APPROX. 34 LF TRENCH DRAIN. EAST RIM = 261.9' EAST INV = 258.9' WEST RIM = 262.0' WEST INV = 258.6' REFER TO DETAIL 5/C1.3.
- C5) INSTALL APPROX. 32 LF OF 18" PIPE. REFER TO PIPE NOTES.
- C6) INSTALL 4' X 4' AREA INLET. RIM = 261.8' BOTTOM INV = 253.8' PIPE C5 INV = 253.4' PIPE C7 INV = 254.0' PIPE C8 INV = 253.8' PIPE C11 INV = 253.8' REFER TO DETAIL 3/C1.3.
- C7) INSTALL APPROX. 198 LF OF 18" PIPE. DAYLIGHT IN POND AT INV = 255.5' REFER TO PIPE NOTES.
- C8) INSTALL MOUNTABLE CONCRETE ISLAND PER DETAIL 9/C1.3 AND MATCH EXIST GRADES.
- C9) NOT USED.
- C10) NOT USED.
- C11) INSTALL APPROX. 6 LF OF 18" PIPE. REFER TO PIPE NOTES.
- C12) INSTALL DETENTION OUTLET STRUCTURE. REFER TO DETAIL 7/C1.3.
- C13) INSTALL APPROX. 54 LF OF 18" RCP. REFER TO PIPE NOTES.
- C14) INSTALL 4' X 4' JUNCTION BOX. RIM = 259.2' PIPE INV = 252.9'. REFER TO DETAIL 4/C1.3.
- C15) INSTALL APPROX. 14 LF OF 18" RCP. REFER TO PIPE NOTES.
- C16) INSTALL 4' X 4' JUNCTION BOX. RIM = 258.5' PIPE C15 INV = 252.8' EXISTING PIPE INV = 252.0'. INSTALL ON EXISTING 24" RCP PER DOT STANDARDS. REFER TO DETAIL 4/C1.3.
- C17) INSTALL APPROX. 30 LF TRENCH DRAIN. WEST RIM = 255.1' WEST INV = 253.1' EAST RIM = 254.9' EAST INV = 253.9' REFER TO DETAIL 6/C1.3.
- C18) INSTALL APPROX. 20 LF OF 12" RCP. REFER TO PIPE NOTES.
- C19) INSTALL 4' X 4' JUNCTION BOX. RIM = 255.0' PIPE INV = 252.0'. REFER TO DETAIL 4/C1.3.
- C20) INSTALL APPROX. 14 LF OF 12" RCP. REFER TO PIPE NOTES.
- C21) INSTALL 4' X 4' JUNCTION BOX. RIM = 254.6' PIPE C20 INV = 251.6' EXISTING PIPE INV = 249.1'. INSTALL ON EXISTING 24" RCP PER DOT STANDARDS. REFER TO DETAIL 4/C1.3.
- C22) REMOVE EXISTING 24" PIPE PER DOT STANDARDS. REFER TO PIPE NOTES.
- C23) REMOVE EXISTING CATCH BASIN PER NCDOT STANDARDS.
- C24) CUT EXISTING 24" PIPE AND INSTALL NCDOT STANDARD CONCRETE JUNCTION BOX PER NCDOT STANDARD DETAIL 840.31. INSTALL ON TOP OF EXISTING 24" RCP PER DOT STANDARDS. RIM = 266.9' INV = 261.0'
- C25) INSTALL APPROX. 120 LF OF 24" PIPE PER NCDOT STANDARDS.
- C26) INSTALL NCDOT STANDARD CONCRETE JUNCTION BOX PER NCDOT STANDARD DETAIL 840.31. INSTALL ON TOP OF EXISTING 24" RCP PER DOT STANDARDS. RIM = 261.5' PIPE C27 INV = 257.0' EXISTING PIPE INV = 254.5'
- C27) INSTALL APPROX. 3 LF OF 24" PIPE PER NCDOT STANDARDS.
- C28) INSTALL NCDOT STANDARD CONCRETE CATCH BASIN PER NCDOT STANDARD DETAIL 840.02 WITH NCDOT TYPE "F" GRATE. RIM = 261.1' INV = 257.3'
- C29) INSTALL APPROX. 3 LF OF 24" PIPE PER NCDOT STANDARDS.
- C30) INSTALL NCDOT STANDARD CONCRETE CATCH BASIN PER NCDOT STANDARD DETAIL 840.02 WITH NCDOT TYPE "F" GRATE. RIM = 260.9' INV = 257.1'
- C31) INSTALL 230 LF OF RETAINING WALL ALONG SOUTH SIDE OF PROPOSED BUILDING. REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAIL AND DETAIL 4/C1.4 FOR PROFILE.
- C32) INSTALL 184 LF OF CONCRETE RETAINING WALL WITH MAX HEIGHT = 2.0'. SEE DETAIL 8/C1.3 FOR DESIGN & DETAIL 5/C1.4 FOR PROFILE.
- C33) INSTALL 216 LF OF CONCRETE RETAINING WALL WITH MAX HEIGHT = 2.0'. SEE DETAIL 8/C1.3 FOR DESIGN & DETAIL 6/C1.4 FOR PROFILE.
- C34) INSTALL PERMANENT TRM BETWEEN NEW BUILDING & PARKING LOT AND SOUTH & EAST PROPERTY LINE.
- C35) EXISTING UTILITY BOX HAS BEEN RELOCATED AS SHOWN AS PART OF THE CURRENT DOT PROJECT.
- C36) REFER TO DETAIL 2/C1.3 FOR SIDEWALK GRADING DETAIL.
- C37) NOT USED.
- C38) ACCESSIBLE ROUTE TO BE ADA COMPLIANT. 5.0% MAX. RUNNING SLOPE. 2.0% MAX. CROSS SLOPE.

**TRAFFIC CONTROL & PEDESTRIAN PLAN (TCPED) NOTES:**

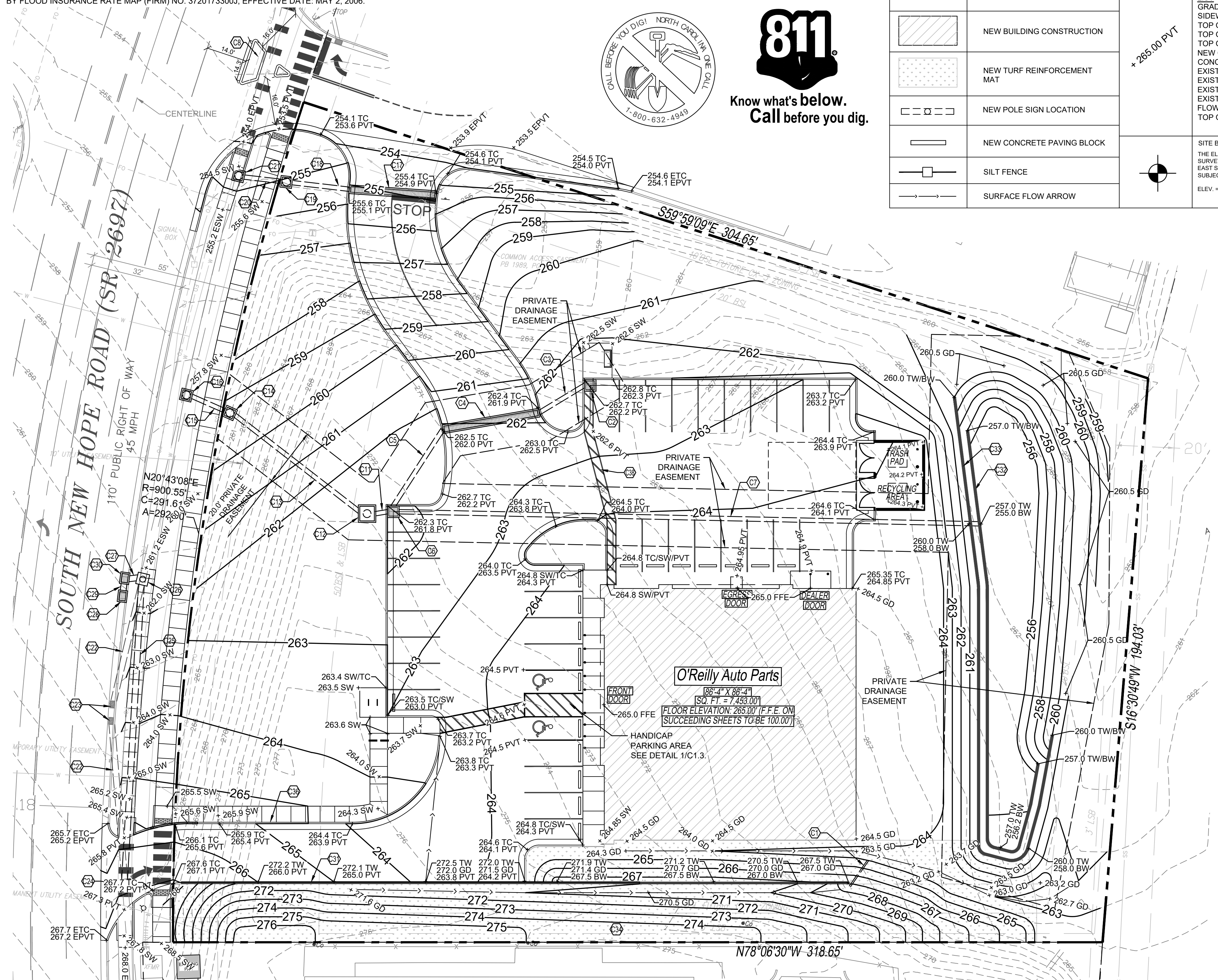
- A. Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofwayservices@raleighnc.gov.
- B. The street, lane, sidewalk, closure permit is required for any closure on city streets and all NCDOT streets within Raleigh's Jurisdiction.
- C. A permit request with a TCPED Plan shall be submitted with Right-of-Way Services through the City of Raleigh Permit and Development Portal.
- D. Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- E. All TCPED Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to: Manual on Uniform Traffic Control (MUTCD); Public Rights-of-Way Accessibility Guidelines (PROWAG); American Disability Act (ADA) requirements; Raleigh Street Design Manual (RSDM).
- F. All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- G. All permits must be available and visible on site during the operation.

**SPECIAL NOTE:**  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

The proposed use has been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

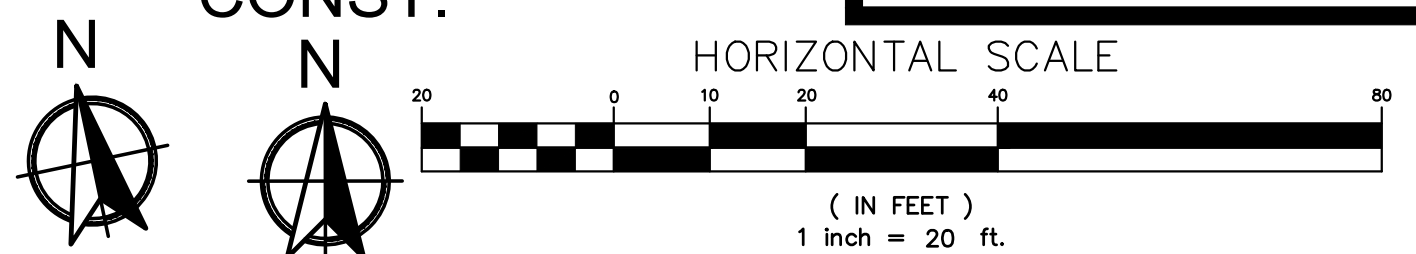
City of Raleigh Development Approval



**SPECIAL NOTE:**  
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

**SPECIAL NOTE:**  
FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

**1 OVERALL SITE GRADING PLAN**  
C1.1 SCALE: 1" = 20'-0"



NOT FOR CONSTRUCTION

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

1736 East Sunshine, Suite 417  
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417.862.0558  
Fax: 417.862.3265  
e-mail: architect@esterlyschneider.com

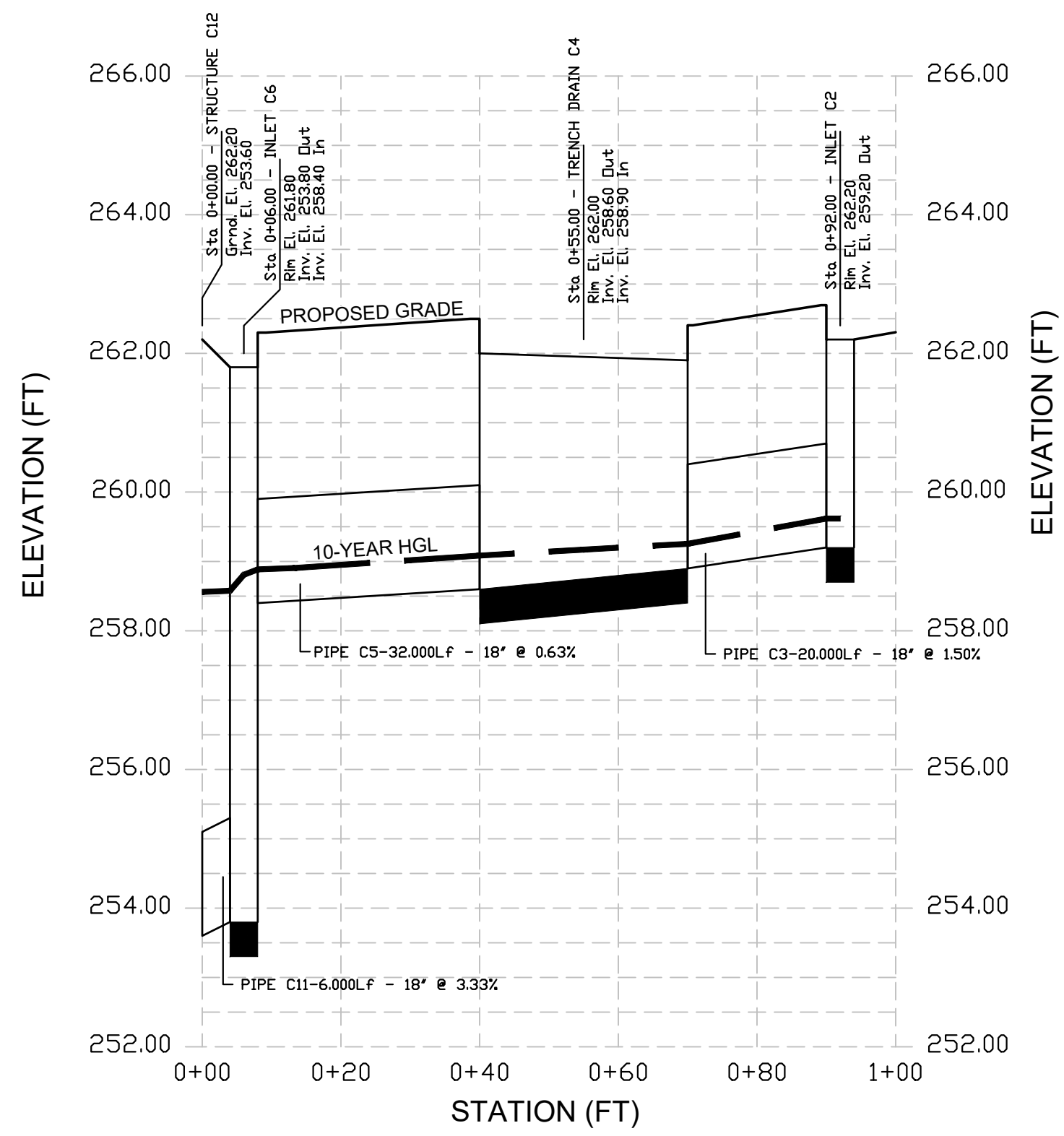
PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
**SITE GRADING PLAN**

