Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: Planner (print): Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.) Tier Three Site Plan Site Plan Tier: Tier Two Site Plan **Building and Development Type Site Transaction History** (Check all that apply) Detached ✔ General Subdivision case #: Scoping/sketch plan case #: SCOPE -0121-2022 Attached Mixed use Certificate of Appropriateness #: Townhouse Civic Board of Adjustment #: _____ Apartment Cottage Court Zoning Case #: Z-31-21 Tiny house Frequent Transit Design Alternate #: **Development Option** Open lot **GENERAL INFORMATION** Development name: Glenwood Place III - Phases 1, 2 and 3 Yes 🔽 No 🛚 Inside City limits? Property address(es): 3725 National Dr., 3724 National Dr., 3739 National Dr., 3733 National Dr. 13639 Alamance Dr. Site P.I.N.(s): 0795887960, 0795982855, 0795993108, 0795990214, 0795995448 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). Redevelopment of a 1960's suburban office park for a mix of multifamily, office and retail uses. Current Property Owner(s): National Drive Holdings, LLC Company: National Drive Holdings, LLC Title: Gabe Finke, Manager of Accentris-226,LLC Address: 1225 17th Street, Ste1100, Denver, CO80202 Managing Member National Drive Holdings, LLC Email: gabe.finke@ascentris.com Phone #: 303 317-6464 Applicant Name (If different from owner. See "who can apply" in instructions): Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Page 1 of 3 REVISION 1.23.23

Company: Grubb Ventures

Address: 3700 Glenwood Ave, Suite 430, Raleigh, NC 27612

Phone #: 919 786-9905	Email: asmithson@grubbventures					
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.						
Developer Contact: Anthony Smithson						
Company: Grubb Ventures Title: Managing Director of Construction						
Address: 3700 Glenwood Ave., Suite 430, Raleigh, NC 27612						
Phone #: 919 786-9905	hone #: 919 786-9905 Email: asmithson@grubbventures.com					
Applicant Name: Gordon Grubb						
Company: Grubb Ventures	Address: 3700 Glenwood Ave, Suite 430, Raleigh, NC, 27615					
Phone #: 919 786-9905	Email: ggrubb@grubbventures.com					

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)					
SITE DATA	BUILDING DATA				
Zoning district(s) (please provide the acreage of each): CX-12CU (5.41ac), CX-5 (3.2ac)	Existing gross floor area (not to be demolished): All existing buildings to be demolished in phases				
Gross site acreage: OX-5 (3.7ac), R4 (1.36ac) 13.67 ac	Existing gross floor area to be demolished: 156,688				
# of parking spaces proposed: 1244	New gross floor area: approx 770,800 sf				
Max # parking permitted (7.1.2.C): 2101	Total sf gross (to remain and new): approx 770,800 sf				
Overlay District (if applicable): SHOD1, SHOD2	Proposed # of buildings: 4				
Existing use (UDO 6.1.4): two story office	Proposed # of stories for each: 5 stories and 10 stories				
Proposed use (UDO 6.1.4): office, multifamily, retail	Proposed # of basement levels (UDO 1.5.7.A.6) 1 per bldg				

STORMWATER	INFORMATION
Imperious Area on Parcel(s): Existing (sf) 7.63 ac Proposed total (sf) 8.13 ac	Impervious Area for Compliance (includes ROW):
Existing (st) 1.00 do Proposed total (st) 0.10 do	Existing (sf) 7.63 ac Proposed total (sf) 8.13 ac

RESIDENTIAL & OVERNIGHT	LODGING DEVELOPMENTS
Total # of dwelling units: 446	Total # of hotel bedrooms: 0
# of bedroom units: 1br <u>263</u> 2br <u>153</u> 3br <u>30</u>	4br or more <u>0</u>
# of lots: 5 existing, 4 proposed	Is your project a cottage court? Yes • No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Date: 5/30/2023

Printed Name: Gabe Finke, Manager of Ascentris-226,LLC as

Managing Member of National Drive Holdings, LLC

GLENWOOD PLACE III PHASES 1 - 3

RALEIGH, NC

ASR-###-2023

Email: asmithson@grubbventures

Email: ggrubb@grubbventures.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

Proposed use (UDO 6.1.4): office, multifamily, retail Proposed # of basement levels (UDO 1.5.7.A.6) 1 per bldg

APPLICANT SIGNATURE BLOCK Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is

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The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive development regulations in effect at the time permit processing is resumed shall apply to the new application.

Zoning district(s) (please provide the acreage of each): | Existing gross floor area (not to be demolished):

Title: Managing Director of Construction

Address: 3700 Glenwood Ave, Suite 430, Raleigh, NC, 27615

New gross floor area: approx 770,800 sf

Impervious Area for Compliance

Total # of hotel bedrooms: (4br or more 0

ls your project a cottage court?

Proposed # of stories for each: 5 stories and 10 stories

Existing (sf) 7.63 ac Proposed total (sf) 8.13 ac

A frequent transit development? Yes No

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Address: 3700 Glenwood Ave., Suite 430, Raleigh, NC 27612

Phone #: 919 786-9905

Phone #: 919 786-9905 Applicant Name: Gordon Grubb

Phone #: 919 786-9905

CX-12CU (5.41ac), CX-5 (3.2ac)

of parking spaces proposed: 1244

Imperious Area on Parcel(s):

Gross site acreage: OX-5 (3.7ac), R4 (1.36ac)

Overlay District (if applicable): SHOD1, SHOD2 Existing use (UDO 6.1.4): two story office

Existing (sf) 7.63 ac Proposed total (sf) 8.13 ac

of bedroom units: 1br 263 2br 153

of lots: 5 existing, 4 proposed

ADMINISTRATIVE SITE REVIEW PLAN DRAWINGS FOR A MIXED USE DEVELOPMENT

PROJECT	T STATISTIC	CS									
PROPERTY OWNER NATIONAL DI						ST SUITE 1100	PARKING CALCULATIONS (UDO SECTION 7.1.2) LOT 7 - BUILDINGS C & D		X-Days		
					DENVER, C	0 80202-5599	OFFICE - GROSS FLOOR AREA MAXIMUM	1 PFR 200SF G	ROSS EL OOR AREA		248,010 SF 1240
DEVELOPER/APP			GRUBB VENTURES		MAXIMUM 1 PER 200SF GROSS FLOOR AREA RETAIL - GROSS FLOOR AREA			5,000 SF			
				00 GLENWOOD AVENU		MAXIMUM 1 PER 200SF GROSS FLO		ROSS FLOOR AREA		25	
					RALEIGH, N	C 27612-5538	MULTI-UNIT LIVING STUDIO	1.5 PER UNIT		20	118 UN 30
EXISTING USE						OFFICE	1 BEDROOM	1.5 PER UNIT		20 51	77
PROPOSED USE						MIXED USE	2 BEDROOM	2.25 PER UNIT		40	90
ΓΟΤΑL NUMBER (RIVER BASIN	OF RESIDENTIAL UNITS	S PROPOSED				446 NEUSE	3 BEDROOM	3 PER UNIT		7	21
FEMA FLOOD PANEL THIS SITE DOES NOT CONTAIN FEMA DESIGNATED FLOOD ZONES 9500K						MAXIMUM ALLOWABLE MAXIMUM ALLOWABLE PARK	ING SPACES			218 1,483	
AREA CALCU							TOTAL PROVIDED PARKING S				639
	ROJECT BASED ON SUR			de la		13.03 AC	HANDICAP PARKING SPACES	PROVIDED (INCLUDED	IN THE TOTAL PRO	OVIDED)	28 (6 VAN)
AREA IN NATIONA GROSS SITE AREA	AL DRIVE PUBLIC R/W	TO BE RECO	MBINED	INTO LOTS		0.64 AC 13.67 AC	LOT 9 - BUILDING F				
	G LOT 7 TO BE RECOM	BINED INTO	LOT 5			(0.89) AC	RETAIL - GROSS FLOOR AREA				1,400 SF
NET SITE AREA						12.78 AC	MAXIMUM	1 PER 200SF GI	ROSS FLOOR AREA		7
NEW LOT 7 AR						4.84 AC	MULTI-UNIT LIVING STUDIO	1.5 PER UNIT		46	227 UN 69
NEW LOT 9 AR NEW LOT 10 A						4.15 AC 2.43 AC	1 BEDROOM	1.5 PER UNIT		86	129
NEW SCM LOT						1.36 AC	2 BEDROOM	2.25 PER UNIT		82	185
							3 BEDROOM	3 PER UNIT		13	39
	TY AREA REQUIRED (I			10.00%		1.13 AC	MAXIMUM ALLOWABLE MAXIMUM ALLOWABLE PARK	ING SPACES			422 429
	R AMENITY AREA REQU R AMENITY AREA REQU			10.00% 10.00%		0.48 AC 0.42 AC	TOTAL PROVIDED PARKING S		DECK, 5 SURFACE)	391
	OR AMENITY AREA REQ			10.00%		0.24 AC	HANDICAP PARKING SPACES	PROVIDED (INCLUDED	IN THE TOTAL PRO	OVIDED)	21 (3 VAN)
SCM LOT OUTDO	OOR AMENITY AREA RE	EQUIRED				N/A	LOT 10 - BUILDING E				
OUTDOOR AMENI	TY AREA PROVIDED (0	OVEDALLO		10.77%		1.23 AC	MULTI-UNIT LIVING				101 UN
	R AMENITY AREA PROV			10.33%		0.50 AC	STUDIO	1.5 PER UNIT		14	21
	R AMENITY AREA PROV			11.57%		0.48 AC	1 BEDROOM 2 BEDROOM	1.5 PER UNIT 2.25 PER UNIT		46 31	69 70
	OR AMENITY AREA PRO			10.29%		0.25 AC	3 BEDROOM	3 PER UNIT		10	30
	OOR AMENITY AREA PR NDSCAPE SHEETS FOR		FAS			N/A	MAXIMUM ALLOWABLE				190
KEI EK TO EM	ADDUM E SHEETS FOR	ALIGHT I	LINO				MAXIMUM ALLOWABLE PARK				190
BUILDING DA	TA						TOTAL PROVIDED PARKING S HANDICAP PARKING SPACES		IN THE TOTAL PRO	OVIDED)	214 21 (3 VAN)
TOTAL GROSS FLO	OOR AREA					750,149 SF	THINDICAL TANKING STAGES	T NOVIDED (INCLUDED	THE TOTALT IN	ovible)	21 (5 77117)
BUILDING C BUILDING D						252,970 SF 148,970 SF	TOTAL MAXIMUM ALLOWABLE TOTAL PROVIDED PARKING SP				2,101 1,244
BUILDING E						130,760 SF	TOTAL PROVIDED PARKING SP	ACES			1,244
BUILDING F						217,449 SF	BICYCLE PARKING CALC	ULATIONS (UDO S	ECTION 7.1.2)		
	WARE BUILDING HE	CUE DOD OV	E 000 0	COMION O O 4		OO PM	LOT 7 - BUILDINGS C & D	and the state of	Market St.		
	WABLE BUILDING HEI WABLE BUILDING HEI					80 FT N/A	OFFICE SHORT TERM (RESIDENTIAL	IICE)	1 PER 10000 SF	i	25
	DING C (CX-12-CU)	difficitor	12 00 01	3011011 3.3.1		166' 2"	LONG TERM (RESIDENTIAL U		1 PER 5000 SF		50
	DING D (CX-12-CU)					110' 8"	RETAIL				4
	DING E (CX-5-CU/OX-5			F2! 0 1 /2	" (Madula A) (F) 1 1	71' 0"	SHORT TERM (RESIDENTIAL	USE)	1 PER 10000 SF	ī.	1
HEIGHT OF BUIL	LDING F (CX-5-CU/OX-5))		52 9-1/2	" (Module A), 65' 1-1/	4 (Module C)	MULTI-UNIT LIVING SHORT TERM (RESIDENTIAL	USE)	1 PER 20 UNIT	S	118 UN 6
BUILDING SE	TBACK REQUIRE	MENTS					LONG TERM (RESIDENTIAL U		1 PER 7 BEDRO		25
BUILDING SETBA				PARKING SETBAC	CKS		REQUIRED PARKING		بنيارة واستخارها		107
FROM PRIMARY S		5'		FROM PRIMARY S		10'	PROVIDED PARKING (54 U-MO	UNTED RACKS WITH	IN PARKING DECK.	2 BIKES/RACK)	108
FROM SIDE STREI FROM SIDE LOT L		0' OR 6'		FROM SIDE STREIF		10' 0' OR 3'	LOT 9 - BUILDING F				
FROM REAR LOT		0' OR 6'		FROM REAR LOT		0' OR 3'	RETAIL		1 PER 5000 SF		1
FROM ALLEY		5'		FROM ALLEY		5'	MULTI-UNIT LIVING SHORT TERM (RESIDENTIAL	HCE)	1 PER 20 UNIT	c	227 UN 11
# . P. F . F P.	nnmine.					62 FACE 1 7 F	LONG TERM (RESIDENTIAL U		1 PER 7 BEDRO		48
TABLE OF PROP		DEED	DEED		11111 11111111	TABLE C1.1	REQUIRED PARKING				60
PIN	OWNER	воок	PAGE	SURVEY ACRES	SITE ADDRESS	ZONING	PROVIDED PARKING (30 U-MO	UNTED RACKS WITHI	N PARKING DECK.	2 BIKES/RACK)	60
0795-88-7960	NATIONAL DRIVE HOLDINGS, LLC	18836	2089	2.38	3725 NATIONAL DR (LOT 7)	CX-12-CU	LOT 10 - BUILDING E				
0795-98-2855	NATIONAL DRIVE	18836	2083	3.37	3724 NATIONAL DR	CX-5-CU/OX-5	MULTI-UNIT LIVING	ans			101 UN
07 23-20-2033	HOLDINGS, LLC NATIONAL DRIVE	10030	2003	3.37	(LOT9)	1 - 4 - 5 - 7 - 2 - 2	SHORT TERM (RESIDENTIAL LONG TERM (RESIDENTIAL L	70.70. 7	1 PER 20 UNIT: 1 PER 7 BEDRO		5 22
0795-99-3108	HOLDINGS, LLC	18836	2083	3.30	3739 NATIONAL DR (LOT 10)	CX-5-CU/OX-5/ SHOD-2	REQUIRED PARKING	,00	I I EK / DEDKC	- Sino	27
0795-99-0214	NATIONAL DRIVE	18836	2089	2.62	3733 NATIONAL DR	CX-12-CU/OX-5	PROVIDED PARKING (14 U-MO	UNTED RACKS WITHI	IN PARKING DECK.	2 BIKES/RACK)	28
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	HOLDINGS, LLC NATIONAL DRIVE	1 1 2 2 2 2 3 3	1 200		(LOT 11) 3639 ALAMANCE DR	E-12- C2/ 34- C	IMPERIMONA CALCUMIT	IONG			
0795-99-5448	HOLDINGS, LLC	18836	2089	1.36	(SCM LOT)	R-4/SHOD-1	IMPERVIOUS CALCULAT	IUNS	PVIONING	DDODOCES	DIEDEDDRAGO
TOTALS				13.03		F	LOT NEW LOT 7 IMPERVIOUS		EXISTING 3.42 AC	PROPOSED 3.39 AC	DIFFERENCE (0.03) AC
							NEW LOT 9 IMPERVIOUS		2.55 AC	3.20 AC	0.65 AC

			I-440 BELTLINE	
_	SITE			
SF 40 SF 25	ı			
!5 N 80				
80 77 90 21 18	NORTH NORTH		ALLAMANICE DR.	
3 9	· ·	R. OD PL.	EDR	
N)		NATIONAL DR. EXCHANGE GLENWOOD PL.		
7 N		NATIO VGE GL		
N 59 29 35 39 22 9		GLEN CXCHAN		
39		GLENWOOD AVE.		
9 1 1) AVE.		

VICINITY MAP

SHEET LIST

SHEET #

G1.01	GENERAL NOTES AND LEGEND
C1.00	EXISTING CONDITIONS PLAN
C1.01	EXISTING CONDITIONS DEMOLITION PLAN
C2.00	OVERALL PHASING, ADDRESSING AND MASTER PLAN
C2.01	PHASING AND SEQUENCING PLAN
C2.02	EXISTING LOT RECOMBINATION EXHIBIT
C2.10	OVERALL SITE LAYOUT AND TRANSPORTATION PLAN
C2.11	PRELIMINARY PHASE I SITE LAYOUT PLAN
C2.12	PRELIMINARY PHASE II SITE LAYOUT PLAN
C2.13	PRELIMINARY PHASE III SITE LAYOUT PLAN
C2.20	EXISTING NATIONAL DR AND EXCHANGE GLENWOOD PL PLAN
C3.00	PRELIMINARY OVERALL SITE UTILITY PLAN
C3.01	PRELIMINARY PHASE I UTILITY PLAN
C3.02	PRELIMINARY PHASE II UTILITY PLAN
C3.03	PRELIMINARY PHASE III UTILITY PLAN
C3.10	FIRE ACCESS PLAN
C3.11	PRELIMINARY FIRE FLOW PLAN
C4.00	PRELIMINARY OVERALL SITE GRADING AND DRAINAGE PLAN
C5.20	PRE-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C5.21	POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C5.02	IMPERVIOUS EXHIBIT
C9.00	CITY OF RALEIGH STANDARD DETAILS
C9.01	CITY OF RALEIGH STANDARD DETAILS
C9.02	CITY OF RALEIGH STANDARD DETAILS
C9.03	CITY OF RALEIGH STANDARD DETAILS
C9.04	STANDARD DETAILS
TC1.00	PRELIMINARY TREE CONSERVATION PLAN
TC1.01	TREE CONSERVATION AREAS MEETS AND BOUNDS
LS1.01	PAVEMENT AND BOLLARD PLAN
LS2.01	CODE COMPLIANT LANDSCAPE PLAN
LS3.01	PARK SPACE PLAN
LS4.01	STANDARD TREE PLANTING DETAILS AND NOTES
LS4.02	TECHNICAL SPECIFICATIONS SEEDING AND SODDING
LT1.01	DUKE ENERGY PROGRESS PRELIMINARY LIGHTING PLAN
LT1.01	DUKE ENERGY PROGRESS PRELIMINARY LIGHTING PLAN
A1.00	BUILDINGS C, D, & E - BASEMENT FLOOR PLAN
A1.01	BUILDINGS C, D, & E - FIRST FLOOR PLAN
A1.02	BUILDINGS C, D, & E - MID-LEVEL FLOOR PLAN 1
A1.03	BUILDINGS C, D, & E - MID-LEVEL FLOOR PLAN 2
A1.04	BUILDINGS C, D, & E - UPPER LEVEL TYPICAL FLOOR PLAN
A2.01	BUILDING C - EAST ELEVATION (PRIMARY)
A2.02	BUILDING C - SOUTH & WEST ELEVATIONS
A2.03	BUILDING D - NORTH & EAST (PRIMARY) ELEVATIONS
A2.04	BUILDING D - WEST ELEVATION
A2.05	BUILDING E - WEST & EAST (PRIMARY) ELEVATIONS
A2.06	BUILDING E - SOUTH & NORTH ELEVATIONS
A2.10	BUILDING C, D, & E - CROSS SECTIONS
A3.01	BUILDING F - BUILDING HEIGHT AVERAGE GRADE
A3.02	BUILDING F - BUILDING HEIGHT
A3.03	BUILDING F - NEIGHBORHOOD TRANSITION
A3.04	BUILDING F - TRANSPARENCY DIAGRAMS
A3.05	BUILDING F - OVERALL FLOOR PLAN - LEVEL 1
A3.06	BUILDING F - OVERALL FLOOR PLAN - LEVEL 2
A3.07	BUILDING F - OVERALL FLOOR PLAN - LEVEL 3
A3.08	BUILDING F - OVERALL FLOOR PLAN - LEVEL 4
A3.09	BUILDING F - OVERALL FLOOR PLAN - LEVEL 5
A3.10	BUILDING F - OVERALL FLOOR PLAN - LEVEL 6
A3.11	BUILDING F - OVERALL FLOOR PLAN - LEVEL 7
A3.12	BUILDING F - OVERALL FLOOR PLAN - LEVEL 8
A3.13	BUILDING F - OVERALL ROOF PLAN
R1.01	FOR REFERENCE ONLY - APPROVED C24 SWMP

		Territoria Excitatigo File	aza, Suite 400 Raleigh, NC 27601 919-996-2500	Raleig
			ced in Unified Development Ordinance (UI clude the plan checklist document when su	
Office Use Only	: Case #:		Planner (print):	
Please review UD a Site Plan Tier Ve fee for this verifica	erification request can	etermine the site p be submitted onlir	lan tier. If assistance determining a Site P ne via the <u>Permit and Development Portal</u> .	lan Tier is need (Note: There is
Site Plan Tier:	Tier Two Site Plan	Tier Thre	ee Site Plan 🗸	
Bull	ding and Developme (Check all that apply		Site Transaction History	ory
Detached	✓ Genera	ıl	Subdivision case #:	
Attached	✓ Mixed	use	Scoping/sketch plan case #: SCOPE	
Townhouse			Certificate of Appropriateness #:	
✓ Apartment	Cottage	e Court	Board of Adjustment #:	
Tiny house	===	nt Transit	Zoning Case #: Z-31-21	
Open lot		pment Option	Design Alternate #:	
		digital di Military II di gapanya da Aprilandi di kacamata	INFORMATION	
Development nar	me: Glenwood Place	e III - Phases 1,	2 and 3	
Inside City limits?	Yes 🗸 No 🗌]		
Property address	(es): 3725 National	Dr, 3724 Nation	nal Dr, 3739 National Dr., 3733 Nation	nal Dr.
3639 Alamano			1-0840	- III-Masin
Site P.I.N.(s): 07	95887960, 0795982	2855, 07959931	08, 0795990214, 0795995448	
			expansions, and uses (UDO 6.1.4). for a mix of multifamily, office and rete	ail uses.
	y Owner(s): Nationa			
	nal Drive Holdings,		Title: Gabe Finke, Manager of Acce	
			0202 Managing Member National Driv	ve mulaings, L
Phone #: 303 31			e.finke@ascentris.com	
	*		n apply" in instructions):	
Relationship to o	wner: Lessee or co	ntract purchaser	☑Owner's authorized agent ☐ Easemen	t holder
Company: Grubi	o Ventures	Address: 37	700 Glenwood Ave, Suite 430, Raleig	h, NC 27612
Page 1 of 3				REVISION 1.23.2
				raleighnc.

