



# Administrative Approval Action

Case File / Name: ASR-0037-2024  
DSLCL - O'REILLY AUTO PARTS

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 1.77 acre parcel is located south of Poole Road, north of Old Poole Road, east of Old Poole Place (a Habitat Wake Community), west of East Park Industrial Park, and identified as 811 South New Hope Road. The parcel is zoned CX-3-PK.

**REQUEST:** The plan proposes constructing a 7,453 square foot general building, surface parking lot, and site improvements for retail sales - specifically, an O'Reilly's Auto Parts store on this vacant parcel.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 5, 2025 by Esterly Schneider.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Prior to SPR approval, all permits shall be added for proposed retaining walls. Plans for each wall shall be provided for review. Walls less than 5 feet in height shall be issued zoning permits. Any walls greater than 5 feet in height shall be issued building permits. See UDO Section 7.2.8.D for retaining wall standards.

### **Engineering**

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

### **Stormwater**

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## Engineering

1. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.

## Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
3. Initiation of the easement release process with Raleigh Real Estate is required. The new easement is dedicated with a plat and the old easement abandoned with a deed and exhibit (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).

## Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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## Urban Forestry

6. A public infrastructure surety for 6 street trees along South New Hope Road shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT public infrastructure
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along South New Hope Road.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** April 14, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

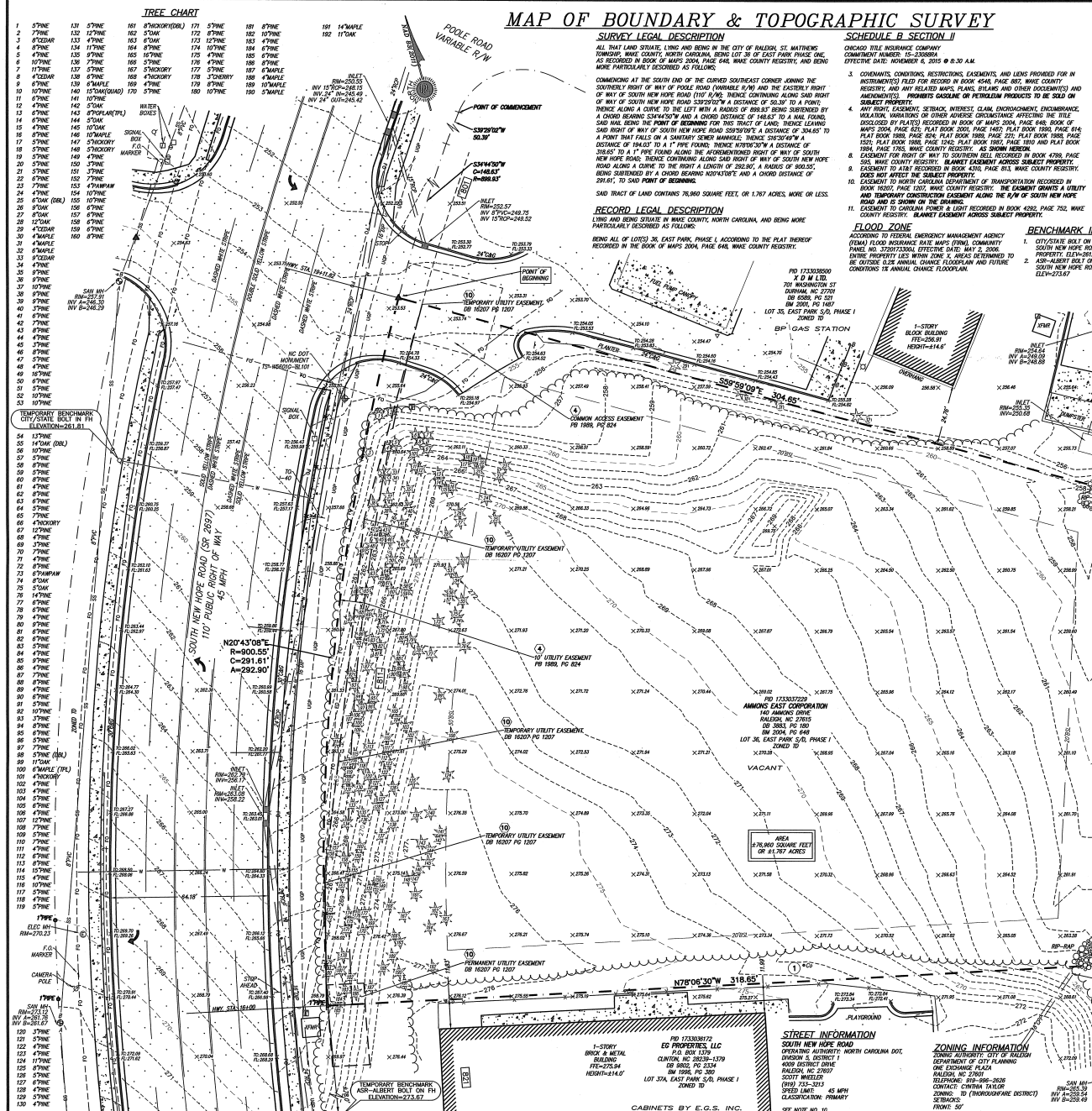
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan McDonald  Digitally signed by Keegan.McDonald@raleighnc.gov  
Reason: I am approving this document  
Date: 2025.04.14 09:05:37-04'00'  
Date: 04/14/2025  
Development Services Dir/Designee  
Staff Coordinator: Jessica Gladwin







MAP OF BOUNDARY & TOPOGRAPHIC SURVEY

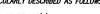
SURVEY LEGAL DESCRIPTION  
ALL THAT LAND SITUATE LYING AND BEING IN THE

[illegible]

RECORD LEGAL DESCRIPTION  
LYING AND BEING SITUATE IN WAKE COUNTY, NORTH

PARTICULARLY DESCRIBED AS FOLLOWS:

BEING ALL OF LOT(S) 36, EAST PARK, PHASE I, ACCORDING TO THE PLAT THEREOF  
RECORDED IN THE BOOK OF MAPS 2004, PAGE 648, WAKE COUNTY REGISTRY.



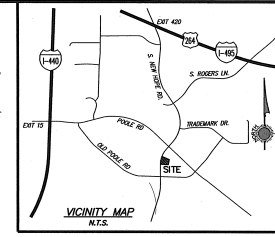
PID 173303856  
X D M LTD  
701 WASHINGTON

SCHEDULE B SECTION II  
CHICAGO TITLE INSURANCE COMPANY

[illegible]

NOTES

- [illegible]



LEGEND  
PROPERTY LINE

- ADJACENT PROPERTY LINE**
- EASEMENT LINE**
- WELL**
- FENCE LINE**
- GUARD RAIL**
- BUILDING SETBACK LINE**
- LANDSCAPE BUFFER LINE**
- EXISTING CONTOUR LINE**
- C&G LINE**
- WELDED LINE**
- UNDERGROUND POWER LINE**
- UNDERGROUND TELEPHONE LINE**
- FIBER OPTIC LINE**
- SANITARY SEWER LINE**
- SEWER SEWER LINE**
- LINE ON GROUND (SEE AND TYPE AS NOTED)**
- NAIL FOUND**
- SCHEDULE OF EXCEPTION**
- ENVIRONMENTAL**
- UTILITY POLE/GUY WIRE**
- LIGHT POLE**
- CONCRETE PIEDestal**
- INTER VALVE**
- WATER METER**
- DYE HYDRANT**
- ELECTRIC METER**
- STORM MANHOLE**
- STORM INLET**
- STORM MANHOLE**
- CLEANOUT**
- POLLAND**
- SDM**
- TREE (SEE CHART)**
- SOFT CLAY**
- TRUCK ELEVATION**
- TRUCK ADDRESS**
- 811**

### UTILITY CONTACTS

#### WATER & SANITARY SERVICE

- ADDRESS: CITY OF BALDWIN PUBLIC  
 UTILITIES DEPARTMENT  
 ADDRESS: 1 EDINBURGH PLAZA, SUITE 520  
 BALDWIN, MI 48004  
 CONTACT: ROSS TAYLOR  
 PHONE: # 586-220-4540  
 INTERNET: WWW.PWMI.COM  
 ADDRESS: 10000 W. BURNER CIRCLE  
 ADDRESS: 2005 ATLANTIC AVE. #101  
 BALDWIN, MI 48004  
 CUSTOMER SERVICE  
 PHONE: # 586-220-4600  
 POWER  
 ADDRESS: QUINCY ENERGY  
 P.O. BOX 1771  
 BALDWIN, MI 48004  
 ADDRESS: CUSTOMER SERVICE  
 PHONE: # 586-220-5400  
 GAS  
 ADDRESS: PIONEER ENERGY  
 ADDRESS: 3326 SPRING FOREST PARKWAY  
 BALDWIN, MI 48004  
 CONTACT: SHAMM PHELPS  
 PHONE: # 586-221-3719  
 NOTE: THERE IS NO GAS SERVICE IN  
 THE CITY OF BALDWIN  
 (MI # 3783) IS 4-7-2007
- WOODS LINE  
 FENCE LINE  
 BOUNDARY LINE  
 LAUNDRY SUTTER LINE  
 GUIDANCE SETBACK LINE  
 ELEVATING CONTOUR LINE  
 WATER LINE  
 DRAIN LINE  
 UNDERGROUND POWER LINE  
 UNDERGROUND TELEPHONE LINE  
 FIRST 6" GAS LINE  
 SANITARY SEWER LINE  
 STORM SEWER LINE  
 MIN 18" PIPE (SIZE AND TYPE AS NOTED)  
 MAX FLOW  
 SCHEDULE BY EXCEPTION  
 ENCLOSURE/NOTIFICATION  
 UTILITY LOCATION, POI, HSE  
 LIMIT PAGE

### BENCHMARK INFORMATION

1. CITY/STATE BOLT ON FIRE HYDRANT, WEST SIDE OF SOUTH NEW HOPE ROAD, ACROSS STREET FROM SUBJECT PROPERTY. ELEV=261.81
2. ASP-ALBERT BOLT ON FIRE HYDRANT, EAST SIDE OF SOUTH NEW HOPE ROAD, SOUTH OF SUBJECT PROPERTY. ELEV=273.67

FLOOD ZONE  
ACCORDING TO FEDERAL

(FEMA) FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 3720173300A, EFFECTIVE DATE: MAY 2, 2006. ENTIRE PROPERTY LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATION

I hereby certify to Chicago Title Insurance Company and O'Reilly Automotive Stores, Inc., a Missouri Corporation:

1. The plot of survey prepared by the entitled "ALTIMA/ACM Land Title Survey" is actually made upon the ground and that it and the courses and distances are correct.
2. The title lines and lines of actual possession are the same; the courses and distances are correct and the courses are shown and all are within the boundary lines of the property.
3. The courses and distances are correct and the courses are shown and all are within the boundary lines of the property.
4. The courses and distances are correct and the courses are shown and all are within the boundary lines of the property.
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10. The courses and distances are correct and the courses are shown and all are within the boundary lines of the property.
11. The courses and distances are correct and the courses are shown and all are within the boundary lines of the property.

7. JOHN M. STORY, CERTIFY THAT THIS FLAT IS OF AN EXISTING PARCEL OR PARCELS OF LAND, AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET."

7. JOHN M. STORY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 3883, PAGE 480, AND BOOK 38 OF MAPS, 1904, PAGE 242). DATE THIS PLAT OF RECORD: 10-21-1909.

WITNESSE MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS SIXTH DAY OF NOVEMBER,

AD-2015.\*

John M. Story


PROFESSIONAL LAND SURVEYOR L-3660  
APRIL 14, 2014

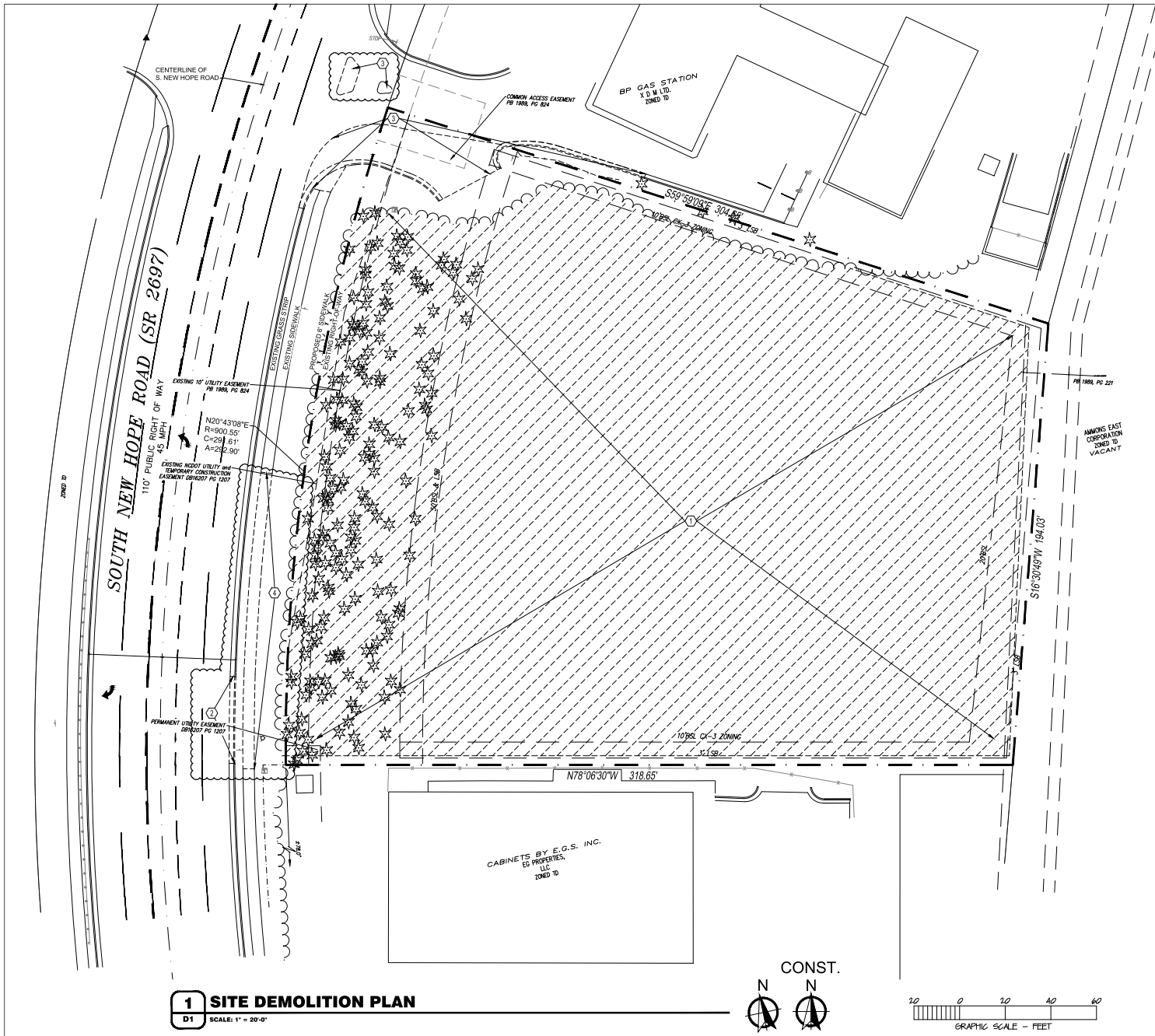
DATE 0 20 40

GRAPHIC SCALE IN FEET

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<div style="text-align: center;">    <b>O'Reilly</b>  <b>AUTO PARTS</b> </div>		WARE COUNTY CITY OF RALEIGH											
ALTA/ACSM LAND TITLE SURVEY FOR		<b>O'REILLY AUTOMOTIVE STORES, INC.</b> 811 SOUTH NEW HOPE ROAD ST. MATTHEWS TOWNSHIP NORTH CAROLINA											
<div style="display: flex; justify-content: space-between;"> <div> <p><b>DATE:</b> 11/9/15</p> <p><b>DRAWING:</b> 1"=20'</p> <p><b>SCALE:</b> #NC-2115-D</p> <p><b>PROJ. F:</b> 4539-384-N1</p> <p><b>DRAWN:</b> STAFF</p> <p><b>CHKD:</b> JMS</p> </div> <div style="text-align: right;"> <p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>11/9/2015</td> <td>ADDED LOT OWNER, REV. TITLE COMMUNITY COMMENTS</td> </tr> <tr> <td>07/14/2014</td> <td>ADDED LOT OWNER, REV. TITLE COMMUNITY COMMENTS</td> </tr> <tr> <td>07/14/2014</td> <td>ADDED LOT OWNER, REV. TITLE COMMUNITY COMMENTS</td> </tr> <tr> <td>07/14/2014</td> <td>REVISED LEGAL DESCRIPTION</td> </tr> </tbody> </table> </div> </div>				DATE	DESCRIPTION	11/9/2015	ADDED LOT OWNER, REV. TITLE COMMUNITY COMMENTS	07/14/2014	ADDED LOT OWNER, REV. TITLE COMMUNITY COMMENTS	07/14/2014	ADDED LOT OWNER, REV. TITLE COMMUNITY COMMENTS	07/14/2014	REVISED LEGAL DESCRIPTION
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07/14/2014	REVISED LEGAL DESCRIPTION												
<p><b>SV1</b></p>													
<p>SHEET 1 OF 1</p>													



## GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REPLACE AND/OR REPAIR EXISTING CONSTRUCTION DAMAGED DUE TO CONTRACTOR ACTIVITIES.
- ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL, UNLESS OTHERWISE NOTED.
- REFER TO SITE UTILITY PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- EXISTING UNDERGROUND INSTALLATION SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, POWER LINES, AND BURIED STRUCTURES IN THE VICINITY OF THE WORK ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS IS EXPRESSLY DISCLAIMED. GENERALLY SERVICE CONNECTIONS ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCOVERY OF EXISTING UNDERGROUND INSTALLATIONS IN ADVANCE OF EXCAVATING OR TRENCHING FOR CONTRACTING LOCAL UTILITIES.