**O'Reilly AUTO PARTS**

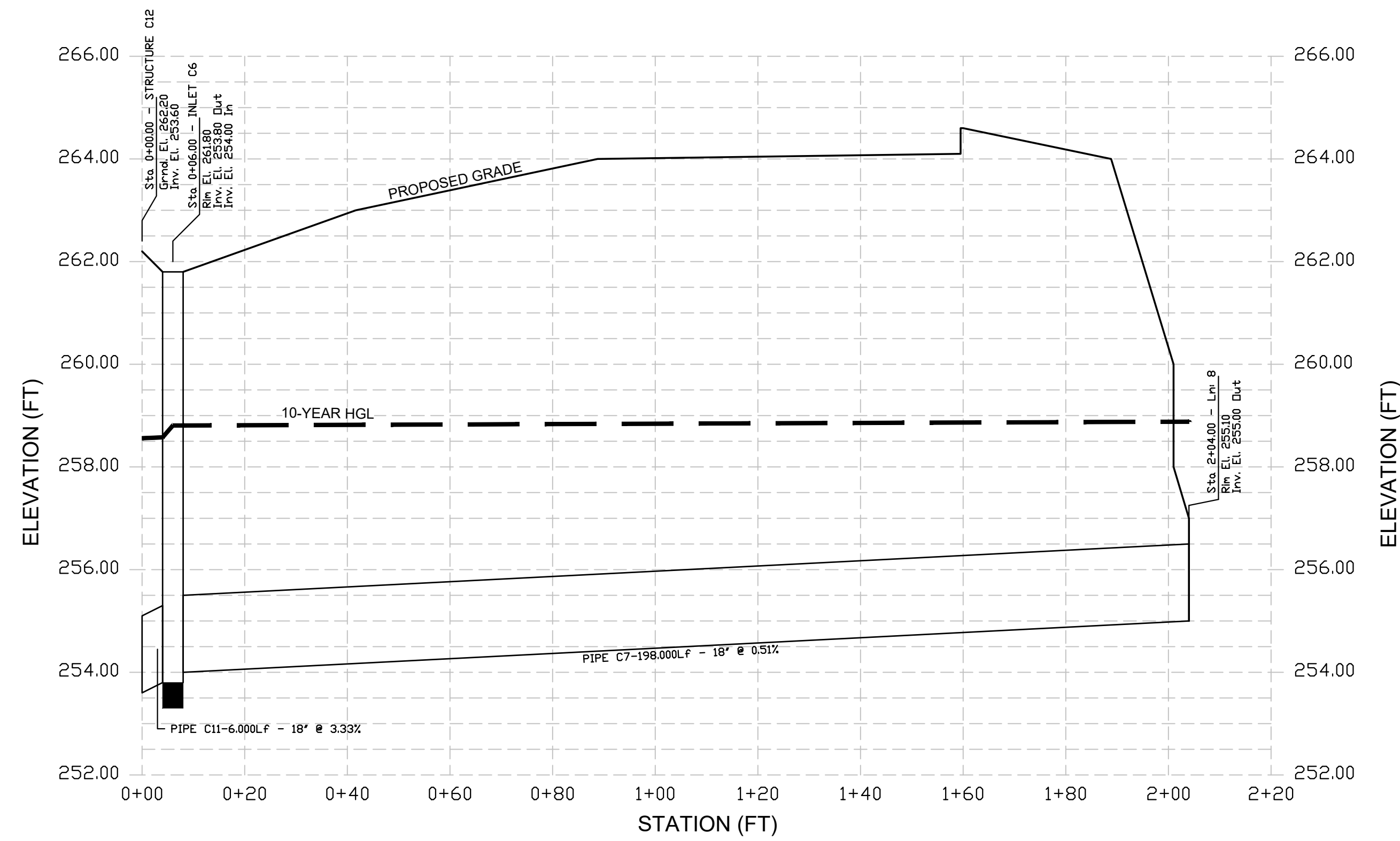
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

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| COMM #   |         |
| DATE:    | 2-15-24 |
| REVISION |         |
| DATE:    |         |

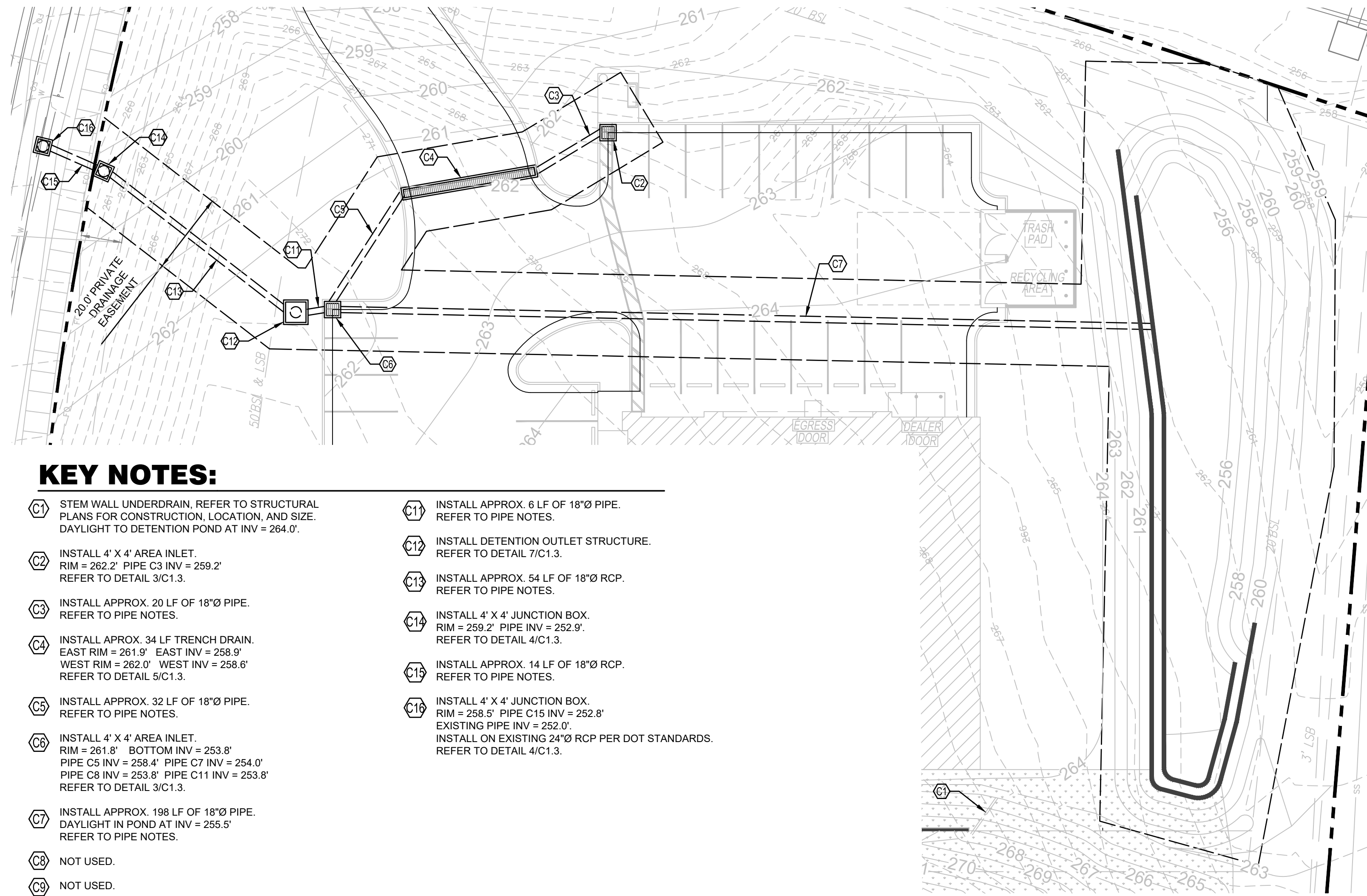




**2 SITE DETENTION PROFILE - C11 TO C2**  
**C1.2** HORIZONTAL SCALE: 1" = 20', VERTICAL SCALE: 1" = 2'



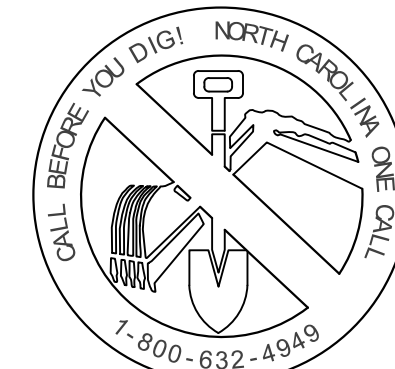
**3 SITE DETENTION PROFILE - C11 TO C7**  
**C1.2** HORIZONTAL SCALE: 1" = 20', VERTICAL SCALE: 1" = 2'



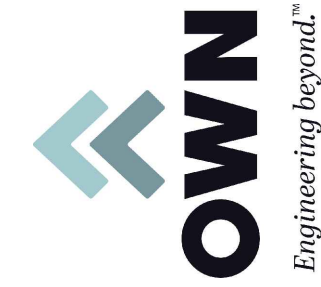
**KEY NOTES:**

- C1** STEM WALL UNDERDRAIN. REFER TO STRUCTURAL PLANS FOR CONSTRUCTION, LOCATION, AND SIZE. DAYLIGHT TO DETENTION POND AT INV = 264.0'.
- C2** INSTALL 4' X 4' AREA INLET. RIM = 262.2' PIPE C3 INV = 259.2' REFER TO DETAIL 3/C1.3.
- C3** INSTALL APPROX. 20 LF OF 18"Ø PIPE. REFER TO PIPE NOTES.
- C4** INSTALL APPROX. 34 LF TRENCH DRAIN. EAST RIM = 261.9' EAST INV = 258.9' WEST RIM = 262.0' WEST INV = 258.6' REFER TO DETAIL 5/C1.3.
- C5** INSTALL APPROX. 32 LF OF 18"Ø PIPE. REFER TO PIPE NOTES.
- C6** INSTALL 4' X 4' AREA INLET. RIM = 261.8' BOTTOM INV = 253.8' PIPE C5 INV = 258.4' PIPE C7 INV = 254.0' PIPE C8 INV = 253.8' PIPE C11 INV = 253.8' REFER TO DETAIL 3/C1.3.
- C7** INSTALL APPROX. 198 LF OF 18"Ø PIPE. DAYLIGHT IN POND AT INV = 255.5' REFER TO PIPE NOTES.
- C8** NOT USED.
- C9** NOT USED.
- C10** NOT USED.
- C11** INSTALL APPROX. 6 LF OF 18"Ø PIPE. REFER TO PIPE NOTES.
- C12** INSTALL DETENTION OUTLET STRUCTURE. REFER TO DETAIL 7/C1.3.
- C13** INSTALL APPROX. 54 LF OF 18"Ø RCP. REFER TO PIPE NOTES.
- C14** INSTALL 4' X 4' JUNCTION BOX. RIM = 259.2' PIPE INV = 252.9'. REFER TO DETAIL 4/C1.3.
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- C16** INSTALL 4' X 4' JUNCTION BOX. RIM = 258.5' PIPE C15 INV = 252.8' EXISTING PIPE INV = 252.0'. INSTALL ON EXISTING 24"Ø RCP PER DOT STANDARDS. REFER TO DETAIL 4/C1.3.

**1 SITE STORMWATER PLAN**  
**C1.2** SCALE: 1" = 20'-0"



Know what's below.  
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COAFF: 0972  
 Engineer PE# 049021  
 Aaren Hargrave, PE

PROJ # 23SP10305 DRAWING # WB-110-545

**O'Reilly AUTO PARTS**  
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PROJECT:  
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**SITE STORMWATER PLAN**

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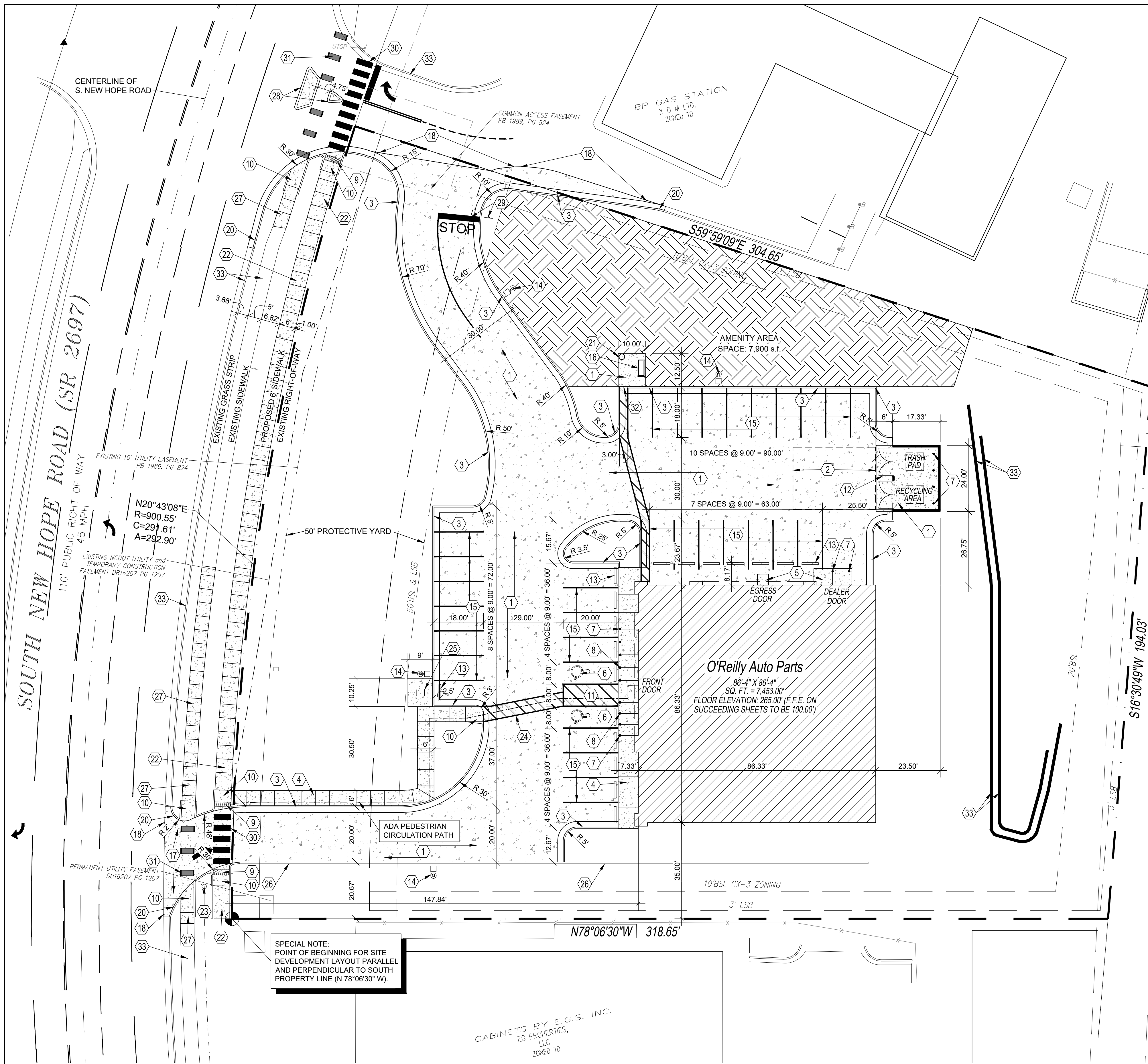
NOT FOR CONSTRUCTION