OWNER/DEVELOPER.





Managing Member of National Drive Holdings, LLC

THE LOCATION OF ALL EXISTING UTILITIES

PRIOR TO BEGINNING OF ANY EXCAVATION

REFERENCES: (EFFECTIVE 12/12/2021)

PLANS PREPARED BY:

PRIEST, CRAVEN & ASSOCIATES, INC.

PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609 PHONE 919 / 781-0300 FAX 919 / 782-1288 EMAIL PCA@PRIESTCRAVEN.COM FIRM#: C-0488



510 S. Wilmington Street // Raleigh, NC 27601 (919) 835-1500

1218 Chestnut Street // Philadelphia, PA 19107 (215) 545-0121



1900 West Morehead Street, Suite 200

FOR REVIEW CONTRACTOR SHALL BE RESPONSIBLE FOR

EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN. ALL CONSTRUCTION TO BE IN ACCORDANCE

WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS VERTICAL DATUM - NAVD88 HORIZONTAL DATUM - NAD83 6/1/2023

REVISIONS: | SUBMITTAL DATE: SHEET RELEASED FOR CONSTRUCTION DATE: NOT RELEASED

ZONING CONDITIONS NOTE (MPZ-031-21-ORD)

REFER TO SHEET G1.00 FOR A LIST OF ZONING CONDITIONS AND DEMONSTRATED COMPLIANCE.

SOLID WASTE INSPECTION NOTE:

THE DEVELOPER ACKNOWLEDGES THE PLAN MUST BE IN COMPLIANCE WITH AND DESIGNED IN ACCORDANCE TO THE CITY OF RALEIGH'S SOLID WASTE DESIGN MANUAL. EACH BUILDING ON THIS SITE WILL RECEIVE PRIVATE WASTE COLLECTION AT A CENTRAL LOCATION WITHIN THE RESPECTIVE BUILDING. THESE LOCATIONS ARE NOTED ON THE SITE LAYOUT AND TRANSPORTATION PLAN.

NEW LOT 10 IMPERVIOUS

NEW SCM LOT IMPERVIOUS

1.62 AC

0.03 AC

7.62 AC

1.50 AC

0.03 AC

8.12 AC

0.00 AC

0.50 AC

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A FIELD SURVEY PREPARED BY THIS OFFICE.
- TRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM FIELD SURVEYS BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
- HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD T-20.01 OR ANSI 406.7(a). SEE SHEET C30. 10. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED. 11. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.

Conditions dated: November 17, 2021

1. The following principal uses as listed in UDO section 6.1.4. Allowed Use Table shall be prohibited: dormitory, fraternity, sorority; emergency shelter types A and B; adult establishment; passenger terminal; vehicle fuel sales; vehicle sales/rental; detention center, jail, prison; self-service storage; car wash; vehicle repair (minor); vehicle repair (major).

None of the listed uses are proposed as part of this ASR.

The following principal uses must be located in a multi-story building with more than one principal use: personal service; eating establishment; bar, nightclub, tavern, lounge; retail

Any of the listed principal uses proposed as part of this ASR shall be located within a multistory building containing more than one principal use.

The hours of operation for the following principal uses shall be limited to the hours of 6:00 AM to 11:00 PM: personal service; eating establishment; bar, nightclub, tavern, lounge;

Any of the listed principal uses proposed as part of this ASR shall adhere to the operating hours of 6:00 AM to 11:00 PM.

The total gross floor area for the following principal uses shall be 30,000 square feet: personal service; eating establishment; bar, nightclub, tavern, lounge; retail sales.

The total gross floor for these uses being proposed as part of this ASR is 6,400 SF (retail).

5. A principal use "bar, nightclub, tavern, lounge" shall not have live performances or a dance

Live performances or dance floors, located within bars, nightclubs, taverns or lounges, are not being proposed or permitted as part of this ASR.

6. No drive-thru window shall be associated with any eating establishment use.

There are no drive-thru windows associated with any eating establishment being proposed as part of this ASR.

7. All outdoor pole-mounted lighting shall be full cutoff.

Duke Energy has provided the lighting plan for this ASR, and has specified full cutoff outdoor lighting.

8. The hotel use shall be limited to the CX-12-CU zoning district area.

There are no hotels proposed within the CX-5-CU/OX-5 districts as part of this ASR.

9. For the purpose of obtaining building permits, the total AM peak hour and total PM Peak hour trips generated on the property within the area subject to this rezoning ordinance

shall be no more than the trip volume equivalent to 631 dwelling units of Multifamily Housing (Mid-Rise), 172 rooms of Hotel, 530,000 square feet of General Office Building, and 10,000 square feet of Shopping Center, as determined by the ITE Trip Generation Manual, 10th Edition. This condition shall not be construed to prohibit uses that are otherwise allowed by this rezoning ordinance.

The development in this ASR does not exceed these amounts. Please refer to the project statistics and the submitted TIA.

10. If National Drive does not have a protected bike lane within the travel way, then the developer shall provide, at the developer's sole election, either: (i) a 10' wide multi-use path located generally along National Drive, within the rezoning area and between the boundary line adjacent to 3800 Glenwood Avenue and the boundary line closest to the City greenway on 3739 National Drive. All or a portion of the multi-use path may be within the National Drive public right-of-way or on private property within a public access easement. Or, (ii) a streetscape that includes a minimum sidewalk width of (a) at least 8 feet in width when tree grates are provided, or (b) at least 10 feet in width when a tree lawn is provided. All or a portion of the sidewalk may be within the National Drive public right-of-way or on private property within a public access easement.

As part of this ASR, the existing portion of National drive will be restriped to add protected bike lanes (see sheet C2.20). The proposed park will include a 10' wide multi-use path located within a public access easement to meet condition (i).

This condition shall apply to the portion of the property located within 800 feet of the northern boundary line of 3800 Glenwood Avenue (Lot 2, Book of Maps 2018, Page 2446). Upon development of property within this area, a landscaped area averaging at least 15 feet in width shall be provided adjacent to the right-of-way line of Glenwood Avenue and I-440, and shall include at least 4 shade trees and 15 shrubs per 100 linear feet. At least twothirds (2/3) of the shade trees required by this condition shall be evergreen. The width of this landscaped area can vary between 7.5 feet and 25 feet, so long as the average width is at least 15 feet. This landscaped area shall not be considered a protective yard. This condition shall apply only to those areas that are not required to be designated tree conservation area.

N/A: The portion of property located within 800' of the northern boundary line of 3800 Glenwood Ave. is not being affected with this ASR. This item will be addressed in a future

12. This condition shall apply to the portion of the property outside of that area described in Condition 11 of this zoning ordinance. Upon development of property within this area, a landscaped area shall be provided adjacent to the right-of-way line of Glenwood Avenue and I-440. This landscaped area shall average at least 25 feet in width, with a minimum width of 15 feet and a maximum width of 100 feet. This landscaped area shall be planted with the mix and rate of plantings set forth in UDO section 5.3.1.F.1. (SHOD-2 Required Plantings). At the developer's election, existing vegetation may be used to satisfy this requirement in compliance with UDO section 5.3.1.G. This landscaped area shall not be considered a protective yard. This condition shall apply only to those area that are not required to be designated tree conservation area.

As part of this ASR, new Lots 7 and 10 are being developed and are affected by this condition. Lot7 will have a variable width landscaped area, with a minimum 15' width and a maximum 33' width. The landscaped area exceeds the average area for a 25' wide landscaped area, and shall be planted per UDO section 5.3.1.F.1. Dimensions and calculations are shown on sheets C2.10.

Lot 10 will have a 25' wide landscaped area for the entire length of the property line adjacent to I-440, and will be planted per UDO section 5.3.1.F.1. This is dimensioned on

13. On all levels where parking is provided adjacent to an exterior wall of a parking structure, all such façades of the parking structure shall have exterior opaque walls a minimum height of 42 inches above any finished grade and any finished floor.

Acknowledged, please refer to the architectural sheets.

14. Where levels of structured parking are located at the perimeter of a building, any exposed concrete on the exterior of the parking structure shall be painted and scored.

Acknowledged, these portions of the structured parking shall be painted and scored.

15. Lighting shall be designed to reduce light spillage outside the parking structure according to the following:

> Light fixtures directly visible from the exterior of a parking structure shall be directed internally upward or shall contain shielded fixtures to prevent such

Internal illumination shall conform to the standards of UDO Section 7.4.7.

Vehicular Canopies Rooftop lighting shall be located at an elevation height less than the top of the nearest exterior perimeter rooftop wall; or shall be setback a minimum of 15 feet from the exterior perimeter of the rooftop wall at a maximum mounted height of 15 feet above finished floor with cutoff light fixtures that

have a maximum 90 degree illumination. Lighting levels measured at the property line of parcels adjacent to the structured parking deck shall not be greater than 0.5 footcandles.

Acknowledged, internal lighting on the parking structures will be designed with the building

16. That portion of Lot 11 (Book of Maps 1974, Page 052) described in this Condition 16 shall be limited to five (5) stories in height: Beginning at the northeast corner of Lot 11, where it meets with the northwest corner of Lot 10 (Book of Maps 1974, Page 051) and the right-ofway for I-440 (Point A), and going in a westerly direction along the common boundary line of Lot 11 and the I-440 right-of-way for 200 feet (Point B). Beginning at Point A, and going in a southerly direction along the common boundary line of Lot 11 and Lot 10 for 254 feet as shown on the plat recorded in Book of Maps 1974, Page 051 (Point C), and then going in a westerly direction along the common boundary line of Lot 11 and Lot 10 for 76 feet (Point D), and then going in a southwesterly direction along the common boundary line of Lot 11 and Lot 10 for 25 feet (Point E), and going in a northwesterly direction for approximately 258 feet, connecting Point E to Point B. The maximum height for the rest of Lot 11 (BM

1974, PG 052) shall be limited to no more than 10 stories in height. See Exhibit A attached hereto for an illustration of that portion of Lot 11 limited to five (5) stories in height.

This ASR complies with this condition. Please refer to the architectural sheets for a demonstration of average grades and building heights. Buildings D & E are limited to 5 stories in this area.

17. That portion of Lot 7 (Book of Maps 1974, Page 008) described in this Condition 17 shall be limited to a maximum of ten (10) stories in height: Beginning in the northwest corner of Lot 7, where it meets with the southwest corner of Lot 11 (BM 1974, PG 052) and the right-ofway of I-440 (Point 1), and going in a southerly direction along the common boundary line of Lot 7 and the I-440 right-of-way for 175 feet (Point 2). Beginning at Point 1, and going in a southeasterly direction along the common boundary line of Lot 7 and Lot 11 for approximately 262 feet until it reaches the right-of-way of National Drive (Point 3), and then going in a southerly direction along the right-of-way of National Drive for 150 feet (Point 4), and then going in an westerly direction for approximately 250 feet, connecting Point 4 and Point 2. See Exhibit B attached hereto for an illustration of that portion of Lot 7 limited to ten (10) stories in height.

This ASR complies with this condition. Please refer to the architectural sheets for a demonstration of average grades and building heights. Building C is limited to 10 stories in

18. Within the portion of the property zoned CX-12-CU, but outside of those areas described in Condition 16 and Condition 17, there shall be no more than two (2) buildings with height greater than or equal to ten (10) stories. This condition does not limit the total number of buildings within this portion of the property.

Acknowledged, this will apply to a future ASR since Building C is the only building 10 stories or greater being proposed with this ASR.

Ordinance (2021) 314 ZC 832 Page 4 Effective: 12/12/2021 Adopted: 12/7/2021

> CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTFOR CONSTRUCTION FOR REVIEW <u>NOTE:</u> ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT ONLY STANDARDS AND SPECIFICATIONS

GLENWOOD PLACE III

CITY OF RALEIGH

JUNE 1, 202 2016-012.00 PROJECT NUMBER: NATIONAL DRIVE HOLDINGS. ADMINISTRATIVE SITE REV

EXISTING ZONING CONDITIONS MPZ-031-21-0RD

PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

SHEET

PHASES 1-3 CLIENT: 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488 NORTH CAROLINA PLAN TYPE: ASED FOR CONSTRUCTION DATE: (SEE C

SIDEWALK

TOP

ITY OF RALEIGH

TOP OF CURB

_VALLEY CURB

_WATER LINE

YARD INLET

TREE SAVE AREA

TREE CONSERVATION AREA

_WOODED CONSERVATION AREA

TOP OF STRUCTURE (TOP OF CURB OR LID)

WL____ WATER LINE HB____ WATER LINE HOTBOX W____ WATER LINE MANHOLE **₩**____ WATER METER WATER VALVE W ___ WELL

____ YARD INLET

PROPERTY CORNERS

△ ___ COMPUTED POINT

O____ CONTROL CORNER

O____ IRON PIPE SET

IPF____ IRON PIPE FOUND

HATCH LEGEND

CONC MONUMENT SET

CONC MONUMENT FOUND

___ PROP CORNER FOUND

TRASH/DEBRIS

EXISTING RIPRAP

FIBER OPTIC/COMMUNICATION

OTHER LINETYPES

---- FEMA FLOODWAY

_____GV_____ GATE VALVE

__BO ____ BLOW OFF & GATE VALVE

__WM_____ WATER SERVICE

STORMWATER MANGEMENT AREA

BOTTOM OF WALL

_DISTURBED LIMITS

_NORTH CAROLINA DEPARTMENT

_NORTH CAROLINA DEPARTMENT

OF ENVIRONMENTAL QUALITY

TOP OF WALL

_CITY OF RALEIGH

OF TRANSPORTATION

Know what's **below**.

Call before you dig.

____ WATER MAIN

SEWER MANHOLE

____ SEWER SERVICE

FLOODPLAIN

3. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING UNDERGROUND.

CONSTRUCTION. ALL PROPOSED UTILITIES ON-SITE SHALL BE UNDERGROUND AND ALL EXISTING ON-SITE POWER LINES WILL BE PLACED 4. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THE TRAFFIC

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOB SITE SAFETY, INCLUDING BUT NOT LIMITED TO TRENCH SAFETY, DURING

VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE

CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION. GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL

2. THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND

NOTIPY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (ULOCO) AT 1-800-632-4949 FOR PROPER IDENTIFICATION OF

CONTROL PLAN, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND AS FURTHER DIRECTED BY LOCAL AND STATE INSPECTORS. 5. THE CITY OF RALEIGH SHALL BE NOTIFIED OF ANY LANE CLOSURE REQUESTS AT LEAST 72 HOURS IN ADVANCE. 6. ALL MANUFACTURERS' PRODUCTS SPECIFIED IN THESE PLANS OR USED AS APPROVED ALTERNATES SHALL BE INSTALLED PER THE

MANUFACTURERS' CURRENT SPECIFICATIONS. 7. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES,

INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK. 8. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH THE CITY OF RALEIGH, ENGINEER, AND OWNER.

9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING 10. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS, AND WIRE UTILITY

STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES. 1. ROADWAYS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION. 12. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THE OVERALL DEVELOPMENT ARE TAKEN FROM WAKE COUNTY

GIS INFORMATION. 13. NO TITLE SEARCH WAS PERFORMED BY THIS OFFICE FOR THIS PROPERTY. THIS PLAN MAY NOT SHOW ALL ENCUMBRANCES OR EASEMENTS THAT A TITLE SEARCH MAY DISCLOSE.

14. ALL PRIVATE STORM DRAINAGE EASEMENTS & STORMWATER MEASURES WILL BE MAINTAINED BY THE OWNER'S ASSOCIATION. 15. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (B-B), FACE OF CURB (F-F), OR EDGE OF PAVEMENT (EOP) ON NON-CURB AND GUTTER STREETS UNLESS OTHERWISE NOTED.

16. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN. 17. ALL CONSTRUCTION AND MATERIALS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH, DWQ, NCDENR, AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.

18. HORIZONTAL RELATION OF WATER MAINS TO SEWERS LATERAL SEPARATION OF SEWERS AND WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION - - IN WHICH CASE:

THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM. OF THE WATER MAIN AND THERE IS A MINIMUM 3 FEET OF HORIZONTAL SEPARATION FROM THE CLOSEST EDGES OF THE PIPES.

19. VERTICAL RELATION OF WATER MAINS TO SEWERS CROSSING A WATER MAIN OVER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION -- IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS.

CROSSING A WATER MAIN UNDER A SEWER: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE

WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

SF TP COMBO TREE PROTECTION & SILT FENCE — — STREAM BUFFER 20. VERTICAL RELATION OF SANITARY SEWER MAINS TO STORM SEWER WHEN A SANITARY SEWER IS CROSSING OVER OR UNDER A STORM SEWER. A VERTICAL SEPARATION OF 24 INCHES SHALL BE MAINTAINED UNLESS BOTH LINES ARE OF A FERROUS MATERIAL, ENCASED IN CONCRETE, OR VOID SPACE FILLED WITH CONCRETE. PER CITY OF RALEIGH STANDARDS.

21. GENERAL VERTICAL CLEARANCE WHEN OTHER UNDERGROUND UTILITIES ARE ENCOUNTERED, 18 INCHES OF SEPARATION SHALL BE MAINTAINED. 22. SEWER SERVICES:

TYPICAL SEWER SERVICE TO EACH LOT IS TO BE 4" PVC. BACKWATER VALVES TO BE INSTALLED AS REQUIRED. ALL SERVICES TO MEET THE APPLICABLE NC PLUMBING CODE. 23. WATER SERVICE TYPICAL WATER SERVICE TO EACH LOT TO BE AS SHOWN ON THE PLANS.

24. EXISTING UTILITIES EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

25. ALL PRIVATE STORM SEWER LINES TO BE LOCATED WITHIN A PRIVATE DRAINAGE EASEMENT 26. CURB, GUTTER, AND PAVEMENT TO BE FIELD ADJUSTED AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT ANY PONDING

27. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF

28. CONTRACTOR RESPONSIBLE FOR COORDINATING FRANCHISE UTILITIES AND OTHER SERVICES (I.E. GAS, ELECTRIC, CABLE, PHONE, MAIL, WASTE COLLECTION, ETC.). 29. CONTRACTOR RESPONSIBLE FOR COORDINATING LOCATION, SIZE, AND INSTALLATIONS OF SLEEVES REQUIRED FOR OTHER UTILITY

INSTALLATION INCLUDING, BUT NOT LIMITED TO ELECTRIC, PHONE, CABLE, GAS, IRRIGATION, ETC

30. CURB RAMPS SHALL BE LOCATED AND INSTALLED PER THE CITY OF RALEIGH LATEST DETAILS. CONTRACTOR SHALL CONFIRM LOCATIONS GRADE AND DETAILS WITH THE LOCAL INSPECTOR PRIOR TO PLACING CONCRETE

STORM DRAINAGE

GENERAL NOTES:

ALL PHASES OF CONSTRUCTION.

EXISTING UTILITIES WITHIN THE SITE.

THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER. !.. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF

THE STORM SEWER. THE INSPECTOR SHALL INSPECT ALL PUBLIC AND PRIVATE CONSTRUCTION. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES. THE CITY OF RALEIGH IS RESPONSIBLE FOR INSPECTION OF PUBLIC DRAINAGE EASEMENTS. THE HOA IS RESPONSIBLE FOR THE MAINTENANCE OF ALL PRIVATE STORM DRAINAGE EASEMENTS.

4. ALL RCP SEWER MAINS AND LATERALS SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE OR PER TOWN STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. CLASS IV/V RCP TO BE USED IF INDICATED.

WHERE PROPOSED STORM SEWER PIPING TIE TO EXISTING STRUCTURES. PIPES, SWALES. ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS AS REQUIRED TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES. SEE CURRENT CITY OF RALEIGH UDO FOR ADDITIONAL NOTES AND DETAILS.

HDPE PIPE NOTES, DESIGN CRITERIA, AND INSTALLATION:

INSTALLATION OF HDPE PIPE SHALL ADHERE TO DESIGN CRITERIA STANDARDS. PIPE MATERIAL SHALL MEET THE PRODUCT SPECIFICATIONS OF ASTM F667 AND SHALL HAVE A SMOOTH INTERIOR. PIPE JOINTS SHALL CONSIST OF AN INTEGRAL BELL AND SPIGOT TYPE JOINT WITH "A" RING RUBBER GASKET MEETING ASTM F477 PLACED ON THE SPIGOT END. AT LEAST TWO (2) CORRUGATIONS OF THE SPIGOT END MUST INSERT IN THE BELL END. INSTALLATION SHALL ADHERE TO THE SPECIFICATION

OF ASTM D2321 AND CERTIFIED BY AN ENGINEER, HDPE PIPE, 24" OR UNDER MAY BE USED UNDER PAVEMENT OR CURB AND GUTTER.