## KEY NOTES

- AT INDICATED LOCATION, REMOVE AND DISCARD EXISTING VEGETATION, INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, BRUSH, STUMPS AND ROOT SYSTEMS AS REQUIRED FOR PROPOSED IMPROVEMENTS. REFER TO CIVIL PLANS.
- REMOVE PORTION OF EXISTING CURB AS REQUIRED TO INSTALL NEW ENTRANCE DRIVE AS SHOWN ON SHEET C2.
- REMOVE PORTION OF EXISTING DRIVE AS REQUIRED TO INSTALL NEW IMPROVEMENTS AS SHOWN ON SHEET C2.
- REMOVE PORTION OF EXISTING SIDEWALK AS REQUIRED TO INSTALL NEW CONSTRUCTION AS SHOWN ON CIVIL PLANS.

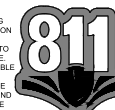
## ENVIRONMENTAL GENERAL NOTES

- AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

## SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- EXISTING CONDITIONS TO REMAIN.
- - - EXISTING CONDITIONS TO BE REMOVED.

**CAUTION:**  
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
Call before you dig.**

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT  
1736 EAST SUMMERS, SUITE 417  
SPRINGFIELD, MISSOURI 65804  
417.862.8558  
FAX: 417.862.2565  
e-mail: architect@estheticschneider.com

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
**SITE DEMOLITION PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
235 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

COMM # 4275  
DATE: 1-12-24  
REVISION  
DATE: 11-7-24

D1

CASE FILE: ASR-0037-2024

**NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.**

### SITE EXCAVATION REQUIREMENTS:

1. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
2. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.
3. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

### FLOOD ZONE:

THE PROPERTY IS LOCATED INSIDE FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN BY FLOOD INSURANCE RATE MAP (FIRM) NO. 372017300J, EFFECTIVE DATE: MAY 2, 2006.

### GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.



**811**  
Know what's below.  
Call before you dig.

### SYMBOLS LEGEND

REFER TO SURVEY (SVI) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL	
--- 265 ---	EXISTING GRADE LINES
— 265 —	PROPOSED NEW GRADE LINES
[Hatched Box]	NEW BUILDING CONSTRUCTION
[Dotted Box]	NEW TURF REINFORCEMENT MAT
[Cross-hatched Box]	NEW POLE SIGN LOCATION
[Solid Line]	NEW CONCRETE PAVING BLOCK
[Dashed Line]	SILT FENCE
[Arrow]	SURFACE FLOW ARROW
[Symbol]	NEW SPOT ELEVATIONS
[Symbol]	ABBREVIATION
[Symbol]	LIST
[Symbol]	NONE
[Symbol]	SW
[Symbol]	TW
[Symbol]	TC
[Symbol]	PVT
[Symbol]	CONC
[Symbol]	ETC
[Symbol]	EXISTING GRADE
[Symbol]	EXISTING PAVEMENT
[Symbol]	EXISTING SIDEWALK
[Symbol]	FLOW LINE
[Symbol]	TOP OF BERM
[Symbol]	TOP
[Symbol]	SITE BENCHMARK
[Symbol]	THE ELEVATION BENCHMARK UTILIZED FOR THIS SURVEY IS A BRASS BOLT ON THE HORIZONTAL EAST SIDE OF SOUTH NEW HOPE ROAD, SOUTH OF SUBJECT PROPERTY.
[Symbol]	BLVD = 275.0'

### KEY NOTES:

1. RETAINING WALL UNDERDRAIN. REFER TO STRUCTURAL PLANS FOR CONSTRUCTION LOCATION, AND SIZE. DAYLIGHT TO GRADE AT INV = 264.0'.
2. INSTALL 4" X 4" AREA INLET WITH 2" SUMP. RM = 262.2' PIPE C11 INV = 259.2' REFER TO DETAIL SC1.3.
3. INSTALL APPROX. 20 LF OF 18" PIPE. REFER TO PIPE NOTES.
4. INSTALL APPROX. 34 LF TRENCH DRAIN. EAST RM = 261.9' EAST INV = 258.9' WEST RM = 262.0' WEST INV = 258.8' REFER TO DETAIL SC1.3.
5. INSTALL APPROX. 32 LF OF 18" PIPE. REFER TO PIPE NOTES.
6. INSTALL 4" X 4" AREA INLET WITH 2" SUMP. RM = 261.8' BOTTOM INV = 255.5' PIPE C11 INV = 255.5' PIPE C11 INV = 255.5' REFER TO DETAIL SC1.3.
7. INSTALL APPROX. 18 LF OF 18" PIPE. DAYLIGHT IN POND AT INV = 255.5' REFER TO PIPE NOTES.
8. INSTALL MOUNTABLE CONCRETE ISLAND PER DETAIL SC1.3 AND MATCH EXIST. GRADES.
9. NOT USED.
10. NOT USED.
11. INSTALL APPROX. 6 LF OF 18" PIPE. REFER TO PIPE NOTES.
12. INSTALL DETENTION OUTLET STRUCTURE. REFER TO DETAIL TC1.3.
13. INSTALL APPROX. 34 LF OF 18" RCP. REFER TO PIPE NOTES.
14. INSTALL 4" X 4" JUNCTION BOX. RM = 258.2' PIPE INV = 252.0' REFER TO DETAIL AC1.3.
15. INSTALL APPROX. 14 LF OF 18" RCP. REFER TO PIPE NOTES.
16. INSTALL 4" X 4" JUNCTION BOX. RM = 258.9' PIPE C15 INV = 252.0' EXISTING PIPE INV = 252.0' REFER TO DETAIL AC1.3.
17. INSTALL APPROX. 30 LF TRENCH DRAIN. WEST RM = 255.1' WEST INV = 253.3' EAST RM = 254.9' EAST INV = 253.9' REFER TO DETAIL SC1.3.
18. INSTALL APPROX. 20 LF OF 12" RCP. REFER TO PIPE NOTES.
19. INSTALL 4" X 4" JUNCTION BOX. RM = 255.0' PIPE INV = 252.0' REFER TO DETAIL AC1.3.
20. INSTALL APPROX. 14 LF OF 12" RCP. REFER TO PIPE NOTES.
21. INSTALL 4" X 4" JUNCTION BOX. RM = 254.0' PIPE C20 INV = 251.6' EXISTING PIPE INV = 248.1' INSTALL ON EXISTING 24" RCP PER DOT STANDARDS. REFER TO DETAIL AC1.3.
22. REMOVE EXISTING 24" PIPE PER DOT STANDARDS. REFER TO PIPE NOTES.
23. REMOVE EXISTING CATCH BASIN PER NCDOT STANDARDS.
24. CUT EXISTING 24" PIPE AND INSTALL NCDOT STANDARD CONCRETE JUNCTION BOX PER NCDOT STANDARD DETAIL 840.31. INSTALL ON TOP OF EXISTING 24" RCP PER DOT STANDARDS. RM = 266.0' INV = 261.0'.
25. INSTALL APPROX. 120 LF OF 24" PIPE PER NCDOT STANDARDS.
26. INSTALL NCDOT STANDARD CONCRETE JUNCTION BOX PER NCDOT STANDARD DETAIL 840.31. INSTALL ON TOP OF EXISTING 24" RCP PER DOT STANDARDS. RM = 261.5' PIPE C27 INV = 257.0' EXISTING PIPE INV = 254.5'.

### TRAFFIC CONTROL & PEDESTRIAN PLAN (TCPED) NOTES:

- A. Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofway@raleighnc.gov.
- B. The street, lane, sidewalk, closure permit is required for any closure on city streets and all NCDOT streets within Raleigh's jurisdiction.
- C. A permit request with a TCPED Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
- D. Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspectors. Coordinate to review the specific components of the approved plan, and ensure all permits are issued.
- E. All TCPED Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to Manual on Uniform Traffic Control Devices (MUTCD), Right-of-Way Accessibility Guidelines (PROWAG), American Disabilities Act (ADA) requirements, Raleigh Street Design Manual (RSDM).
- F. All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing conditions must be documented during construction and the required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- G. All permits must be available and visible on site during the operation.

**SPECIAL NOTE:**  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be construed to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of the electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval

CASE # ASR-0037-2024

### 1 OVERALL SITE GRADING PLAN

C1.1 SCALE: 1" = 20'-0"

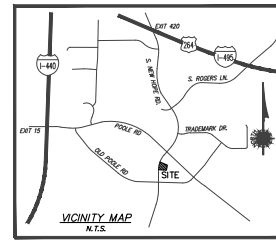
CONST. N  
HORIZONTAL SCALE  
(IN FEET)  
1 inch = 20 ft.

### PIPES NOTES:

1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE CITY OR APPLICABLE AUTHORITY. REINFORCED CONCRETE PIPE (RCP) AND HIGH DENSITY POLYETHYLENE (HDPE) MAY BE USED AS ALLOWED BY LOCAL GUIDELINES.
2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

**SPECIAL NOTE:**  
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRIES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

**SPECIAL NOTE:**  
FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.



**OWN**  
Engineering Inc.  
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Springfield, NC 27584  
417.862.2741  
www.ownnc.com  
CRAIG A. SCHNEIDER, AIA  
ARCHITECT  
1716 East Sandhills, Suite 417  
Springfield, NC 27584  
417.862.2741  
e-mail: craigschneider@ownnc.com

**SPECIAL NOTE:**  
ALL STORMWATER INLETS MUST BE A MINIMUM OF 20' FROM THE DUMPSTER PADS.

PROJ. # 23SP-0305 DRAWING # WB-110-545

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT  
1716 East Sandhills, Suite 417  
Springfield, NC 27584  
417.862.2741  
e-mail: craigschneider@ownnc.com

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
**SITE GRADING PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, NC 27582  
(417) 862-2674 TELEPHONE

**CONTRACT #**  
DATE: 2-15-24  
**REVISION**  
DATE: 11-07-24  
01-15-25

C1.1





- |    |  |    |  |
|----|--|----|--|
| 75 | STEM WALL UNDERMINER. REFER TO STRUCTURAL PLANS FOR CONSTRUCTION LOCATION AND SIZE.<br>DAYLIGHT DETENTION POND AT INV. = 204.0'  | 76 | INSTALL APPROX. 6 LF OF 18" Ø PIPE.<br>REFER TO PIPE NOTES.  |
| 77 | INSTALL 2" X 4" AREA INLET WITH 2" SUMP.<br>RM = 252.2' PIPE C15 INV. = 255.2'<br>REFER TO DETAIL 3C1.3.   | 78 | INSTALL DETENTION OUTLET STRUCTURE.<br>REFER TO DETAIL 7C1.3.  |
| 79 | INSTALL APPROX. 20 LF OF 18" Ø PIPE.<br>REFER TO PIPE NOTES.   | 79 | INSTALL APPROX. 54 LF OF 18" Ø RCP.<br>REFER TO PIPE NOTES.  |
| 80 | INSTALL APPROX. 34' IN TRENCH DRAIN.<br>EAST RIM = 201.5' EAST INV. = 250.9'<br>WEST RIM = 262.0' WEST INV. = 258.6'<br>REFER TO DETAIL 3C1.3.                                   | 80 | INSTALL 4" X 6" JUNCTION BOX.<br>RM = 259.2' PIPE INV. = 259.9'<br>REFER TO DETAIL 4C1.3.  |
| 81 | INSTALL APPROX. 32 LF OF 18" Ø PIPE.<br>REFER TO PIPE NOTES.   | 81 | INSTALL APPROX. 14 LF OF 18" Ø RCP.<br>REFER TO PIPE NOTES.  |
| 82 | INSTALL 4" X 4" AREA INLET WITH 2" SUMP.<br>RM = 261.8' BOTTOM INV. = 255.5'<br>PIPE C15 INV. = 256.4' PIPE C7 INV. = 255.5'<br>PIPE C11 INV. = 256.5'<br>REFER TO DETAIL 3C1.3. | 82 | INSTALL 4" X 6" JUNCTION BOX.<br>RM = 258.6' PIPE C15 INV. = 258.6'<br>EXISTING PIPE INV. = 252.0'<br>INSTALL ON EXISTING 24" RCP PER DOT STANDARDS.<br>REFER TO DETAIL 4C1.2.       |
| 83 | INSTALL APPROX. 196 LF OF 18" Ø PIPE.<br>DAYLIGHT IN POND AT INV. = 205.5'<br>REFER TO PIPE NOTES.   | 83 | INSTALL PROPOSED INFILTRATION TRENCH<br>TRENCH AREA = 1,575.0 SF<br>TRENCH DEPTH = 4.6 ± FT<br>STORAGE VOLUME = 400 ±<br>AVAILABLE STORAGE = 2,835 CU. FT.<br>REFER TO DETAIL 4C1.2. |
| 84 | NOT USED.  |    |  |
| 85 | NOT USED.  |    |  |
| 86 | NOT USED.  |    |  |



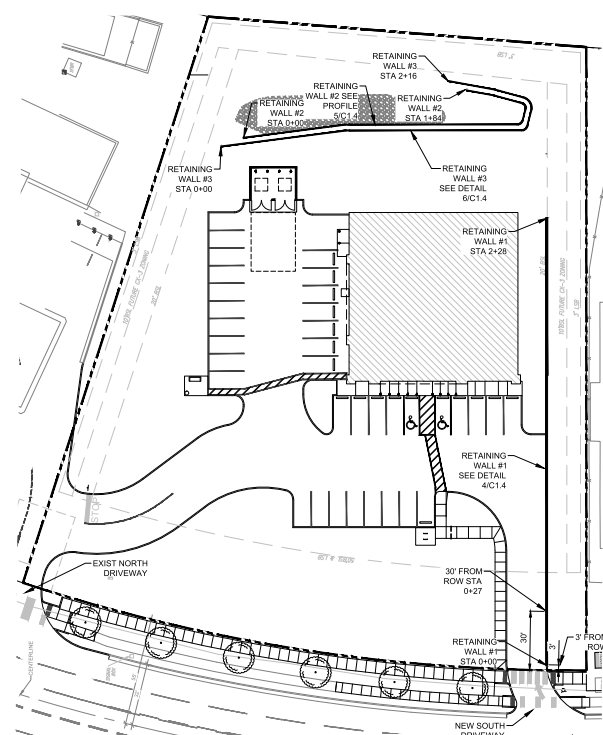
INFILTRATION TRENCH CALCULATIONS	
Water Quality Volume	
PROVIDE VOLUME FOR 1" OF ALL BUILT-UPON AREA	
BUA =	0.77 acres
WQv =	2795 cu.ft.
Infiltration Trench Geometry & Data	
Soil Hydraulic Conductivity =	5.29102' /min/ft/c
Soil Hydraulic Conductivity =	0.00117 ft/hr
Proposed Trench Length =	105 ft
Proposed Trench Width =	15 ft
Proposed Trench Depth =	4.5 ft
Storage Void Ratio =	40%
Infiltration Trench Storage & Infiltration Calculations	
Trench Infiltration Rate = [Area]*[Conductivity]	
Trench Infiltration Rate =	98.44 cu.ft./hr
Trench Infiltration Rate =	0.02734 cu.ft./sec
Total Infiltration = [Rate]*[24hrs]	
Total Infiltration =	2362.50 cu.ft.
Infiltration Trench Storage = [Area]*[Depth]*[VoidRatio]	
Infiltration Trench Storage =	2835.00 cu.ft.
Storage - WQv: 2835.00	> 2795.10 OK
Trench Drain Time = [Depth]/[Conductivity]	
Trench Drain Time =	72.40 hr OK



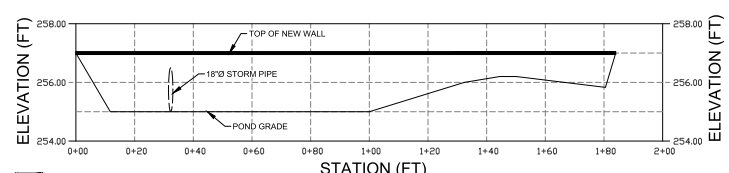
Know what's **below**.  
**Call** before you dig.