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval \_\_\_\_\_

|          |         |
|----------|---------|
| COMM #   |         |
| DATE:    | 2-15-24 |
| REVISION |         |
| DATE:    |         |





### GENERAL NOTES

- (A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- (B) SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- (C) COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- (D) REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- (E) PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

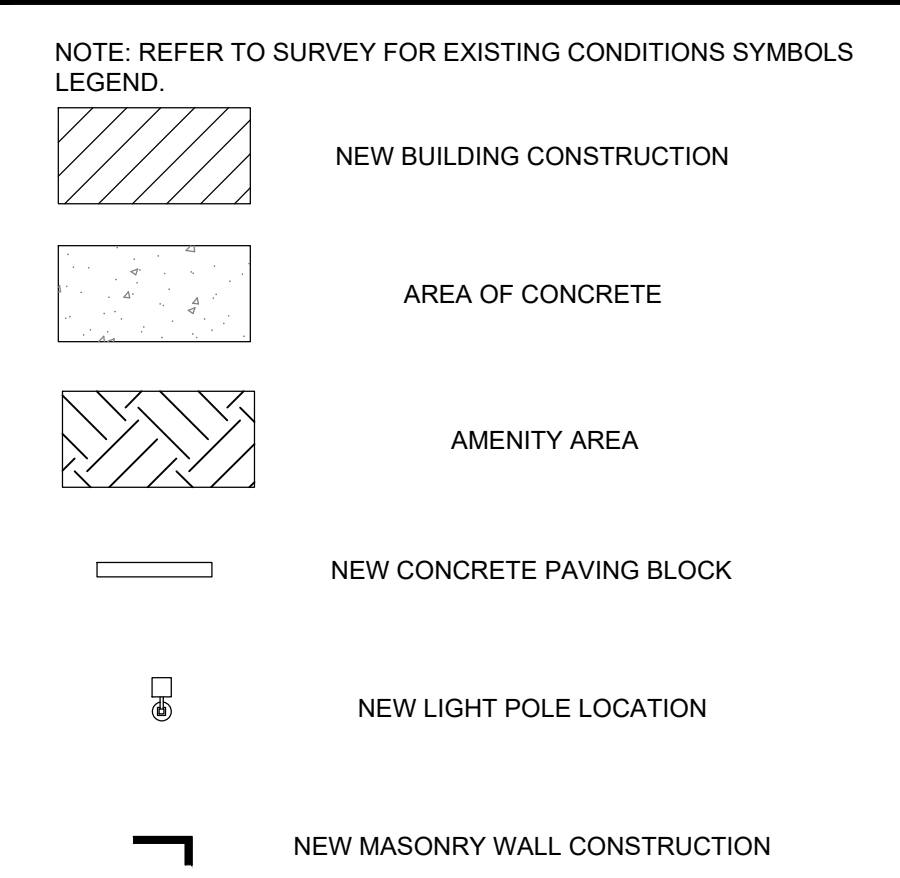
### KEY NOTES

- (1) CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA.
- (2) 23' X 30' COLLECTION DEVICE PAD. REFER TO SWS NOTES (THIS SHEET).
- (3) CONCRETE CURB.
- (4) CONCRETE SIDEWALK.
- (5) CONCRETE DOOR LANDING.
- (6) ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING.
- (7) STEEL BOLLARD, PROVIDE (4) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY.
- (8) ACCESSIBLE PARKING SIGN.
- (9) DETECTABLE WARNING SURFACE.
- (10) ACCESSIBLE CONCRETE CURB RAMP TO BE INSTALLED PER CITY DESIGN STANDARDS T-20.01.4.
- (11) ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- (12) REFUSE ENCLOSURE.
- (13) CONCRETE BUMPER BLOCK (8' W X 5' H X 6'-0\"/>

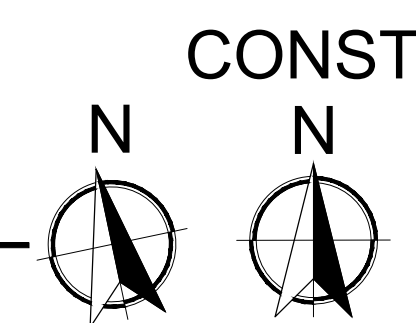
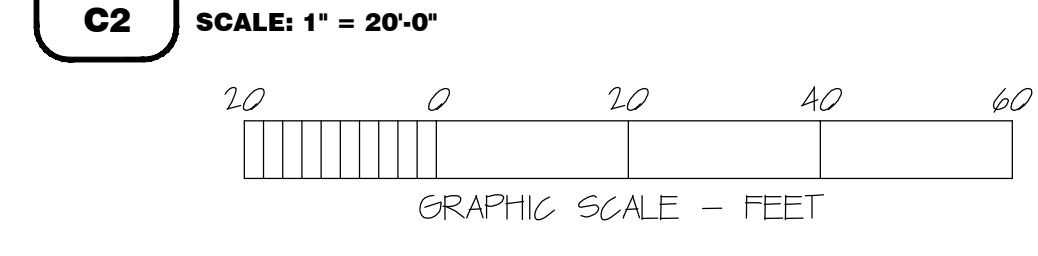
### SITE DATA TABLE

|  |   |
|--|---|
| ZONING   | CX-3 (PARKWAY OVERLAY)  |
| CLASSIFICATION:  | 76,960 S.F.   |
| PROPERTY AREA:   | 7,453 S.F.  |
| PROPOSED BUILDING AREA:  | 20,309 S.F.   |
| PROPOSED PAVEMENT AREA:  |   |
| PARKING SUMMARY PER UDO 7.1.2  |   |
| PARKING FORMULA:   | MAX. 1 SP. PER 200 S.F. GFA + 1.5 SPACE PER 600 S.F. OUTDOOR DISPLAY AREA |
| SPACE SIZE REQUIRED:   | 8.5' x 18'  |
| SPACE SIZE PROVIDED:   | 9' x 18'  |
| MAX SPACES ALLOWED:  | 37.25 + 0 = 37  |
| SPACES PROVIDED:   | 35  |
| H.C. SPACES PROVIDED:  | 2   |
| BIKE PARKING FORMULA:  | 1 SP. PER 5,000 S.F. GFA (MIN 4)  |
| BIKE SPACES REQUIRED:  | 7,453 / 5000 = 2 (MIN 4)  |
| BIKE SPACES PROVIDED:  | 4   |
| REQUIRED AMENITY AREA PER UDO 1.5.3: 76,960 S.F. x 10%                         |   |
| AMENITY AREA REQUIRED: 10% PER UDO 3.2.5                                       | 7,690 S.F.  |
| AMENITY AREA PROVIDED:   | 7,900 S.F.  |
| TRANSITIONAL PROTECTIVE YARD TYPE PER UDO 7.2.4.A: N/A PER UDO 7.2.4.E         |   |
| STREET PROTECTIVE YARD TYPE PER UDO 7.2.4.B: N/A PER EXCEPTION 3 (SHOD1 YARD). |   |

### SYMBOLS LEGEND



### 1 SITE DEVELOPMENT PLAN



**CAUTION:** INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
Call before you dig.**

**SWS NOTES:**

- PER THE SOLID WASTE COLLECTION DESIGN MANUAL, DUMPSTER AND CARDBOARD RECYCLING CARDBOARD MUST HAVE A CAPACITY OF 8 CUBIC YARDS
- PAVEMENT IN COLLECTION DEVICE PADS MUST BE A CONSTRUCTED OF REINFORCED PAVING MATERIAL, ABLE TO WITHSTAND 50,000 LB. LOAD. AREAS 30' IN FRONT OF THE PADS SHOULD ALSO BE REINFORCED TO A PAVEMENT STRENGTH THAT WILL WITHSTAND THE PRESSURES OF A 25 TON COLLECTION VEHICLE; 8" SUB-BASE AND 8" REINFORCED CONCRETE.

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

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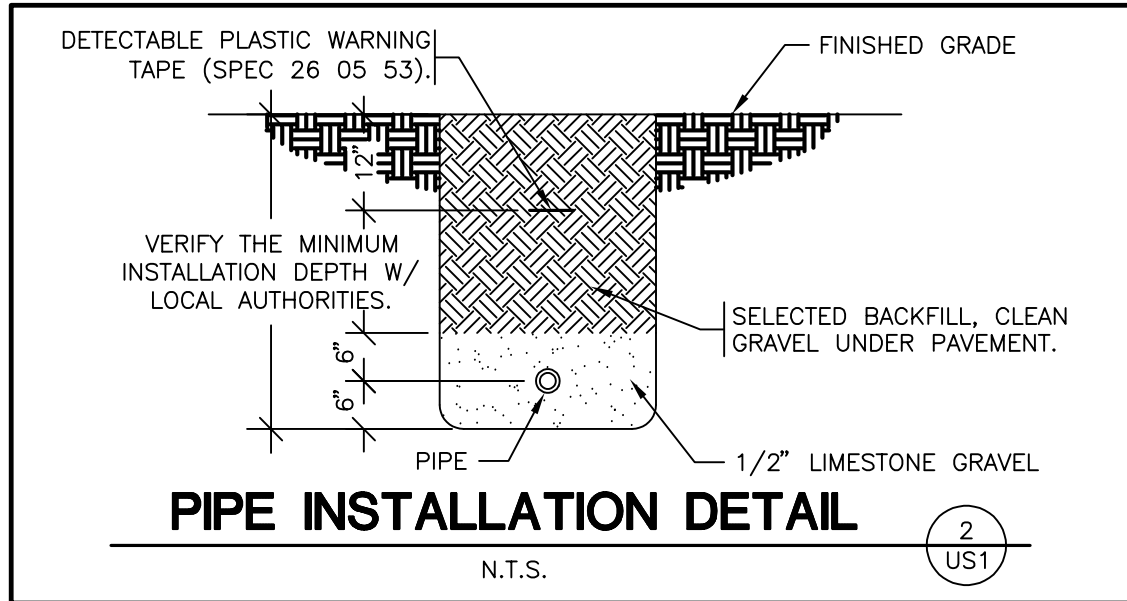
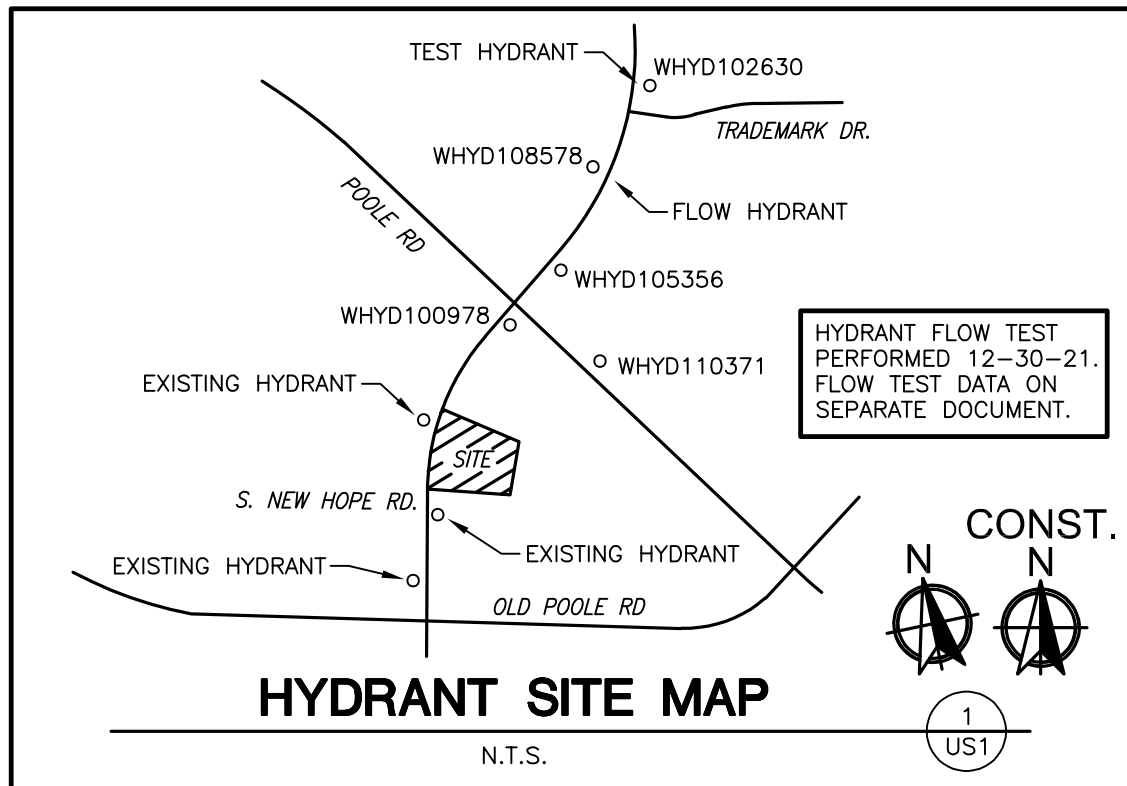
**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

|          |         |
|----------|---------|
| COMM #   | 4775    |
| DATE:    | 1-12-24 |
| REVISION |         |
| DATE:    |         |



16 Feb 2024 1:32 PM



**STANDARD UTILITY NOTES**  
(AS APPLICABLE)

ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)

- UTILITY SEPARATION REQUIREMENT:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPONDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIALS IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE, UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL COUNTER WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICE @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICE EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENT ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATION & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THESE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**KEYNOTES**

- NEW 1" IRRIGATION METER AND PIT BY CONTRACTOR.
- NEW 1" DOMESTIC WATER METER, PIT AND TAP.
- ROUTE DOMESTIC WATER/IRRIGATION WATER SERVICE UP INTO HOT BOX SET AT FINISH GRADE, INSTALL 1" REDUCED PRESSURE BACKFLOW PREVENTER (B.F.P.-WATTS-MODEL LP909-QT) IN EACH HOT BOX, "HOTBOX" MODEL HB1.5 WITH ELECTRIC HEAT. PROVIDE 36x24 CONCRETE PAD.