ALL HDPE TO BE ADS N-12 ST IB PIPE (PER ASTM F2648) SPECIFICATION (OR APPROVED EQUAL) SCOPE: THIS SPECIFICATION DESCRIBES 4- THROUGH 60-INCH (100 TO 1500 MM) ADS N-12 ST IB PIPE (PER ASTM F2648) FOR

USE IN GRAVITY-FLOW LAND DRAINAGE APPLICATIONS. PIPE REQUIREMENTS: ADS N-12 ST IB PIPE (PER ASTM F2648) SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4-INCH THROUGH 60-INCH (100 TO 1500 MM) SHALL MEET ASTM F2648.

MANNING'S N VALUE FOR USE IN DESIGN SHALL BE 0.012. JOINT PERFORMANCE: PIPE SHALL BE JOINED USING A BELL & SPIGOT JOINT MEETING ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS, WHEN APPLICABLE, SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT SUPPLIED

BY THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY. 10. FITTINGS: FITTINGS SHALL CONFORM TO ASTM F 2306. BELL AND SPIGOT CONNECTIONS SHALL UTILIZE A SPUN-ON OR WELDED BELL AND VALLEY OR SADDLE GASKET MEETING THE SOIL-TIGHT JOINT PERFORMANCE REQUIREMENTS OF ASTM F 2306.

11. MATERIAL PROPERTIES: MATERIAL FOR PIPE PRODUCTION SHALL BE AN ENGINEERED COMPOUND OF VIRGIN AND RECYCLED HIGH DENSITYPOLYETHYLENE CONFORMING WITH THE MINIMUM REQUIREMENTS OF CELL CLASSIFICATION 424420C (ESCR TEST CONDITION B) FOR 4-THROUGH 10-INCH (100 TO 250 MM) DIAMETERS, AND 435420C (ESCR TEST CONDITION B) FOR 12- THROUGH 60-INCH (300 TO 1500 MM) DIAMETERS. AS DEFINED AND DESCRIBED IN THE LATEST VERSION OF ASTM D3350, EXCEPT THAT CARBON BLACK CONTENT SHOULD NOT EXCEED 4%. THE DESIGN ENGINEER SHALL VERIFY COMPATIBILITY WITH OVERALL SYSTEMINGLUDING STRUCTURAL, HYDRAULIC,

MATERIAL AND INSTALLATION REQUIREMENTS FOR A GIVEN APPLICATION. INSTALLATION: INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS'S PUBLISHED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN TRAFFICKED AREAS FOR 4- THROUGH 48-INCH (100 TO 1200 MM) DIAMETERS SHALL BE ONE FOOT. (0.3 M) AND FOR 60-INCH (1500 MM) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT. (0.6 M) IN SINGLE RUN APPLICATIONS. BACKFILL FOR MÍNIMUM COVER SITUÀTIONS SHALL CONSIST OF CLASS 1 (COMPACTED), OR CLASS 2 (MÍNIMUM 90% SPD) MATERIAL. MAXIMUM FILL HEIGHTS DEPEND ON EMBEDMENT MATERIAL AND COMPACTION LEVEL; PLEASE REFER TO TECHNICAL NOTE 2.02. CONTACT YOUR LOCAL

ADS REPRESENTATIVE OR VISIT OUR WEBSITE AT WWW.ADS-PIPE.COM FOR A COPY OF THE LATEST INSTALLATION GUIDELINES. 13. (HDPE SPECIFICATIONS FROM ADS WEBSITE)

SOIL EROSION AND SEDIMENT CONTROL THE CONTRACTOR SHALL NOTE THAT A SOIL EROSION CONTROL PERMIT IS REQUIRED.

2. SEE EROSION CONTROL SHEETS FOR ADDITIONAL NOTES AND DETAILS. RETAINING WALL AND HEADWALL NOTES

. HEADWALLS AND FLARED END SECTIONS TO BE PER NCDOT AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SEE NCDOT 838.80 AND OTHER DETAILS.

2. ALL RETAINING WALLS WITHIN THE SITE TO BE DESIGNED BY OTHERS (INCLUDING MATERIAL, HEIGHT, WIDTH, ALIGNMENT, ELEVATIONS.

FOOTINGS, ETC.). SPOT ELEVATIONS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY. CONTRACTOR TO INSTALL GRAVITY WALLS AS REQUIRED IN AREAS WHERE GEO-GRID CANNOT BE USED AND/OR WHERE RETAINING WALLS

ABUT PUBLIC EASEMENTS AND/OR UNDISTURBED/PROTECTED BUFFERS. 4. A HANDRAIL OR FENCE SHALL BE INSTALLED ALONG THE TOP OF ALL RETAINING WALLS, HEADWALLS, AND DOWN THE TOPS OF ALL WINGWALLS WHERE THE DROP FROM THE TOP OF THE RETAINING WALL OR HEADWALL TO THE BASE OF THE WALL OR INVERT OF THE PIPE IS GREATER THAN OR EQUAL TO 36". HAND RAILING SHALL INCLUDE NO MORE THAN TWO HORIZONTAL MEMBERS (E.G., ONE NEAR THE BOTTOM, AND ONE AT THE TOP) AND SHALL INCLUDE VERTICAL PICKETING SPACED AT SIX INCHES ON CENTER.

JUNE 1, 202

5. GUARDRAILS TO BE INSTALLED IN AREAS INDICATED ON THE PLANS. 6. ALL RETAINING WALLS ON SITE TO BE HOA MAINTAINED AND PLACED IN HOA MAINTENANCE EASEMENTS AT PLATTING STAGE.

GRADING:

RELOCATIONS.

BLOCKS.

REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO INSTALLATION OF MEASURES.

3. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE

SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. FIELD ADJUSTMENTS TO BE MADE BY CONTRACTOR AS REQUIRED TO MAINTAIN

USE INTERIM SILT FENCES, DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE

PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY

WITH ALL APPLICABLE STATE AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL

4. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT

5. GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR

. ALL MATERIALS USED FOR ALL FILLING OPERATIONS SHALL BE PLACED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER

8. ALL DEMOLITION DEBRIS SHALL BE HAULED OFF-SITE AS DIRECTED BY THE OWNER AND PROPERLY DISPOSED OF.

OF GROUND SURROUNDING A TREE EXTENDING FROM THE CENTER OF TREE TO THE GREATER OF:

2. THE DRIPLINE (FURTHEST EXTENT OF TREE CANOPY) OF THE TREE, OR

SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.

CUT ALL TREES AND REMOVE ALL EXISTING VEGETATION FROM THE EMBANKMENT SITE.

REQUIRE NEW TREES BE PLANTED EQUAL TO THE NUMBER OF CREDIT TREES.

ADEQUATE POSITIVE DRAINAGE THROUGHOUT PROJECT. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL

TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND

GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR

TOP OF WALL ("TW") AND BOTTOM OF WALL ("BW") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL.

DIMENSIONAL REQUIREMENTS: THE EXTENT OF THE CRITICAL ROOT ZONE (CRZ) OF THE TREE OR TREES AT THE OUTER EDGES OF THE TREE

SAVE AREA SHALL CONSTITUTE THE LIMITS OF CONSTRUCTION FOR THE PURPOSES OF THIS SUB-SECTION. THE CRZ IS THE CIRCULAR AREA

IF ANY TREE(S) USED FOR PRESERVATION CREDIT IS IMPROPERLY PROTECTED OR DETERMINED TO BE HAZARDOUS. THE ADMINISTRATOR MAY

10. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS

12. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES ARE TO BE

13. WHERE FILL IS TO BE PLACED ON EXISTING SLOPES STEEPER THAN 4:1, CONTRACTOR SHALL EXCAVATE BENCHES WITH A MAXIMUM DEPTH

15. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE

EMBANKMENT CONSTRUCTION PROCEDURES AND REQUIREMENTS

NO WORK SHALL TAKE PLACE ON THE DAM WITHOUT COORDINATING THE OBSERVATION AND TESTING OF THE PROJECT GEOTECHNICAL

GRUB ALL TREE STUMPS, REMOVE ALL ROOT MAT, TOPSOIL, ORGANICS, POCKETS OF LOOSE SAND, GRAVEL, AND ANY UNSUITABLE

THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES AS NECESSARY TO PROTECT THE AREA OF CONSTRUCTION FROM STREAM

THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT

IS DEEPER OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER, THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE

BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND

REMOVE ANY LOOSE OR SOFT, WET SOILS FROM THE AREA AND BACKFILL. ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS

12. FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE

SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT

EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCHES SHALL BE REMOVED FROM FILL PRIOR TO COMPACTION.

PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED

COMPACTION TESTING SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER AT LOCATIONS AND FREQUENCY TO BE DETERMINED BY

THE GEOTECHNICAL ENGINEER BASED ON THEIR JUDGMENT AND EXPERIENCE. SCARIFY EACH LIFT TO FORM A GOOD BOND WITH THE NEXT

LIFT. BENCH EACH LIFT INTO THE EXISTING SLOPE. TESTS FOR PERCENT COMPACTION OF THE PLACED FILL IN THE DAM MUST BE PERFORMED AS QUALITY CONTROL FOR THE CONSTRUCTION OF THE DAM. CONTRACTOR SHALL COORDINATE SO THAT THESE TESTS CAN BE DONE. ALL

PORTIONS NOT CONFORMING TO THE SPECIFIED DEGREE OF COMPACTION SHALL BE REWORKED OR REBUILT. ALL PORTIONS MUST ACHIEVE

THE SURFACE OF THE EMBANKMENT SHALL BE SEALED OFF WITH A SMOOTH DRUM ROLLER PRIOR TO ANY PROLONGED DELAY SUCH AS AT

14. THE EMBANKMENT FILL SHALL BE SLIGHTLY SLOPED TOWARD DOWNSTREAM TO PROMOTE THE DRAINAGE OF SURFACE WATER DURING

THE END OF THE WEEK OR BEFORE A FORECASTED STORM. SCARIPY THE SMOOTH SURFACE BEFORE PLACING THE NEXT LIFT.

16. ANY EMBANKMENT FILL MATERIAL THAT IS FROZEN OR SOFTENED BY SURFACE WATER OR ICE SHALL BE REMOVED PRIOR TO THE

17. ANY COMPACTION WITHIN THREE FEET FROM THE CONCRETE WALLS AND OTHER STRUCTURES SHALL BE PERFORMED BY A PORTABLE

18. FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE THE SAME LEVEL ON BOTH SIDES OF

THE CONSTRUCTION SITE SHALL BE KEPT DRY AT ALL TIMES BY MEANS OF COFFERDAMS, SUMP PUMPS, TRENCHES, PIPES AND ANY OTHER

THE EMBANKMENT FILL SHALL BE PLACED AND COMPACTED IN A UNIFORM, CONTINUOUS FASHION. CONTROLLED FILL, AS SPECIFIED BY THE

COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY IN A MOISTURE CONTENT OF +/- 2% OF

AFTER CONSTRUCTION, A 4-INCH LAYER OF TOP SOIL IS TO BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED

LOOSE LAYERS WITHIN 3-FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2-FEET OVER THE PIPE) AND SHALL BE

19. EARTHWORK COMPACTION WITHIN 3-FEET OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY

21. MOISTURE CONTENT OF THE EMBANKMENT FILL DURING PLACEMENT SHALL BE NO MORE THAN 1% BELOW TO 2% ABOVE OPTIMUM

THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698, OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

26. THE GROUND COVER FOR THE DAM EMBANKMENT SHALL BE A K-31 TALL FESCUE COVER. A 4-IN DEPTH OF TOPSOIL ON THE DAM IS

27. CONCRETE ANTI-FLOTATION DEVICE TO BE INTEGRALLY ATTACHED TO THE RISER BASE TO PREVENT RISER/BLOCK SEPARATION. THE

CONTRACTOR TO MAKE APPROPRIATE FIELD ADJUSTMENT TO PROVIDE A SMOOTH TRANSITION FROM EXISTING CURB AND

ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF

COMPACTED PER GEOTECHNICAL ENGINEER. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION,

THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (P.I. BETWEEN 4

AND 15) AS NEEDED OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER TO PROVIDE A SMOOTH SURFACE FOR PAVING

PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE

4. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET

5. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN

SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY

ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PUBLIC STREETS SHALL CONFORM TO

CONTRACTOR TO INSTALL SPILL GUTTER IN AREAS AS REQUIRED TO PREVENT ANY PONDING OF WATER IN THE GUTTER.

CONTRACTOR TO SET CURB STRING LINE AND IDENTIFY SPILL GUTTER AREAS PRIOR TO CONSTRUCTION OF CURB AND

ELEASED FOR CONSTRUCTION DATE: (SEE C

NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY

STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE

ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO CITY OF RALEIGH AND NCDOT STANDARDS.

GUTTER. PARTICULAR ATTENTION SHOULD BE PLACED ON INTERSECTION RADII.

SEE CURRENT CITY OF RALEIGH UDO FOR ADDITIONAL NOTES AND DETAILS.

APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENT OF

THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE

100 PERCENT OF ASTM 0-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED IN CITY OF

RALEIGH STANDARDS OR OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. FILL SHALL BE PLACED AND

CONTRACTOR SHALL BE RESPONSIBLE FOR ANCHORING THE ANTI-FLOTATION BLOCK TO THE RISER ASSEMBLY.

MOISTURE CONTENT. DEPENDING ON CONDITIONS. DRYING OR SPRINKLING MAY BE REQUIRED DURING CONSTRUCTION.

COMPACTER TO AVOID DAMAGE TO THE STRUCTURE. THE MAXIMUM LOOSE LIFT THICKNESS SHALL BE 4 INCHES, AND MINIMUM

COMPACTION SHALL BE TO 95% STANDARD PROCTOR. COMPACTION TESTING FREQUENCY SHALL BE AS DETERMINED BY THE

AS SHOWN ON THE PLANS AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER. THE BOTTOM WIDTH SHALL BE A MINIMUM OF 5 FEET. THE

DEPTH SHALL BE AT LEAST FOUR FEET BELOW THE EXISTING GRADE, OR BOTTOM OF ANY PROPOSED TRENCH OR EXCAVATION WHICHEVER

ENGINEER. ALL SOIL MATERIALS ARE TO BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INCORPORATION INTO THE

EXCAVATE, BACKFILL AND COMPACT THE CUT OFF TRENCH PER THE PLANS AND DIRECTION OF THE GEOTECHNICAL ENGINEER

INSTALL EROSION CONTROL DEVICES PER THE PLAN, CALL FOR INSPECTION AND OBTAIN CERTIFICATE OF COMPLIANCE.

RISER STRUCTURE IN POND TO BE PROVIDED WITH STEPS 12" ON CENTER INSIDE OF THE RISER. SEE NCDOT 840.66

13. PLACE EMBANKMENT MATERIAL IN 6 INCH LOOSE LIFTS AND COMPACT TO A DENSITY OF AT LEAST 95% STANDARD PROCTOR.

 $^\circ$. NO HEAVY EQUIPMENT CAN PASS OVER CAST-IN PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED

AND DOCUMENTED. NO PORTIONS OF THE FOUNDATION SOILS MAY BE STABILIZED WITH CRUSHED STONE

DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIATURE SELF-PROPELLED ROLLERS.

QUALIFIED LICENSED GEOTECHNICAL ENGINEER. AFTER COMPLETION OF THE EARTHWORK ACTIVITIES IT IS REQUESTED THAT THE OWNER, BE

PROVIDED A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTIONS TEST RESULTS AND CERTIFIES THE TYPE OF FILL

16. THE CONTRACTOR SHALL NOTE THAT THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A

11. BUILDING PAD AND PAVING SUB GRADE INFORMATION TO BE PER GEOTECHNICAL ENGINNEER'S RECOMMENDATION AND DIRECTION.

14. THE CONTRACTOR SHALL STABILIZE ALL SLOPES STEEPER THAN 3:1 WITH MEASURES INDICATED WITHIN THESE PLANS.

THE RETAINING WALL DESIGNER/CONTRACTOR SHALL PROVIDE ADDITIONAL WALL HEIGHT AS NECESSARY FOR FOOTINGS AND CAP

9. NO TREE WITHIN THE TREE PROTECTION AREA SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE TOWN. MINIMUM

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED,

RESEEDED, AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.

OF GRASS OR OTHER GROWTH TO PREVENT EROSION.

1. 1.5 FEET PER CALIPER INCH DBH OF THE TREE,

USED IN CASE OF DISCREPANCY.

MATERIAL AND ITS PROPER PLACEMENT.

FLOW AND STORMWATER RUNOFF.

MINIMUM PERMEABILITY.

MATERIAL FOUND ALONG THE EMBANKMENT SITE.

INSTALL OUTLET STRUCTURE AS INDICATED ON THE PLAN.

SPECIFIED MINIMUM DEGREE OF COMPACTION.

MEASURES OR EQUIPMENT THAT IS REQUIRED.

24. NO COMPACTION BY DROP WEIGHTS FROM A CRANE OR HOIST IS ALLOWED.

GUTTER/PAVEMENT TO PROPOSED CURB & GUTTER/PAVEMENT.

GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.

URISDICTIONAL SPECIFICATIONS.

ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.

MUTCD, NCDOT, AND CITY OF RALEIGH STANDARDS.

PLACEMENT OF THE NEXT LIFT.

THE STRUCTURES.

GEOTECHNICAL ENGINEER.

AND MULCHED OR HYDROSEEDED

REQUIRED PRIOR TO SEEDING/MULCHING.

EMBANKMENT

\$ SPECIFICATIONS (REFERENCE: CITY OF RALEIGH HANDBOOK, CURRENT EDITION) 2. UTILITY SEPARATION REQUIREMENTS:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS

CITY OF RALEIGH STANDARD UTILITY NOTES:

A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE

LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50 FROM A PUBLIC WELL B) WHEN INSTALLING WATER \$/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS

SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED \$ INSTALLED TO WATERLINE SPECIFICATIONS

D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER

MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CITY OF RALEIGH

F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED

DETAILS W-41 & S-49)

ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES

THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CITY OF RALEIGH HANDBOOK

7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE

8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM

9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM

10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE \$/OR FEMA FOR ANY

RIPARIAN BUFFER, WETLAND \$/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION. 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS &

SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED

BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE

MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

SANITARY SEWER COLLECTOR LINES & SERV. NOTES:

ALL SANITARY SEWER MAINS, LATERALS, AND SERVICES ARE TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE NCDENR AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. 2. THE MINIMUM SLOPE ON 4" SANITARY SERVICE AND COLLECTOR LINES IS 1.0%

3. ALL SANITARY SEWER COLLECTOR LINES SHALL HAVE A MINIMUM COVER OF 5 FEET (MEASURED FROM THE TOP OF FINISHED GRADE) IN TRAFFIC AREAS TO PIPE CROWN UNLESS D.I.P. IS PROVIDED IN CLASS 1 BEDDING WHERE MINIMUM COVER SHALL BE 3 FEET. MAINS AND SERVICES IN NON-TRAFFIC AREAS SHALL HAVE A MINIMUM COVER OF 3 FEET (MEASURED FROM TOP OF FINISHED GRADE) TO THE PIPE CROWN. ANY SANITARY SEWER MAINS OR SERVICES WITH A

DEPTH GREATER THAN 12.0 FEET ARE TO BE D.I.P. CLEANOUTS ARE TO BE INSTALLED ON ALL 4" SANITARY SERVICE LINES IN ACCORDANCE WITH NORTH CAROLINA PLUMBING

CONTRACTOR TO VERIFY INVERTS AND ELEVATIONS OF ALL UTILITIES WHERE 4" SANITARY SEWER SERVICE COLLECTOR LINES MUST CROSS STORM SEWER LINES, WATER MAINS, AND/OR OTHER UNDERGROUND UTILITIES. CONTRACTOR TO LAY SEWER LINES/SERVICES IN THESE LOCATIONS AT A MAXIMUM / MINIMUM DEPTH AND MAXIMIUM / MINIMUM SLOPE (PER CODE) TO MAINTAIN A MINIMUM CLEARANCE OF 18" (24" FOR STORM SEWER) BETWEEN UTILITIES (FROM TOP / BOTT 1ST PIPE TO TOP / BOTTOM OF 2ND PIPE). IF 18" (24" FOR STORM SEWER) OF SEPARATION BETWEEN SANITARY SEWER SERVICES AND OTHER UTILITIES CANNOT BE MAINTAINED, SEWER SERVICE LINES MAY NEED TO BE DUCTILE IRON PIPE AND/OR ENCASED IN CONCRETE AT THE CROSSINGS. CONTRACTOR TO WORK WITH CITY INSPECTORS TO ENSURE THAT ADEQUATE SEPARATION AND PROTECTION IS PROVIDED FOR SERVICE LINES AND OTHER UTILITIES. ALL SERVICE LINES TO BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR THE CITY OF RALEIGH

AND NCDENR STANDARDS AND SPECIFICATIONS. 6. ANYTIME A WATER MAIN CROSSES UNDER A SANITARY SEWER COLLECTOR MAIN, BOTH THE WATER MAIN AND THE SEWER LINE MUST BE CONSTRUCTED OF D.I.P. CONTRACTOR TO ADJUST MATERIAL ACCORDINGLY.

SANITARY SERVICE CLEANOUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY NEED TO BE ADJUSTED DURING CONSTRUCTION. CLEANOUT LOCATION AND CONSTRUCTION TO MEET THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR CITY OF RALEIGH AND NCDENR STANDARDS AND SPECIFICATIONS. CLEANOUT LOCATIONS SHOWN ON THESE PLANS REPRESENT THE SURFACE ACCESS POINT. CONTRACTOR SHALL INSTALL ALL WYE'S, ANGLES, BENDS, AND OTHER APPURTENACES AS REQUIRED.

EXISTING UTILITIES NOTES:

CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

PROPOSED UTILITY NOTES:

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF RALEIGH 2. IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH COVERING SUCH ITEMS SHALL APPLY.

WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.

4. ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION. 5. CLEAN OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL

LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH. 6. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH. SEE PROFILES AND CITY OF RALEIGH STANDARDS AND

SPECIFICATIONS FOR MANHOLE SIZES. 7. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE

INSTALLATION OF THE UTILITIES. ALL PUBLIC PIPE, STRUCTURES, AND FITTINGS SHALL BE INSPECTED BY THE LOCAL INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING TAPPING, DISINFECTION, AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.

HATCH LEGEND

DRAINAGE EASEMENTS (PDE) PR-DE = PRIVATE DRAINAGE EASEMENT PU-DE = PUBLIC DRAINAGE EASEMENT CITY OF RALEIGH PUBLIC SEWER EASEMENT

CITY OF RALEIGH PUBLIC WATER LINE EASEMENT

CROSS ACCESS EASEMENT

BUFFERED LANDSCAPE AREA PER MPZ-031-21-ORD TREE CONSERVATION AREA

OUTDOOR AMENITY AREA

CONSTRUCTION FOR REVIEW

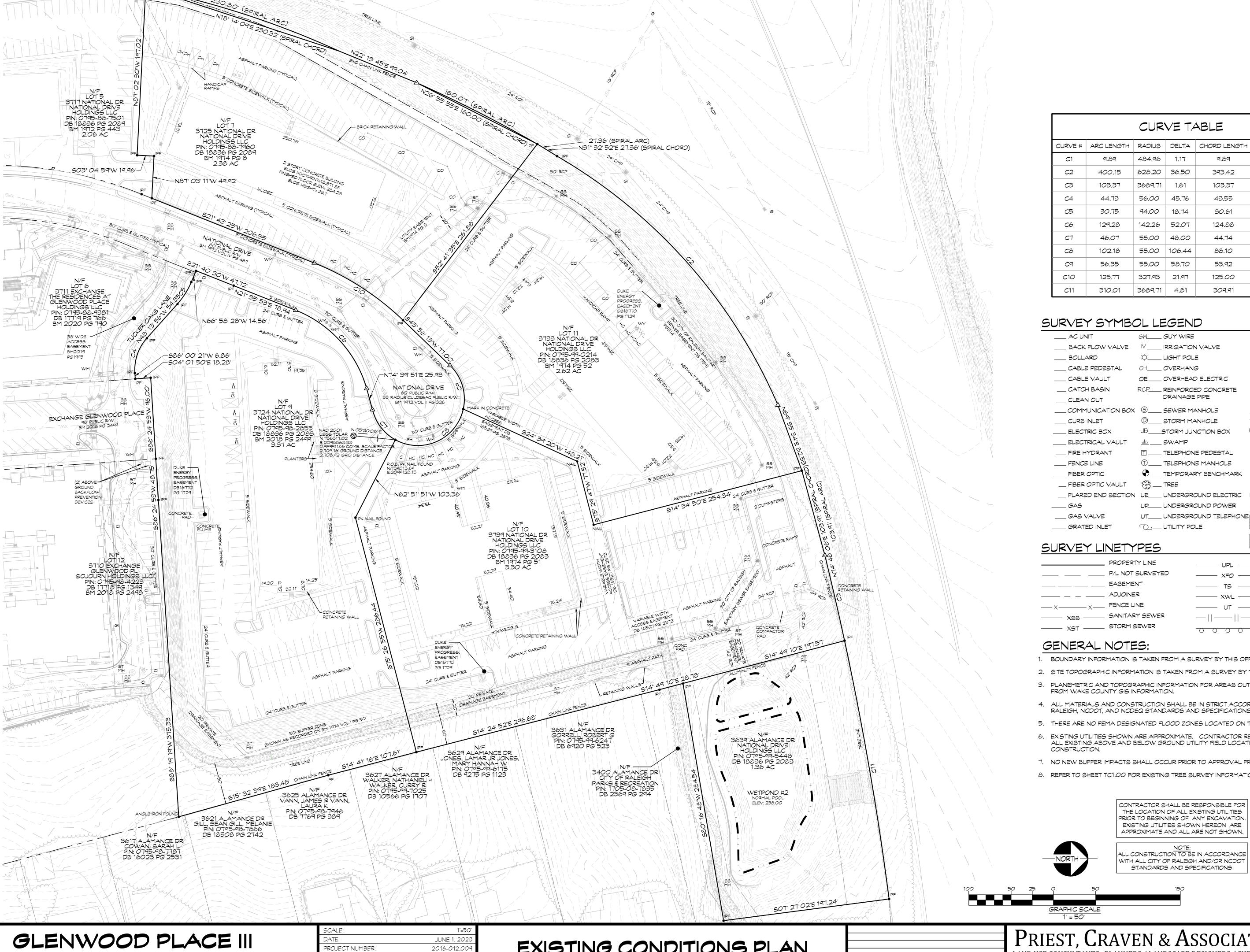
GLENWOOD PLACE III

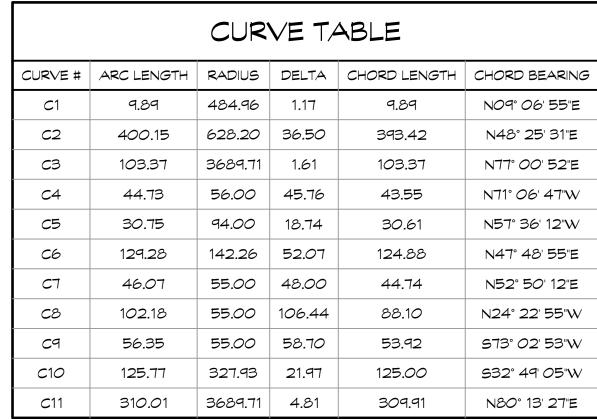
2016-012.00 PROJECT NUMBER: LIENT: NATIONAL DRIVE HOLDINGS. NORTH CAROLINA PLAN TYPE: ADMINISTRATIVE SITE REVI

GENERAL NOTES AND LEGEND

Priest, Craven & Associates, Inc. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET





AC UNIT	GW	_GUY WIRE	WL WATER LINE
BACK FLOW VALVE	IV	RRIGATION VALVE	HB WATER LINE HOTBOX
BOLLARD	φ	LIGHT POLE	$igotimes_{}$ Water line manhole
CABLE PEDESTAL	OH	_OVERHANG	₩ WATER METER
CABLE VAULT	OE	OVERHEAD ELECTRIC	WATER VALVE
CATCH BASIN	RCP	REINFORCED CONCRETE	M WELL
CLEAN OUT		DRAINAGE PIPE	YARD INLET
COMMUNICATION BOX	S	_ SEWER MANHOLE	PROPERTY CORNERS
CURB INLET	D	_STORM MANHOLE	PROPERTY CORNERS
ELECTRIC BOX	JB	STORM JUNCTION BOX	ONC MONUMENT SET
ELECTRICAL VAULT	<u> </u>	_SWAMP	CONC MONUMENT FOUND
FIRE HYDRANT	҆	_ TELEPHONE PEDESTAL	PROP CORNER FOUND
FENCE LINE	①	_ TELEPHONE MANHOLE	\triangle COMPUTED POINT
FIBER OPTIC	♣	_ TEMPORARY BENCHMARK	O CONTROL CORNER
FIBER OPTIC VAULT	(%) —	_ TREE	O IRON PIPE SET
FLARED END SECTION	UE	_ UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
GAS	UP	_ UNDERGROUND POWER	HATCH LEGEND
GAS VALVE	UT	_ UNDERGROUND TELEPHONE	
GRATED INLET	D_	_UTILITY POLE	TRASH/DEBRIS

	PROPERTY LINE	UPL	UNDERGROUND POWER
	P/L NOT SURVEYED	XFO	FIBER OPTIC/COMMUNICATION
	EASEMENT	TS	TRAFFIC SIGNAL
	ADJOINER	XWL	WATERLINE
xx	FENCE LINE	UT	UNDERGROUND TELEPHONE
xss	SANITARY SEWER	— — —	100 YR FLOODPLAIN
XST	STORM SEWER	0 0 0 0	GUARD RAIL

1. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.

- 2. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- 3. PLANEMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- 4. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
- 5. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY
- 6. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- 7. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- 8. REFER TO SHEET TC1.00 FOR EXISTING TREE SURVEY INFORMATION.



NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE
WITH ALL CITY OF RALEIGH AND/OR NCDOT
STANDARDS AND SPECIFICATIONS

NOTFOR CONSTRUCTION FOR REVIEW ONLY

EXISTING RIPRAP

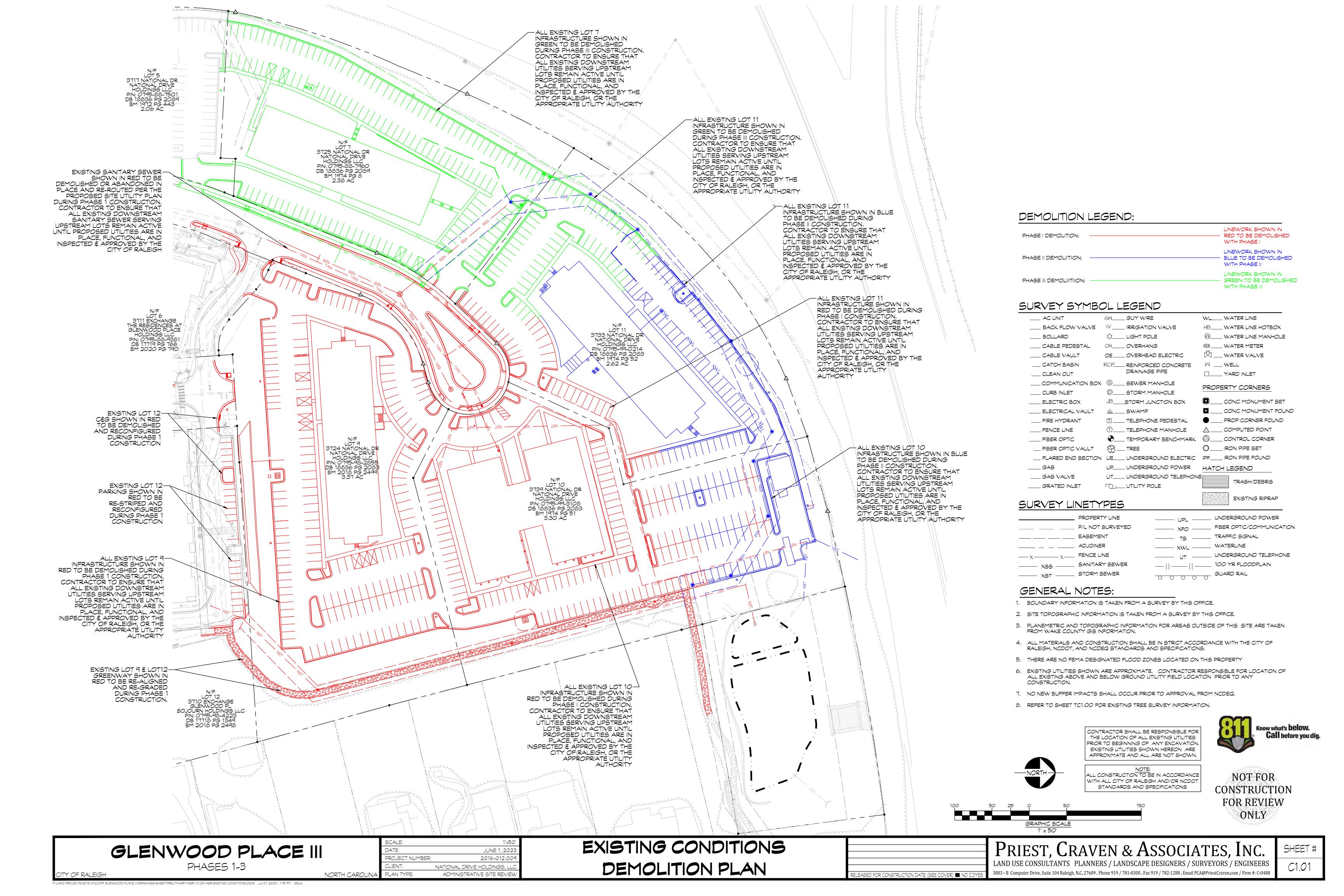
PHASES 1-3 NORTH CAROLINA ADMINISTRATIVE SITE REVI

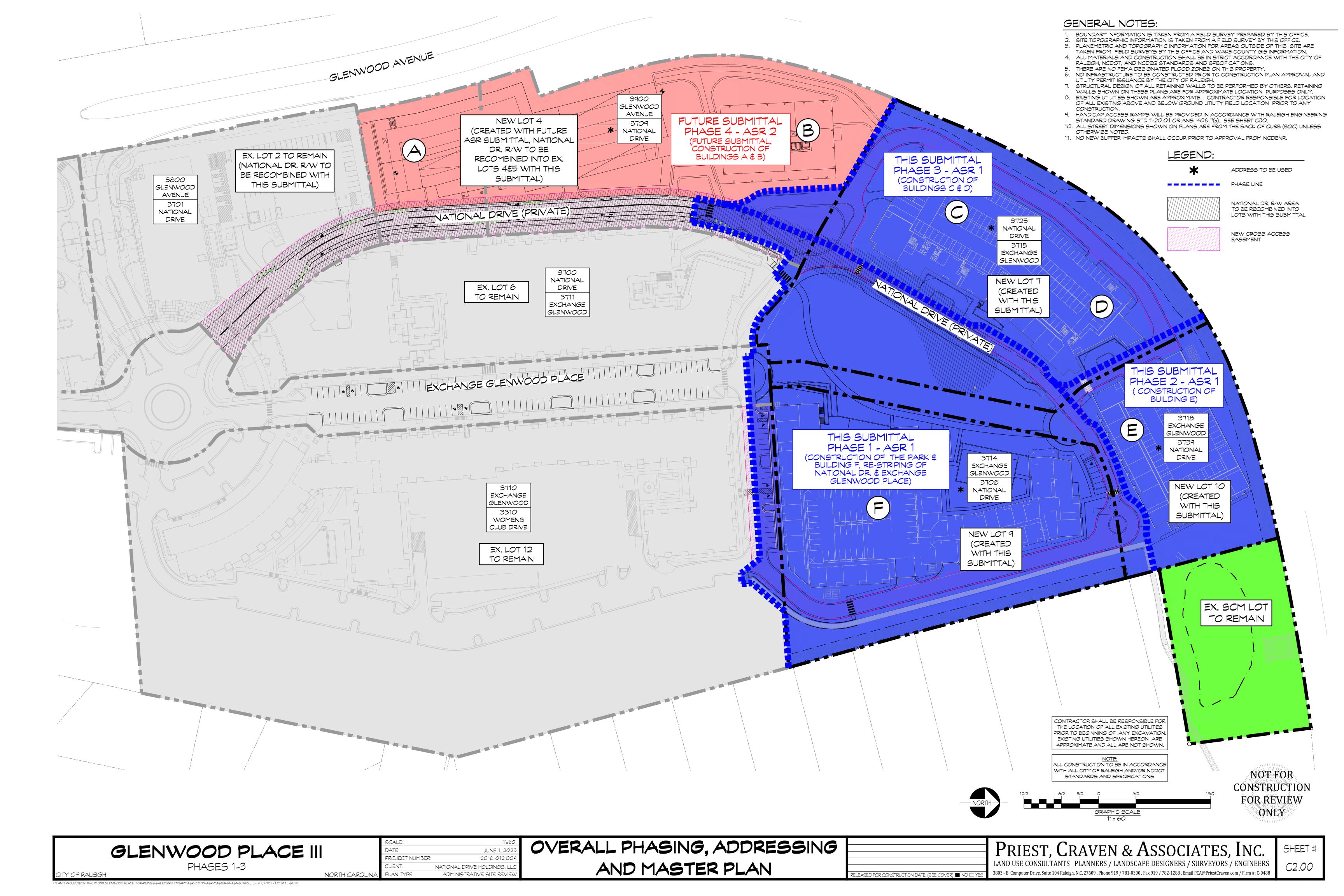
EXISTING CONDITIONS PLAN

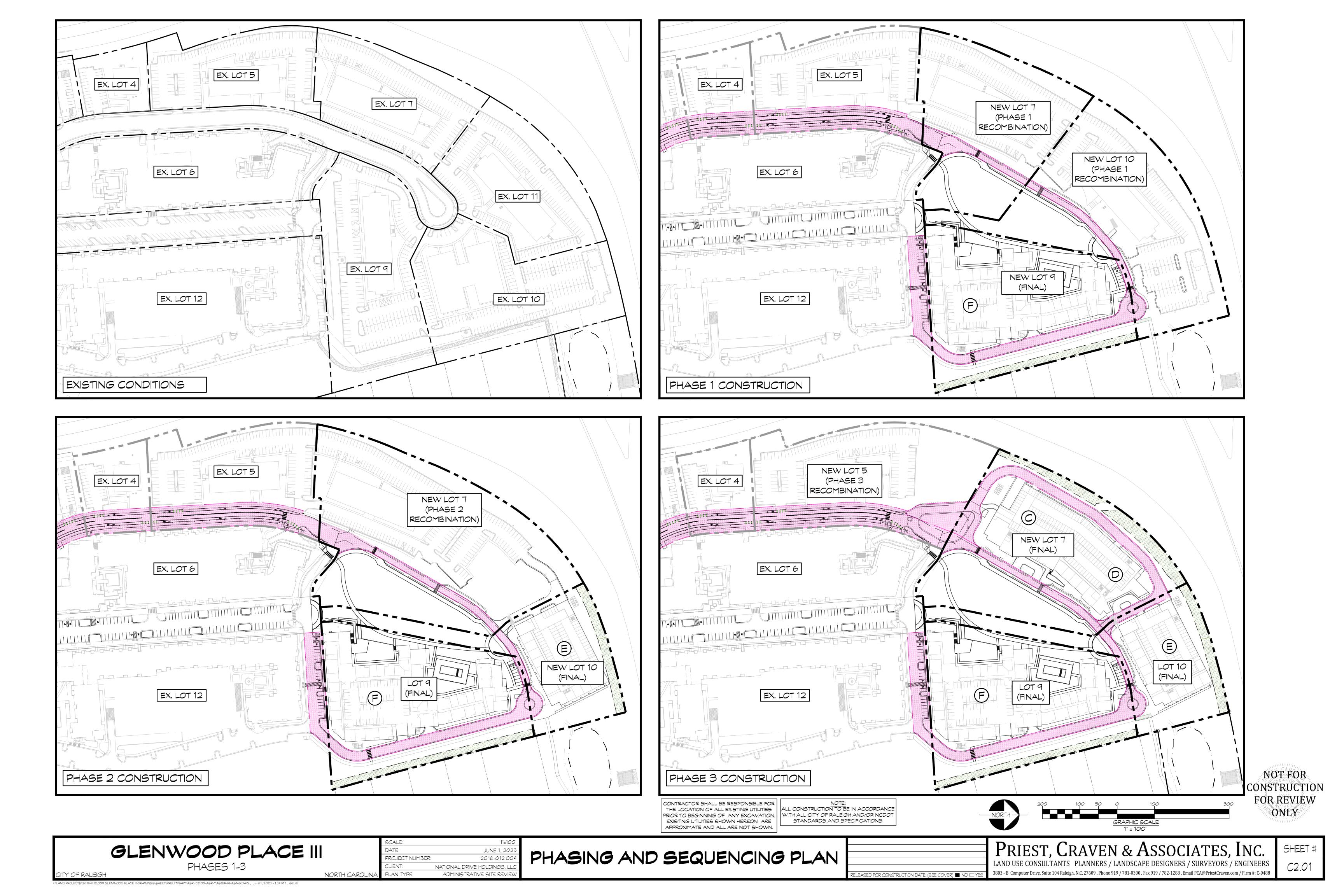
LEASED FOR CONSTRUCTION DATE: (SEE C

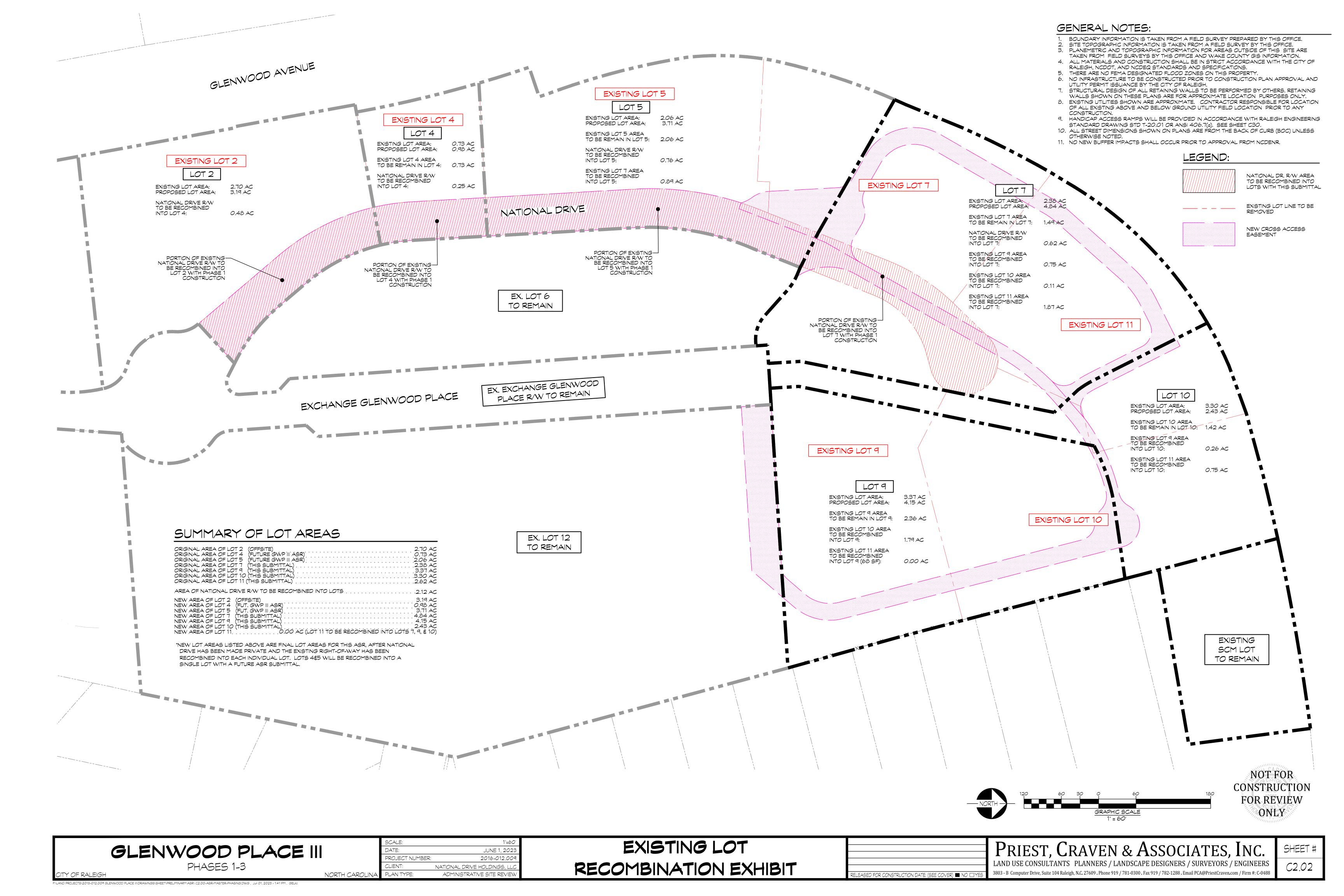
Priest, Craven & Associates, Inc. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