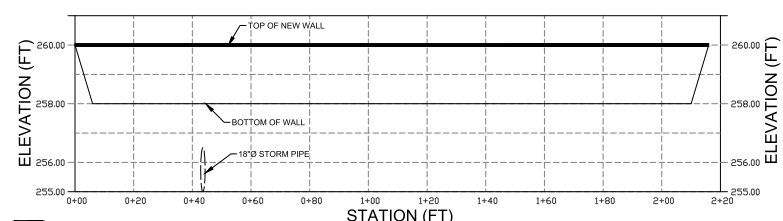




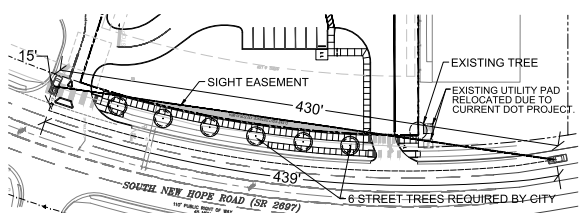
**1 RETAINING WALL OVERALL LAYOUT PLAN**  
**C1.4** SCALE: NOT USED



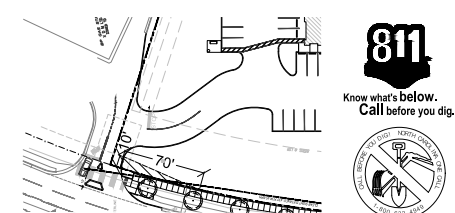
**5 RETAINING WALL #2 (C32) PROFILE (NW TO SE)**  
**C1.4** VERTICAL SCALE: 1" = 20' HORIZONTAL SCALE: 1" = 2'



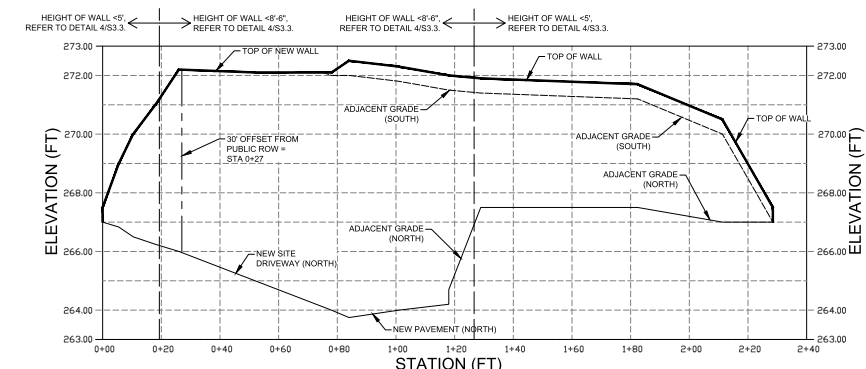
**6 RETAINING WALL #3 (C33) PROFILE (NW TO SE)**  
**C1.4** VERTICAL SCALE: 1" = 20' HORIZONTAL SCALE: 1" = 2'



**2 SIGHT DISTANCE EXHIBIT B**  
**C1.4** SCALE: 1" = 50'



**3 NORTH EXIST JOINT DRIVEWAY DOT SIGHT DISTANCE EXHIBIT**  
**C1.4** SCALE: 1" = 50'

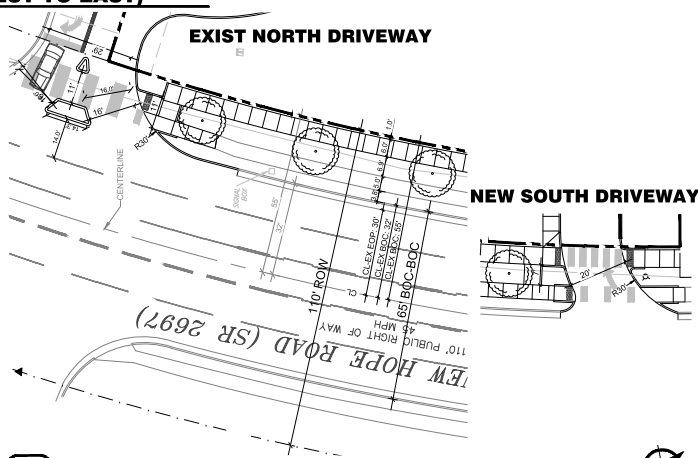


**4 RETAINING WALL #1 (C31) PROFILE (WEST TO EAST)**  
**C1.4** VERTICAL SCALE: 1" = 20' HORIZONTAL SCALE: 1" = 2'

STATIONING	FINISH GRADE TOP OF WALL	FINISH GRADE BOTTOM OF WALL	FINISH GRADE WALL HEIGHT
0+00	267.5'	267.0'	0.5'
0+20	271.3'	266.2'	5.1'
0+27 (30' FROM ROW)	272.2'	266.0'	6.2'
0+40	272.1'	265.4'	6.7'
0+60	272.1'	264.7'	7.4'
0+80	272.2'	263.9'	8.3'
1+00	272.3'	264.0'	8.3'
1+20	272.0'	265.2'	6.8'
1+40	271.9'	267.5'	4.4'
1+60	271.8'	267.5'	4.3'
1+80	271.7'	267.5'	4.2'
2+00	271.0'	267.2'	3.8'
2+20	269.0'	267.0'	2.0'
2+28	267.5'	267.0'	0.5'

STATIONING	FINISH GRADE TOP OF WALL	FINISH GRADE BOTTOM OF WALL	FINISH GRADE WALL HEIGHT
0+00	257.0'	257.0'	0.0'
0+20	257.0'	255.1'	1.9'
0+40	257.0'	255.1'	1.9'
0+60	257.0'	255.3'	1.7'
0+80	257.0'	255.5'	1.5'
1+00	257.0'	255.7'	1.3'
1+20	257.0'	255.9'	1.1'
1+40	257.0'	256.1'	0.9'
1+60	257.0'	256.1'	0.9'
1+80	257.0'	255.8'	1.2'
1+84	257.0'	257.0'	0.0'

STATIONING	FINISH GRADE TOP OF WALL	FINISH GRADE BOTTOM OF WALL	FINISH GRADE WALL HEIGHT
0+00	260.0'	260.0'	0.0'
0+20	260.0'	258.0'	2.0'
0+40	260.0'	258.0'	2.0'
0+60	260.0'	258.0'	2.0'
0+80	260.0'	258.0'	2.0'
1+00	260.0'	258.0'	2.0'
1+20	260.0'	258.0'	2.0'
1+40	260.0'	258.0'	2.0'
1+60	260.0'	258.0'	2.0'
1+80	260.0'	258.0'	2.0'
2+00	260.0'	258.0'	2.0'
2+16	260.0'	260.0'	0.0'



**7 DRIVEWAY & EXIST ROAD DIMENSIONS**  
**C1.4** SCALE: 1" = 20'

ENTIRE SHEET  
 HAS BEEN  
 UPDATED

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION.  
 Plans for the project have been reviewed for general compliance with applicable codes. This limited review and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit; nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval  
 CASE # ASR-0037-2024

**OWN**  
 Engineering beyond.  
 3213 S. West Springs  
 Springfield, MO 65807  
 www.own.com  
 COAF #072  
 Engineer PEB 65021  
 Adam Ruppel, P.E.  
 PROJ # 23SP10305 DRAWING # WB-110-545

**PROJECT:**  
 NEW O'REILLY AUTO PARTS STORE  
 SOUTH NEW HOPE ROAD  
 RALEIGH, NC #4  
**SITE DISTANCE & RW PLANS**

**CRAIG A. SCHNEIDER, AIA**  
 ARCHITECT  
 1734 East Sunrise, Suite 417  
 Springfield, Missouri 65804  
 417.862.8558  
 Fax: 417.862.1265  
 e-mail: architect@cschneider.com

**COMM #**  
 DATE: 2.15.24  
 REVISION  
 DATE: 11.07.24

**C1.4**

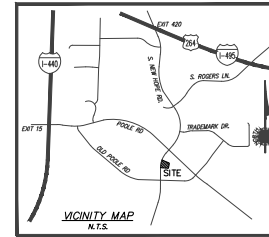
**NOTE: PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.**

### EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER EVERY STORM EVENT. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO VIC 1.8 FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.
8. SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE, WITH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION.

### KEY NOTES:

1. LIMITS OF TEMPORARY EROSION CONTROL FENCE. REFER TO DETAIL VIC 1.8.
2. INSTALL CONSTRUCTION EGRESS. REFER TO DETAIL VIC 1.
3. INSTALL SILT PROTECTION. REFER TO DETAIL VIC 1.8.
4. NOT USED.
5. NOT USED.
6. NOT USED.
7. INSTALL TEMPORARY SEDIMENT BASIN WITH SKIMMER. REFER TO DETAILS VIC 1.9 & VIC 1.9.



**SPECIAL NOTE:**  
REFER TO SHEET C1.7 FOR  
STABILIZATION REQUIREMENTS.

**OWN**  
Engineering & Surveying

OWN Missouri, Inc.  
233 South Patterson  
Springfield, MO 65807  
417.862.2141  
417.862.2142  
Cedar Rte 177  
Cedar Rte 177  
Engineer PEA 04/02/21  
Aron Hagmann, PE

PROJ. # 23SP10305 DRAWING # VB-10-545



**Know what's below.  
Call before you dig.**



### STAGES OF CONSTRUCTION:

- PHASE 1:**
1. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCGS10000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT. ALL MONTHS
  2. PRIOR TO BEGINNING CONSTRUCTION, SCHEDULE PRECONSTRUCTION MEETING ONLINE AT: PERMITPORTAL.RALEIGHNC.GOV. MONTH 1
  3. INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES. LIMIT CLEARING AND LAND DISTURBING ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PERMITTED MEASURES. MONTH 1
  4. SCHEDULE A STORMWATER SITE INSPECTION ONLINE AT: PERMITPORTAL.RALEIGHNC.GOV. MONTH 1
  5. UPON APPROVAL OF THE STORMWATER SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY. CLEARING AND GRUBBING. MONTH 1
  6. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. ALL MONTHS
  7. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE. ALL MONTHS
  8. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
  9. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
  10. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
- PHASE 2:**
11. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. ALL MONTHS
  12. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE. ALL MONTHS
  13. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
  14. ROUGH GRADING. MONTH 1 & MONTH 2
  15. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
  16. FINAL GRADING. MONTH 3
  17. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOG. MONTH 3
  18. SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE, WITH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION. MONTH 3
  19. AT A MINIMUM OF SEVEN (7) CALENDAR DAYS PRIOR TO SCHEDULING THE STORMWATER FINAL INSPECTION, SUBMIT A CITY OF RALEIGH FORM 511 AND APPROVABLE BMP AS-BUILT PLAN AND ENGINEERS CERTIFICATION TO CITY OF RALEIGH STAFF FOR REVIEW AND WRITTEN ACCEPTANCE. THE CERTIFICATIONS MUST BE ACCEPTED PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED. MONTH 3
  20. SCHEDULE A STORMWATER FINAL INSPECTION ONLINE AT: PERMITPORTAL.RALEIGHNC.GOV. MONTH 3
  21. REMOVAL OF ALL EROSION CONTROL MEASURES. MONTH 3

### TEMPORARY SEDIMENT BASIN CALCULATIONS:

1. DRAINAGE AREA = 1.77 AC
2. REQUIRED VOLUME = 1800 CUBIC FEET PER ACRE \* DRAINAGE AREA  
REQUIRED VOLUME = 1,800 CF/AC \* 1.77 AC  
REQUIRED VOLUME = 3,186 CF
3. PROVIDED SEDIMENT STORAGE = V  
V PROVIDED @ 20.0" = 5,351 CF \* 3,186 CF
4. REQUIRED SURFACE AREA = 325 SF PER CFS OF Q25 PEAK INFLOW \* Q25 PEAK INFLOW  
REQUIRED SURFACE AREA = 325 SF/CFS \* 8.05 CFS  
REQUIRED SURFACE AREA = 2,617 SF
5. PROVIDED SURFACE AREA = SA  
SA PROVIDED @ 260.0" = 3,386 SF \* 2,617 SF
6. MAXIMUM DEPTH FROM EMERGENCY SPILLWAY (INVERT) = D = 2.0  
REQUIRED LENGTH TO WIDTH RATIO IS 2 LENGTH: 1 WIDTH MIN AND 6 LENGTH: 1 WIDTH MAX
7. PROVIDED LENGTH TO WIDTH RATIO = 102 LENGTH: 42 WIDTH = 2.4:1

### SYMBOLS LEGEND

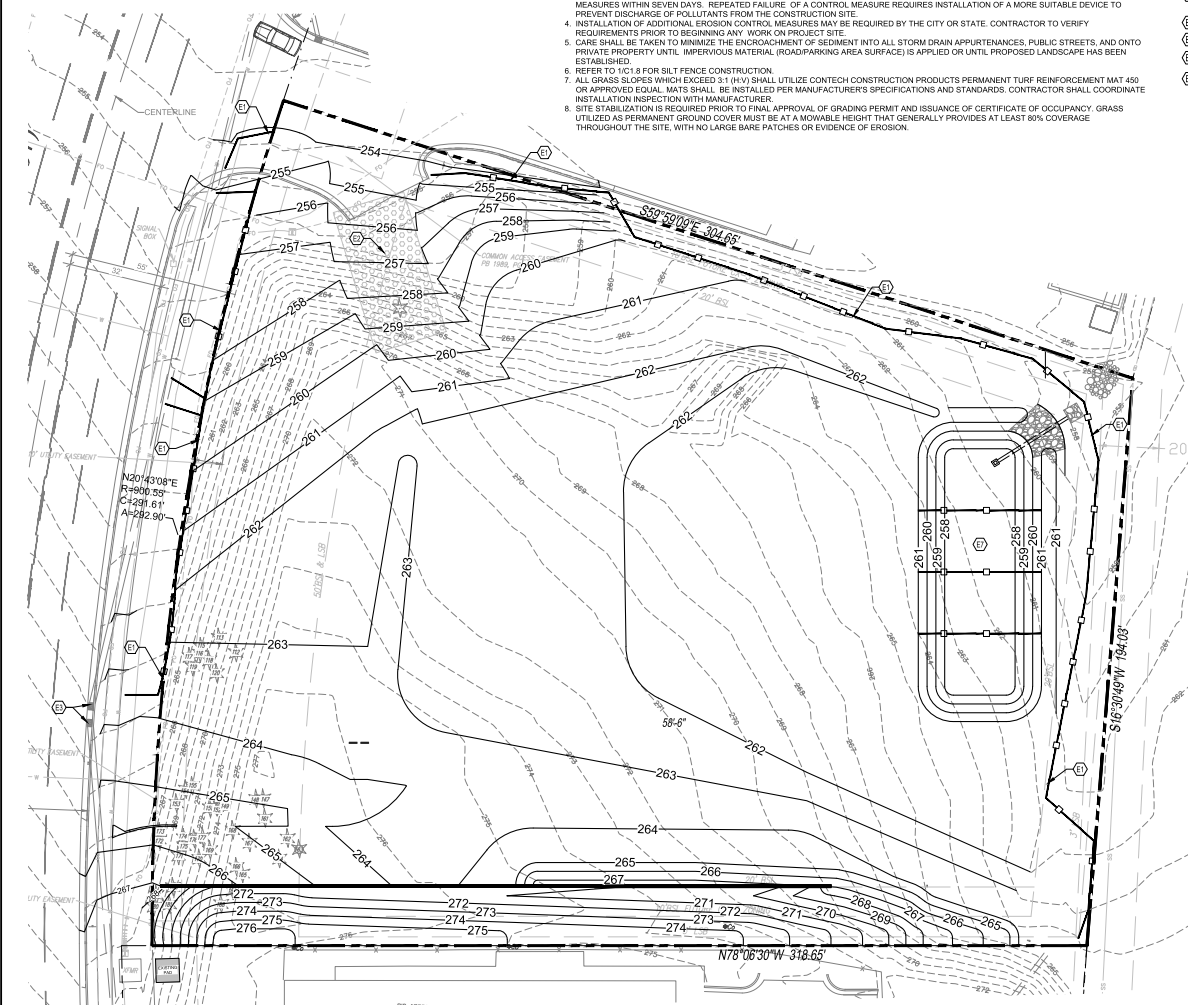
REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.	
--- 265 ---	EXISTING GRADE LINES
— 265 —	PROPOSED NEW GRADE LINES
★	EXISTING IMPROVEMENTS TO BE REMOVED
— [ ] —	SILT FENCE
[ ]	CONSTRUCTION EGRESS

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval

CASE # ASR-0037-2024



**1 SEDIMENT AND EROSION CONTROL PLAN-PHASE 1**  
C1.5 SCALE: 1" = 20'

**NOT FOR CONSTRUCTION**

**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**  
1736 East Sandhills, Suite 417  
Springfield, Missouri 65804  
417.862.0158  
417.862.3565  
Fax: 417.862.3565  
e-mail: craschneider@cityarchitect.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**  
**SEDIMENT AND EROSION CONTROL PLAN - PHASE 1**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

**C1.5**

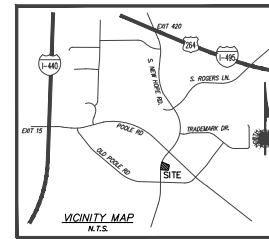
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### EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES. GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND/OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER EVERY STORM EVENT. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENDOCHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 1C1.8 FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.
8. SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE, WITH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION.

### KEY NOTES:

1. LIMITS OF TEMPORARY EROSION CONTROL FENCE. REFER TO DETAIL 1C1.8.
2. INSTALL CONSTRUCTION EGRESS. REFER TO DETAIL 2C1.8.
3. INSTALL INLET PROTECTION. REFER TO DETAIL 3C1.8.
4. INSTALL CONCRETE WASHOUT. REFER TO DETAIL 4C1.8.
5. INSTALL TEMPORARY SEEDING AS NECESSARY. SEE SHEET C1.7 FOR STABILIZATION PLAN. REFER TO NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL CHAPTER 6 - SURFACE STABILIZATION FOR ALL STABILIZATION REQUIREMENTS.
6. INSTALL PERMANENT SEEDING AND SODDING. SEE SHEET C1.7 FOR STABILIZATION PLAN AND LANDSCAPE PLAN FOR PERMANENT GROUND COVER. REFER TO NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL CHAPTER 6 - SURFACE STABILIZATION FOR ALL STABILIZATION REQUIREMENTS.