**GENERAL NOTES:**

- CONTRACTOR SHALL MAKE ALL WATER AND SEWER CONNECTIONS PER CITY REQUIREMENTS. INCLUDE ALL COSTS ASSOCIATED WITH THE WORK INTO THE BID.
- NOTICE OF CONSTRUCTION START DATE AND UTILITY WORK SHOWN. GIVE UTILITY COMPANIES INFORMATION GIVEN. COORDINATE FOR ALL COMPANIES, USING UTILITY COMPANY CONTACT CONTRACTOR SHALL COORDINATE WITH ALL UTILITY ESTIMATED COMPLETION DATE.
- PROJECT ADMINISTRATOR BEFORE PROCEEDING, CONTRACTOR SHALL CONTACT THE O'REILLY POTENTIAL CONFLICT IS DISCOVERED. GENERAL CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POLES, LANDSCAPING AND UTILITIES DO NOT GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT

**CONTRACTOR CAUTION!!!**  
**VERIFY SEWER LINE ELEVATION**

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM EQUAL TO "ENVIRONMENT ONE" #DH152  
PHONE: 518-346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

**NEW UTILITIES**

|         |                          |
|---------|--------------------------|
| W       | WATER SERVICE            |
| IR      | IRRIGATION SERVICE       |
| F       | FIRE HYDRANT SERVICE     |
| UGE     | UNDERGROUND ELECTRIC     |
| UGT     | UNDERGROUND PHONE        |
| S       | SANITARY SEWER           |
| OHE     | OVERHEAD ELECTRIC        |
| OHT     | OVERHEAD PHONE           |
| G       | GAS SERVICE (BY GAS CO.) |
| SAW CUT | SAW CUT                  |
| BORE    | BORE                     |
| GRAVEL  | GRAVEL                   |

• P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00), AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION).

**EXISTING CONDITIONS NOTES**

- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

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e-mail: architect@esterlyschneider.com

**UTILITIES CONTACTS:**

ELECTRIC: DUKE ENERGY, TRAVIS WILLIAMS: (919)218-0656  
TELEPHONE: TIME WARNER CABLE: (919)508-5400  
WATER/SEWER: CITY OF RALEIGH PUBLIC UTILITIES DEPT., BRIAN CASEY: (919)996-2176

**MINIMUM FIRE FLOW CALCULATION**

2018 NFPA, SECTION 507, APPENDIX B  
TABLE B105.1(2)  
CONSTRUCTION TYPE: IIB  
AREA: 7,453 SQ.FT.  
REQUIRED FIRE FLOW: 1,750 GPM  
FLOW DURATION: 2 HOURS

**SAWCUT NOTE**

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- SAWCUTTING PAVING, CONCRETE CURB & GUTTER.
- REMOVAL & TRENCHING.
- INSTALLATION OF UTILITY.
- BACKFILL & COMPACTION.
- INSTALLATION OF NEW PAVING, CONCRETE CURB & GUTTER THAT MATCHES THE EXISTING SURROUNDING PAVING, CURB & GUTTER IN BOTH MATERIAL & ELEVATION.

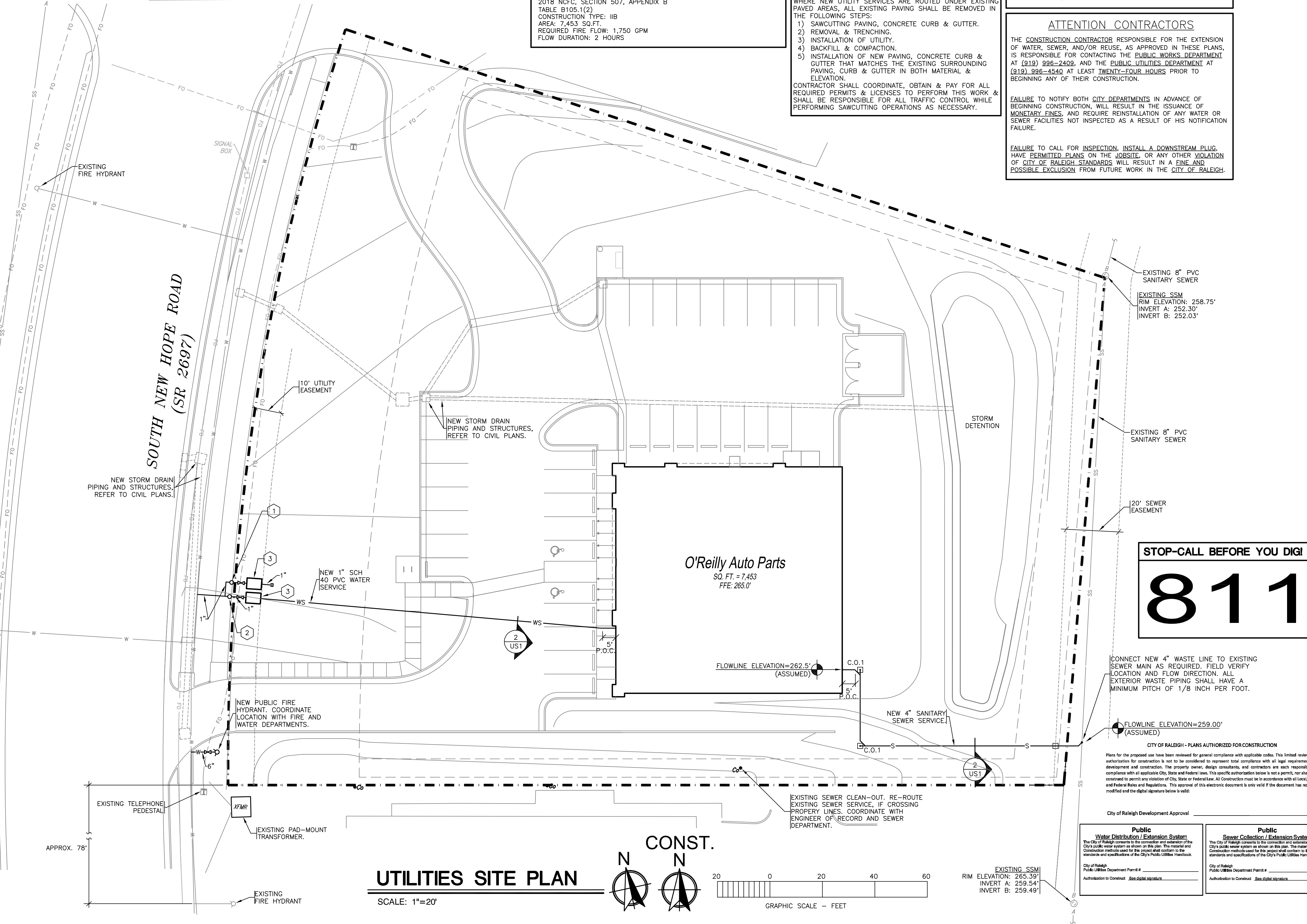
CONTRACTOR SHALL COORDINATE, OBTAIN & PAY FOR ALL REQUIRED PERMITS & LICENSES TO PERFORM THIS WORK & SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

**ATTENTION CONTRACTORS**

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF HIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.



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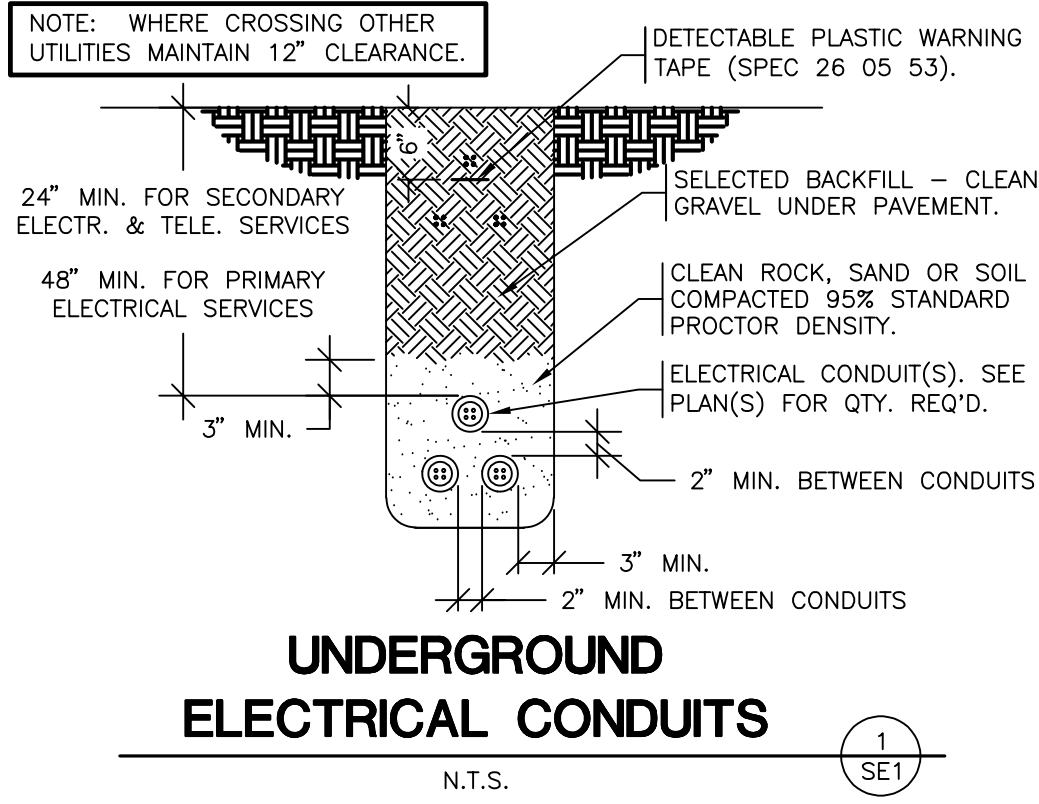
**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**811 SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**  
**UTILITIES SITE PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
283 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM # 4775  
DATE: 1-12-24  
REVISION DATE:

US1





- EXISTING CONDITIONS NOTES**
- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
  - EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
  - ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

**GENERAL NOTE:**

PRIOR TO INSTALLATION, GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR SHALL CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

**EMS KEYNOTE**

1 EMS / LIGHTING CONTROL PANEL. SEE EM SHEETS FOR MORE INFORMATION.

**UTILITIES CONTACTS:**

ELECTRIC: DUKE ENERGY, TRAVIS WILLIAMS: (919)218-0656  
TIME WARNER CABLE: (919)508-5400  
TELEPHONE: WATER/SEWER: CITY OF RALEIGH PUBLIC UTILITIES DEPT., BRIAN CASEY: (919)996-2176

CONTRACTOR TO CONTACT UTILITY COMPANIES FOR TAPPING AND FINAL CONNECTION RESPONSIBILITIES.

**SAWCUT NOTE**

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:

- SAWCUTTING PAVING, CONCRETE CURB & GUTTER.
- REMOVAL & TRENCHING.
- INSTALLATION OF UTILITY.
- BACKFILL & COMPACTION.
- INSTALLATION OF NEW PAVING, CONCRETE CURB & GUTTER THAT MATCHES THE EXISTING SURROUNDING PAVING, CURB & GUTTER IN BOTH MATERIAL & ELEVATION.

CONTRACTOR SHALL COORDINATE, OBTAIN & PAY FOR ALL REQUIRED PERMITS & LICENSES TO PERFORM THIS WORK & SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

**1 TELEPHONE SERVICE REQUIREMENTS**

SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

CONTRACTOR SHALL CONTACT PHONE COMPANY AND VERIFY REQUIRED SIZE OF CONDUIT (2", 3" OR 4") PVC SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRIC CONDUIT IN SAME TRENCH.

CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY, IF NECESSARY. OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10' (H.) ABOVE FINISHED GRADE ATTACHED TO POLE.

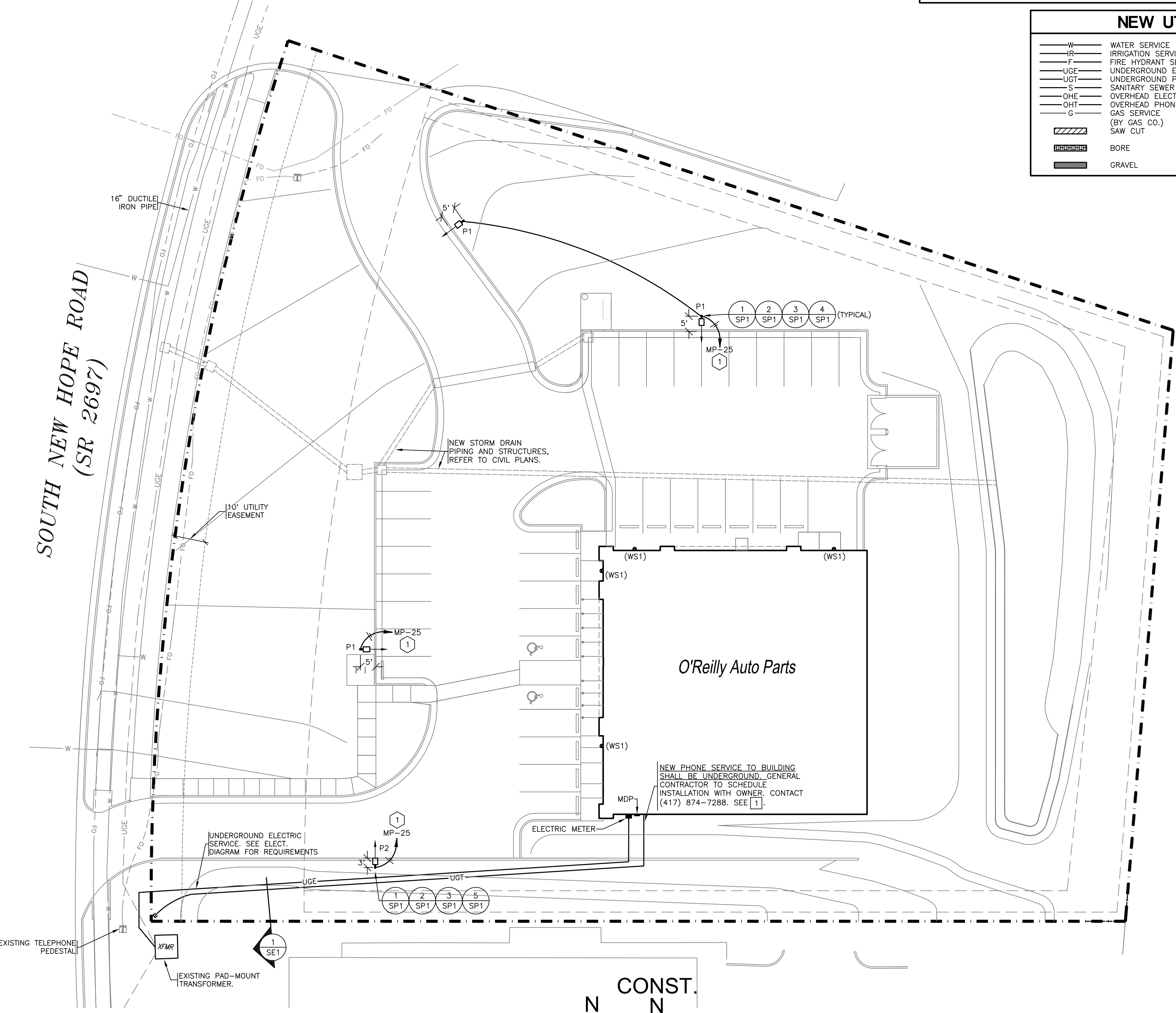
CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY, PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 10 PAIR CABLE, IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4' X 6' X 3/4" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE-THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.