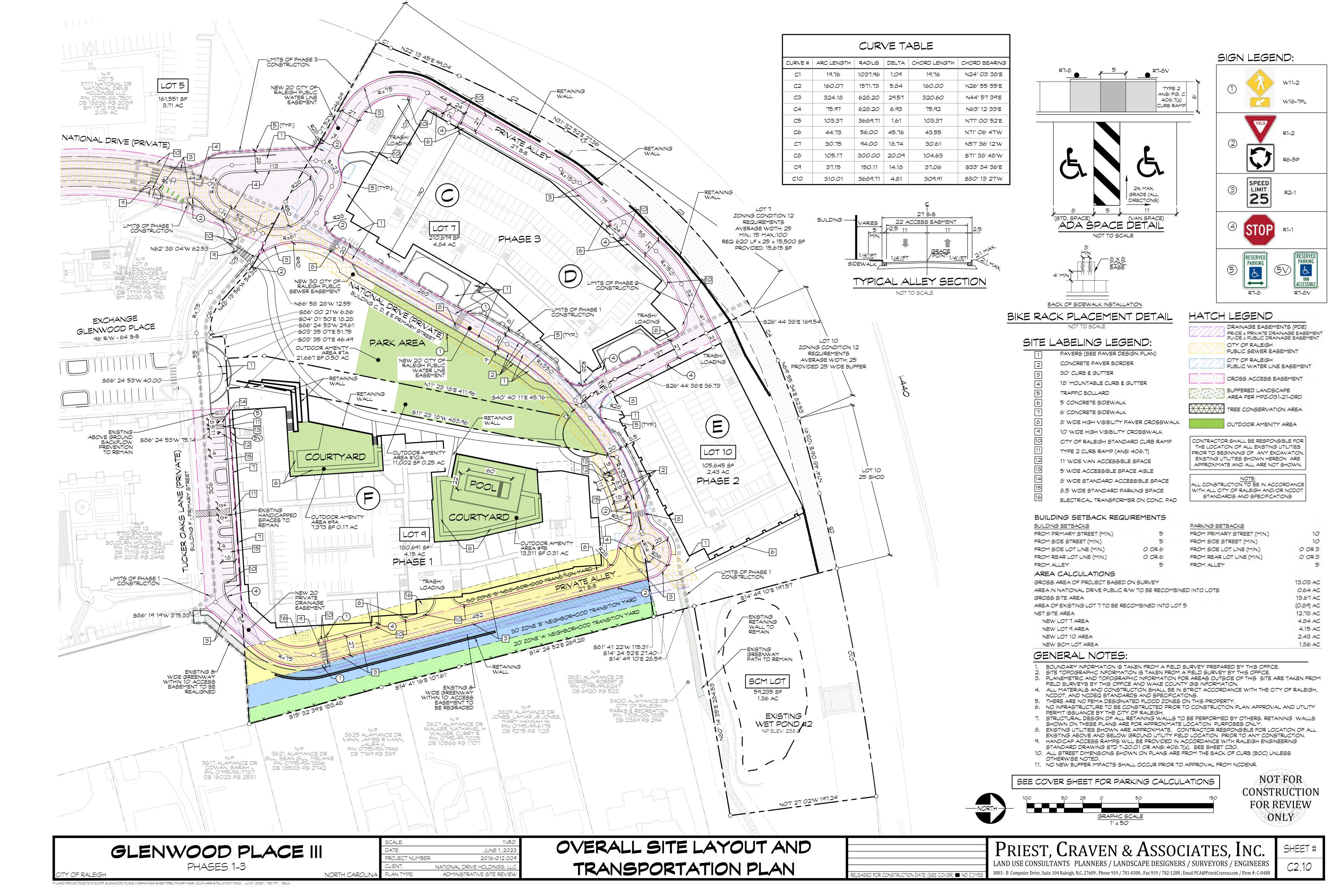
 $3803 - B \ \ Computer \ Drive, Suite \ 104 \ Raleigh, N.C. \ 27609 . Phone \ 919 \ / \ 781-0300 . Fax \ 919 \ / \ 782-1288 . Email \ PCA@PriestCraven.com \ / \ Firm \ \#: C-0488 \ \ PriestCraven.com \ / \$

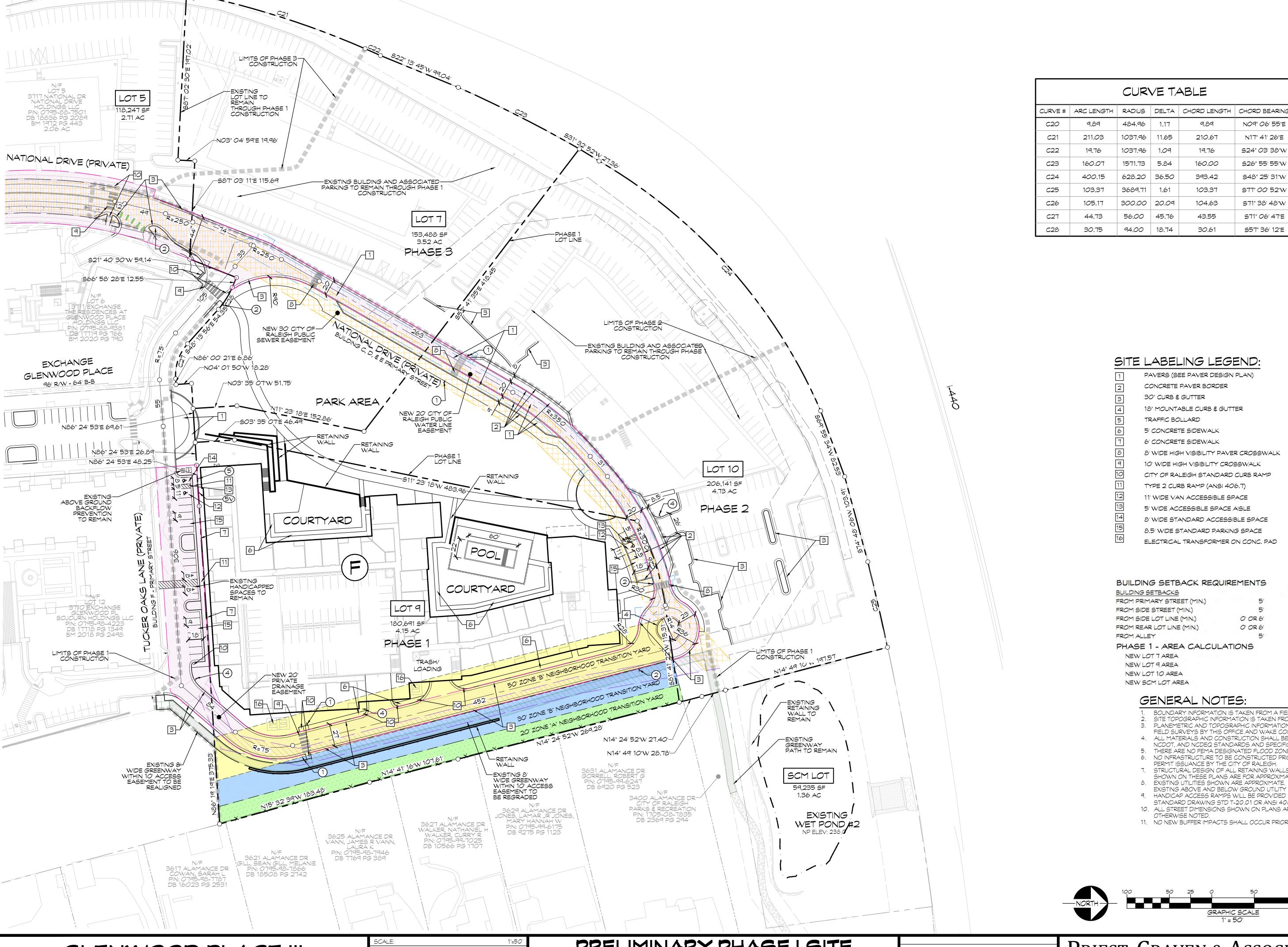




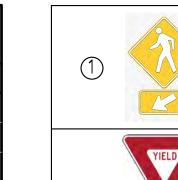








SIGN LEGEND:



N09° 06' 55"E

N17° 41′ 26″E

524° *0*3′ 38″W

S26° 55′ 55″W

548° 25' 31"W

S77° 00' 52"W

571° 38′ 48″W

S71° 06′ 47″E

S57° 36′ 12″E

W16-7PL









HATCH LEGEND





DRAINAGE EASEMENTS (PDE)

PUBLIC SEWER EASEMENT

PUBLIC WATER LINE EASEMENT

CROSS ACCESS EASEMENT

AREA PER MPZ-031-21-ORD

OUTDOOR AMENITY AREA

BUFFERED LANDSCAPE

PR-DE = PRIVATE DRAINAGE EASEMENT PU-DE = PUBLIC DRAINAGE EASEMENT



CITY OF RALEIGH

CITY OF RALEIGH

XXXXXX TREE CONSERVATION AREA

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES

PRIOR TO BEGINNING OF ANY EXCAVATION.

EXISTING UTILITIES SHOWN HEREON ARE

APPROXIMATE AND ALL ARE NOT SHOWN.

SITE LABELING LEGEND:

CURVE TABLE

1571.73 5.84

628.20 | 36.50

300.00 20.09

56.00 | 45.76

94.00 | 18.74

3689.71 | 1.61

105.17

210.67

19.76

160.00

30.61

PAVERS (SEE PAVER DESIGN PLAN) CONCRETE PAVER BORDER 30" CURB & GUTTER 18" MOUNTABLE CURB & GUTTER TRAFFIC BOLLARD 5' CONCRETE SIDEWALK 6' CONCRETE SIDEWALK 8' WIDE HIGH VISIBILITY PAVER CROSSWALK 10' WIDE HIGH VISIBILITY CROSSWALK CITY OF RALEIGH STANDARD CURB RAMP

TYPE 2 CURB RAMP (ANSI 406.7) 11' WIDE VAN ACCESSIBLE SPACE

5' WIDE ACCESSIBLE SPACE AISLE 8' WIDE STANDARD ACCESSIBLE SPACE 8.5' WIDE STANDARD PARKING SPACE ELECTRICAL TRANSFORMER ON CONC. PAD

<u>NOTE:</u> ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

BUILDING SETBACK REQUIREMENTS

BUILDING SETBACKS FROM PRIMARY STREET (MIN.) FROM SIDE STREET (MIN.) FROM SIDE LOT LINE (MIN.) 0' OR 6' FROM REAR LOT LINE (MIN.) 0' OR 6' FROM ALLEY

PHASE 1 - AREA CALCULATIONS NEW LOT 7 AREA

NEW LOT 9 AREA NEW LOT 10 AREA NEW SCM LOT AREA

PARKING SETBACKS FROM PRIMARY STREET (MIN.) FROM SIDE STREET (MIN.)

FROM SIDE LOT LINE (MIN.) FROM REAR LOT LINE (MIN.) FROM ALLEY

3.52 AC 4.15 AC 4.73 AC 1.36 AC

10

0' OR 3'

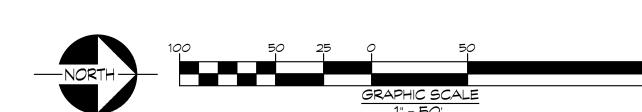
0' OR 3'

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A FIELD SURVEY PREPARED BY THIS OFFICE.
 SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A FIELD SURVEY BY THIS OFFICE.
 PLANEMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM FIELD SURVEYS BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- 4. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH,
- NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.

 THERE ARE NO FEMA DESIGNATED FLOOD ZONES ON THIS PROPERTY.

 NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
 EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL
- EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION. 9. HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD T-20.01 OR ANSI 406.7(a). SEE SHEET C30.
- 10. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS
- 11. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.



EASED FOR CONSTRUCTION DATE: (SEE C

NOTFOR CONSTRUCTION FOR REVIEW

GLENWOOD PLACE III PHASES 1-3

CITY OF RALEIGH

JUNE 1, 202 PROJECT NUMBER: 2016-012.00 NATIONAL DRIVE HOLDINGS. ADMINISTRATIVE SITE REVI PLAN TYPE:

CLIENT:

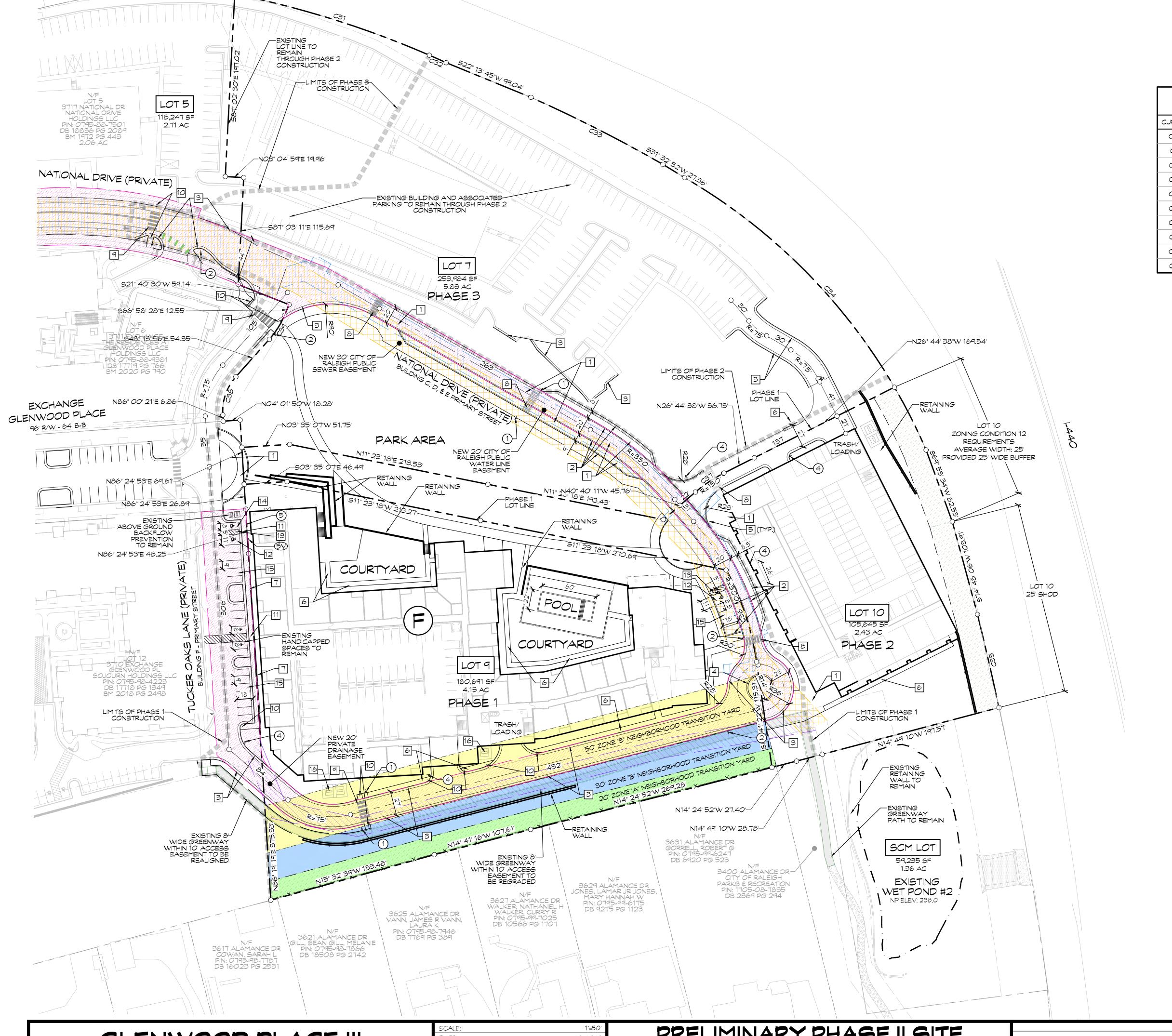
NORTH CAROLINA

PRELIMINARY PHASE I SITE LAYOUT PLAN

PRIEST, CRAVEN & ASSOCIATES, INC.

SHEET #

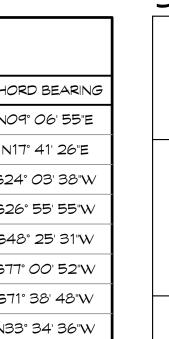
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488



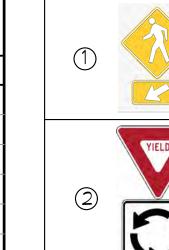
SIGN LEGEND:

CURVE TABLE							
URVE #	ARC LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING		
C30	9.89	484.96	1.17	9.89	NO9° 06' 55"E		
C31	211.03	1037.96	11.65	210.67	N17° 41' 26"E		
C32	19.76	1037.96	1.09	19.76	524° 03' 38"W		
C33	160.07	1571.73	5.84	160.00	S26° 55' 55"W		
C34	400.15	628.20	36.50	393.42	548° 25' 31"W		
C35	103.37	3689.71	1.61	103.37	577° 00' 52"W		
C36	105.17	300.00	20.09	104.63	S71° 38' 48"W		
C37	37.15	150.11	14.18	37.06	N33° 34' 36"W		
C38	44.73	56.00	45.76	43.55	S71° 06' 47"E		

94.00 18.74



S57° 36′ 12″E













HATCH LEGEND



DRAINAGE EASEMENTS (PDE)

PUBLIC SEWER EASEMENT

PUBLIC WATER LINE EASEMENT

CROSS ACCESS EASEMENT

AREA PER MPZ-031-21-ORD

OUTDOOR AMENITY AREA

BUFFERED LANDSCAPE

CITY OF RALEIGH

CITY OF RALEIGH

TREE CONSERVATION AREA

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES

PRIOR TO BEGINNING OF ANY EXCAVATION.

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<u>NOTE:</u> ALL CONSTRUCTION TO BE IN ACCORDANCE

WITH ALL CITY OF RALEIGH AND/OR NCDOT

STANDARDS AND SPECIFICATIONS

PARKING SETBACKS

FROM PRIMARY STREET (MIN.)

FROM SIDE STREET (MIN.)

PR-DE = PRIVATE DRAINAGE EASEMENT PU-DE = PUBLIC DRAINAGE EASEMENT

SITE LABELING LEGEND:

- PAVERS (SEE PAVER DESIGN PLAN) CONCRETE PAVER BORDER
- 30" CURB & GUTTER
- 18" MOUNTABLE CURB & GUTTER
- TRAFFIC BOLLARD
- 5' CONCRETE SIDEWALK 6' CONCRETE SIDEWALK
- 8' WIDE HIGH VISIBILITY PAVER CROSSWALK
- 10' WIDE HIGH VISIBILITY CROSSWALK CITY OF RALEIGH STANDARD CURB RAMP
- TYPE 2 CURB RAMP (ANSI 406.7)
- 11' WIDE VAN ACCESSIBLE SPACE
- 5' WIDE ACCESSIBLE SPACE AISLE 8' WIDE STANDARD ACCESSIBLE SPACE
- 8.5' WIDE STANDARD PARKING SPACE
- ELECTRICAL TRANSFORMER ON CONC. PAD

BUILDING SETBACK REQUIREMENTS

BUILDING SETBACKS	
FROM PRIMARY STREET (MIN.)	5
FROM SIDE STREET (MIN.)	5
FROM SIDE LOT LINE (MIN.)	O'ORE
FROM REAR LOT LINE (MIN.)	O'ORE
FROM ALLEY	5

PHASE 2 - AREA CALCULATIONS

PHASE 2 - AREA (
NEW LOT 7 AREA
NEW LOT 9 AREA
NEW LOT 10 AREA
NEW SCM LOT AREA

FROM SIDE LOT LINE (MIN.) FROM REAR LOT LINE (MIN.) FROM ALLEY

0' OR 3' 253,984 SF 5.83 AC 180,691 SF 4.15 AC

105,645 SF

59,235 SF

10

0' OR 3'

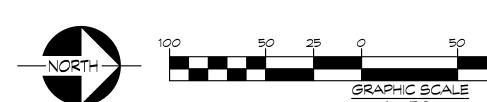
2.43 AC

1.36 AC

GENERAL NOTES:

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 SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A FIELD SURVEY BY THIS OFFICE.
- 3. PLANEMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM FIELD SURVEYS BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.