**SPECIAL NOTE:**  
REFER TO SHEET C1.7 FOR STABILIZATION REQUIREMENTS.



PROJ. # 23SP-0305 DRAWING # WB-110-545

### STAGES OF CONSTRUCTION:

1. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCSD015000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT. ALL MONTHS.
2. PRIOR TO BEGINNING CONSTRUCTION, SCHEDULE PRECONSTRUCTION MEETING ONLINE AT: PERMITPORTAL.RALEIGHNC.GOV. MONTH 1.
3. INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES. LIMIT CLEARING AND LAND DISTURBING ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PERMITTED MEASURES. MONTH 1.
4. SCHEDULE A STORMWATER SITE INSPECTION ONLINE AT: PERMITPORTAL.RALEIGHNC.GOV. MONTH 1.
5. UPON APPROVAL OF THE STORMWATER SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY - CLEARING AND GRUBBING. MONTH 1.
6. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. ALL MONTHS.
7. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE. ALL MONTHS.
8. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1.
9. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1.
10. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1.
11. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. ALL MONTHS.
12. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE. ALL MONTHS.
13. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1.
14. ROUGH GRADING. MONTH 1 & MONTH 2.
15. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2.
16. FINAL GRADING. MONTH 3.
17. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3.
18. SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE, WITH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION. MONTH 3.
19. AT A MINIMUM OF SEVEN (7) CALENDAR DAYS PRIOR TO SCHEDULING THE STORMWATER FINAL INSPECTION, SUBMIT A CITY OF RALEIGH FORM 511 AND APPROVABLE BMP AS-BUILT PLAN AND ENGINEER'S CERTIFICATION TO CITY OF RALEIGH STAFF FOR REVIEW AND WRITTEN ACCEPTANCE. THE CERTIFICATIONS MUST BE ACCEPTED PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED. MONTH 3.
20. SCHEDULE A STORMWATER FINAL INSPECTION ONLINE AT: PERMITPORTAL.RALEIGHNC.GOV. MONTH 3.
21. REMOVAL OF ALL EROSION CONTROL MEASURES. MONTH 3.

### SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION	
---	EXISTING GRADE LINES
---	PROPOSED NEW GRADE LINES
[Symbol]	NEW BUILDING CONSTRUCTION
[Symbol]	NEW TURF REINFORCEMENT MAT
[Symbol]	SILT FENCE
[Symbol]	CONSTRUCTION EGRESS
[Symbol]	CONCRETE WASHOUT

**UPDATE NOTE:**  
ROW PATHS &  
CASE # ADDED

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval

CASE # ASR-0037-2024



### 1 SEDIMENT AND EROSION CONTROL PLAN-PHASE 2

SCALE: 1" = 20'



NOT FOR CONSTRUCTION

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Sunnyvale, Missouri 65084  
417-863-0158  
Fax: 417-863-3565  
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**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
SEDIMENT AND EROSION CONTROL PLAN - PHASE 2

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
DURHAM, NC 27602  
(417) 862-2674 TELEPHONE

CONV#  
DATE: 2.15.24  
REVISION  
DATE: 11.07.24

C1.6



## NPDES STABILIZATION PLAN GENERAL NOTES:

- THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000;
- THIS PAGE CAN BE APPROVED BY THE CITY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY;
- THIS PAGE OF THE APPROVED PLANS IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000;
- THE CITY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR PURPOSES OF ENFORCEMENT ACTION UNDER THE CITY CODE.

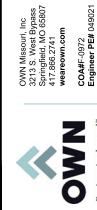
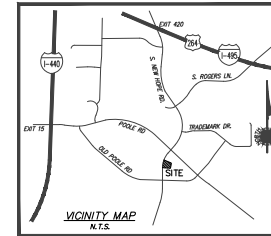
## MONITORING AND INSPECTION REQUIREMENTS:

- CONTRACTOR TO KEEP A RAIN GAUGE ON PROJECT SITE.
- DEDICATED DEMOLITION AND OTHER WASTE AREAS AND EARTHEN MATERIAL STOCKPILES MUST BE LOCATED AT LEAST 50' FROM STORM DRAINS OR STREAMS UNLESS NO ALTERNATIVE IS FEASIBLE.
- CONTRACTOR TO INSPECT ALL EROSION AND SEDIMENTATION CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN A HALF-INCH (DURING A 24-HOUR PERIOD). CONTRACTOR TO TAKE IMMEDIATE CORRECTIVE ACTION FOR ANY DEVICE FAILURE.
- CONTRACTOR TO INSPECT ALL OUTLETS WHERE STORMWATER RUNOFF LEAVES THE SITE AND EVALUATE THE EFFECT ON NEARBY STREAMS OR WETLANDS. CONTACT ENGINEER WITH ANY DISCREPANCIES FROM PLAN.
- CONTRACTOR TO TAKE CORRECTIVE ACTION IF SEDIMENT IS DEPOSITED OFF-SITE OR INTO A STREAM OR WETLAND, OR CAUSES A VISIBLE INCREASE IN TURBIDITY (CLOUDINESS) OF ANY WATERBODY.
- CONTRACTOR TO KEEP RECORDS OF ALL INSPECTIONS AND ANY CORRECTIVE ACTIONS TAKEN.

**SPECIAL NOTE:**  
STAFF FROM DEMLR AND LOCAL PROGRAMS WITH DELEGATED AUTHORITY WILL PERFORM RANDOM INSPECTIONS OF PROJECT SITE TO ENSURE COMPLIANCE WITH STATE AND FEDERAL REGULATION GOVERNING CONSTRUCTION ACTIVITIES. IF FOUND TO BE IN VIOLATION, THE PROJECT COULD POTENTIALLY BE SUBJECT TO ENFORCEMENT ACTION BY BOTH DEMLR AND THE LOCAL PROGRAM. THE INSPECTIONS MAY BE ROUTINE IN NATURE OR THE RESULT OF A CITIZEN COMPLAINT.

## KEY NOTES:

- SLOPES FLATTER THAN 4:1. STABILIZE WITHIN 14 DAYS. PROVIDE TEMPORARY SEEDING AS NECESSARY AND PERMANENT SEEDING.
- SLOPES 3:1 OR FLATTER. STABILIZE WITHIN 7 DAYS. STABILIZE WITHIN 7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH. PROVIDE TEMPORARY SEEDING AS NECESSARY AND PERMANENT SEEDING.
- PERIMETER DIKES, SWALES, DITCHES AND SLOPES. STABILIZE WITHIN 7 DAYS. PROVIDE TEMPORARY SEEDING AS NECESSARY AND PERMANENT SEEDING.
- PAVED/CONCRETE AREAS WITH CONSTANT ACTIVITY AND LESS THAN 14 DAYS BETWEEN DISTURBANCE.



PROJ # 23SP10305 DRAWING # WB-110-545

## OPERATIONS AND MAINTENANCE REQUIREMENTS:

CONTRACTOR MUST PROVIDE THE OPERATION AND MAINTENANCE NECESSARY TO MAINTAIN OPTIMAL PERFORMANCE OF STORMWATER CONTROLS. THE CONTRACTOR MUST TAKE CORRECTIVE ACTION IF EROSION AND SEDIMENT CONTROL MEASURES ARE NOT OPERATING PROPERLY. OPERATION AND MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO:

- REGULARLY CLEANING OUT SEDIMENTATION BASINS.
- STABILIZING ERODED BANKS, CHANNELS OR SPILLWAY STRUCTURES.
- REPAIRING/CLEARING OUT INLETS AND OUTLETS.
- REPAIRING AND MAINTAINING STORM DRAINAGE INLET AND OUTLET PROTECTION.
- REPAIRING PIPING, SEEPAGE, AND MECHANICAL DAMAGE.
- REPAIRING SILT FENCE DAMAGE.

## REPORTING REQUIREMENTS:

SELF-INSPECTIONS REQUIRED BY NPDES STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES NCG010000 ARE AN OPPORTUNITY TO IDENTIFY IMPACTS TO NEARBY WATERS. IF THE CONTRACTOR OBSERVES SEDIMENT THAT HAS BEEN DEPOSITED IN A STREAM OR WETLAND, THEY MUST NOTIFY THE DEMLR REGIONAL OFFICE WITHIN 24 HOURS AND PROVIDE WRITTEN NOTICE WITHIN FIVE DAYS.

DEMLR REGIONAL OFFICE:  
RALEIGH OFFICE (919) 791-4200

## NON-COMPLIANCE AND FINES:

PROJECTS THAT VIOLATE STORMWATER PERMIT CONDITIONS AND/OR HAVE UNAUTHORIZED WATER QUALITY IMPACTS ARE SUBJECT TO FINES. CIVIL PENALTIES OF UP TO \$25,000 PER DAY FOR EACH VIOLATION MAY BE ASSESSED.

## NCDENR STABILIZATION TIMEFRAME TABLE:

STABILIZATION TIMEFRAMES (Effective Aug. 5, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

NOTE: REFER TO KEY NOTES FOR LOCATIONS OF AREAS.

## SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS, LEGEND AND SITE CONTROL.	
--- 265 ---	EXISTING GRADE LINES
--- 265 ---	PROPOSED NEW GRADE LINES
[Symbol]	SLOPES FLATTER THAN 4:1.
[Symbol]	SLOPES 3:1 OR FLATTER.
[Symbol]	PERIMETER DIKES, SWALE, DITCHES AND SLOPES
[Symbol]	SURFACE FLOW ARROW

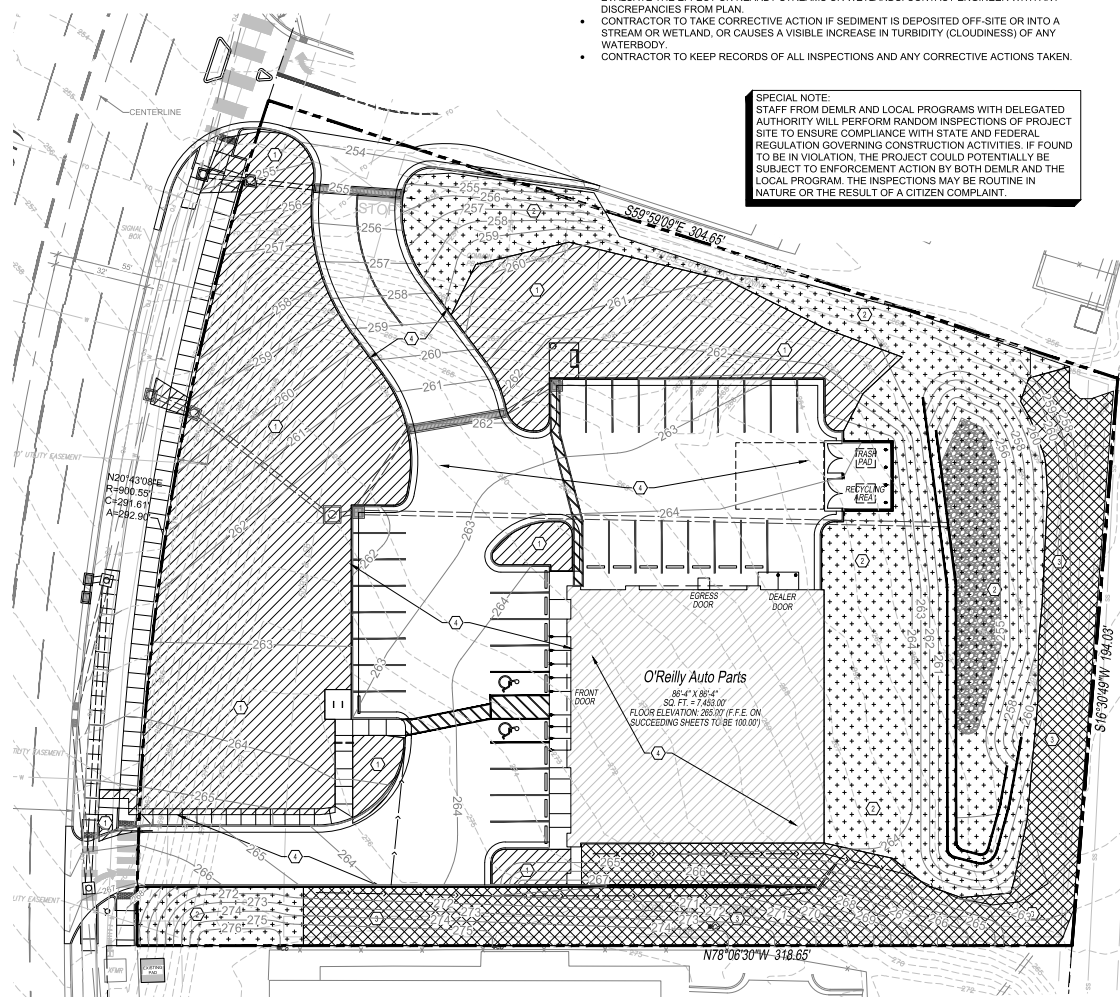
**UPDATE NOTE:**  
STREET TREES &  
ROW PATHS &  
CASE #

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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CASE # ASR-0037-2024



## 1 NPDES STABILIZATION PLAN

SCALE: 1" = 20'



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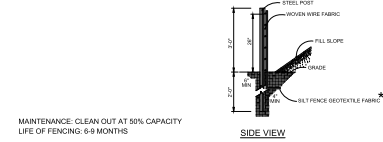
**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT  
1716 East Sandhills, Suite 417  
Springfield, Missouri 65804  
417.866.4558  
Fax: 417.866.3565  
e-mail: craschneider@cityarchitect.com

PROJECT:  
**NEW O'REILLY AUTO PARTS STORE**  
**SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**  
**NPDES STABILIZATION PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MO 65802  
(417) 862-2674 TELEPHONE

CONTRACT #  
DATE: 2.15.24  
REVISION  
DATE: 11.07.24

C1.7



MAINTENANCE: CLEAN OUT AT 50% CAPACITY  
LIFE OF FENCING: 6-9 MONTHS

SIDE VIEW

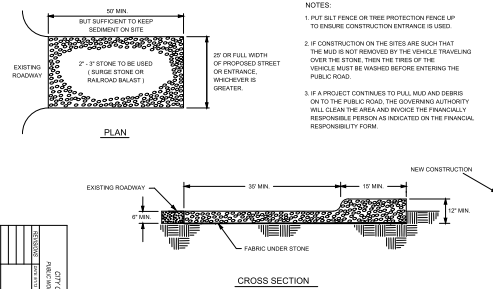
FRONT VIEW

- NOTES:
1. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE.
  2. 10-12" WIDE FABRIC UNDER STONE IS REQUIRED TO BE TYPICAL.
  3. SEE CITY OF RALEIGH PRACTICE STANDARDS & SPECIFICATIONS FOR CONSTRUCTION PRACTICES APPLIES. PLANNING CONSIDERATIONS & DESIGN CRITERIA.

DESIGNED BY	CITY OF RALEIGH
DRAWN BY	SR-20-01
CHECKED BY	SR-20-01
APPROVED BY	SR-20-01
DATE	SR-20-01
PROJECT	SR-20-01
SHEET	SR-20-01

## 1 STANDARD TEMPORARY SILT FENCE

SCALE: NOT TO SCALE

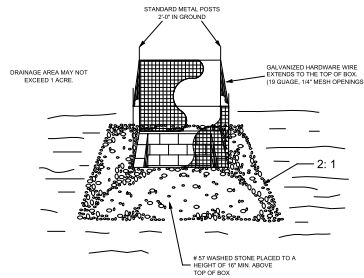


CONSTRUCTION ENTRANCE

DESIGNED BY	CITY OF RALEIGH
DRAWN BY	SR-20-09
CHECKED BY	SR-20-09
APPROVED BY	SR-20-09
DATE	SR-20-09
PROJECT	SR-20-09
SHEET	SR-20-09

## 2 CONSTRUCTION ENTRANCE DETAIL

SCALE: NOT TO SCALE



STANDARD CATCH BASIN / YARD INLET PROTECTION

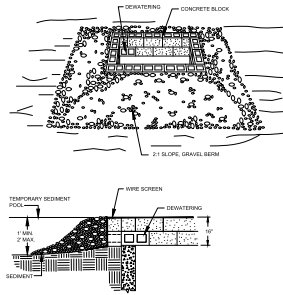
SEE DESIGN STANDARDS & SPECIFICATIONS FOR COMPLETE DESIGN CRITERIA & MAINTENANCE

DESIGNED BY	CITY OF RALEIGH
DRAWN BY	SR-20-15
CHECKED BY	SR-20-15
APPROVED BY	SR-20-15
DATE	SR-20-15
PROJECT	SR-20-15
SHEET	SR-20-15

### CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE PLANNING DEPARTMENT SHALL EXCAVATE AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF BLOCKS AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID RESISTANCE WHEN OVERFLOW OCCURS.
2. CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 12 INCH OPENINGS OVER ALL BLOCK OPENINGS TO HOLD DRAINAGE IN PLACE.
3. USE CLEAN GRAVEL, 3/4 TO 1 1/2 INCH IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE. DO NOT WASHED STONE IS RECOMMENDED.