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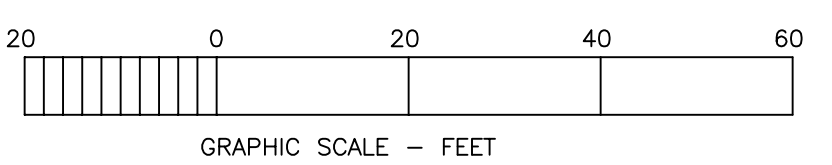
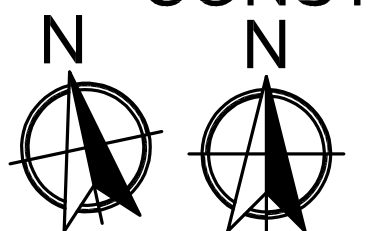
**NEW UTILITIES**

|     |                          |   |
|-----|--------------------------|---|
| W   | WATER SERVICE            | P.O.C. = POINT OF CONNECTION BETWEEN  |
| IR  | IRRIGATION SERVICE       | SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00), AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION). |
| F   | FIRE HYDRANT SERVICE     |   |
| UGE | UNDERGROUND ELECTRIC     |   |
| UGT | UNDERGROUND PHONE        |   |
| S   | SANITARY SEWER           |   |
| OHE | OVERHEAD ELECTRIC        |   |
| OHT | OVERHEAD PHONE           |   |
| G   | GAS SERVICE (BY GAS CO.) |   |
| SC  | SAW CUT                  |   |
| BO  | BORE                     |   |
| GR  | GRAVEL                   |   |



**SITE ELECTRICAL PLAN**

SCALE: 1"=20'



STOP-CALL BEFORE YOU DIG!

**811**

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. The limited review, and authorization for construction is not to be considered as approval of construction with all legal requirements for development and construction. The property owner, design consultants, and contractor are each responsible for compliance with all applicable City, State and Federal Law. This official authorization is not a permit. It shall be considered to permit any violation of City, State or Federal Law. All Contractors must be in accordance with all local, state, and federal laws and regulations. The approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval

**CRAIG A. SCHEIDER, AIA**  
ARCHITECT

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
811 SOUTH NEW HOPE ROAD  
FALEIGH, NC #4

1736 East Sunshine, Suite 417  
Springfield, Missouri 65804

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417.862.3266  
e-mail: architect@esterlyschneider.com

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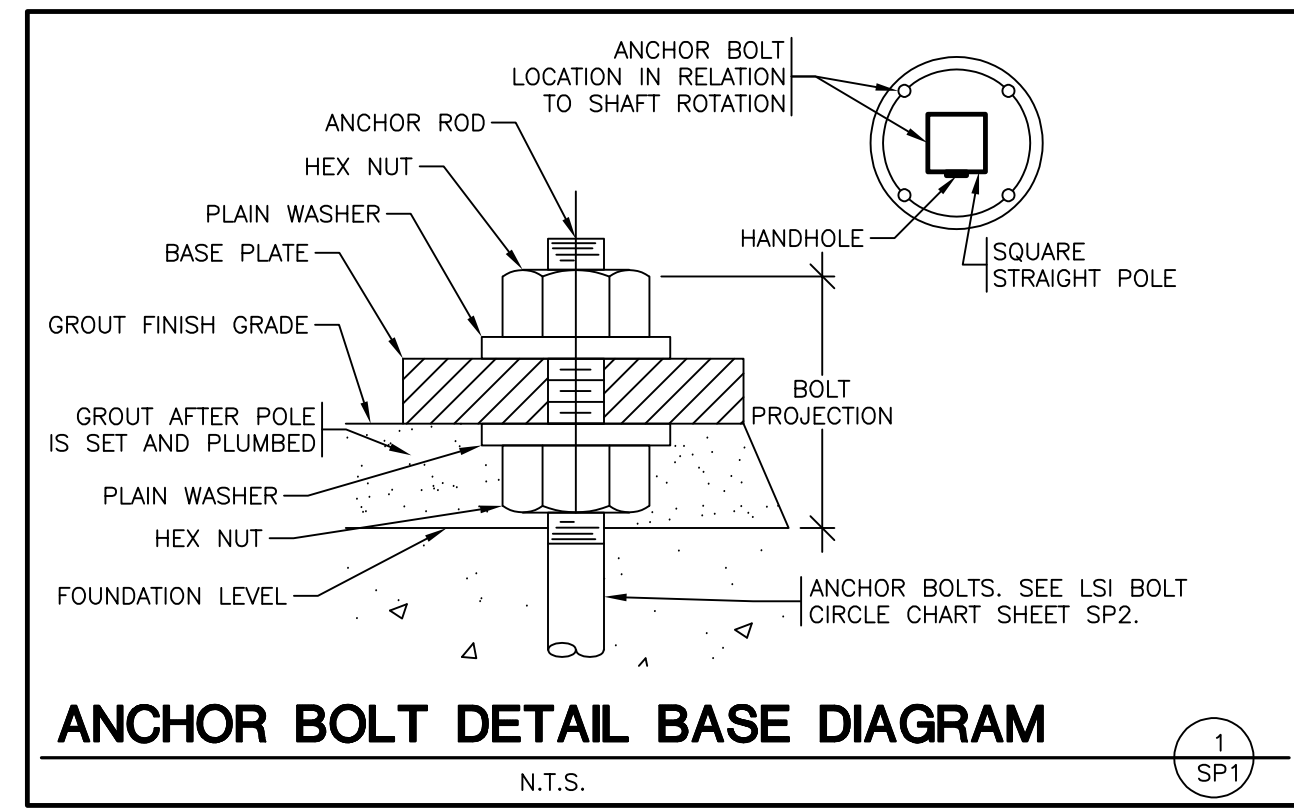
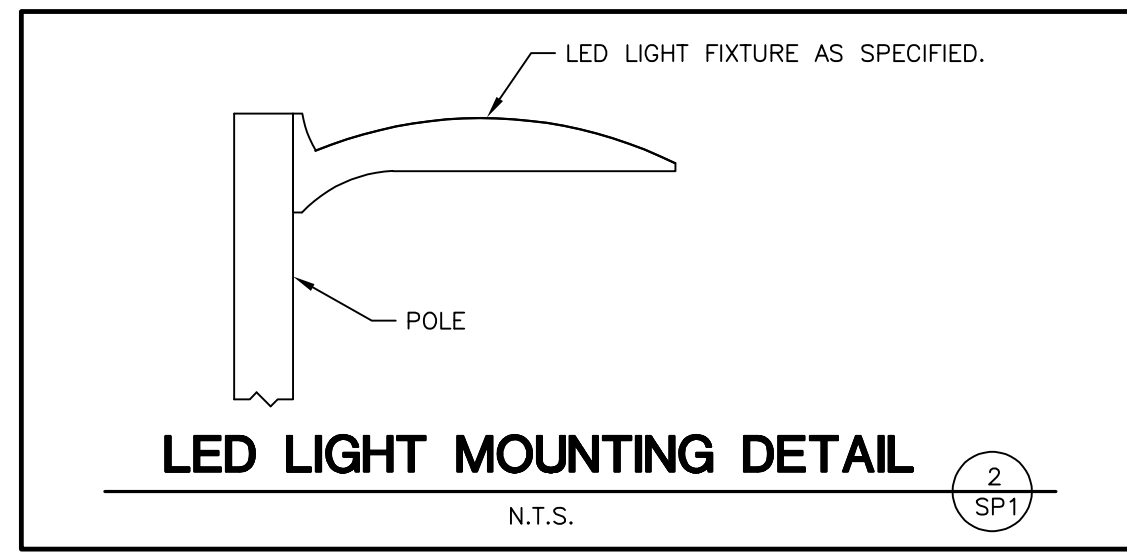
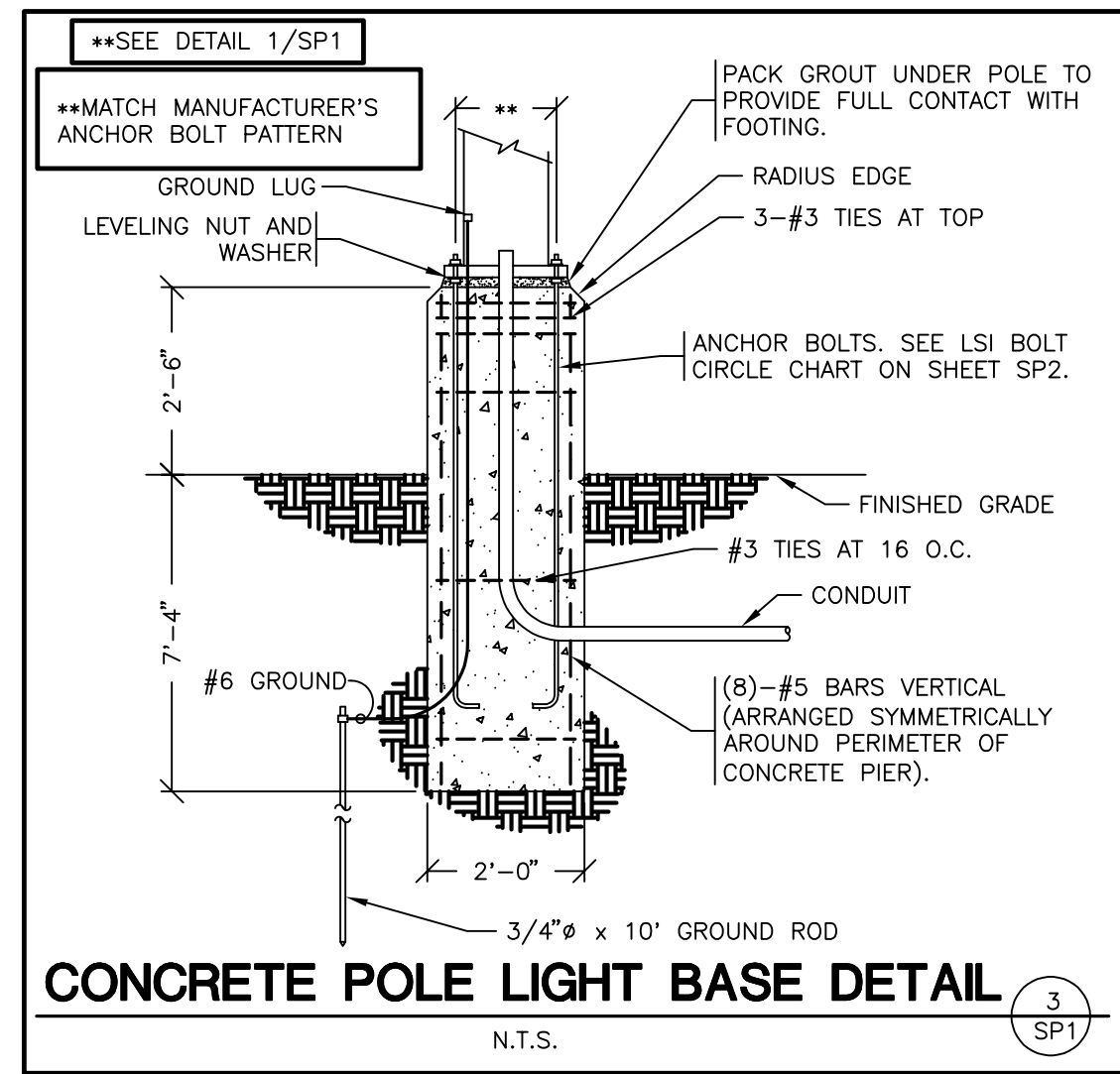
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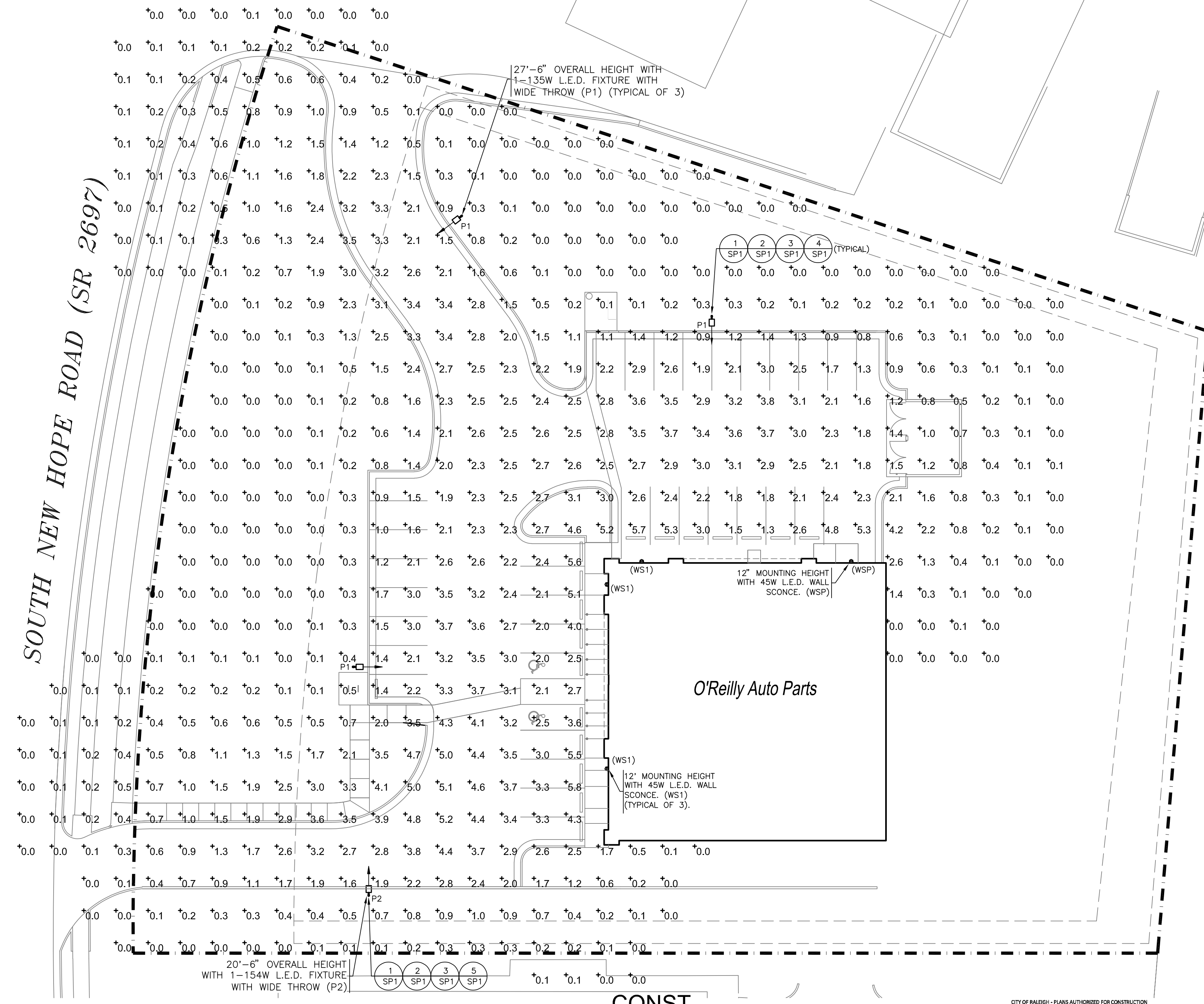
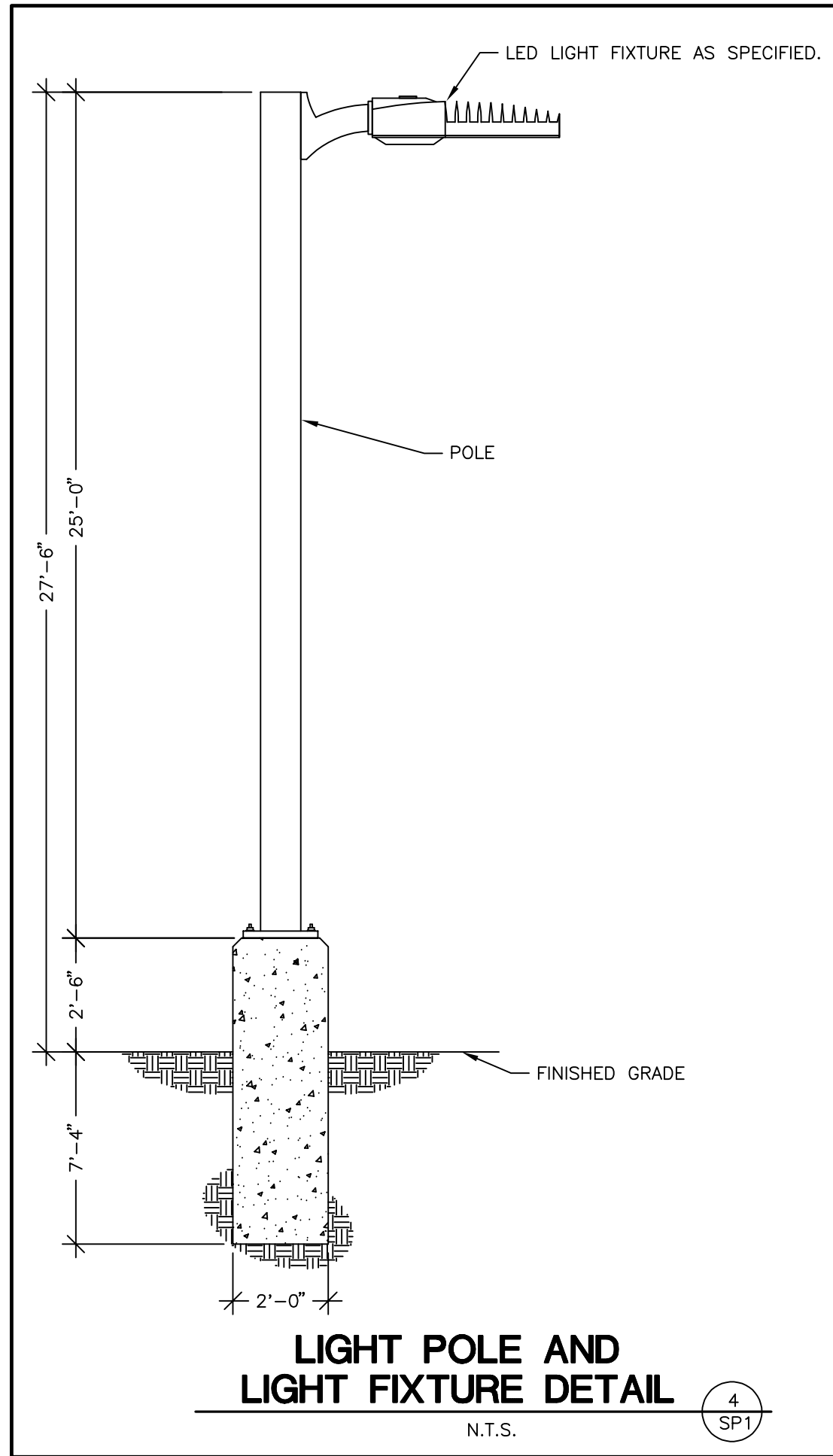
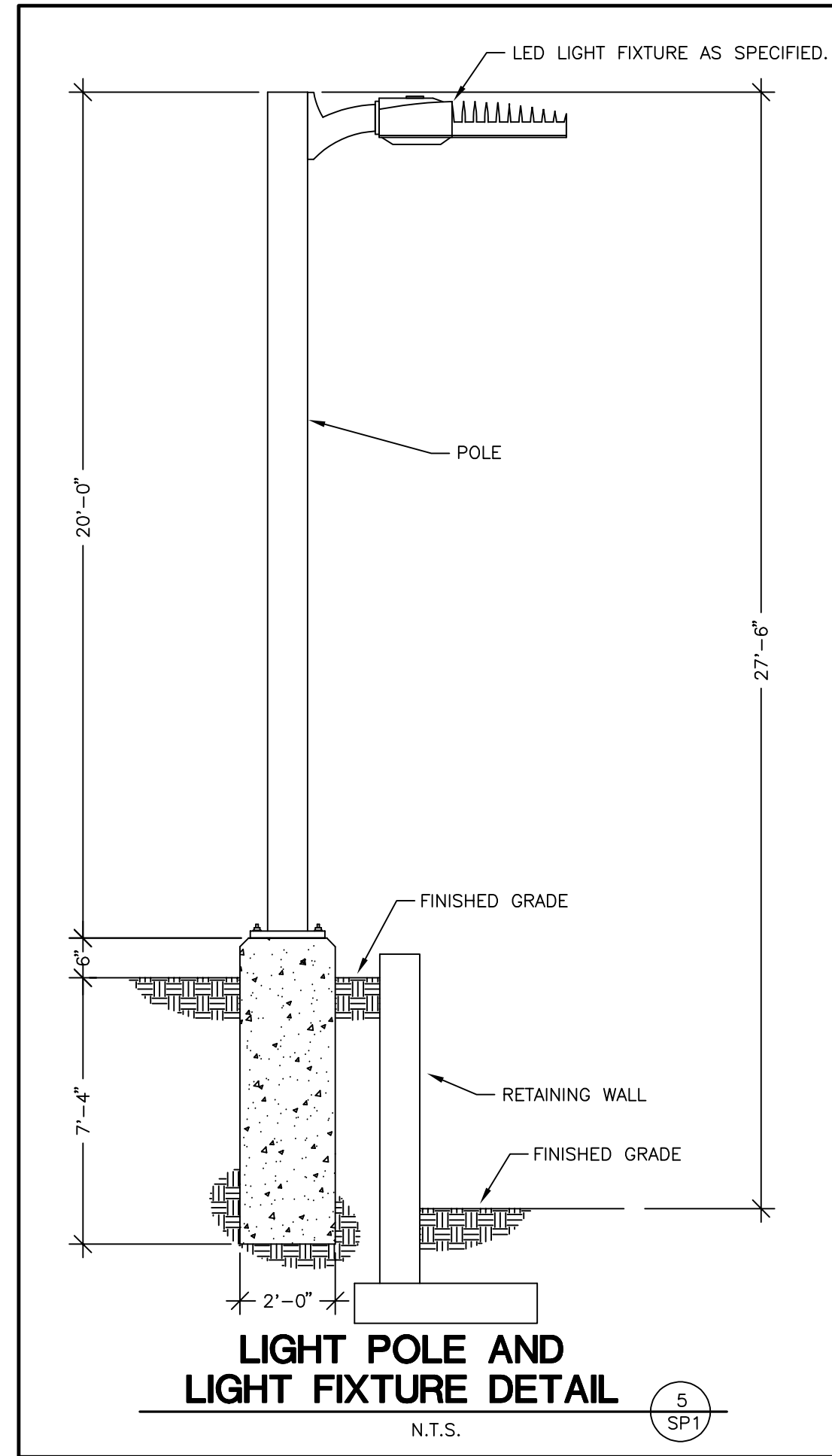