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- 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY
- CONSTRUCTION. 9. HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD T-20.01 OR ANSI 406.7(a). SEE SHEET C30.
- 10. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS
- 11. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.



EASED FOR CONSTRUCTION DATE: (SEE C



GLENWOOD PLACE III PHASES 1-3

CITY OF RALEIGH

JUNE 1, 202 PROJECT NUMBER: 2016-012.00 NATIONAL DRIVE HOLDINGS, PLAN TYPE: ADMINISTRATIVE SITE REVI

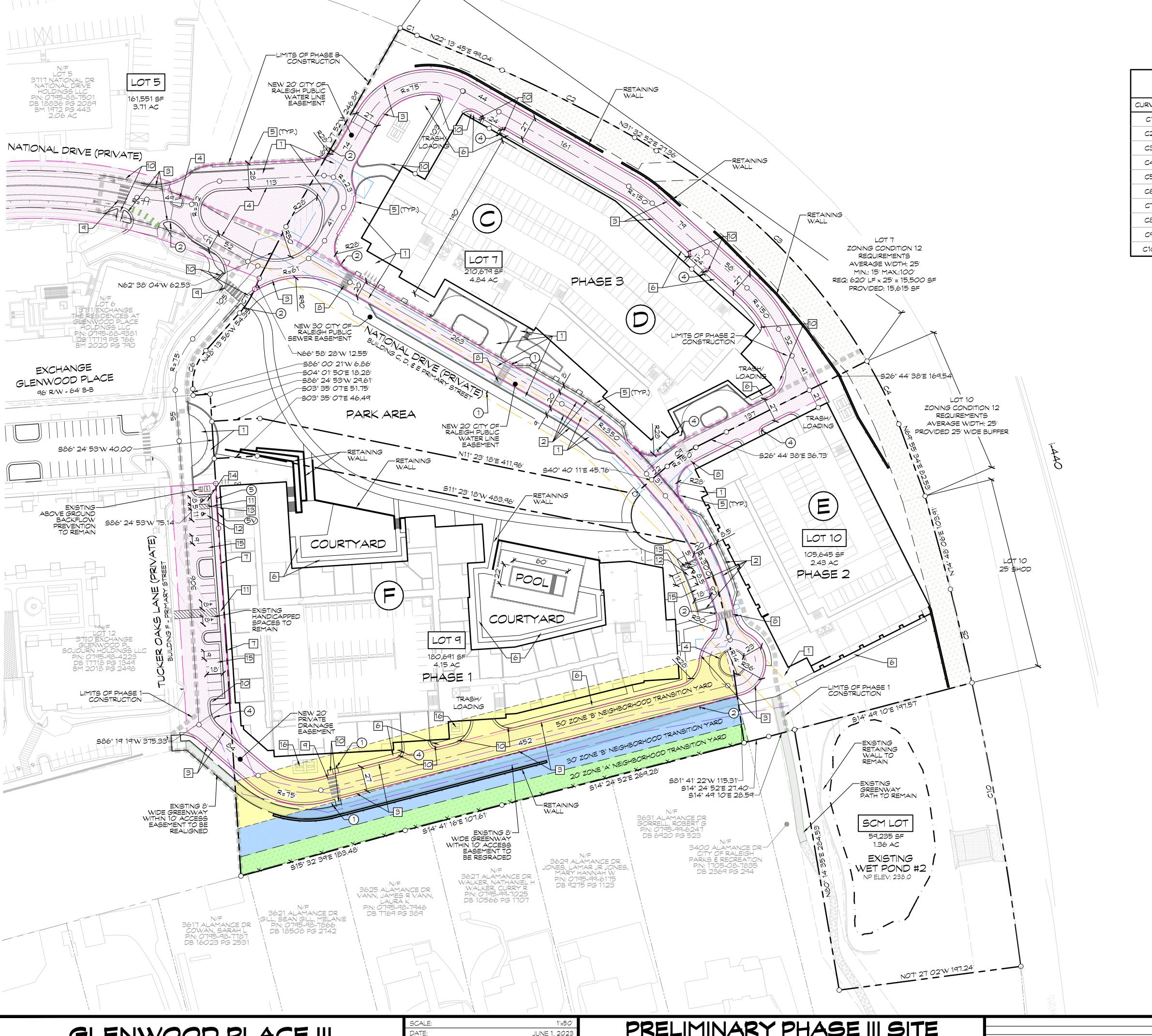
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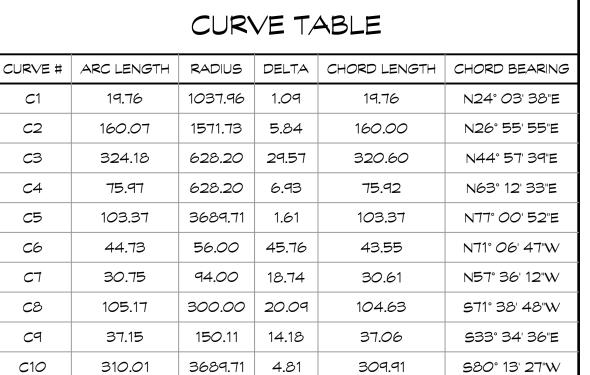
NORTH CAROLINA

PRELIMINARY PHASE II SITE LAYOUT PLAN

PRIEST, CRAVEN & ASSOCIATES, INC.

LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488 SHEET #





















CITY OF RALEIGH

CITY OF RALEIGH

TREE CONSERVATION AREA

HATCH LEGEND



DRAINAGE EASEMENTS (PDE)

PUBLIC WATER LINE EASEMENT

CROSS ACCESS EASEMENT

BUFFERED LANDSCAPE

AREA PER MPZ-031-21-ORD

OUTDOOR AMENITY AREA

0' OR 3'

0' OR 3'

12.77 AC

4.84 AC

4.15 AC

2.43 AC

1.36 AC

PUBLIC SEWER EASEMENT

PR-DE = PRIVATE DRAINAGE EASEMENT PU-DE = PUBLIC DRAINAGE EASEMENT

SITE LABELING LEGEND:

PAVERS (SEE PAVER DESIGN PLAN) CONCRETE PAVER BORDER

30" CURB & GUTTER 18" MOUNTABLE CURB & GUTTER

TRAFFIC BOLLARD

5' CONCRETE SIDEWALK

6' CONCRETE SIDEWALK 8' WIDE HIGH VISIBILITY PAVER CROSSWALK

10' WIDE HIGH VISIBILITY CROSSWALK

CITY OF RALEIGH STANDARD CURB RAMP TYPE 2 CURB RAMP (ANSI 406.7)

11' WIDE VAN ACCESSIBLE SPACE

5' WIDE ACCESSIBLE SPACE AISLE

8' WIDE STANDARD ACCESSIBLE SPACE

8.5' WIDE STANDARD PARKING SPACE ELECTRICAL TRANSFORMER ON CONC. PAD EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN. <u>NOTE:</u> ALL CONSTRUCTION TO BE IN ACCORDANCE

PARKING SETBACKS

FROM ALLEY

FROM PRIMARY STREET (MIN.)

FROM SIDE STREET (MIN.)

FROM SIDE LOT LINE (MIN.)

FROM REAR LOT LINE (MIN.)

CONTRACTOR SHALL BE RESPONSIBLE FOR

THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION

WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

BUILDING SETBACK REQUIREMENTS

BUILDING SETBACKS FROM PRIMARY STREET (MIN.) FROM SIDE STREET (MIN.) FROM SIDE LOT LINE (MIN.) 0' OR 6' FROM REAR LOT LINE (MIN.) 0' OR 6'

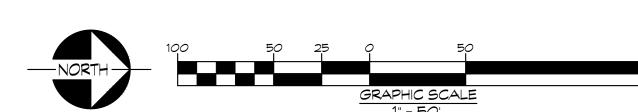
FROM ALLEY AREA CALCULATIONS

NET SITE AREA NEW LOT 7 AREA

NEW LOT 9 AREA NEW LOT 10 AREA NEW SCM LOT AREA

GENERAL NOTES

- BOUNDARY INFORMATION IS TAKEN FROM A FIELD SURVEY PREPARED BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A FIELD SURVEY BY THIS OFFICE.
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 ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES ON THIS PROPERTY NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH.
- 7. STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
- 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY
- 9. HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING
- STANDARD DRAWING STD T-20.01 OR ANSI 406.7(a). SEE SHEET C30. 10. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS
- 11. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.



NOTFOR CONSTRUCTION FOR REVIEW

GLENWOOD PLACE III PHASES 1-3

CITY OF RALEIGH

JUNE 1, 202 PROJECT NUMBER: 2016-012.00 NATIONAL DRIVE HOLDINGS. PLAN TYPE: ADMINISTRATIVE SITE REVI

CLIENT:

NORTH CAROLINA

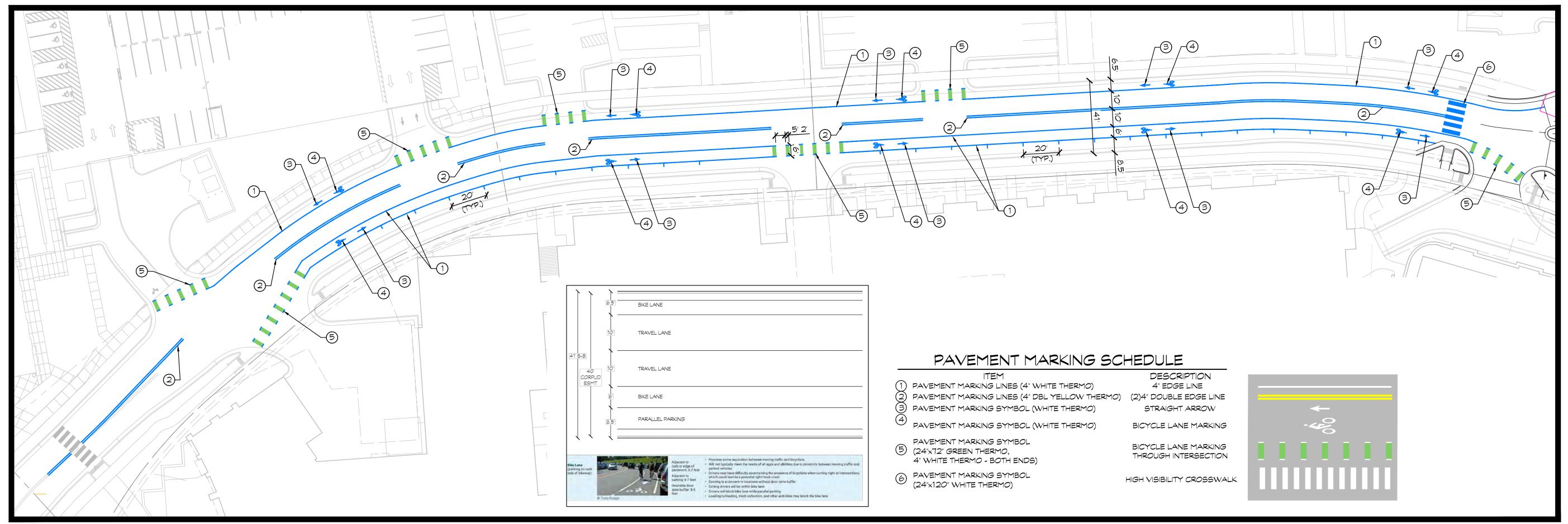
PRELIMINARY PHASE III SITE LAYOUT PLAN

EASED FOR CONSTRUCTION DATE: (SEE C

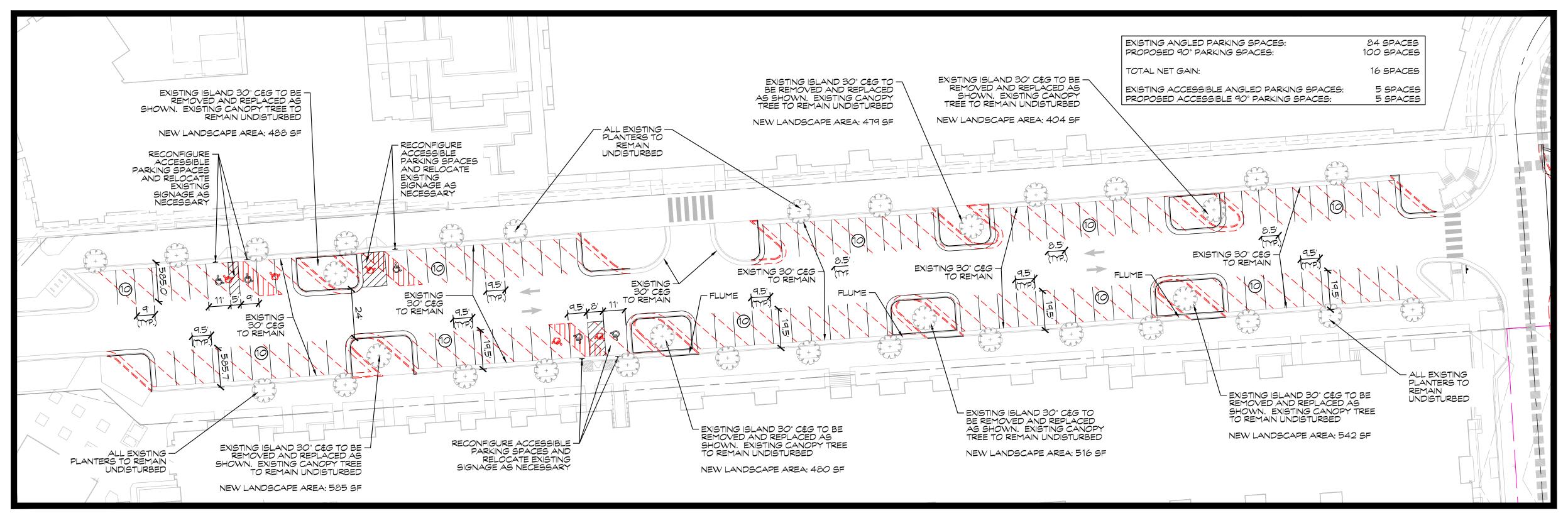
PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

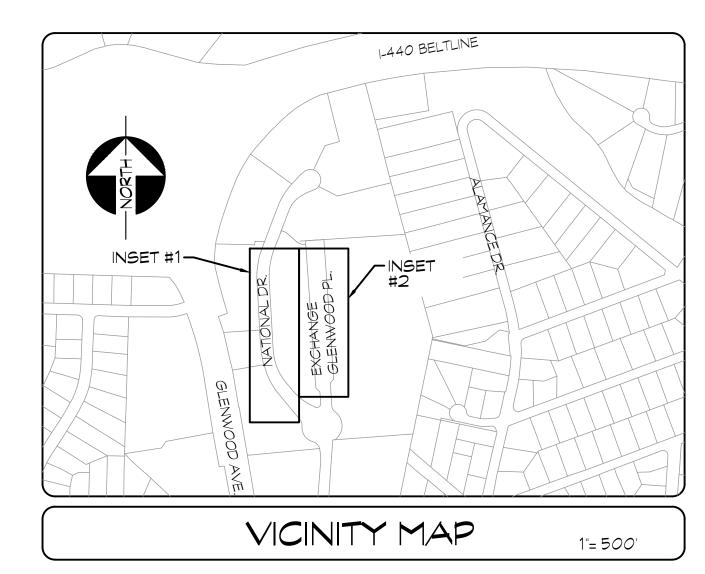
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #



INSET #1: EXISTING NATIONAL DRIVE STRIPING PLAN

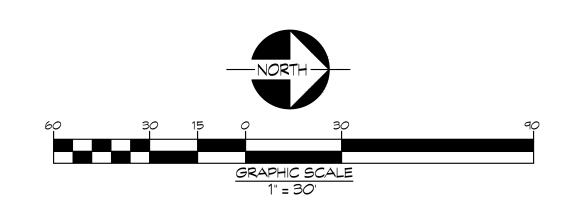




CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

INSET #2: EXISTING EXCHANGE GLENWOOD PLACE PARKING RECONFIGURATION PLAN



ELEASED FOR CONSTRUCTION DATE: (SEE COVER) lacktriangle NO [

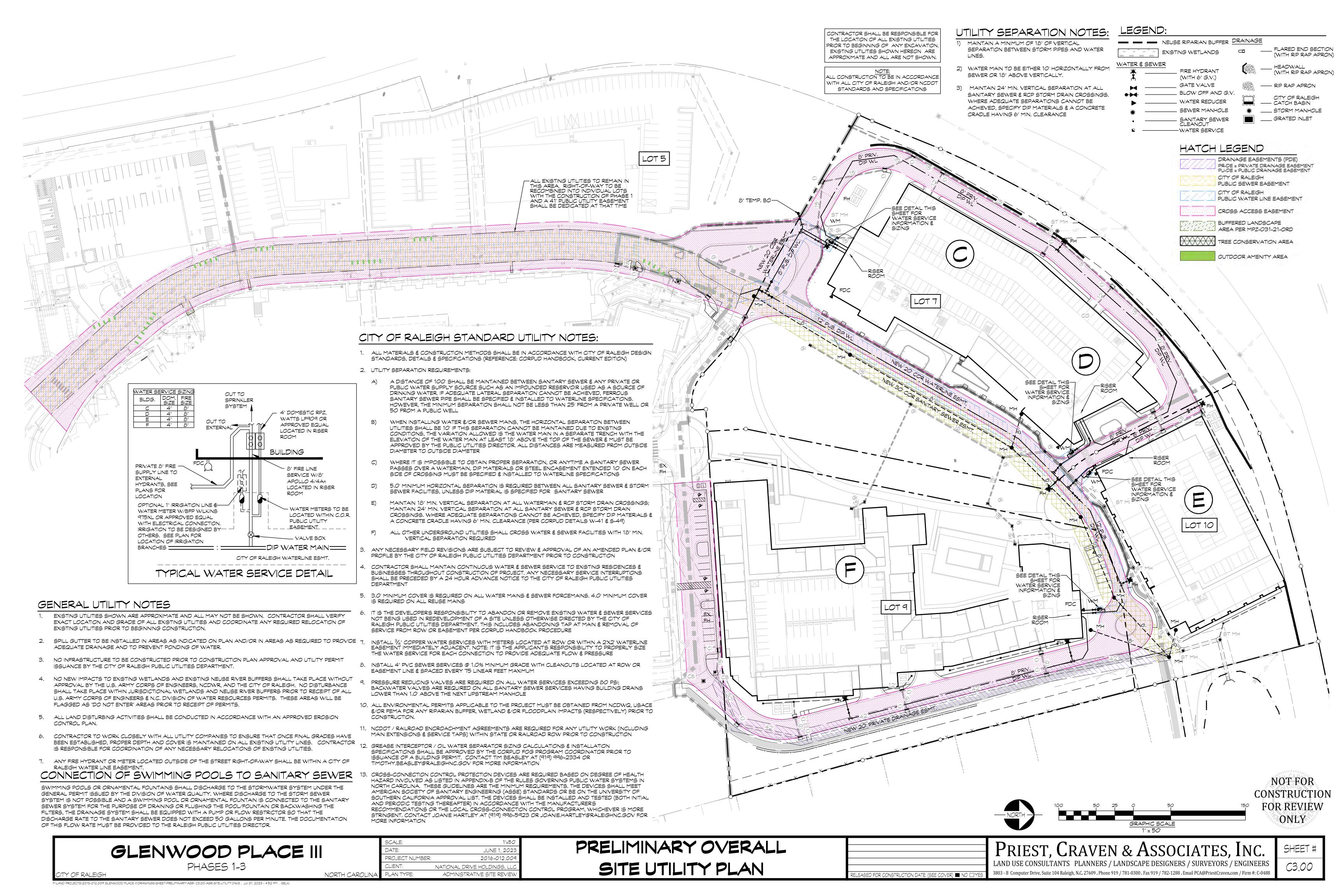
NOT FOR CONSTRUCTION FOR REVIEW ONLY

GLENWOOD PLACE III
PHASES 1-3

CITY OF RALEIGH

_	SCALE:	1"=30
	DATE:	JUNE 1, 2023
1	PROJECT NUMBER:	2016-012.009
	CLIENT:	NATIONAL DRIVE HOLDINGS, LLC
NORTH CAROLINA	PLAN TYPE:	ADMINISTRATIVE SITE REVIEW

EXISTING NATIONAL DR AND
EXCHANGE GLENWOOD PL PLAN





GENERAL UTILITY NOTES

- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 2. SPILL GUTTER TO BE INSTALLED IN AREAS AS INDICATED ON PLAN AND/OR IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.
- 3. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 4. NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE CITY OF RALEIGH. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS "DO NOT ENTER" AREAS PRIOR TO RECEIPT OF PERMITS.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- 6. CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.
- 7. ANY FIRE HYDRANT OR METER LOCATED OUTSIDE OF THE STREET RIGHT-OF-WAY SHALL BE WITHIN A CITY OF

CONNECTION OF SWIMMING POOLS TO SANITARY SEWER

SWIMMING POOLS OR ORNAMENTAL FOUNTAINS SHALL DISCHARGE TO THE STORMWATER SYSTEM UNDER THE GENERAL PERMIT ISSUED BY THE DIVISION OF WATER QUALITY. WHERE DISCHARGE TO THE STORM SEWER SYSTEM IS NOT POSSIBLE AND A SWIMMING POOL OR ORNAMENTAL FOUNTAIN IS CONNECTED TO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF DRAINING OR FLUSHING THE POOL/FOUNTAIN OR BACKWASHING THE FILTERS, THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE TO THE SANITARY SEWER DOES NOT EXCEED 50 GALLONS PER MINUTE. THE DOCUMENTATION OF THIS FLOW RATE MUST BE PROVIDED TO THE RALEIGH PUBLIC UTILITIES DIRECTOR.