NOT TO BE USED FOR SEDIMENT STORAGE



BLOCK AND GRAVEL DROP INLET PROTECTION

DESIGNED BY	CITY OF RALEIGH
DRAWN BY	SR-20-14
CHECKED BY	SR-20-14
APPROVED BY	SR-20-14
DATE	SR-20-14
PROJECT	SR-20-14
SHEET	SR-20-14

## 3 INLET PROTECTION DETAIL

SCALE: NOT TO SCALE



PROJ # 23SP10305 DRAWING # WB-110-545

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**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**  
**SEDIMENT AND EROSION CONTROL DETAILS**

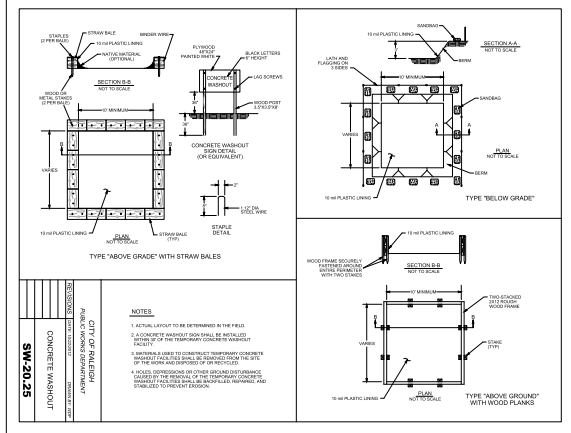
**O'Reilly AUTO PARTS**  
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SPRINGFIELD, MISSOURI 65802  
(417) 862-2074 TELEPHONE

CONTRACT #	
DATE	2-15-24
REVISION	
DATE	11-07-24

C1.8

## 4 CONCRETE WASHOUT DETAIL

SCALE: NOT TO SCALE



- NOTES:
1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
  2. A CONCRETE WASHOUT SHALL BE INSTALLED TO PROTECT THE TOP OF THE FOUNDATION FROM EROSION.
  3. MATERIALS USED TO CONSTRUCT WASHOUT SHALL BE APPROVED BY THE ENGINEER.
  4. WASHOUT SHALL BE CONSTRUCTED TO PROTECT THE TOP OF THE FOUNDATION FROM EROSION.
  5. WASHOUT SHALL BE CONSTRUCTED TO PROTECT THE TOP OF THE FOUNDATION FROM EROSION.

DESIGNED BY	CITY OF RALEIGH
DRAWN BY	SR-20-25
CHECKED BY	SR-20-25
APPROVED BY	SR-20-25
DATE	SR-20-25
PROJECT	SR-20-25
SHEET	SR-20-25

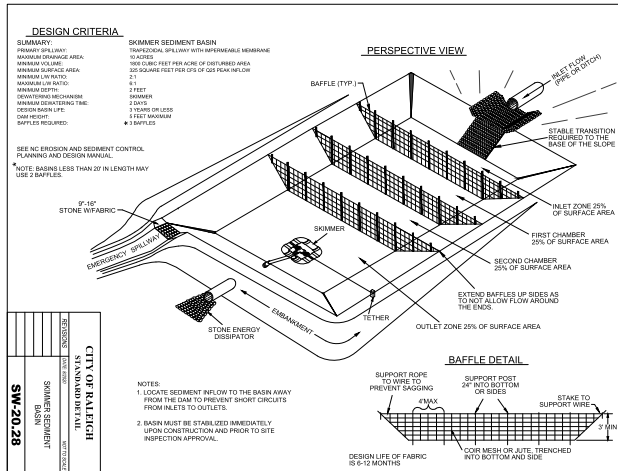
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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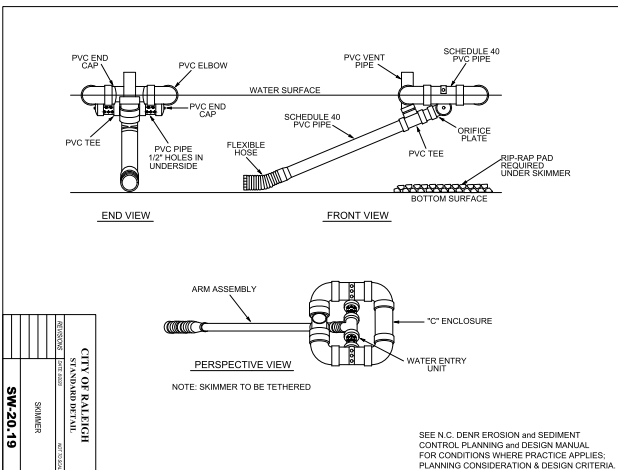
CASE # ASR-0037-2024





## 1 SKIMMER SEDIMENT BASIN

SCALE: NOT TO SCALE



## 2 SKIMMER

SCALE: NOT TO SCALE

**811**

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3213 S. West Byham  
St. Louis, MO 63105  
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Engineering beyond.

PROJ # 23SP10305 DRAWING # WB-110-545

**CRAIG A. SCHNEIDER, AIA**  
ARCHITECT

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e-mail: craschneider@earthlink.net

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
NORTH CAROLINA 27602  
(417) 862-2674 TELEPHONE

**CONTRACT #**  
DATE: 2.15.24  
REVISION  
DATE: 11.07.24

CASE # ADDED TO SHEET

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval CASE # ASR-0037-2024

C1.9

# SWS NOTES:

- PER THE SOLID WASTE COLLECTION DESIGN MANUAL, DUMPSTER AND CARDBOARD RECYCLING CARDBOARD MUST HAVE A CAPACITY OF 8 CUBIC YARDS.
- PAVEMENT IN COLLECTION DEVICE PADS MUST BE A CONSTRUCTED OF REINFORCED PAVING MATERIAL, ABLE TO WITHSTAND 5000 LB. LOAD. AREAS 30' IN FRONT OF THE PADS SHOULD ALSO BE REINFORCED TO A PAVEMENT STRENGTH THAT WILL WITHSTAND THE PRESSURES OF A 25 TON COLLECTION VEHICLE. 8" SUB-BASE AND 6" REINFORCED CONCRETE.

# CAUTION:

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.



Know what's below  
Call before you dig.

## GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB, GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

## KEY NOTES

- CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, (HEAVY DUTY) AT DRIVE AREAS, DRIVE APRONS, FIRE LANES, AND REFUSE AREA.
- 23' X 30' COLLECTION DEVICE PAD. REFER TO SWS NOTES (THIS SHEET).
- CONCRETE CURB.
- CONCRETE SIDEWALK.
- CONCRETE DOOR LANDING.
- ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING.
- STEEL BOLLARD. PROVIDE (4) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (6) AT FRONT ENTRY.
- ACCESSIBLE PARKING SIGN.
- DETECTABLE WARNING SURFACE.
- ACCESSIBLE CONCRETE CURB RAMP TO BE INSTALLED PER CITY DESIGN STANDARDS T-20.01.4.
- ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO 5% SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- REFUSE ENCLOSURE.
- CONCRETE BUMPER BLOCK (8" W X 9" H X 6'-0" LONG) ANCHORED TO PAVING WITH 2"X4" LONG #4 REBAR.
- PARKING LOT LIGHTING. REFER TO UTILITY SITE PLAN FOR TYPE AND CONSTRUCTION.
- 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 6'-0" LONG BENCH BY SCH ENTERPRISES, LLC (503) 364-1303 OR APPROVED EQUAL. BENCH TO BE FLAT BAR SEATING, SURFACE MOUNTED AND POLYESTER POWDER COAT. COLOR TO BE BLACK.
- CONCRETE DRIVE APRON TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS.
- LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS. AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL #4 MINIMUM INTO EXISTING WITH #4 X 1'-0" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
- 3'-0" WIDE STRIPED PEDESTRIAN PATH. PROVIDE 4" STRIPING AS SHOWN, USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- CONCRETE CURB IN RIGHT-OF-WAY TO MATCH EXISTING PER CITY AND / OR STATE DESIGN STANDARDS.
- TRASH RECEPTACLE EQUAL TO: OUTDOOR METAL SLATTED TRASH RECEPTACLE, FULLY WELDED, FLAT STEEL BAR BODY, BLACK POLYESTER POWDER COAT BY GLOBAL INDUSTRIAL (888) 277-6995.
- 6'-0" WIDE CONCRETE SIDEWALK IN RIGHT-OF-WAY TO BE INSTALLED PER CITY AND / OR STATE DESIGN STANDARDS.
- PROPOSED FIRE HYDRANT. REFER TO UTILITY SITE PLAN FOR MORE INFORMATION.
- 3'-0" WIDE STRIPED PEDESTRIAN PATH. PROVIDE 4" STRIPING AS SHOWN, USE HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- SHORT-TERM BICYCLE PARKING. EQUAL TO COLUMBIA CASCADE 21703-C. POWDER COATED COLOR TO BE EVERGREEN.
- CONCRETE RETAINING WALL AND GUARDRAIL. CONCRETE RETAINING WALL (ADJACENT TO BUILDING). REFER TO STRUCTURAL AND ELEVATIONS FOR MORE INFORMATION. PARKING LOT SIDE OF WALL TO BE POURED WITH FORM LINER EQUAL TO FITZGERALD FORMLINERS PATTERN 1601 (SPRIT-FASED BLOCK WITH RUNNING BOND). GUARDRAIL TO BE 1 1/2" DIA. STD. STEEL PIPE. PROVIDE POST AT 5'-0" O.C. MAX.
- 3'-0" WIDE CONCRETE BIKE PATH IN RIGHT-OF-WAY TO BE INSTALLED PER CITY DESIGN STANDARDS.
- RAISED CONCRETE ISLAND.
- STANDARD STOP BAR AND POLE MOUNTED "STOP" SIGN. INSTALL PER CITY/STATE REQUIREMENTS.
- CROSS WALK STRIPING PER CITY STANDARD DETAIL T-20.05.
- AMENITY AREA ACCESS. ROLL DOWN CURB AT 1:1 AND PROVIDE A 36" CURB OPENING.
- CONCRETE RETAINING WALL. REFER TO SITE GRADING PLAN.
- EXISTING IMPROVEMENTS TO REMAIN - PROTECT AS REQUIRED.
- BICYCLE LANE STRIPING PER CITY STANDARD DETAIL T-20.06.

## SITE DATA TABLE

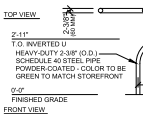
ZONING	CX-3 (PARKWAY OVERLAY)
CLASSIFICATION	76,960 S.F.
PROPERTY AREA	7,453 S.F.
PROPOSED BUILDING AREA	20,309 S.F.
PROPOSED PAVEMENT AREA:	

PARKING SUMMARY PER UDO 7.1.2	
PARKING FORMULA:	MAX. 1 SP. PER 200 S.F. GFA
	+ 1.5 SPACE PER 600 S.F. OUTDOOR DISPLAY AREA
SPACE SIZE REQUIRED:	8.5' x 18'
SPACE SIZE PROVIDED:	9' x 18'
MAX SPACES ALLOWED:	37.25 + 0 = 37
SPACES PROVIDED:	35
H.C. SPACES PROVIDED:	2
SHORT TERM BICYCLE	
PARKING FORMULA:	1 SP. PER 5,000 S.F. GFA (MIN 4)
SHORT TERM BICYCLE	
SPACES REQUIRED:	7,453 / 5000 = 2 (MIN 4)
SHORT TERM BICYCLE	
SPACES PROVIDED:	4
LONG TERM BICYCLE PARKING REQUIRED:	0
LONG TERM BICYCLE PARKING PROVIDED:	0

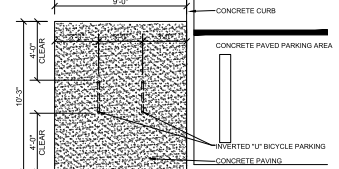
REQUIRED AMENITY AREA PER UDO 1.5.3:	76,960 S.F. x 10%
AMENITY AREA REQUIRED: 10% PER UDO 3.2.5	7,696 S.F.
AMENITY AREA PROVIDED:	7,990 S.F.
TRANSITIONAL PROTECTIVE YARD TYPE PER UDO 7.2.4.A:	N/A PER UDO 7.2.4 E
STREET PROTECTIVE YARD TYPE PER UDO 7.2.4.B:	N/A PER EXCEPTION 3 (SHOD 1 YARD).

## SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS	
LEGEND	
NEW BUILDING CONSTRUCTION	
AREA OF HEAVY DUTY CONCRETE	
AREA OF STANDARD DUTY CONCRETE	
AMENITY AREA	
NEW CONCRETE PAVING BLOCK	
NEW LIGHT POLE LOCATION	
NEW MASONRY WALL CONSTRUCTION	



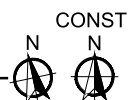
2 BICYCLE PARKING (INVERTED "U")  
SCALE: 1/8" = 1'-0"



3 BICYCLE PARKING CLEARANCE DIAGRAM  
SCALE: 1/8" = 1'-0"

## 1 SITE DEVELOPMENT PLAN

C2 SCALE: 1" = 20'-0"



CABINETS BY E.G.S. INC.  
E.G. PROPERTIES, LLC  
706210

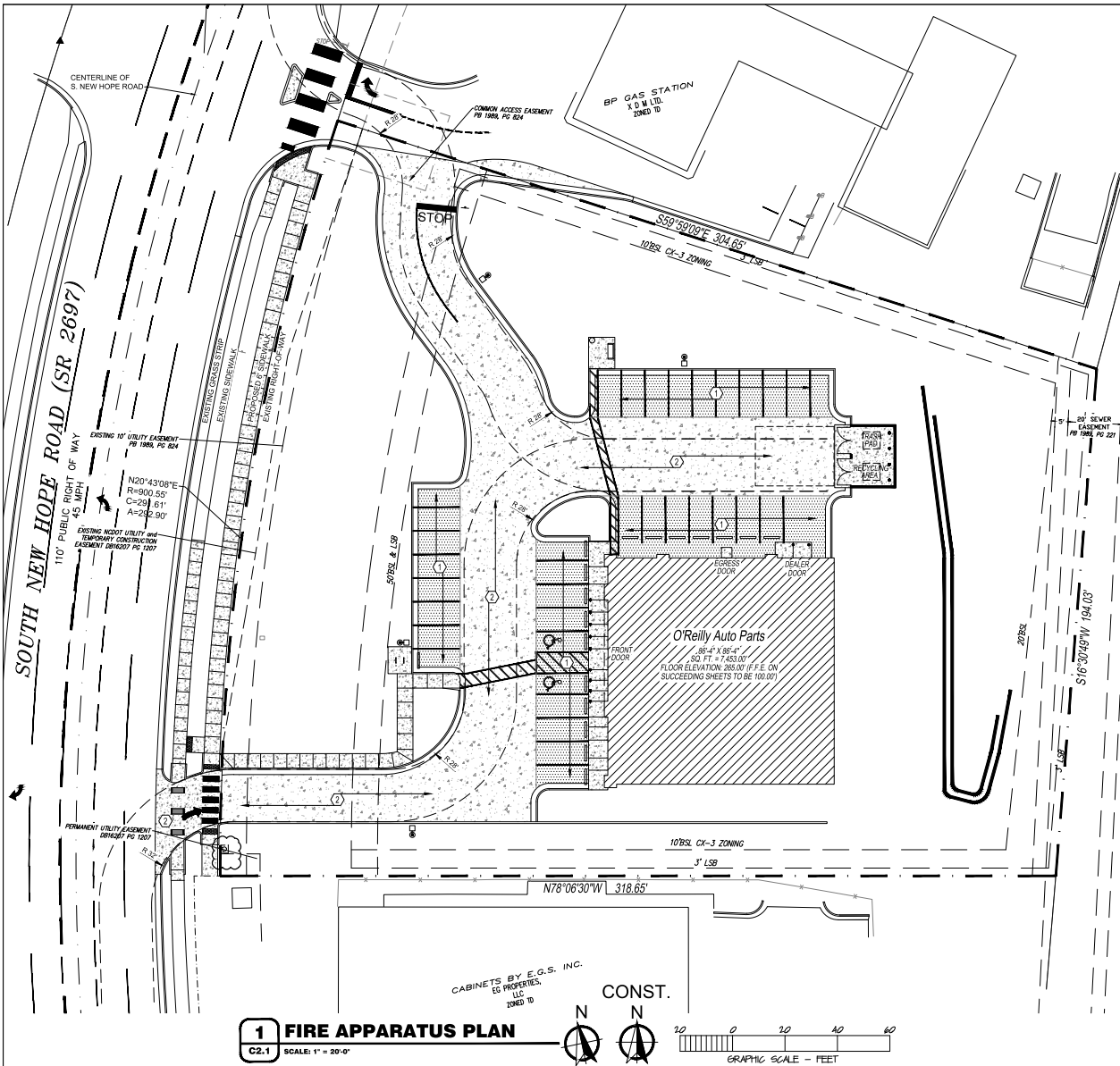


**CRAG A. SCHNEIDER, AIA**  
ARCHITECT  
1736 EAST SUMMIT, SUITE 417  
SPRINGFIELD, MISSOURI 65804  
417-862-8558  
FAX: 417-862-2305  
e-mail: architect@cschneider.com

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
SITE DEVELOPMENT PLAN

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
235 SOUTH PATTERSON  
RALEIGH, NC 27602  
(417) 902-2074 TELEPHONE

COMM # 4775  
DATE: 1-12-24  
REVISION  
DATE: 11-7-24



## GENERAL NOTES

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB, GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING, AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

## KEY NOTES

- CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS.
- CONCRETE PAVING (HEAVY DUTY) AT DRIVE APRONS AND FIRE DEPARTMENT ACCESS LANES CAPABLE OF SUPPORTING A LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS.