**AUTOMATIC LIGHTING CONTROL**  
COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

- ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE EM SHEETS.
  - INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
  - INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.
  - EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH OUTSIDE ANYTIME DURING STORE HOURS, AND WILL TURN OFF AT STORE CLOSING.
  - EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
- RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.

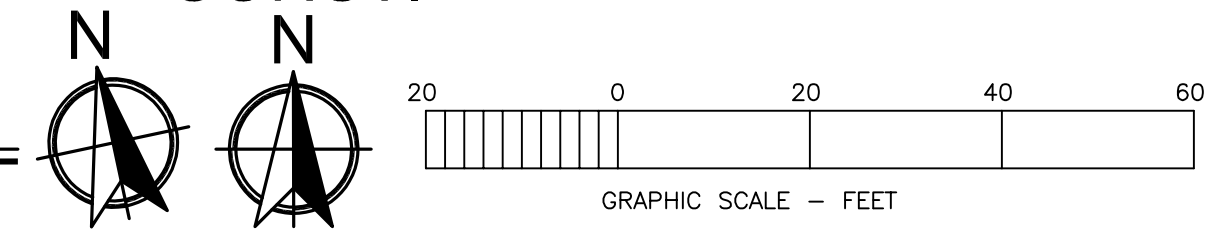
Jan E. Eckhardt, P.E.  
License No. 089717  
5333 E. Hambrick, Suite 1000  
Springfield, Missouri 65804  
Phone: 417-862-3266



| EXTERIOR LIGHT FIXTURE SCHEDULE  |      |  |                |   |          |   |         |         |  |
|--|------|--|----------------|---|----------|---|---------|---------|--|
| ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR: |      |  |                | SOURCEONE SOLUTIONS<br>2081 EXCHANGE DRIVE<br>ST. CHARLES, MO 63303 |          | SOURCEONE SOLUTIONS O'REILLY TEAM<br>EMAIL: <a href="mailto:ncoreilly@sourceonesolutions.com">ncoreilly@sourceonesolutions.com</a><br>PHONE: 314-499-6400 |         |         |  |
| MARK   | MFR. | CATALOG NUMBER                                     | SUPPLY VOLTAGE | FINISH  | MOUNTING | LAMPS   |         | WATTAGE | NOTES  |
|  |      |  |                |   |          | SURFACE WALL  | CEILING |         |  |
| <b>LED EXTERIOR LIGHTS</b>   |      |  |                |   |          |   |         |         |  |
| WS1  | LSI  | XWM-FT-LED-06L-50-UE-BRZ<br>NO SUBSTITUTIONS       | 120            | DARK BRONZE   | X        |   | X       | 45      | FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.  |
| WSP  | LSI  | XWM-FT-LED-06L-50-UE-BRZ-PC120<br>NO SUBSTITUTIONS | 120            | DARK BRONZE   | X        |   | X       | 45      | FULL CUT-OFF, BUG RATING B1-U0-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.  |
| <b>LED POLE LIGHTS</b>   |      |  |                |   |          |   |         |         |  |
| P1   | LSI  | MRM-LED-18L-SIL-3-UNV-DIM-50-70CRI-BRZ-IL          | 120            | DARK BRONZE   |          | X   | X       | 135     | 25' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD, BUG RATING B2-U0-G3 |
|  | LSI  | 5SQB3-S07G-25-S-BRZ-LAB-5BC                        |                |   |          |   |         |         |  |
| P2   | LSI  | MRM-LED-18L-SIL-3-UNV-DIM-50-70CRI-BRZ-IL          | 120            | DARK BRONZE   |          | X   | X       | 135     | 20' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD, BUG RATING B2-U0-G3 |
|  | LSI  | 5SQB3-S07G-25-S-BRZ-LAB-5BC                        |                |   |          |   |         |         |  |

FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY

**SITE PHOTOMETRIC PLAN**  
SCALE: 1"=20'



**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
1736 East Sunshine, Suite 417  
Springfield, Missouri 65804  
Phone: 417-862-0556  
Fax: 417-862-3266  
e-mail: [architect@esterfischer.net](mailto:architect@esterfischer.net)

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**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

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PROJECT: **NEW O'REILLY AUTO PARTS STORE**  
811 SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
**SITE PHOTOMETRIC PLAN**

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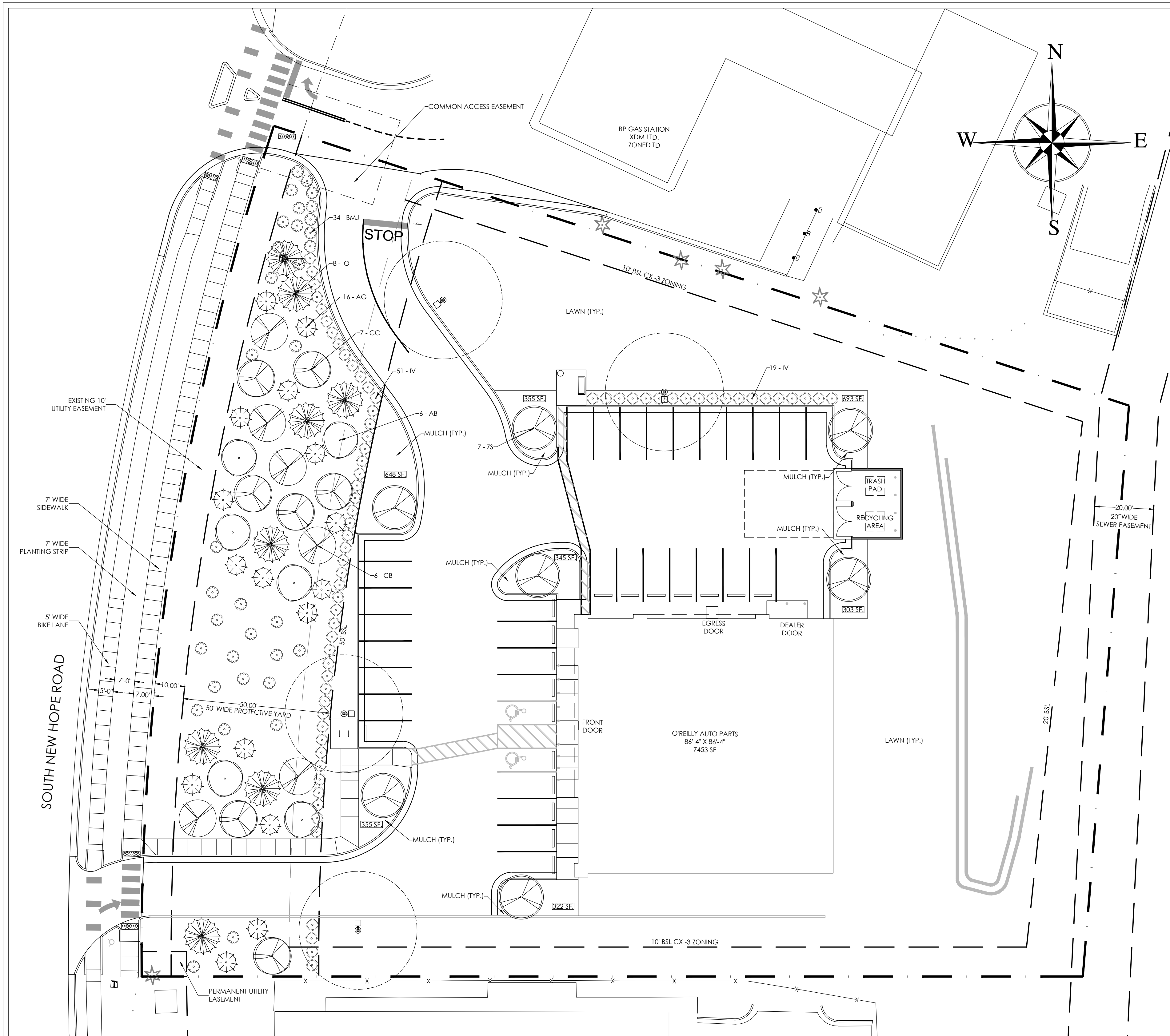
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REVISION  
DATE:

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1 LANDSCAPE PLAN  
SCALE: 1"=20'

PLANT SCHEDULE

| KEY                     | QTY. | TYPE      | BOTANICAL NAME                                | COMMON NAME        | SIZE     | HEIGHT              | ROOT  | LOCATION                                |
|-------------------------|------|-----------|---|--------------------|----------|---------------------|-------|---|
| <b>Canopy Trees</b>     |      |           |   |                    |          |                     |       |   |
| CB                      | 6    | Deciduous | <i>Carpinus betulus</i>                       | European Hornbeam  | 3.5" CAL | 14' during planting | B&B   | 50' protective yard                     |
| CC                      | 7    | Deciduous | <i>Carpinus caroliniana</i>                   | Ironwood           | 3.5" CAL | 14' during planting | B&B   | 50' protective yard                     |
| AB                      | 6    | Deciduous | <i>Acer buergerianum</i>                      | Trident Maple      | 3.5" CAL | 14' during planting | B&B   | 50' protective yard                     |
| IO                      | 8    | Evergreen | <i>Ilex opaca</i>                             | American Holly     | 2" CAL   | 8' during planting  | B&B   | 50' protective yard                     |
| ZS                      | 7    | Deciduous | <i>Zelkova serrata</i>                        | Japanese Zelkova   | 3" CAL   | 10' during planting | B&B   | Parking Islands                         |
|                         | 34   |           |   |                    |          |                     |       |   |
| <b>Understory Trees</b> |      |           |   |                    |          |                     |       |   |
| AG                      | 16   | Deciduous | <i>Amelanchier x grandiflora</i>              | Serviceberry       | 1.5" CAL | 6' during planting  | B&B   | 50' protective yard                     |
| <b>Shrubs</b>           |      |           |   |                    |          |                     |       |   |
| IV                      | 70   | Evergreen | <i>Ilex vomitoria</i> 'Nana                   | Dwarf Yaupon Holly |          | 24" during planting | Cont. | 50' protective yard + Parking screening |
| BMJ                     | 34   | Evergreen | <i>Buxus microphylla</i> var. <i>japonica</i> | Japanese Boxwood   |          | 24" during planting | Cont. | 50' protective yard                     |
|                         | 104  |           |   |                    |          |                     |       |   |

LANDSCAPE SCOPE OF WORK

- FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUND COVER, ANNUALS, SEED, SOD AND MULCH.
- MATERIALS AND WORK:** THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK, WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.
- PLANT MATERIALS:** ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IN THE FIELD, NATURALLY SHAPED, WELL BRANCHED, FULLY FOLIATED WHEN IN LEAF WITH FULLY DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS MUST BE FREE OF DISEASE, INSECT INFESTATION OR THEIR EGGS AND SHALL HAVE BEEN GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- PLANT SIZE:** SPECIFIED SIZES INDICATES THE MINIMUM ALLOWABLE SIZE AT PLANTING. WHERE CONTAINER AND HEIGHT/SPREADS ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS SHALL BE MET WHEN ONLY PLANT HEIGHT OR SPREAD ARE INDICATED. CONTAINER SIZE SHALL BE BASED ON "AMERICAN STANDARDS FOR NURSERY STOCK" STANDARDS.
- ORGANIC MATTER:** AGED MANURE, COMPOST OR PINE BARK FINES, AT THE OPTION OF THE CONTRACTOR. MATERIAL SHALL BE AIR DRIED, FINELY SHREDDED AND SUITABLE FOR HORTICULTURAL PURPOSES AND SHALL CONTAIN NO MORE THAN 35% MOISTURE CONTENT BY WEIGHT.
- PINE BARK MULCH:** ALL PINE BARK MULCH SHALL BE CLEAN, DOUBLE GROUND, FINE TEXTURED THUGGET MULCH WITH MINIMAL AMOUNTS OF SAPWOOD CONTENT.
- TURF AREAS:** PRIOR TO ANY SEEDING OR SOD APPLICATION, VERIFY THAT ALL TRENCHING AND LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED. ENSURE ALL AREAS ARE FREE OF STONES, LARGE SOIL CLODS AND ANY OTHER CONSTRUCTION DEBRIS.

LANDSCAPE CALCULATIONS

PROTECTIVE YARD ALONG PARKWAY

- TOTAL STREET FRONTAGE : 293 LF
- TOTAL EASEMENT FRONTAGE : 290 LF
- DRIVEWAY ENCROACHMENT : 18.67 LF
- SIDEWALK : 6 LF
- TOTAL PROTECTIVE YARD : 265.33 LF
- MINIMUM PROTECTIVE YARD REQUIREMENTS : 7 DECIDUOUS TREES + 3 EVERGREEN TREES + 6 UNDERSTORY TREES + 32 SHRUBS (OF WHICH 40% EVERGREEN) PER 100 LF
- TOTAL PROTECTIVE YARD PLANTING PROVIDED : 19 DECIDUOUS TREES + 8 EVERGREEN TREES + 16 UNDERSTORY TREES + 85 SHRUBS (OF WHICH 34 EVERGREEN)

PARKING LOT LANDSCAPE

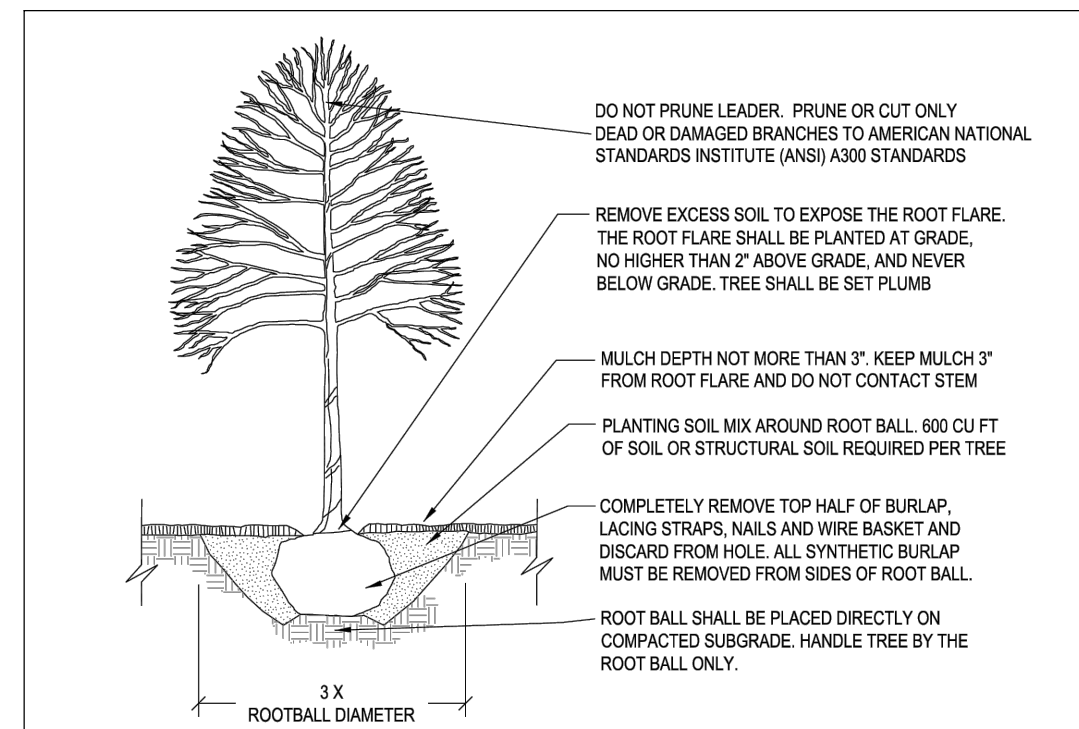
- MINIMUM TREES REQUIRED : 1 TREE PER 2000SF OF PARKING AREA
- PARKING AREA : 13,630 SF
- TOTAL PARKING LOT TREES REQUIRED : 7
- TOTAL PARKING LOT TREES PROVIDED : 7

PARKING LOT SCREENING

- TYPE C3 BUFFER FOR PARKING LOT ADJACENT TO PUBLIC ROW- REQUIRED (30 SHRUBS PER 100 LF)
- PARKING LOT SCREENING PROVIDED

LANDSCAPE PLAN NOTES

- ALL PLANT MATERIAL ON THIS SITE MUST MEET MINIMUM CITY OF RALEIGH UDO REQUIREMENTS FOR SIZE, HEIGHT, AND SPACING. PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS WITHIN THIS PLAN SET.
- PLANTING STOCK SHALL MEET ALL STANDARDS WITHIN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" - ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK. THE CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT THE SITE AND PERFORM THE WORK SPECIFIED INCLUDING THE FINE GRADING AND INCORPORATION OF TOPSOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATIONS FROM GRADES AND CONDITIONS SHOWN WEATHER SURFACE OR SUBSURFACE. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY AND PRIOR TO ORDERING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS TO PERFORM THE WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-432-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED.
- ANY DAMAGE TO EXISTING IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS, INCLUDING CURB AND GUTTER, SIDEWALKS, PAVED OR TURF AREAS SHALL BE REPAIRED TO ORIGINAL CONDITIONS BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE DEVELOPER.
- PLANT QUANTITIES TO BE VERIFIED BY LANDSCAPE CONTRACTOR, IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLANS AS COMPARED TO THE PLANT LIST THE CONTRACTOR SHALL PROVIDE THE QUANTITY SHOWN ON THE PLANS.
- CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OR MODIFICATIONS TO THE LANDSCAPE PLANS. THIS MAY REQUIRE A MODIFICATION TO THE APPROVED PLANS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ON THE PLANS.
- ALL ABOVE GROUND MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMERS, DUMPSTERS, BACKFLOW PREVENTERS, AND VALVE BOXES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND RIGHT-OF-WAY WHILE MAINTAINING REQUIRED ACCESS TO LOCAL CODE STANDARDS AND REQUIREMENTS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTIONS BETWEEN TWO FEET AND EIGHT FEET IN HEIGHT ABOVE THE NEAREST VEHICLE SURFACE OR ADJACENT CURB LINE SHALL BE ALLOWED.
- ALL UNPAVED AREAS SHALL BE TOPSOILED AND SEEDED / SODDED OR MULCHED TO THE LIMITS OF CONSTRUCTION BASED ON ACTUAL FIELD CONDITIONS BEYOND THE APPROVED PLANS.
- ALL SOD TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL. ALL SEED TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL @ 6 LBS. PER 1000 S.F. IN LAWN AREAS 3" TOPSOIL SHALL BE FILLED INTO THE TOP 6" OF GROUND PRIOR TO SEEDING.
- SLOPES GREATER THAN 3:1 SHALL REQUIRE HYDRO-SEEDING. SLOPES GREATER THAN 2:1 SHALL BE SODDED WITH CENTIPEDE GRASS. ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED FOR SLOPES GREATER THAN 3:1 TO ENSURE SOIL STABILIZATION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- ALL INTERIOR ISLANDS SHALL BE MULCHED WITH DOUBLE GROUND PINE BARK TO A DEPTH OF 4". PERIMETER LANDSCAPE BUFFERS SHALL BE MULCHED WITH 4" PINE STRAW TO BED LINES SHOWN OR BUFFER LIMITS. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS.
- PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMBUSTIBLE CONSTRUCTION.
- CONTRACTOR SHALL LEVEL AND SMOOTH ALL DISTURBED AREAS AND REMOVE ALL ROCKS AND CONSTRUCTION DEBRIS PRIOR TO SEEDING, SOD OR PLANT INSTALLATION.
- NOTE THAT WITHIN LANDSCAPED AREAS SURROUNDING BUILDING, THE GRADES SHOWN ON THE GRADING SHEET ARE "TOP OF MULCH" OR "TOP OF TOPSOIL". CONTRACTOR SHALL ENSURE POSITIVE FINISHED DRAINAGE (MIN. 2%) AWAY FROM ALL BUILDINGS AND COORDINATE WITH THE LANDSCAPE PLAN TO LEAVE SUBGRADE LOW ENOUGH TO MAINTAIN THESE SPOTS AS FINISHED GRADE.
- OWNER SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY AT LEAST 10 FEET.

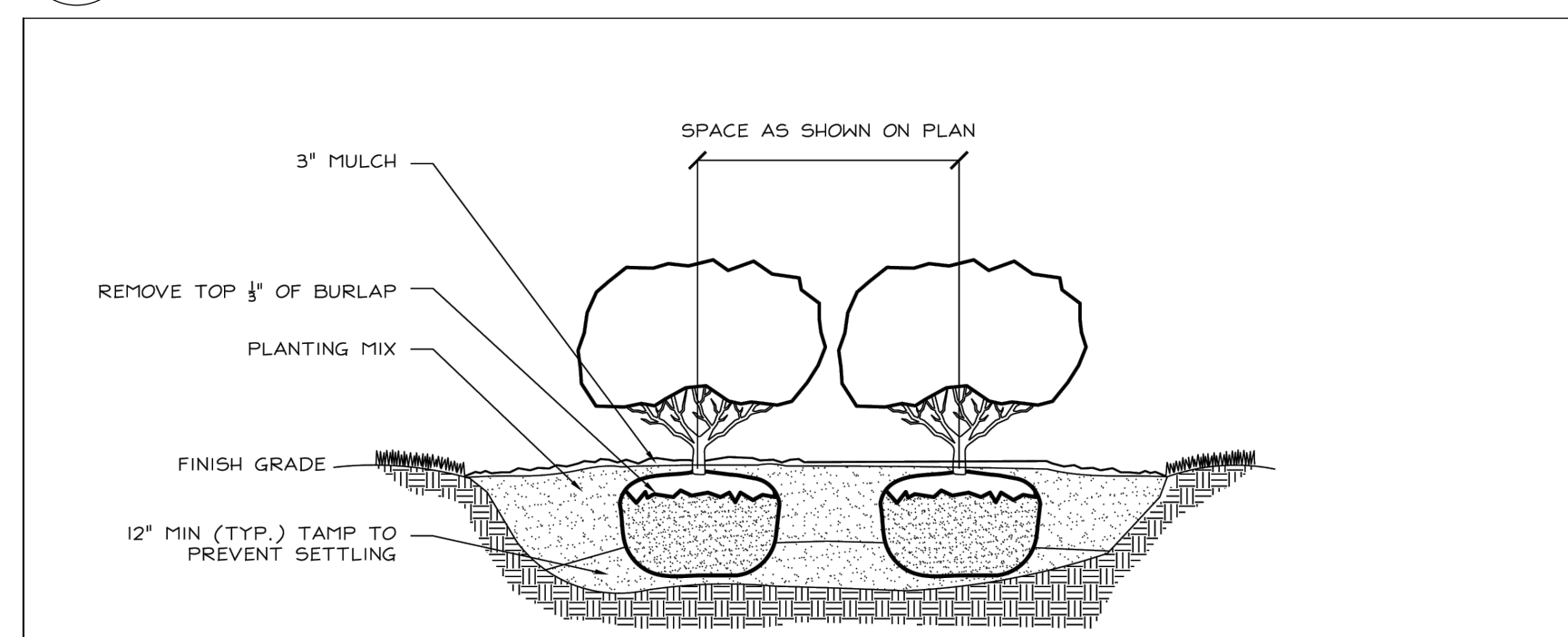


- DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A000 STANDARDS.
- REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 7" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB.
- MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
- PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.
- ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.
- CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGH.GOV  
WWW.RALEIGH.GOV
- NOTES:  
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.  
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).  
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.  
4. A TREE IMPACT PERMIT IS REQUIRED.  
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.  
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.  
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

| REVISION | DATE | BY | SCALE |
|----------|------|----|-------|
| 100219   |      |    |       |

TREE PLANTING DETAIL  
**TPP-03**

2 TREE PLANTING DETAIL



GENERAL PLANTING NOTES

- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- THE SIZE OF ALL ROOT BALLS SHALL CONFORM TO AAN STANDARDS.
- FERTILIZE ALL PLANTS WITH AGRI-FORTI FERTILIZER TABLETS OR EQUAL TO BE APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- ALL SHRUBS HAVE BEEN LOCATED WITH RESPECT TO PROPOSED OR EXISTING FACILITIES OR STRUCTURES.
- OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPE ORDINANCE.
- REPORT ANY DISCREPANCIES TO THE PROJECT LANDSCAPE ARCHITECT.
- SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION OF THE PROJECT LANDSCAPE ARCHITECT.
- THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN SHRUBS.