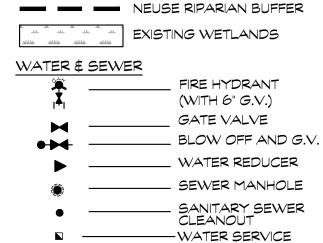
CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- 2. UTILITY SEPARATION REQUIREMENTS:
- A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50 FROM A PUBLIC WELL
- WHEN INSTALLING WATER \$/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER \$ STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS \$ A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE \$/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND \$/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION

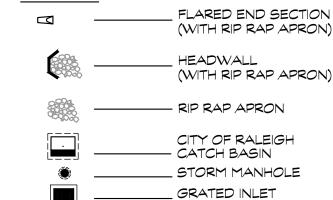
EASED FOR CONSTRUCTION DATE: (SEE C

13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION





DRAINAGE



HATCH LEGEND



BUFFERED LANDSCAPE AREA PER MPZ-031-21-ORD

XXXXXX TREE CONSERVATION AREA OUTDOOR AMENITY AREA

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN

<u>NOTE:</u> LL CONSTRUCTION TO BE IN ACCORDANCE

WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOTFOR CONSTRUCTION FOR REVIEW

GLENWOOD PLACE III PHASES 1-3

CITY OF RALEIGH

PROJECT NUMBER: 2016-012.00 CLIENT: NATIONAL DRIVE HOLDINGS, ADMINISTRATIVE SITE REVI NORTH CAROLINA PLAN TYPE:

UTILITY PLAN

PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #



GENERAL UTILITY NOTES

- I. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- 2. SPILL GUTTER TO BE INSTALLED IN AREAS AS INDICATED ON PLAN AND/OR IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.
- 3. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 4. NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE CITY OF RALEIGH. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS "DO NOT ENTER" AREAS PRIOR TO RECEIPT OF PERMITS.
- 5. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- 6. CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.
- 7. ANY FIRE HYDRANT OR METER LOCATED OUTSIDE OF THE STREET RIGHT-OF-WAY SHALL BE WITHIN A CITY OF

CONNECTION OF SWIMMING POOLS TO SANITARY SEWER

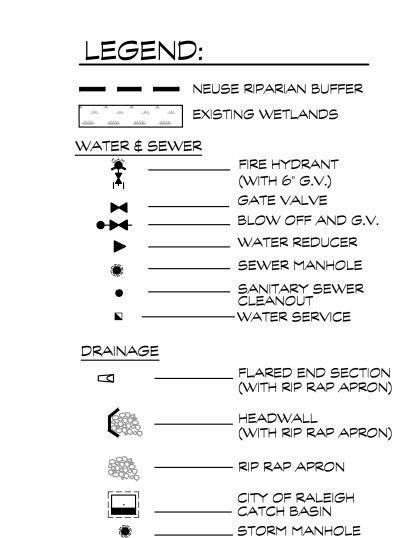
SWIMMING POOLS OR ORNAMENTAL FOUNTAINS SHALL DISCHARGE TO THE STORMWATER SYSTEM UNDER THE GENERAL PERMIT ISSUED BY THE DIVISION OF WATER QUALITY. WHERE DISCHARGE TO THE STORM SEWER SYSTEM IS NOT POSSIBLE AND A SWIMMING POOL OR ORNAMENTAL FOUNTAIN IS CONNECTED TO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF DRAINING OR FLUSHING THE POOL/FOUNTAIN OR BACKWASHING THE FILTERS, THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE TO THE SANITARY SEWER DOES NOT EXCEED 50 GALLONS PER MINUTE. THE DOCUMENTATION OF THIS FLOW RATE MUST BE PROVIDED TO THE RALEIGH PUBLIC UTILITIES DIRECTOR.

CITY OF RALEIGH STANDARD UTILITY NOTES:

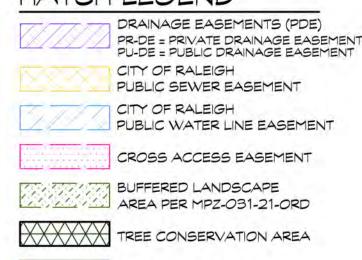
- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- 2. UTILITY SEPARATION REQUIREMENTS:
- A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50 FROM A PUBLIC WELL
- B) WHEN INSTALLING WATER \$/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER \$ MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
- C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
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- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- 7. INSTALL $^3\!\!/_{\!\!4}$ " COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI;
 BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE \$/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND \$/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
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ASED FOR CONSTRUCTION DATE: (SEE (

13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION



HATCH LEGEND



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OUTDOOR AMENITY AREA

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE
WITH ALL CITY OF RALEIGH AND/OR NCDOT
STANDARDS AND SPECIFICATIONS

S MORE GRAPHIC SCALE

NOT FOR

CONSTRUCTION

FOR REVIEW

ONLY

GLENWOOD PLACE III
PHASES 1-3

ITY OF RALEIGH

SCALE: 1"=5

DATE: JUNE 1, 202

PROJECT NUMBER: 2016-012.00

CLIENT: NATIONAL DRIVE HOLDINGS, LL

NORTH CAROLINA PLAN TYPE: ADMINISTRATIVE SITE REVIE

PRELIMINARY PHASE II
UTILITY PLAN

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET # C3.02



GENERAL UTILITY NOTES

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- 7. ANY FIRE HYDRANT OR METER LOCATED OUTSIDE OF THE STREET RIGHT-OF-WAY SHALL BE WITHIN A CITY OF RALEIGH WATER LINE EASEMENT.

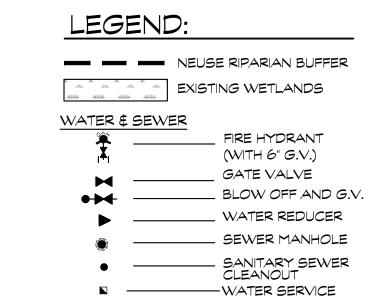
CONNECTION OF SWIMMING POOLS TO SANITARY SEWER

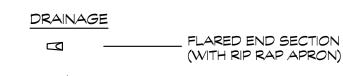
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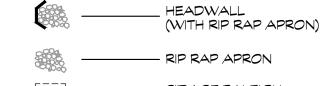
CITY OF RALEIGH STANDARD UTILITY NOTES:

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- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
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ASED FOR CONSTRUCTION DATE: (SEE (

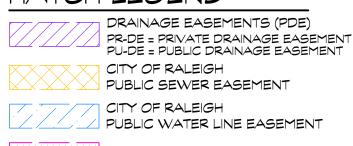












CROSS ACCESS EASEMENT

BUFFERED LANDSCAPE

AREA PER MPZ-031-21-ORD



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NOTE:
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WITH ALL CITY OF RALEIGH AND/OR NCDOT
STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW

NORTH 50 25 0 50

GRAPHIC SCALE

1" = 50'

GLENWOOD PLACE III
PHASES 1-3

CITY OF RALEIGH

SCALE: 1"=50"

DATE: JUNE 1, 2023

PROJECT NUMBER: 2016-012.009

CLIENT: NATIONAL DRIVE HOLDINGS, LLC

PLAN TYPE: ADMINISTRATIVE SITE REVIEW

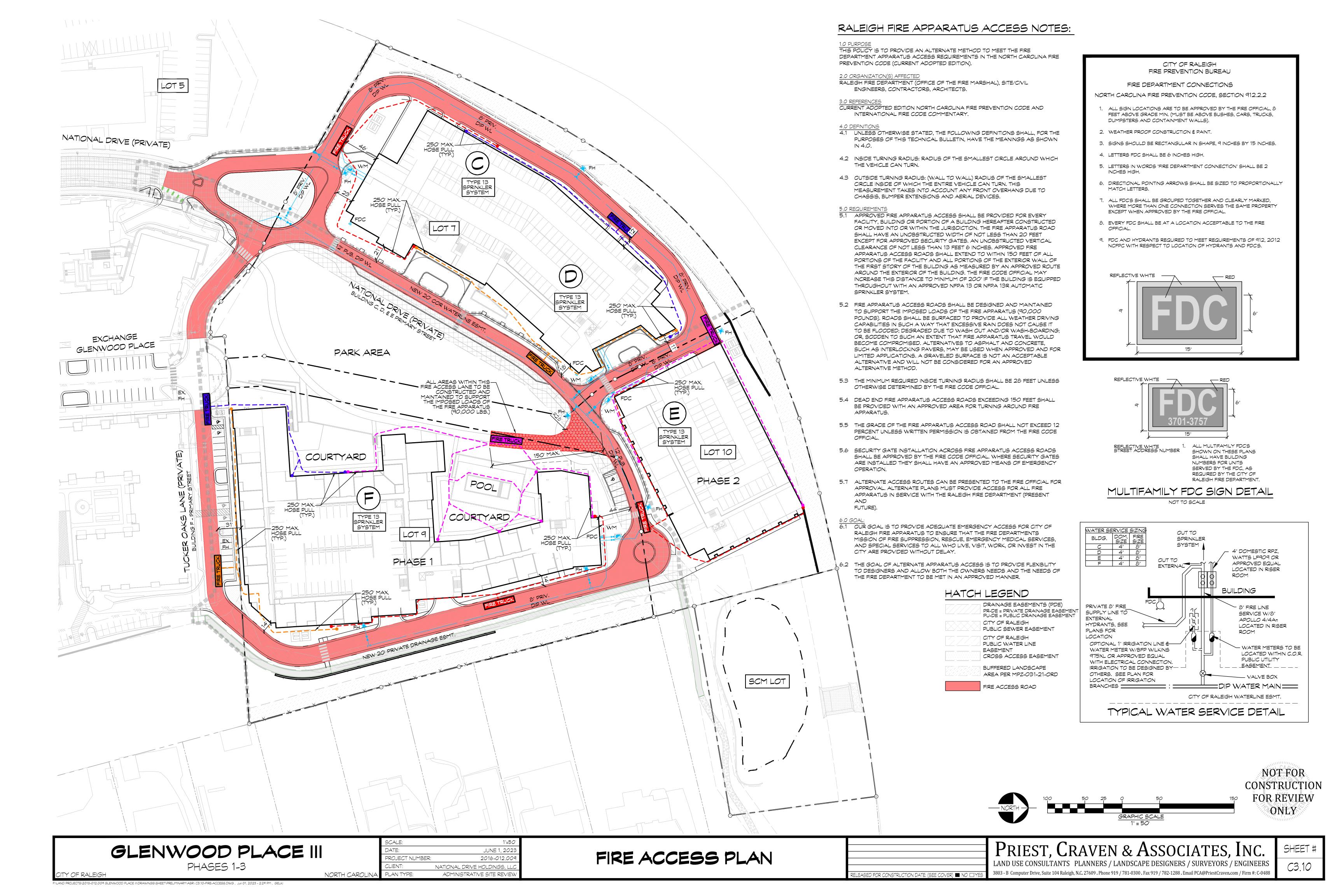
NORTH CAROLINA

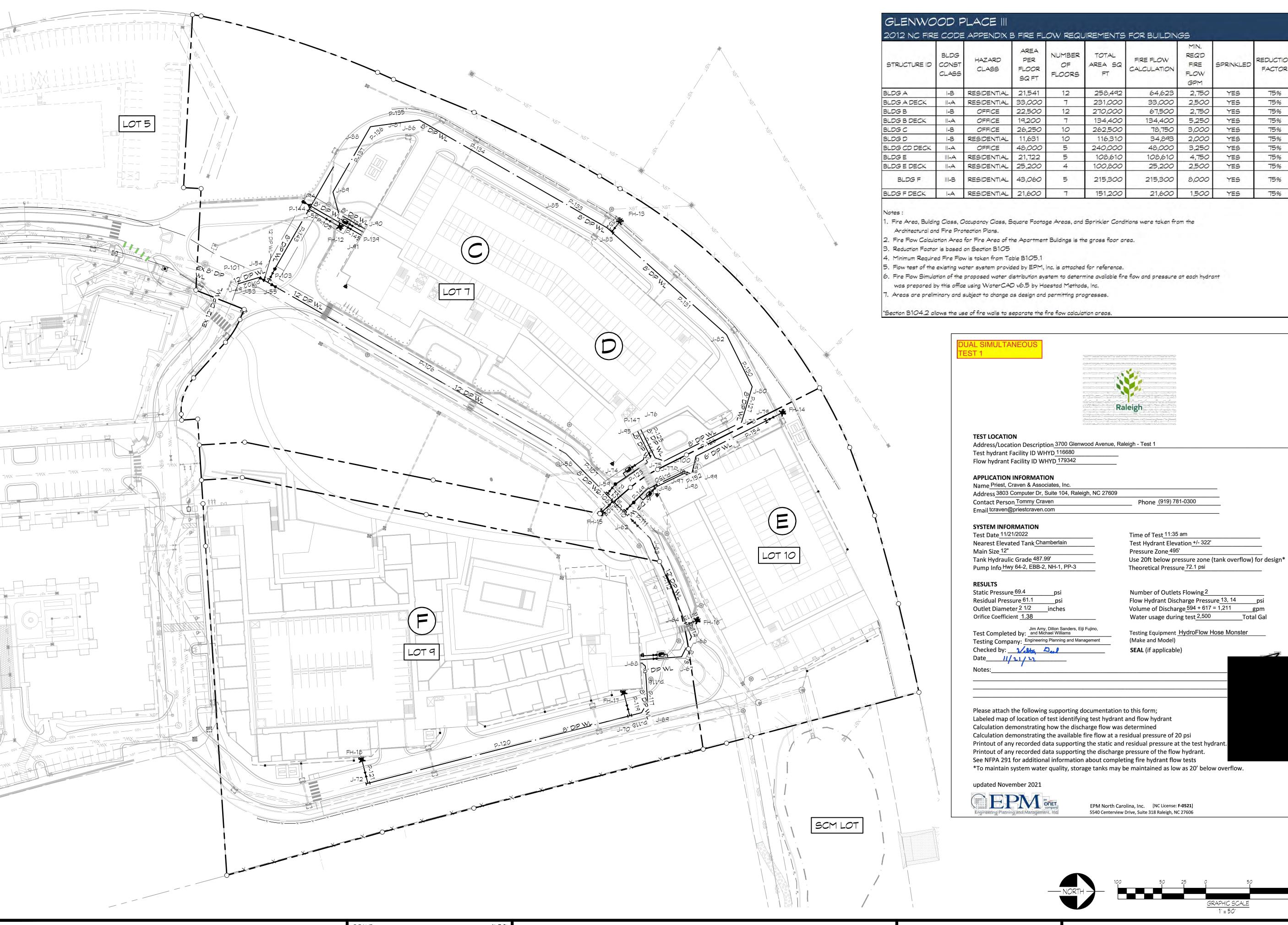
PRELIMINARY PHASE III
UTILITY PLAN

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #





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1,500 EXFH#11

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1,500 FH#12

FH#18

AVAILABLE

FLOW PER

1,500

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NOTFOR

CONSTRUCTION

FOR REVIEW

ONLY

SHEET #

1,500

SIMULATION SIMULATION

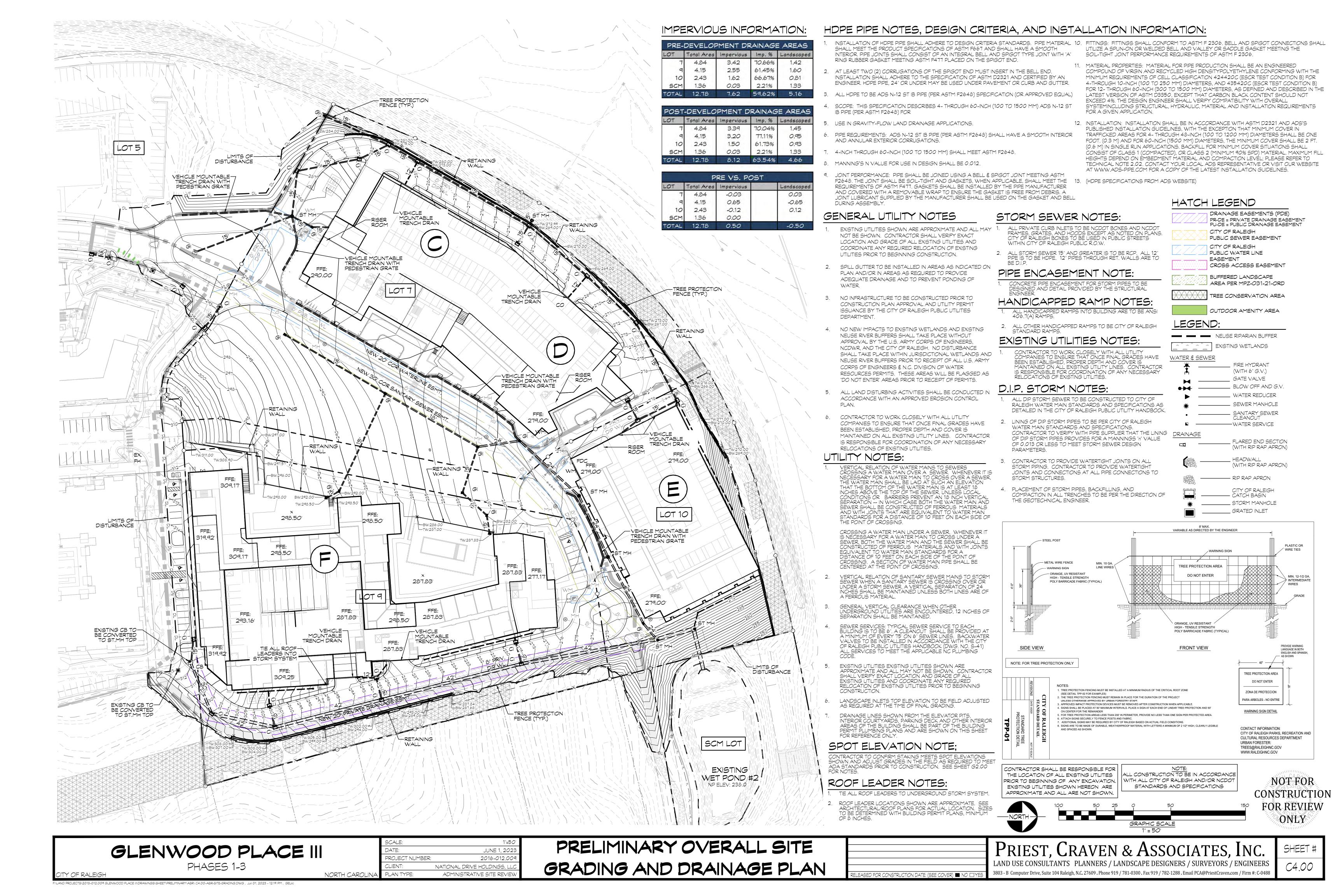
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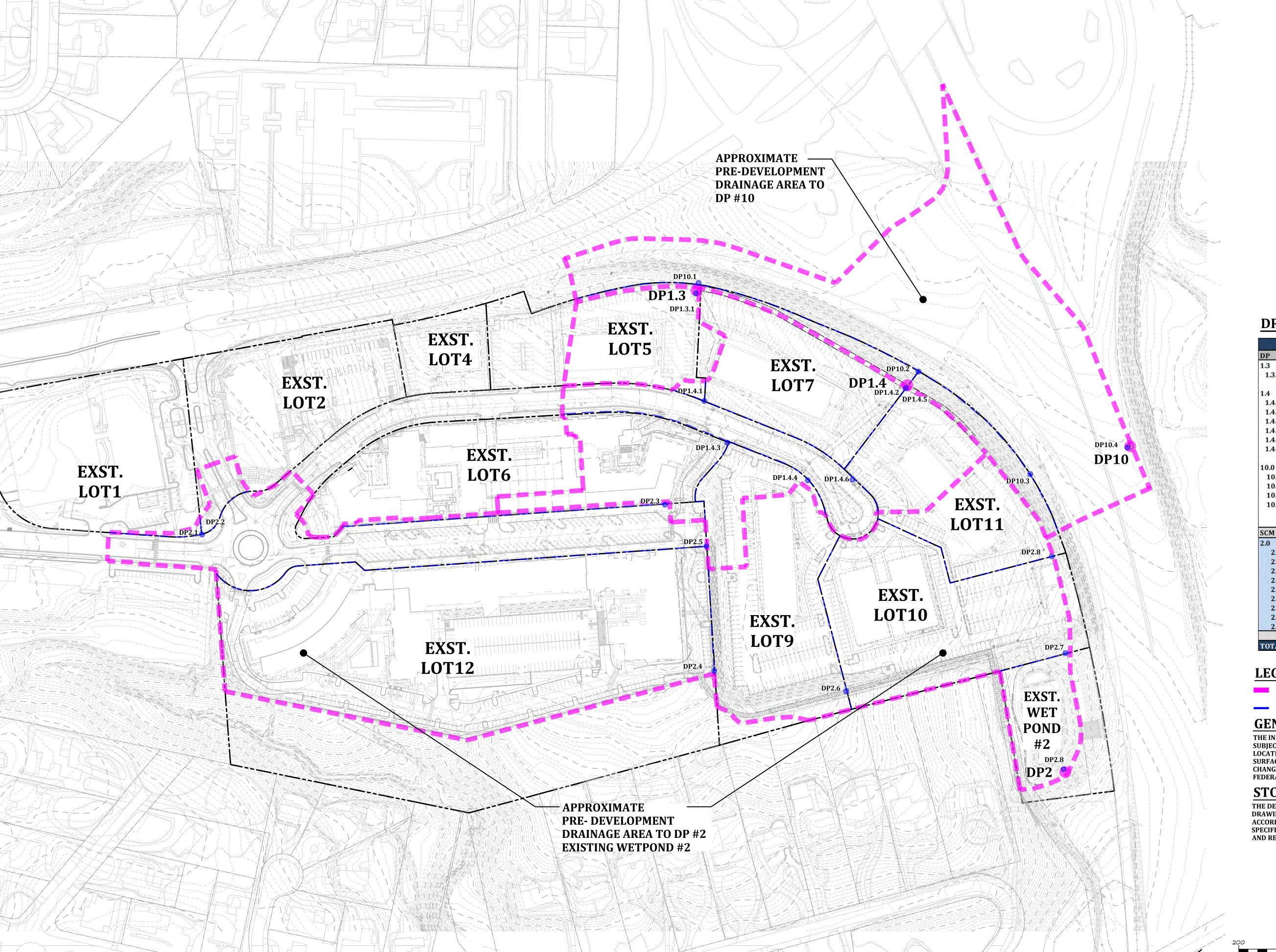
52.80