## SYMBOLS LEGEND

NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.

- NEW BUILDING CONSTRUCTION
- AREA OF HEAVY DUTY CONCRETE
- AREA OF STANDARD DUTY CONCRETE
- NEW CONCRETE PAVING BLOCK
- NEW LIGHT POLE LOCATION
- NEW MASONRY WALL CONSTRUCTION
- 20' WIDE FIRE APPARATUS MOVEMENT
- PROPOSED FIRE HYDRANT LOCATION

**CAUTION:**  
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
Call before you dig.**



**CRAIG A. SCHNEIDER, AIA**  
**ARCHITECT**

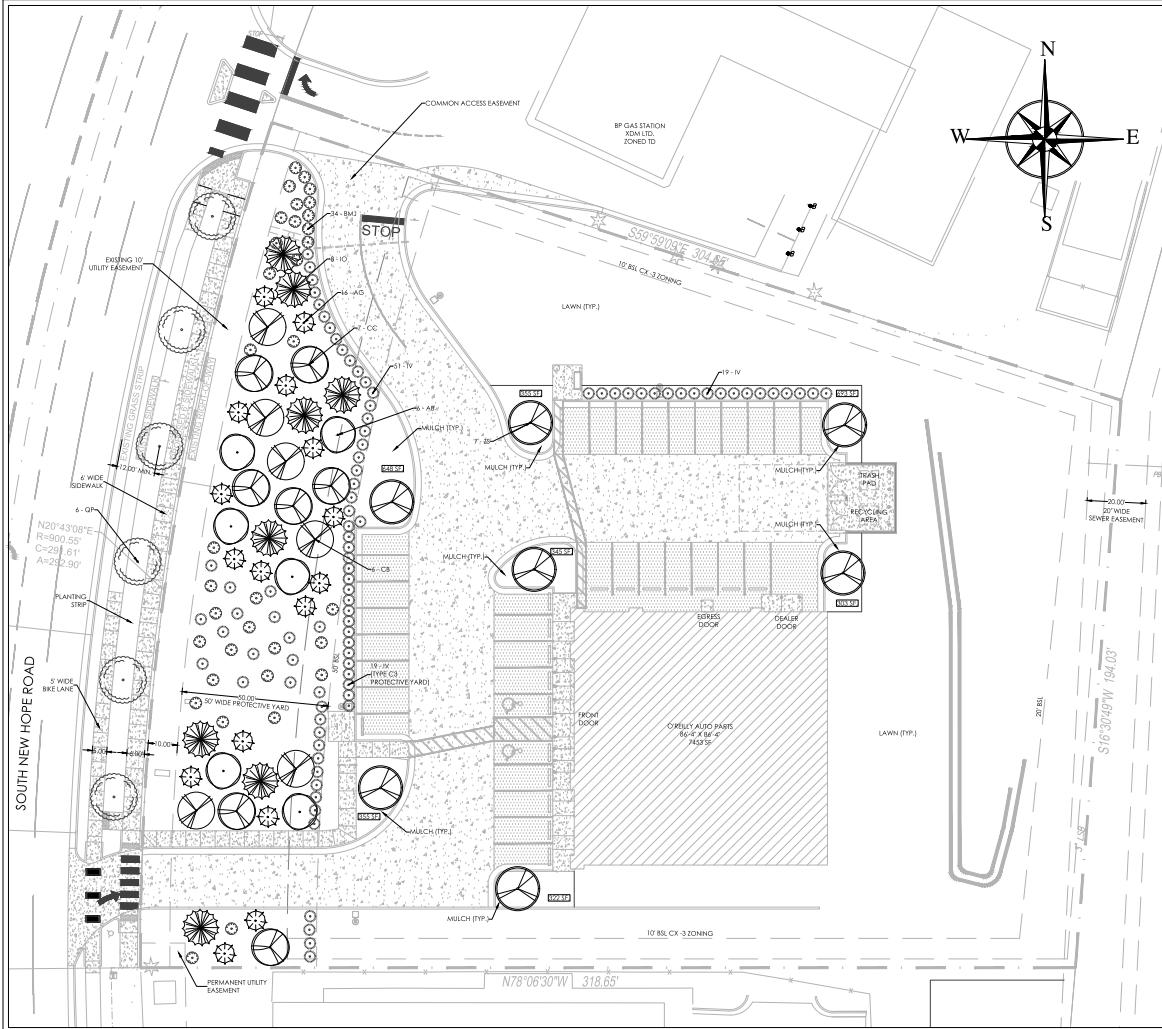
417-862-8558  
417-862-3565  
Springfield, Missouri 65804  
e-mail: architect@estheticschneider.com

**PROJECT:**  
**NEW O'REILLY AUTO PARTS STORE**  
**SOUTH NEW HOPE ROAD**  
**RALEIGH, NC #4**

**FIRE APPARATUS PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
235 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2074 TELEPHONE

COMM # 4275  
DATE: 11-7-24  
REVISION  
DATE: 1-15-25



LANDSCAPE PLAN  
SCALE: 1"=20'

PLANT SCHEDULE

PLANT LIST - O'Reilly Auto Parts					
KEY	QTY.	TYPE	BOTANICAL NAME	COMMON NAME	LOCATION
<b>Canopy Trees</b>					
CB	6	Deciduous	Carpinus betulus	European Hornbeam	14' during planting
CC	7	Deciduous	Carpinus caroliniana	Ironwood	14' during planting
AB	6	Deciduous	Acer buergerianum	Trident Maple	14' during planting
AO	8	Evergreen	Ilex opaca	American Holly	2" CAL. 8' during planting
ZS	7	Deciduous	Zelkova serrata	Japanese Zelkova	3" CAL. 10' during planting
OP	6	Deciduous	Ulmus americana	American Elm	3.5" CAL. 14' during planting
<b>Understory Trees</b>					
AG	16	Deciduous	Amelanchier x grandiflora	Serviceberry	1.5" CAL. 6' during planting
IV	89	Evergreen	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	24" during planting
BMI	34	Evergreen	Buxus microphylla var. japonica	Japanese Boxwood	24" during planting
123					

LANDSCAPE SCOPE OF WORK

- FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUNDCOVER, ANNUALS, BEDS, SOD, AND MULCH.
- MATERIALS AND WORK:  
THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK, WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.
- LAND MATERIALS:  
ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IN THE FIELD, HAND-PAKED, SHOWN, WELL BRANCHED, FULLY TYPED WHEN IN LEAF WITH FULLY DEVELOPED ROOT SYSTEMS. TREES MUST BE SET SUPPLEMENTED WITH BRANCH PRUNING AND LEAVES PRUNED. ALL PLANTS MUST BE FREE OF DISEASE, INSECT INFESTATION OR THEIR EGGS AND SHALL HAVE BEEN GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- PLANT SIZE:  
SPECIFIED SIZE INDICATES THE MINIMUM ALLOWABLE SIZE AT PLANTING. WHERE CONTAINER AND HEIGHT/SPREAD ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS SHALL BE MET WHEN ONLY PLANT HEIGHT OR SPREAD ARE INDICATED. CONTAINER SIZE SHALL BE BASED ON "AMERICAN STANDARDS FOR NURSERY STOCK" STANDARDS.
- ORGANIC MATTER:  
"GOOD NATURE" COMPOST OR PINE BARK FINES, AT THE OPTION OF THE CONTRACTOR. MATERIALS SHALL BE AIR DRIED, FINELY SHREDED, AND SUITABLE FOR HORTICULTURAL PURPOSES AND SHALL CONTAIN NO MORE THAN SIX MOISTURE CONTENT BY WEIGHT.
- PINE BARK MULCH:  
ALL PINE BARK MULCH SHALL BE CLEAN, DOUBLE GROUND, FINE TEXTURED, NUGGET MULCH WITH ANNUAL APPLICATIONS OF SAWDUST CONTENT.
- TURF AREAS:  
PRIOR TO ANY SEEDING OR SOD APPLICATION, VERIFY THAT ALL TRENCHING AND LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED. ENSURE ALL AREAS ARE FREE OF STONES, LARGE SOIL CLODS AND ANY OTHER CONSTRUCTION DEBRIS.

LANDSCAPE CALCULATIONS

<b>PROTECTIVE YARD ALONG PARKWAY</b>	
TOTAL STREET FRONTAGE	: 299 LF
TOTAL EASEMENT FRONTAGE	: 290 LF
DRIVEWAY ENCROACHMENT	: 18.67 LF
SIDEWALK	: 6 LF
TOTAL PROTECTIVE YARD	: 265.33 LF
MINIMUM PROTECTIVE YARD REQUIREMENTS	: 7 DECIDUOUS TREES + 3 EVERGREEN TREES + 4 UNDERSTORY TREES + 32 SHRUBS (OF WHICH 40% EVERGREEN) PER 100 LF
TOTAL PROTECTIVE YARD PLANTING PROVIDED	: 19 DECIDUOUS TREES + 3 EVERGREEN TREES + 16 UNDERSTORY TREES + 85 EVERGREEN SHRUBS
<b>PARKING LOT LANDSCAPE</b>	
MINIMUM TREES REQUIRED	: 1 TREE PER 2000SF OF PARKING AREA
PARKING AREA	: 13,430 SF
TOTAL PARKING LOT TREES REQUIRED	: 7
TOTAL PARKING LOT TREES PROVIDED	: 7

PARKING LOT SCREENING

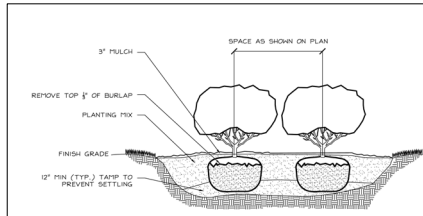
TYPE C3 BUFFER FOR PARKING LOTS - REQUIRED  
TOTAL LENGTH OF PARKING LOT - 63 LF  
TOTAL NUMBER OF SCREENING SHRUBS REQUIRED - 19  
TOTAL NUMBER OF SCREENING SHRUBS PROVIDED - 19

LANDSCAPE PLAN NOTES

- ALL PLANT MATERIAL ON THIS SITE MUST MEET MINIMUM CITY OF RALEIGH GROUND COVER, SIZE, HEIGHT, AND SPACING. PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO STANDARD NURSERY PRACTICES AND IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS WITHIN THE PLAN SET.
- PLANTING STOCK SHALL MEET ALL STANDARDS WITHIN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK". ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL, FREE FROM PESTS AND DISEASE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIAR WITH ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING AND COMMENCING WORK. THE CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT THE SITE AND PERFORM THE WORK SPECIFIED INCLUDING THE FINE GRADING AND NO CORRECTION OF TOPSOIL AND PLANTING AREAS WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATIONS FROM GRADES AND CONDITIONS SHOWN ON THE SURFACE OR SUBSURFACE. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY AND PRIOR TO ORDERING MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS TO PERFORM THE WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-484-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED.
- ANY DAMAGE TO EXISTING IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS, INCLUDING DRIVEWAYS AND DRIVEWAYS, SHALL BE REPAIRED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE DEVELOPER.
- PLANT QUANTITIES TO BE VERIFIED BY LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLAN AS COMPARED TO THE PLAN LIST THE CONTRACTOR SHALL PROVIDE THE QUANTITY SHOWN ON THE PLAN.
- CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OR MODIFICATIONS TO THE LANDSCAPE PLAN. THIS MAY REQUIRE A MODIFICATION TO THE APPROVED PLAN. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ON THE PLAN.
- ALL ABOVE GROUND MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMERS, CUMULATIVE BACKFLOW PREVENTERS, AND VALVES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND RIGHT OF WAY WHILE MAINTAINING REQUIRED ACCESS TO LOCAL CODE STANDARDS AND REQUIREMENTS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTIONS BETWEEN TWO FEET AND EIGHT FEET IN HEIGHT ABOVE THE NEAREST VEHICLE SURFACE OR ADJACENT CURB LINE SHALL BE ALLOWED.
- ALL UNPAVED AREAS SHALL BE TOPSOILED AND SEEDING / SODDED OR MULCHED TO THE LIMITS OF CONSTRUCTION BASED ON ACTUAL FIELD CONDITIONS BEYOND THE APPROVED PLANS.
- ALL SOD TO BE REBEL FESCUE IV, TURF GRASS, LESCO OR EQUAL. ALL SEED TO BE REBEL FESCUE IV, TURF GRASS, LESCO OR EQUAL. ALL SEED TO BE 100% R-1 LAWN AREAS 3" TOPSOIL SHALL BE TILLED INTO THE TOP 4" OF GROUND PRIOR TO SEEDING.
- SLOPES GREATER THAN 3:1 SHALL REQUIRE HYDRO SEEDING. SLOPES GREATER THAN 2:1 SHALL BE SODDED WITH CENTRIFUGE GRASS. ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED FOR SLOPES GREATER THAN 3:1 TO ENSURE SOIL STABILIZATION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- ALL INTERIOR ISLANDS SHALL BE MULCHED WITH DOUBLE GROUND PINE BARK TO A DEPTH OF 4". PERIMETER LANDSCAPE BUFFERS SHALL BE MULCHED WITH 4" PINE STRAW TO BED LINES SHOWN OR BUFFER LIMITS. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS.
- PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMMERCE CONSTRUCTION.
- CONTRACTOR SHALL LEVEL AND SMOOTH ALL EXISTING AREAS AND REMOVE ALL ROCKS AND CONSTRUCTION DEBRIS PRIOR TO SEEDING, SOD OR PLANT INSTALLATION.
- NOTE THAT WITHIN LANDSCAPED AREAS SURROUNDING BUILDING, THE GRASSES SHOWN ON THE GRADING SHEET ARE TOP OF MULCH OR TOP OF TOPSOIL. CONTRACTOR SHALL ENSURE POSITIVE FINISHED DRAINAGE DRAIN 25' AWAY FROM ALL BUILDINGS AND COORDINATE WITH THE LANDSCAPE PLAN TO LEAVE SUBGRADE LOW ENOUGH TO MAINTAIN THESE SPOTS AS FINISHED GRADE.
- OWNER SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL, ORIGINALLY SPECIFIED ON THIS PLAN.
- TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY AT LEAST 10 FEET.

TREE PLANTING DETAIL

2  
L-1



GENERAL PLANTING NOTES

- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BE SOAKED WITH WATER AND FULCHED IMMEDIATELY FOLLOWING PLANTING.
- THE SET OF ALL ROOT BALLS SHALL CONFORM TO AAS STANDARDS.
- FERTILIZER ALL PLANTS WITH AGRIPOINT FERTILIZER TABLETS OR EQUAL TO BE APPLIED AT MANUFACTURERS RECOMMENDED RATE.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- ALL SHRUBS HAVE BEEN LOCATED WITH RESPECT TO PROPOSED OR EXISTING FACILITIES OR STRUCTURES.
- OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL, ORIGINALLY SPECIFIED ON THIS PLAN.
- REPORT ANY DISCREPANCIES TO THE PROJECT LANDSCAPE ARCHITECT.
- SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION OF THE PROJECT LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE OF SPECIFIED QUALITY.
- DURING THE DESIGN PHASE, CONFIRM THAT WATER DRAINS OUT OF THE SOIL, USE LOOSER PLANTING HOLE DEPTH AND DESIGN ALTERNATIVE DRAINAGE SYSTEMS AS REQUIRED.
- THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING. THEREAFTER, WATER THOROUGHLY THE FOLLOWING TWO MONTHS.
- THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN SHRUBS.

SHRUB PLANTING DETAIL

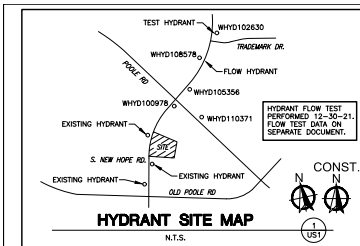
3  
L-1

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS:

08/08/2024 - CITY COMMENTS
11/04/2024 - CITY COMMENTS

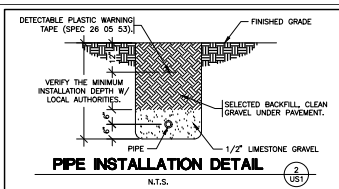




- GENERAL NOTES:**
- CONTRACTOR SHALL MAKE ALL WATER AND SEWER CONNECTIONS PER CITY REQUIREMENTS. INCLUDE ALL COSTS ASSOCIATED WITH THE WORK INTO THE BID.
  - NOTICE OF CONSTRUCTION START DATE AND UTILITY WORK SHOWN. ONE UTILITY COMPANY INFORMATION GIVEN. COORDINATE FOR ALL COMPANIES. USING UTILITY COMPANY CONTACT. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY ESTIMATED COMPLETION DATE.
  - PROJECT ADMINISTRATOR BEFORE PROCEEDING. CONTRACTOR SHALL CONTACT THE OVERLY POTENTIAL CONFLICT. IF DISCOVERED, GENERAL CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POLES, LANDINGS, AND UTILITIES DO NOT GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT

**STANDARD UTILITY NOTES**  
OF APPLICABLE

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the separation allowed is the water main to a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 12" on each side of crossing must be specified & installed to waterline specifications.
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 18 min. vertical separation at all watermain & RCP storm drain crossings; maintain 18 min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6 min. clearance (per CORPUD details W-41 & S-49).
  - All other underground utilities shall cross water & sewer facilities with 18 min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER BYPASS PUMPING - A bypass plan issued by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedures.
- Install 1/2" copper water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate fire & pressure.
- Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDDOT, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (expected) prior to construction.
- NCDDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grosses Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fog@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The device shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
- The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized road or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.