3 SHRUB PLANTING DETAIL

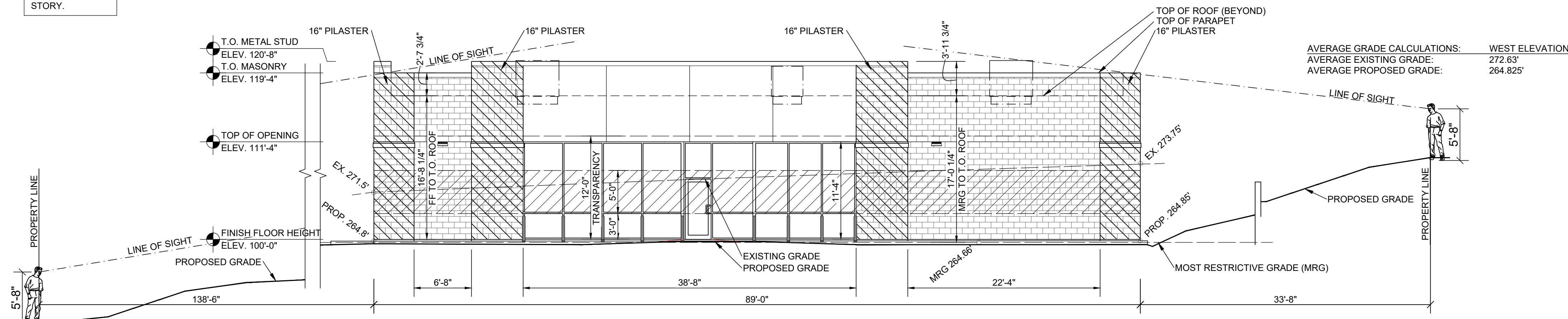
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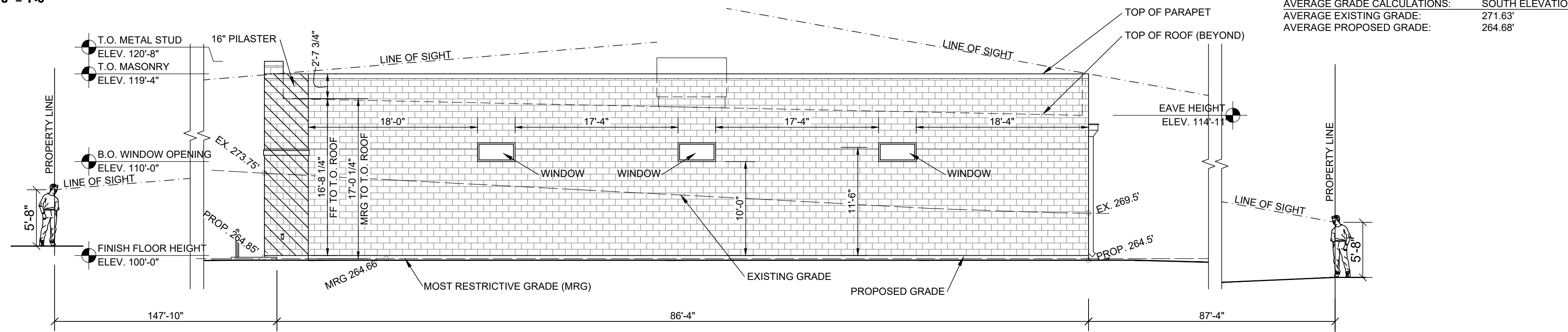


NOTE: NO UPPER STORY.



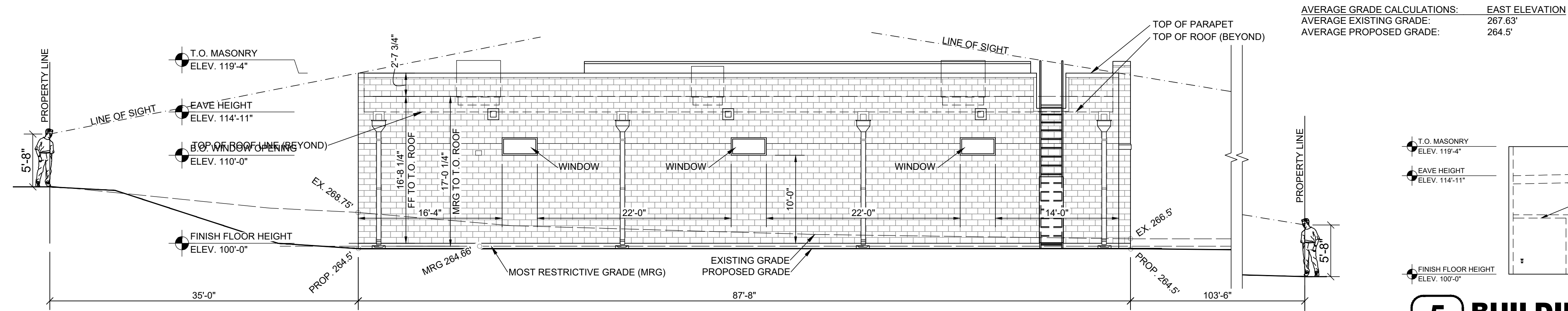
**1 WEST EXTERIOR ELEVATION**

LS1 SCALE: 1/8" = 1'-0"



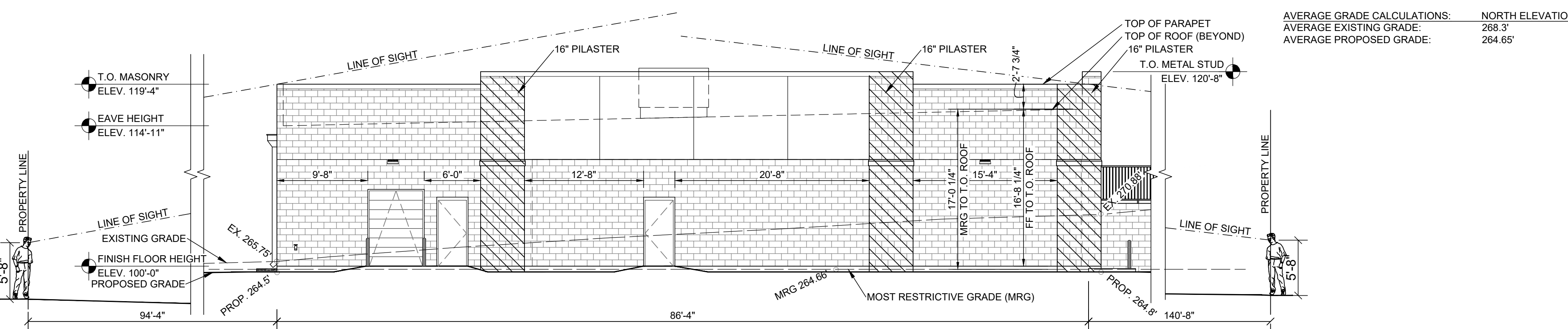
**2 SOUTH EXTERIOR ELEVATION**

LS1 SCALE: 1/8" = 1'-0"



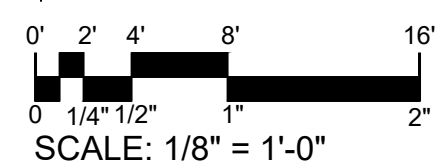
**3 EAST EXTERIOR ELEVATION**

LS1 SCALE: 1/8" = 1'-0"



**4 NORTH EXTERIOR ELEVATION**

LS1 SCALE: 1/8" = 1'-0"



**CITY OR RALEIGH UDO COMPLIANCE STATEMENT**

SEC. 1.5.9. TRANSPARENCY AND SEC. 3.2.5. F1 GENERAL BUILDING:  
33% TRANSPARENCY BETWEEN 0'-12' FT REQUIRED.  
GREATER THAN 50% OF REQUIRED TRANSPARENCY BETWEEN 3'-8' FT.

\*\*FACES SOUTH NEW HOPE RD.\*\*  
TOTAL BUILDING WIDTH: 89'-0"  
GROUND STORY HEIGHT: 17'-11 1/2" TO WALL PLATE  
FAÇADE AREA TOTAL: 1,816 S.F.

FAÇADE AREA (0'-12') @ 89': 1,068 S.F.  
GLASS REQUIREMENT AREA (0'-12'): 352.44 S.F. (33% OF 1,068 S.F.)  
TOTAL GLASS AREA PROVIDED: 438.2 S.F. (41% OF FAÇADE)

SEC. 1.5.9.B.2. MORE THAN 50% OF REQUIRED GLASS TO BE BETWEEN 3'-8':  
GLASS REQUIRED (3'-8'): 176.22 S.F. (50% OF 352.44 S.F.)  
GLASS AREA PROPOSED (3'-8'): 193.33 S.F. (54.85% OF 356 S.F.)

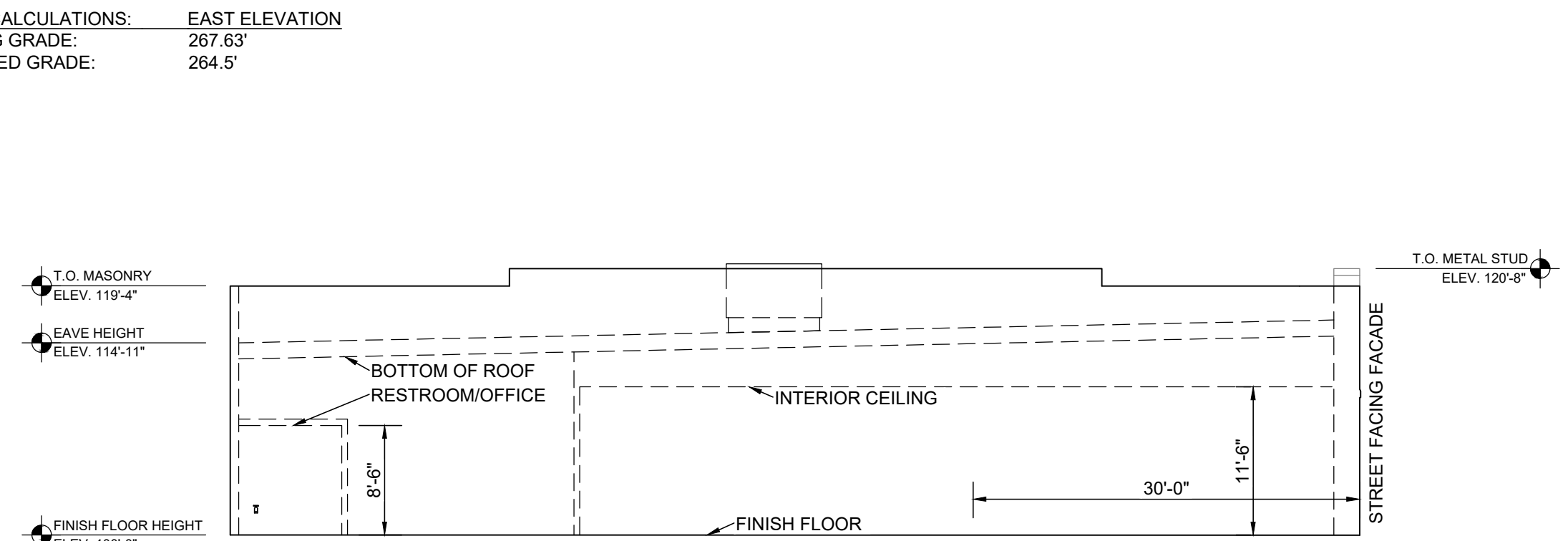
SEC. 3.2.5. F2: 20% TRANSPARENCY FOR UPPER STORY: N/A - NO UPPER STORY PROVIDED.

SEC. 1.5.9.B.4: GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFERENCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

SEC. 1.5.10: BLANK WALL AREA CALCULATIONS  
NO MORE THAN 30" VERTICALLY AND HORIZONTALLY WITHOUT A SUBSTANTIAL MATERIAL CHANGE: WINDOW OR DOOR, COLUMNS, PILASTER OR OTHER ARTICULATION GREATER THAN 12" IN DEPTH.  
16" PILASTER PROJECTIONS PROVIDED - INDICATED BY NOTATION AND HATCH. WINDOWS PROVIDED ALONG EAST AND SOUTH FAÇADE.  
FEATURES REQUIRED TO ELIMINATE BLANK WALL AREA HAVE BEEN NOTED AND DIMENSIONED.

| AVERAGE GRADE TABLE                                |          |
|--|----------|
| EXISTING   | PROPOSED |
| WEST: 272.63'                                      | 264.825' |
| SOUTH: 271.63'                                     | 264.68'  |
| EAST: 267.63'                                      | 264.5'   |
| NORTH: 268.3'                                      | 264.65'  |
| AVERAGE GRADE: 270.00'                             | 264.66'  |
| *MOST RESTRICTIVE GRADE (MRG) = 264.66' *PROPOSED* |          |

SIGNAGE HAS BEEN OMITTED FROM THIS PLAN. SIGNAGE SHALL BE REVIEWED AND PERMITTED SEPARATELY.



**5 BUILDING CROSS SECTION**

LS1 SCALE: NOT TO SCALE

SEC. 3.2.5.E.2 AND SEC. 1.5.7.C STORY HEIGHT REQUIREMENTS:  
GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN) FOR CX: 11'  
INTERIOR CEILING HEIGHT: 11'-9"

96% OF THE GROUND STORY MEETS THE MINIMUM GROUND STORY HEIGHT.

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PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**  
**LINE OF SIGHT EXHIBIT**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM # 4775  
DATE: 1-12-24  
REVISION  
DATE:

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