**CONTRACTOR CAUTION!!  
VERIFY SEWER LINE ELEVATION**

BEFORE STARTING ANY BUILDING PAD GRADING AND PLUMBING WORK, THE CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY (INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY) AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.

IF A WORKABLE FLOW LINE HAS NOT BEEN ESTABLISHED AT THE TIME OF FINAL SANITARY SEWER SERVICE CONNECTION, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXPENSES ASSOCIATED WITH THE INSTALLATION OF A NEW GRINDER PUMP SYSTEM EQUAL TO "ENVIRONMENT ONE" #0H152.

PHONE: 518-346-6161 TO MEET OWNER AND LOCAL REQUIREMENTS.

**MINIMUM FIRE FLOW CALCULATION**

2018 NFPA, SECTION 507, APPENDIX B  
TABLE B102.1(2)  
CONSTRUCTION TYPE: IIB  
AREA: 7,453 SQ.FT.  
REQUIRED FIRE FLOW: 1,750 GPM  
FLOW DURATION: 2 HOURS

**NEW UTILITIES**

W	WATER SERVICE	● P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00) AS NECESSARY
S	SEWER SERVICE	○ SPEC 21 13 13 13 DENOTES LANDSCAPE IRRIGATION.
U	UNDERGROUND PHONE	
U	UNDERGROUND ELECTRIC	
U	UNDERGROUND PHONE	
U	OVERHEAD ELECTRIC	
U	OVERHEAD PHONE	
U	GAS SERVICE (BY GAS CO.)	
U	SAW CUT	
U	BORE	
U	GRAVEL	

**UTILITIES CONTACTS:**

ELECTRIC: DUKE ENERGY, TRAVIS WILLIAMS: (919)218-0656  
TELEPHONE: TIME WARNER CABLE: (919)508-5400  
WATER/SEWER: CITY OF RALEIGH PUBLIC UTILITIES DEPT., BRIAN CASEY: (919)996-2176

**EXISTING CONDITIONS NOTES**

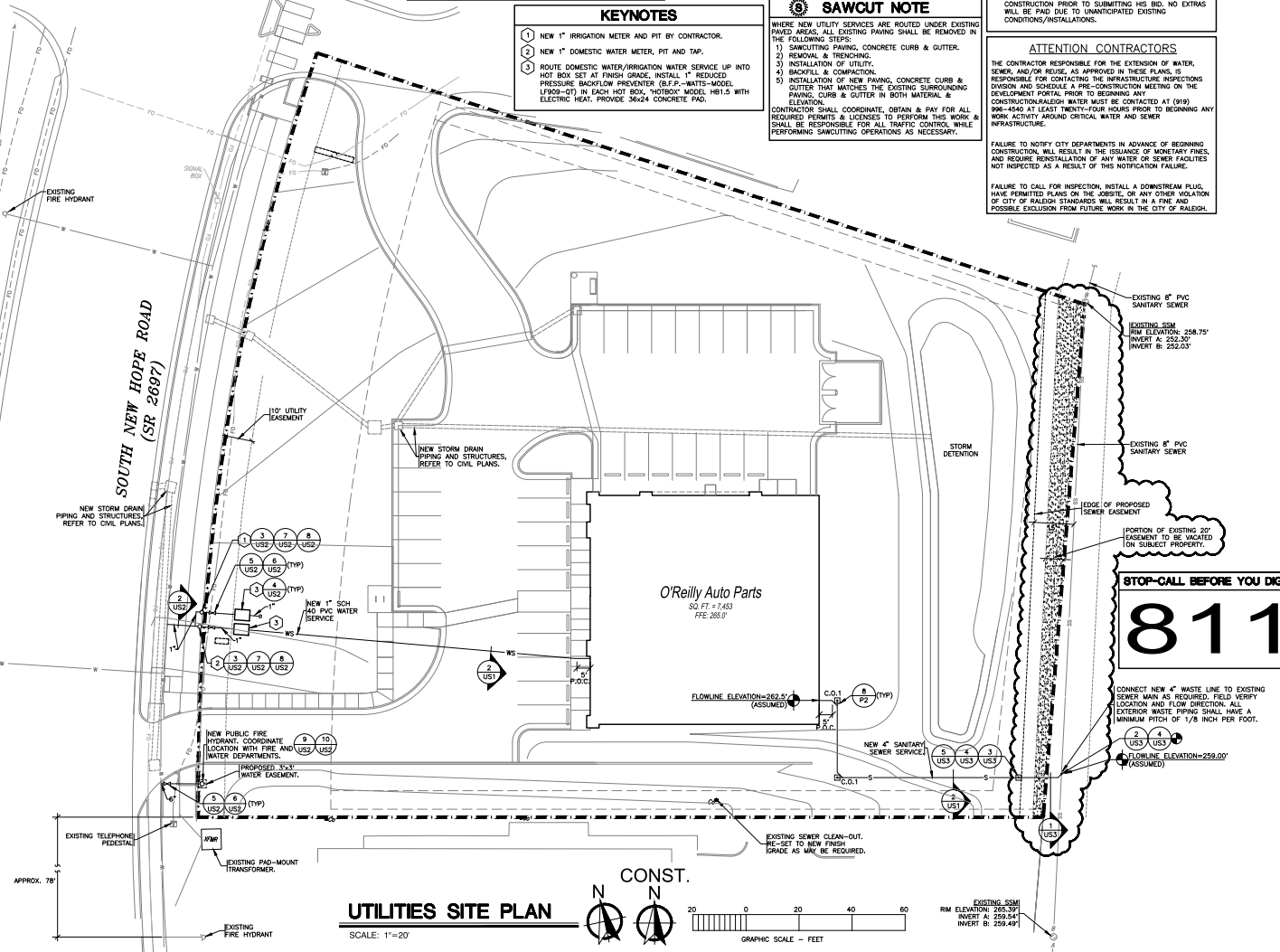
- THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THE ENGINEER'S RESPONSIBILITY IS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION AND NOT THE ACCURACY OR COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- ANY FIELD, ADDITIONAL INSTALLATION, OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

**ATTENTION CONTRACTORS**

THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR GAS, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE INFRASTRUCTURE INSPECTIONS DIVISION AND SCHEDULE A PRE-CONSTRUCTION MEETING ON THE DEVELOPMENT PORTAL PRIOR TO BEGINNING ANY CONSTRUCTION. ANY CONTRACTOR MUST BE CONTACTED AT (919) 996-4540 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY WORK ACTIVITY AROUND CRITICAL WATER AND SEWER INFRASTRUCTURE.

FAILURE TO NOTIFY CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTATEMENT OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON THE JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.



**CRIG A. SCHNEIDER, AIA**  
ARCHITECT  
1726 East Samble, Suite 417  
Springfield, Missouri 65804  
Tel: 417.862.1296  
Fax: 417.862.1296  
E-mail: architect@crigschneider.com

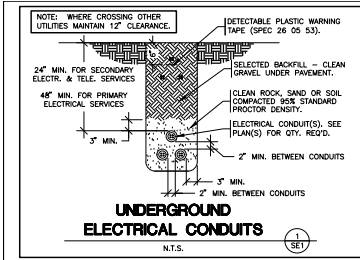
**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
811 SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
**UTILITIES SITE PLAN**

**O'Reilly AUTO PARTS**  
1000 EAST CENTER  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

CONM #	4775
DATE	1-12-24
REVISION	1-15-25
DATE	3-5-25

US1





### EXISTING CONDITIONS NOTES

1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.

### GENERAL NOTE:

PRIOR TO INSTALLATION, GENERAL CONTRACTOR SHALL CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR SHALL CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.

### EMS KEYNOTE

- 1 EMS / LIGHTING CONTROL PANEL. SEE EM SHEETS FOR MORE INFORMATION.

### UTILITIES CONTACTS:

DUKE ENERGY, TRAVIS WILLIAMS: (919)218-0656  
ELECTRIC: TIME WARNER CABLE: (919)508-5400  
TELEPHONE: WATER/SEWER: CITY OF RALEIGH PUBLIC UTILITIES DEPT., BRIAN CASEY: (919)996-2176  
CONTRACTOR TO CONTACT UTILITY COMPANIES FOR TAPPING AND FINAL CONNECTION RESPONSIBILITIES.

### SAWCUT NOTE

WHERE NEW UTILITY SERVICES ARE ROUTED UNDER EXISTING PAVED AREAS, ALL EXISTING PAVING SHALL BE REMOVED IN THE FOLLOWING STEPS:  
1) SAWCUTTING PAVING, CONCRETE CURB & GUTTER.  
2) REMOVAL & TRENCHING.  
3) INSTALLATION OF UTILITY.  
4) BACKFILL & COMPACTION.  
5) INSTALLATION OF NEW PAVING, CONCRETE CURB & GUTTER THAT MATCHES THE EXISTING SURROUNDING PAVING, CURB & GUTTER IN BOTH MATERIAL & ELEVATION.  
CONTRACTOR SHALL COORDINATE, OBTAIN & PAY FOR ALL REQUIRED PERMITS & LICENSES TO PERFORM THIS WORK & SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHILE PERFORMING SAWCUTTING OPERATIONS AS NECESSARY.

### TELEPHONE SERVICE REQUIREMENTS

SPECIAL NOTE: NEW PHONE SERVICE TO BUILDING SHALL BE AN UNDERGROUND SERVICE. CONTRACTORS TO SCHEDULE INSTALLATION OF U/G TELEPHONE SERVICE CONDUIT WITH OWNER. CONTACT (417) 874-7288.

CONTRACTOR SHALL CONTACT PHONE COMPANY AND VERIFY REQUIRED SIZE OF CONDUIT (2", 3" OR 4") PVC SCHEDULE 40 CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEL BENDS @ 18"-24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE FULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM U/G ELECTRIC CONDUIT IN SAME TRENCH.

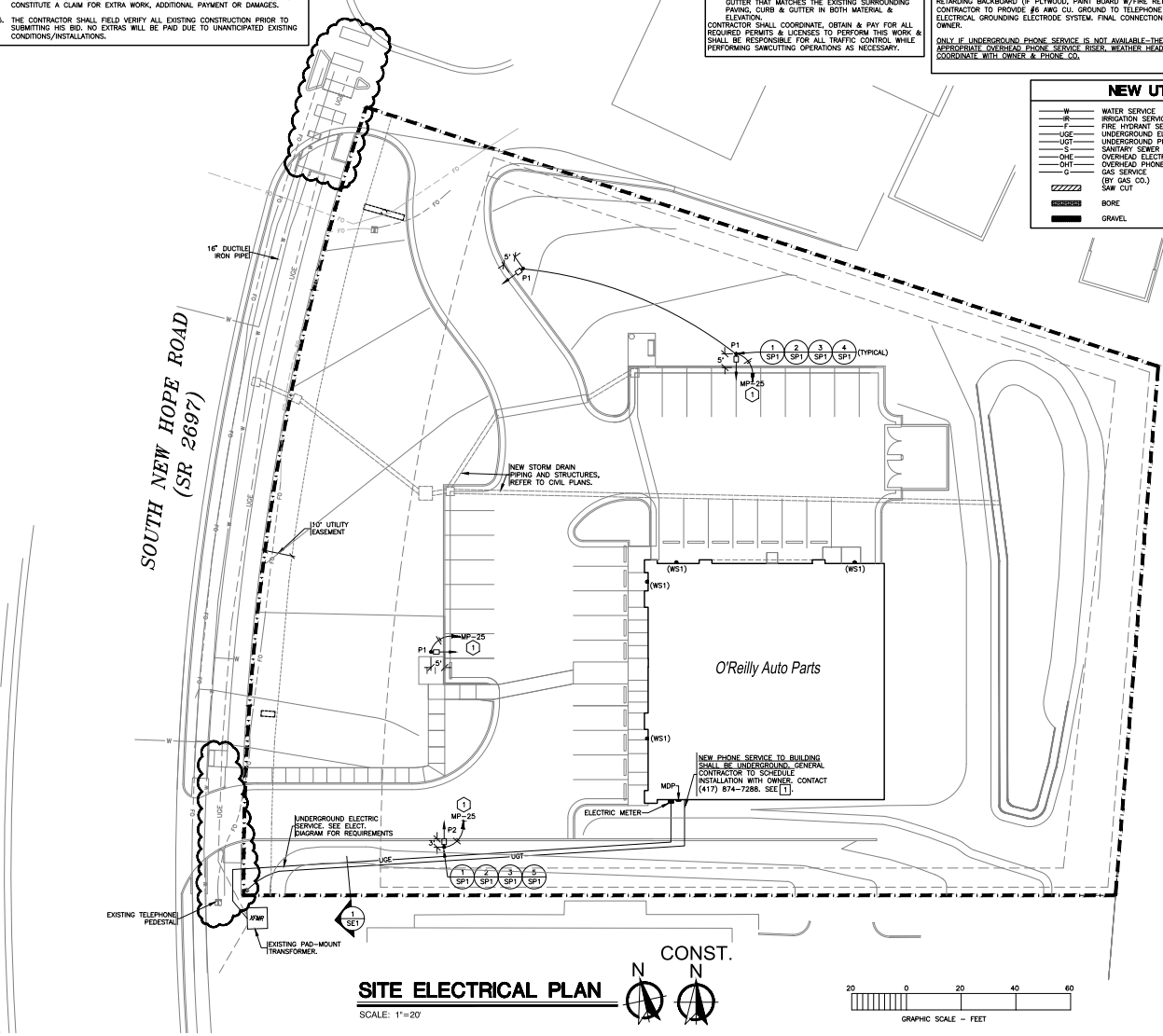
CAP END OF CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY. IF NECESSARY, OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT A MINIMUM 10' (H) ABOVE FINISHED GRADE ATTACHED TO POLE.  
CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF NO LESS THAN 10' EMB. CABLE IN MENTIONED CONDUIT, TO CONTRACTOR INSTALLED 4" X 6" X 3/4" FIRE RETARDING BACKBOARD (IF PLYWOOD, PAINT BOARD W/FIRE RETARDING PAINT) WITHIN BUILDING. CONTRACTOR TO PROVIDE #6 AWG CU. GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE-THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER, WEATHER HEAD, ETC. COORDINATE WITH OWNER & PHONE CO.

### NEW UTILITIES

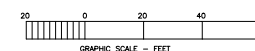
- W WATER SERVICE
- I IRRIGATION SERVICE
- F FIRE HYDRANT SERVICE
- UE UNDERGROUND ELECTRIC
- UGT UNDERGROUND GAS
- UHT UNDERGROUND HEATING
- OHE OVERHEAD ELECTRIC
- OHP OVERHEAD PHONE
- G GAS SERVICE (BY GAS CO.)
- SAW CUT
- BORE
- GRAVEL

P.O.C. = POINT OF CONNECTION BETWEEN SITE PIPING (SPEC 02700) AND BUILDING PIPING (SPEC 21 13 13, 22 00 00), AS NECESSARY - SPEC 21 13 13 DENOTES LANDSCAPE IRRIGATION).



### SITE ELECTRICAL PLAN

SCALE: 1"=20'



STOP-CALL BEFORE YOU DIG!

**811**

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for this project are based on information provided by the applicant and are not intended to be used for construction or other purposes. The applicant is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The applicant is also responsible for obtaining all necessary permits and approvals from the appropriate authorities. The applicant is also responsible for obtaining all necessary permits and approvals from the appropriate authorities.

CASE #: ASR-0037-2023



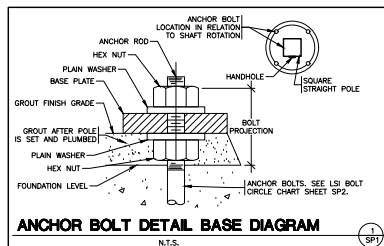
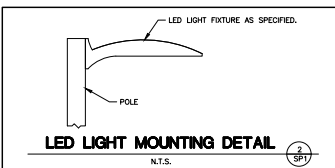
**Craig A. Schneider, AIA**  
ARCHITECT  
17208 East Sandhills, Suite 417  
Springfield, Missouri 65804  
Tel: 417.869.8555  
Fax: 417.862.7285  
e-mail: architect@esheriffschneider.com

**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
811 SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
**SITE ELECTRICAL PLAN**

**O'Reilly AUTO PARTS**  
PLANT OFFICE  
238 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

CONM # 4775  
DATE: 1-12-24  
REVISION  
DATE: 11-7-24

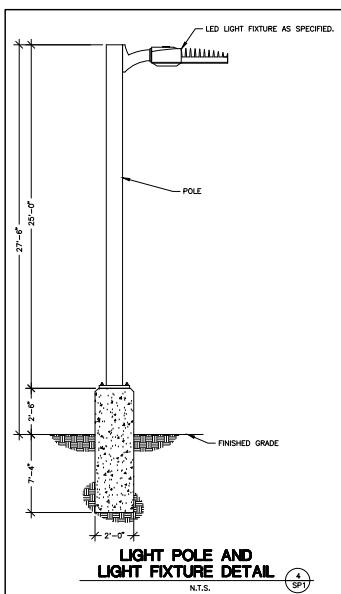
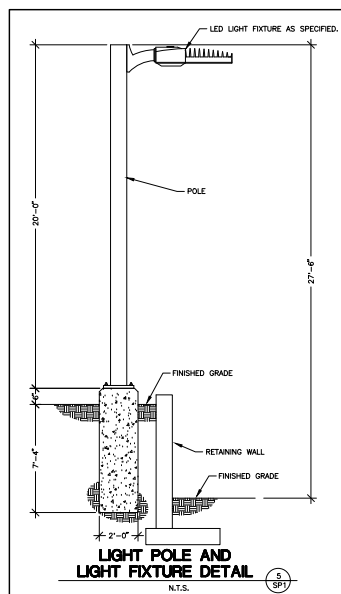
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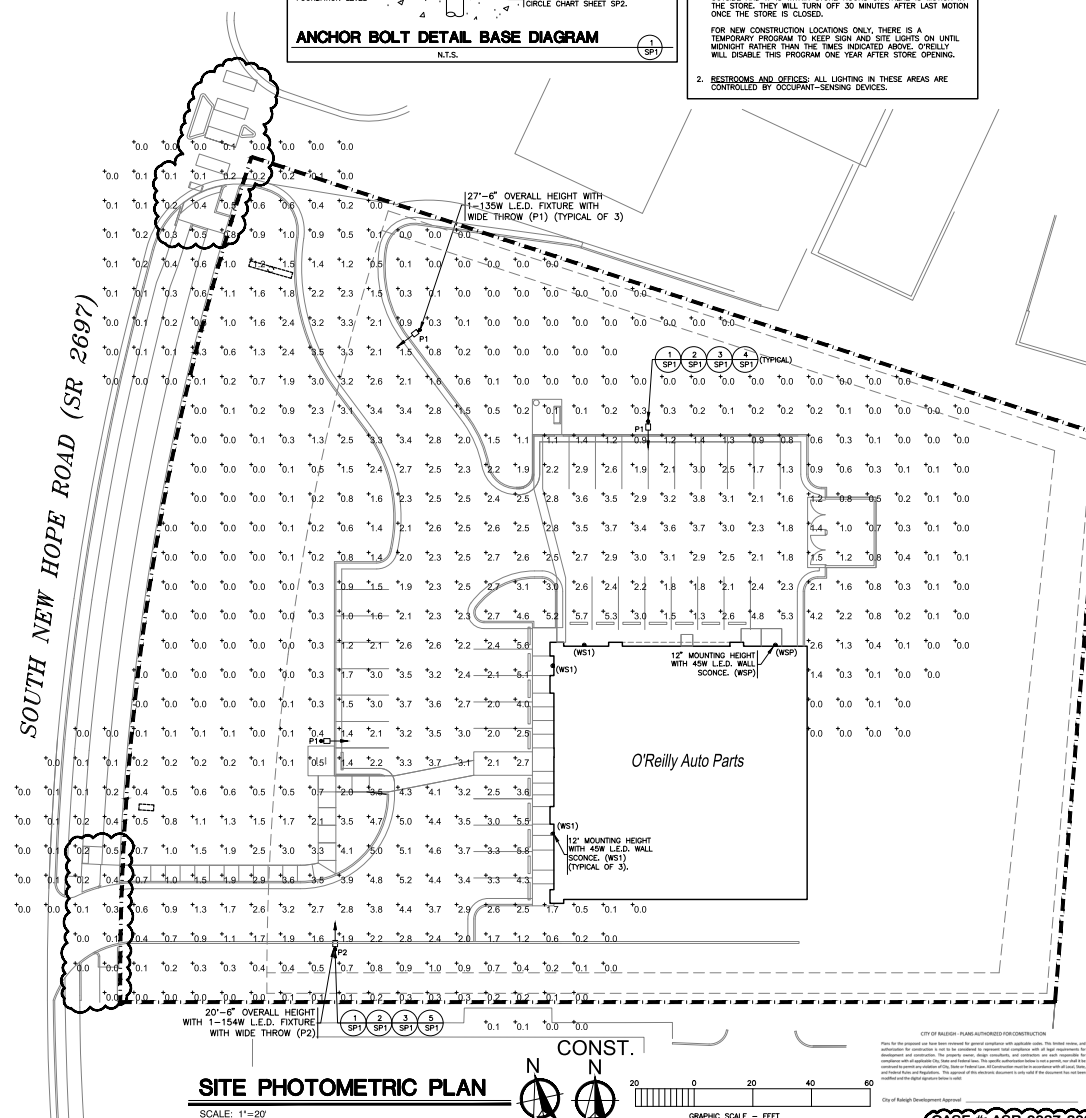
## AUTOMATIC LIGHTING CONTROL

**COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:**

1. ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC; SEE EEM SHEETS.  
  
INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION IN THE STORE IS CLOSED.  
  
INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.  
  
EXTERIOR SIGN LIGHTS WILL TURN ON WHEN ITS DARK ENOUGH AND WILL AUTOMATICALLY DURING STORE HOURS, AND WILL TURN OFF A STORE CLOSING.  
  
EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH AND WILL AUTOMATICALLY DURING STORE HOURS, AND WILL TURN OFF THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION IN THE STORE IS CLOSED.  
  
THE CONSTRUCTION LOGIC, HOWEVER, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. ORNELL WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.
2. **BESTROOMS AND OFFICES:** ALL LIGHTING IN THESE AREAS ARE



EXTERIOR LIGHT FIXTURE SCHEDULE											
ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER. (O'REILLY) ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED EXTERIOR EQUIPMENT DISTRIBUTOR.					SOURCECONE SOLUTIONS 2081 EXCHANGE DRIVE ST. CHARLES, MO 63303 EMAIL: <a href="mailto:ncorral@sourceconesolutions.com">ncorral@sourceconesolutions.com</a> PHONE: 314-499-4400						
MARK	MFR.	CATALOG NUMBER	SUPPLY VOLTAGE	FINISH	MOUNTING		LAMPS			WATTAGE	NOTES
					SURFACE	WALL	RECUR.	CEILING	FLUORESCENT		
LED EXTERIOR LIGHTS											
WS1	LSI	XWM-FT-LED-06L-50-UE-BRZ	120	DARK BRONZE	X				X	45	FULL CUT-OFF, BUG RATING B1-UO-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS.
		NO SUBSTITUTIONS									
WSP	LSI	XWM-FT-LED-06L-50-UE-BRZ-PC120	120	DARK BRONZE	X				X	45	FULL CUT-OFF, BUG RATING B1-UO-G1. ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS
		NO SUBSTITUTIONS									
LED POLE LIGHTS											
P1	LSI	MM-LED-18L-SL-3-UW-DM-50-70CR-BRZ-L	120	DARK BRONZE		X	X			135	25' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL COVER HOUSE SIDE SHIELD, BUG RATING B2-UO-G3
	LSI	SS06B-5070-25-S-BRZ-LAB-58C									
P2	LSI	MM-LED-18L-SL-3-UW-DM-50-70CR-BRZ-L	120	DARK BRONZE		X	X			135	20' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL COVER HOUSE SIDE SHIELD, BUG RATING B2-UO-G3
	LSI	SS06B-5070-25-S-BRZ-LAB-58C									
TOTAL QUANTITY: 14 TOTAL COST: \$1,440.00 TOTAL GROSS WEIGHT: 14.00 LBS											



**PRELIMINARY  
NOT FOR  
CONSTRUCTION  
OR PERMIT**

**ESTERLYSCHEIDER, AIA**  
**ARCHITECT**

417.862.0558  
Fax: 417.862.3265  
e-mail: [architect@esterlyscheider.com](mailto:architect@esterlyscheider.com)

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
811 SOUTH NEW HOPE ROAD  
RALEIGH, NC #4

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802

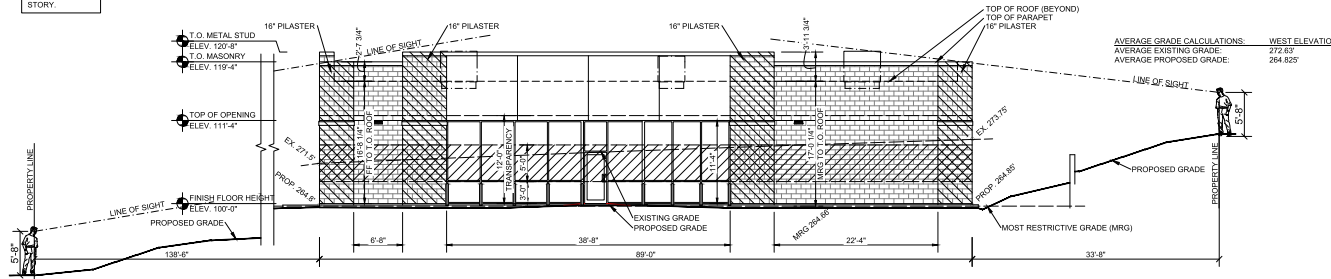
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DATE:	1-12-24
REVISION	
DATE:	11-7-24

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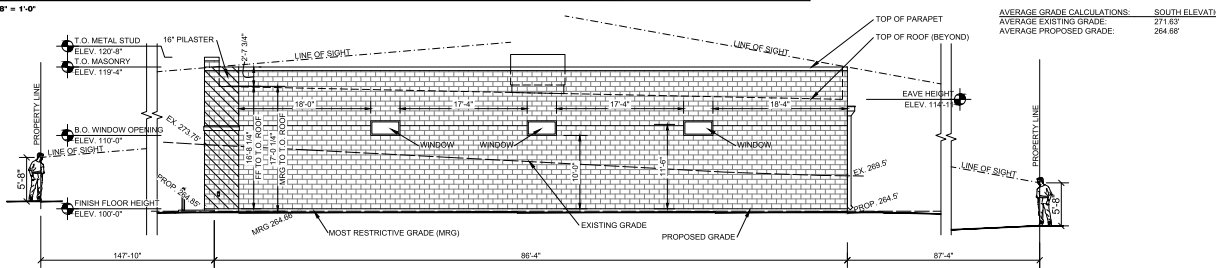


NOTE: NO UPPER STORY.



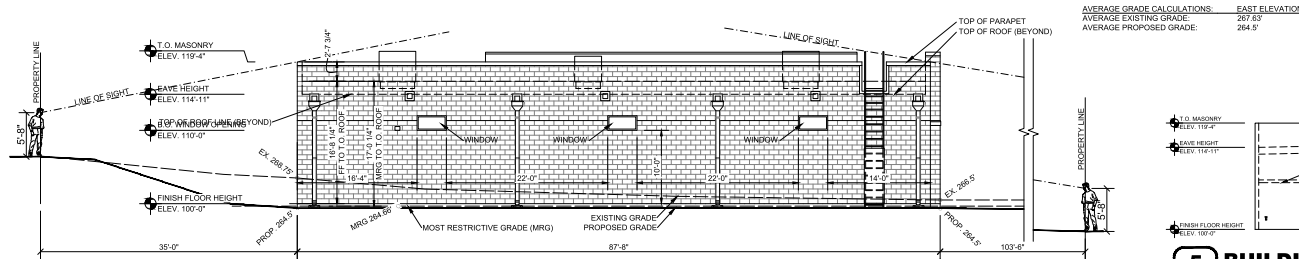
## 1 WEST EXTERIOR ELEVATION

LS1 SCALE: 1/8" = 1'-0"



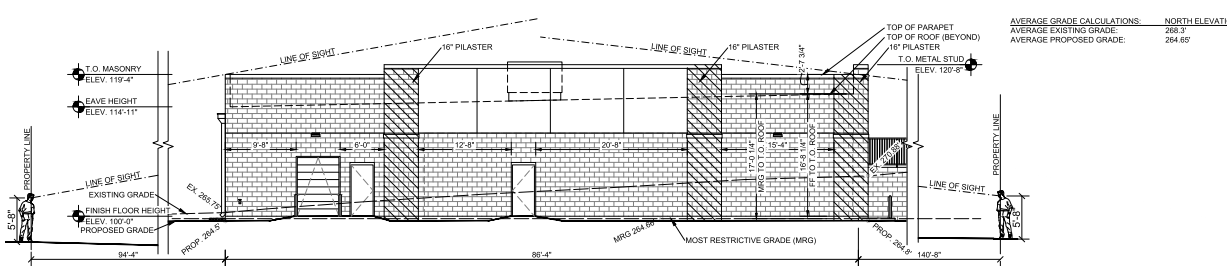
## 2 SOUTH EXTERIOR ELEVATION

LS1 SCALE: 1/8" = 1'-0"



## 3 EAST EXTERIOR ELEVATION

LS1 SCALE: 1/8" = 1'-0"



## 4 NORTH EXTERIOR ELEVATION

LS1 SCALE: 1/8" = 1'-0"

0' 2' 4' 6' 8' 10'  
1/8" = 1'-0"

### CITY OF RALEIGH UDO COMPLIANCE STATEMENT

SEC. 15.9. TRANSPARENCY AND SEC. 3.2.6. F.T. GENERAL BUILDING.  
33% TRANSPARENCY BETWEEN 1'-12' FT. REQUIRED.  
GREATER THAN 50% OF REQUIRED TRANSPARENCY BETWEEN 3'-8' FT.

"FACES SOUTH NEW HOPE RD."  
TOTAL BUILDING WIDTH: 89'-0"  
GROUND STORY HEIGHT: 17'-11" TO WALL PLATE  
FACADE AREA TOTAL: 1,816 S.F.

FACADE AREA (17'-11" B.R.): 1,088 S.F.  
GLASS REQUIREMENT (17'-11" B.R.): 352.44 S.F. (33% OF 1,088 S.F.)  
TOTAL GLASS AREA PROVIDED: 438.2 S.F. (41% OF FACADE)  
GLASS REQUIRED (17'-11" B.R.): 176.22 S.F. (50% OF 352.44 S.F.)  
GLASS AREA PROVIDED (17'-11" B.R.): 153.33 S.F. (84.80% OF 352.44 S.F.)

SEC. 3.2.5. F2: 20% TRANSPARENCY FOR UPPER STORY: N/A - NO UPPER STORY PROVIDED.

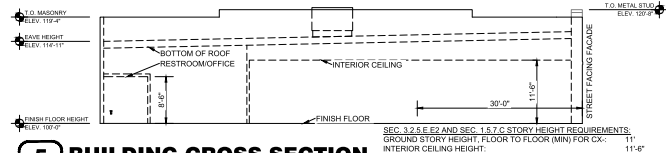
SEC. 15.9.B.4: GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFERENCE OF LESS THAN 15% GLASS ON UPPER STORES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

SEC. 15.10: BLANK WALL AREA CALCULATIONS  
NO MORE THAN 30' VERTICALLY AND HORIZONTALLY WITHOUT A SUBSTANTIAL MATERIAL CHANGE, WINDOW OR DOOR, COLUMN, PILASTER OR OTHER ARTICULATION GREATER THAN 12" IN DEPTH.  
16" PILASTER PROJECTIONS PROVIDED - INDICATED BY NOTATION AND HATCH. WINDOWS PROVIDED ALONG EAST AND SOUTH FACADE.  
FEATURES REQUIRED TO ELIMINATE BLANK WALL AREA HAVE BEEN NOTED AND DIMENSIONED.

AVERAGE GRADE TABLE	
	EXISTING
WEST	272.63
SOUTH	271.67
EAST	267.63
NORTH	268.3
AVERAGE GRADE:	270.07
"MOST RESTRICTIVE GRADE (MRG)"	264.66 "PROPOSED"

SIGNAGE HAS BEEN OMITTED FROM THIS PLAN. SIGNAGE SHALL BE REVIEWED AND PERMITTED SEPARATELY.

AVERAGE GRADE CALCULATIONS: EAST ELEVATION  
AVERAGE EXISTING GRADE: 267.63  
AVERAGE PROPOSED GRADE: 264.5'



## 5 BUILDING CROSS SECTION

LS1 SCALE: NOT TO SCALE

SEC. 3.2.5.E.2 AND SEC. 15.7.C STORY HEIGHT REQUIREMENTS:  
GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN) FOR CX: 11'  
INTERIOR CEILING HEIGHT: 11'-4"  
90% OF THE GROUND STORY MEETS THE MINIMUM GROUND STORY HEIGHT.



CRAIG A. SCHNEIDER, AIA  
ARCHITECT

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SPRINGFIELD, MISSOURI 65804  
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FAX: 417.862.2365  
e-mail: architect@estheticschneider.com

PROJECT: NEW O'REILLY AUTO PARTS STORE  
SOUTH NEW HOPE ROAD  
RALEIGH, NC #4  
LINE OF SIGHT EXHIBIT

O'Reilly AUTO PARTS  
CORPORATE OFFICES  
235 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2074 TELEPHONE

COMM # 4275  
DATE: 1-12-24  
REVISION  
DATE: 11-7-24

CASE FILE: ASR-0037-2024

LS1