31.98

GLENWOOD PLACE III

ELEASED FOR CONSTRUCTION DATE: (SEE CO





DRAINAGE AREA SUMMARY

DP		Total Area	Impervious	Imp.%	Landscaped
1.3		Total Al ea	impervious	тир. 70	Lanuscapeu
	LOT 5 (2515)	1.25	0.02		0.42
1.3.1	LOT 5(3717) TOTAL TO DP 1.3	1.35 1.35	0.92 0.92	68.15%	0.43 0.43
1.4	TOTAL TODP 1.3	1.35	0.92	68.15%	0.43
1.4.1	LOT 5(3717)	0.05	0.03		0.02
1.4.2	LOT 7(3725)	2.00	1.70		0.02
1.4.3	LOT 6(3711) & EXCHANGE GW	1.40	1.70		0.30
1.4.4	LOT 9(3724)	0.71	0.38		0.27
1.4.5	LOT 9(3724) LOT 11(3733)	1.06	0.38		0.33
1.4.6	NATIONAL DR	1.06	0.90		0.16
1.4.0	TOTAL TO DP 1.4	6.36	5.12	80.50%	1.24
10.0	TOTAL TO DP 1.4	0.30	5.12	80.50%	0.00
10.0	LOT F (2717)	0.04	0.00	444	0.00
10.1	LOT 5(3717)	0.04	0.00		0.04
10.2	LOT 7(3725)	0.27	34343		100000
	LOT 11(3733)		0.00		0.43
10.4	OFFSITE/I-440	6.64	2.77	25 520/	3.87
	TOTAL TO DP 10.0	7.38	2.77	37.53%	
	TOTAL THRU DP10.0 (DP1.1-DP10)	15.09	8.81	58.38%	6.28
	ETPOND #2				
2.0	202302200	0.00	2020		2.00
2.1	LOT 1(3700)	0.03	0.01		0.02
2.2	LOT 2(3800)	0.21	0.12		0.09
2.3	LOT 6(3711)	0.11	0.04		0.07
2.4	LOT 12 (3739)	7.55	5.79		1.76
2.5	EXCHANGE GW	2.92	1.54		1.38
2.6	LOT 9(3724)	2.53	1.69		0.84
2.7	LOT 10(3739)	3.17	2.33		0.84
2.8	LOT 11(3733)	1.09	0.84		0.25
2.8	SCM LOT	0.84	0.03		0.81
	TOTAL TO DP 2.0 (WETPOND #2)	18.45	12.39	67.15%	6.06
TOTAL		33.54	21.20	63.21%	12.34

LEGEND:

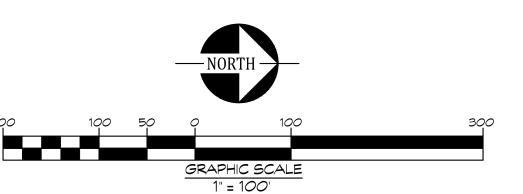
ASED FOR CONSTRUCTION DATE: (SEE COVER) ■ NO

MAJOR PRE-DEVELOPMENT DRAINAGE AREA

GENERAL NOTE:

STORMWATER MANAGEMENT NOTES:

THE DESIGN OF ALL REQUIRED STORMWATER DEVICES WILL BE PROVIDED AT CONSTRUCTION



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GLENWOOD PLACE III PHASES 1-3

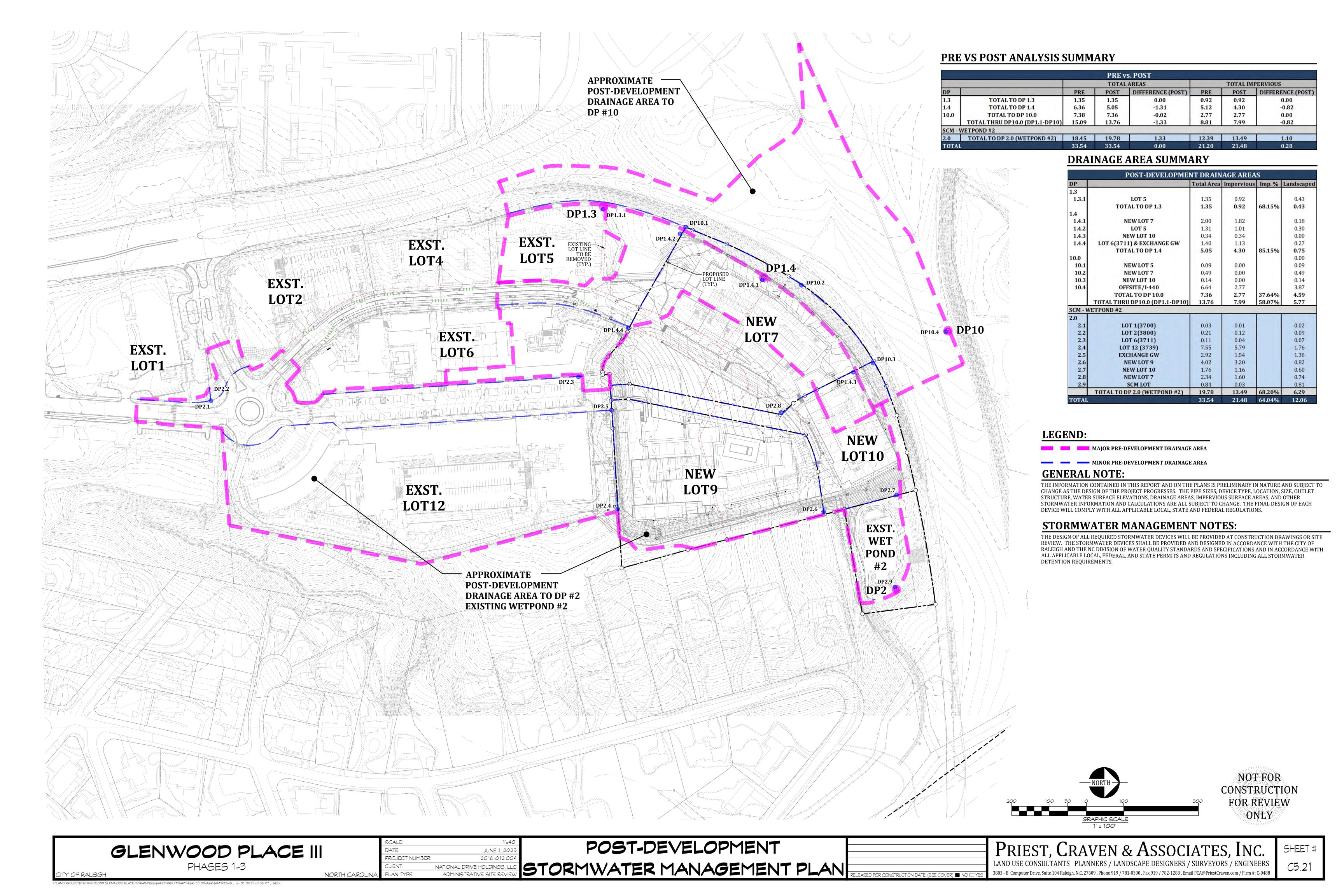
JUNE 1, 202 2016-012.00 NATIONAL DRIVE HOLDINGS, L ADMINISTRATIVE SITE REVI

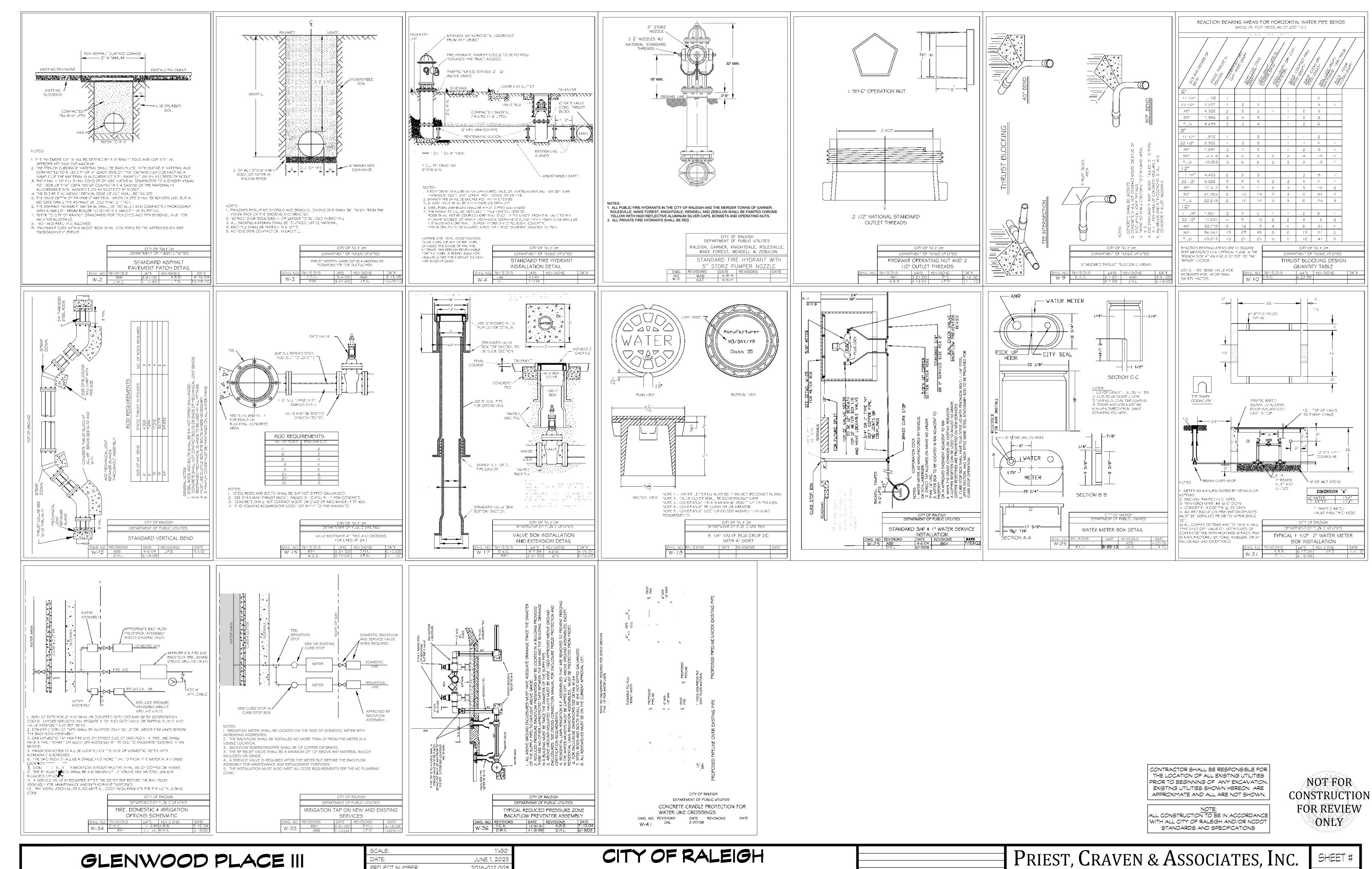
PRE-DEVELOPMENT STORMWATER MANAGEMENT PLAN

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET#





STANDARD DETAILS

EASED FOR CONSTRUCTION DATE: (SEE CO

PROJECT NUMBER:

CLIENT:

PLAN TYPE:

NORTH CAROLINA

PHASES 1-3

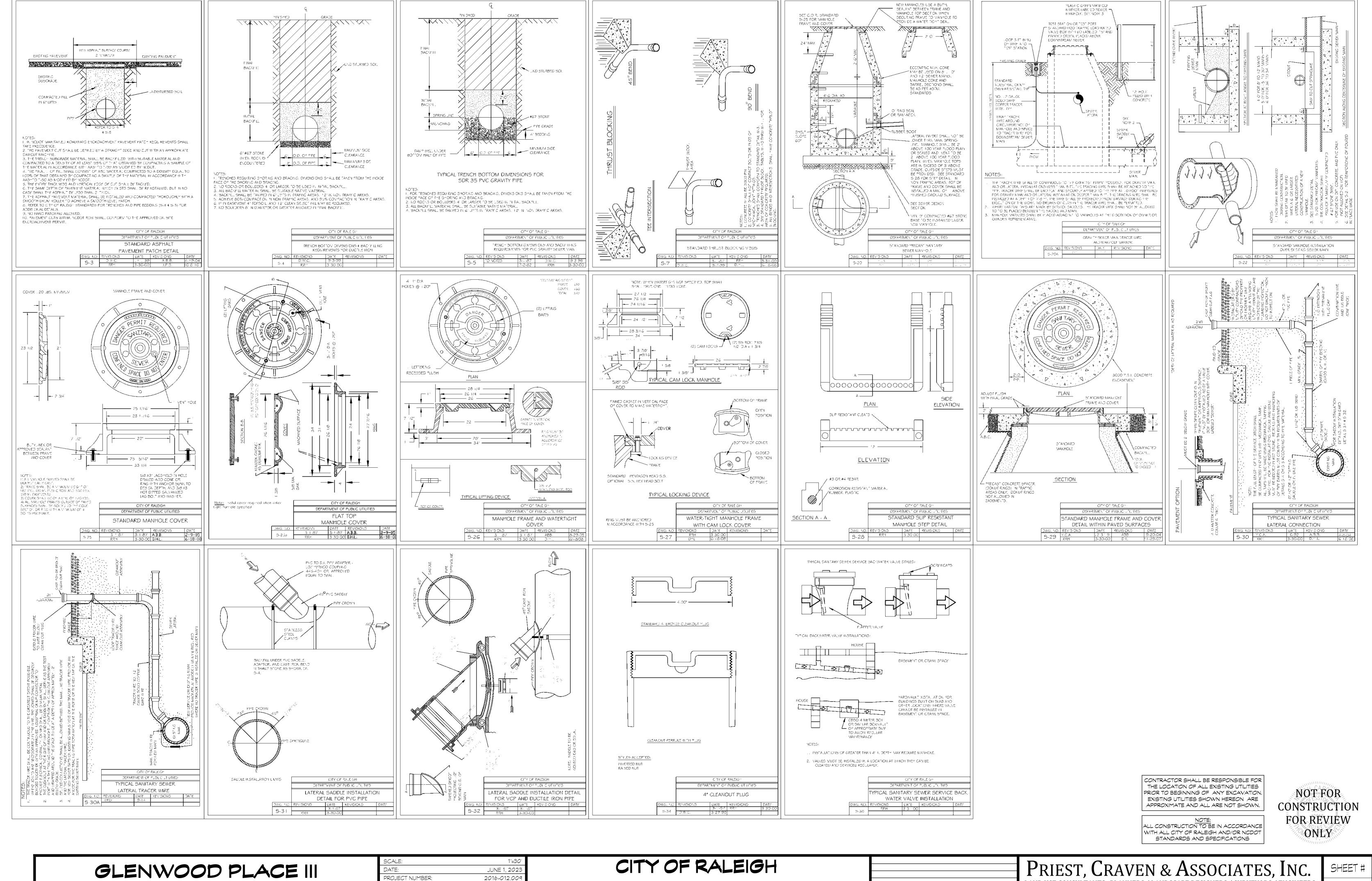
CITY OF RALEIGH

2016-012.00

NATIONAL DRIVE HOLDINGS,

ADMINISTRATIVE SITE REVI

LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS C9.00 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488



PHASES 1-3

CITY OF RALEIGH

NATIONAL DRIVE HOLDINGS, I

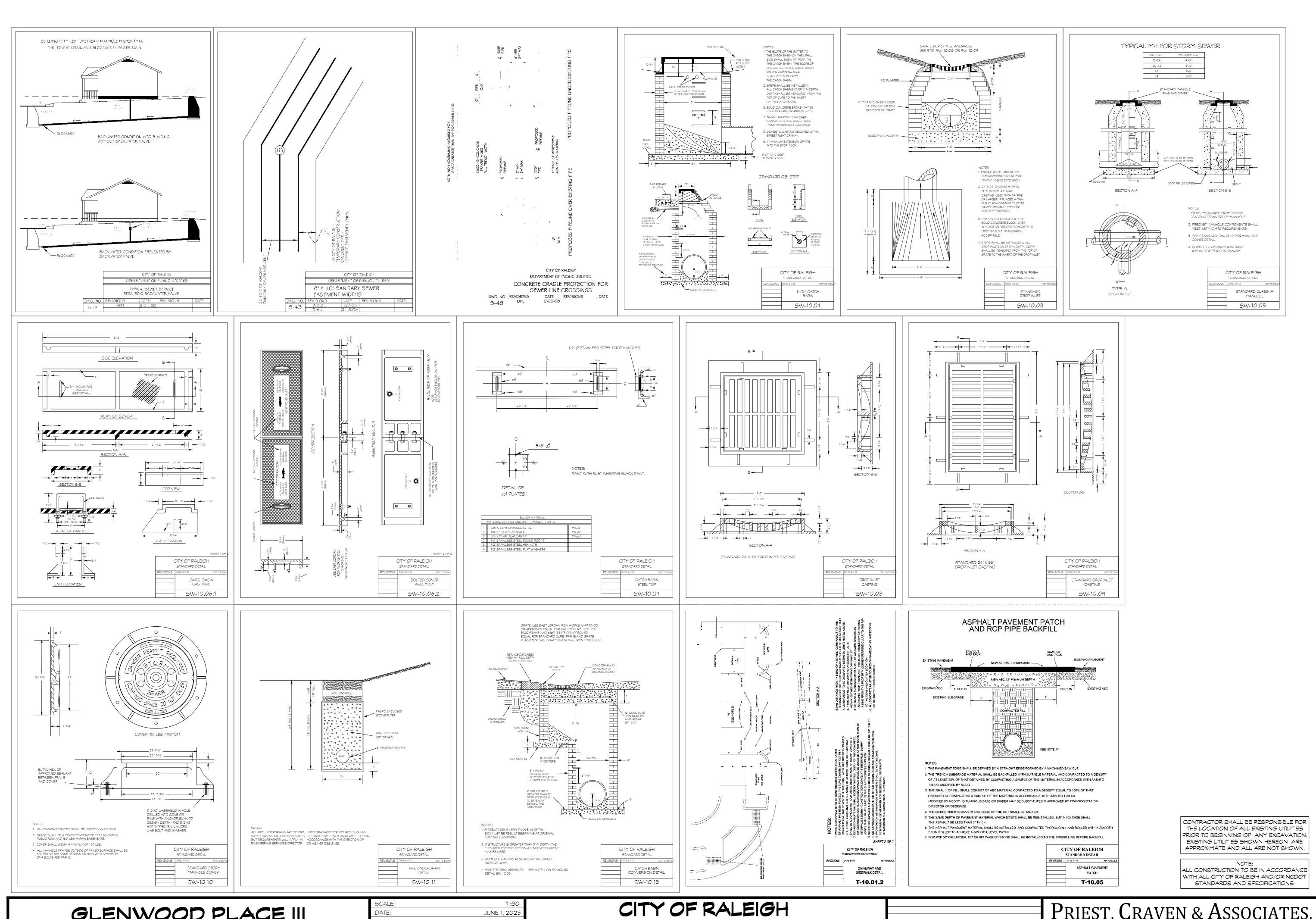
ADMINISTRATIVE SITE REVI

NORTH CAROLINA

PLAN TYPE:

PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS STANDARD DETAILS $3803-B\ \ Computer\ Drive, Suite\ 104\ Raleigh, N.C.\ 27609.\ Phone\ 919\ /\ 781-0300.\ Fax\ 919\ /\ 782-1288.\ Email\ PCA@PriestCraven.com\ /\ Firm\ \#:\ C-0488.$ ASED FOR CONSTRUCTION DATE: (SEE CO

C9.01



STANDARD DETAILS

JUNE 1, 202 2016-012.00

NATIONAL DRIVE HOLDINGS, I

ADMINISTRATIVE SITE REVI

NORTH CAROLINA

PLAN TYPE:

GLENWOOD PLACE III

PHASES 1-3

CITY OF RALEIGH

PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS $3803-B\ \ Computer\ Drive, Suite\ 104\ Raleigh, N.C.\ 27609.\ Phone\ 919\ /\ 781-0300.\ Fax\ 919\ /\ 782-1288.\ Email\ PCA@PriestCraven.com\ /\ Firm\ \#:\ C-0488.\ PriestCraven.com\ /\ Firm\ \#:\ C-0488.\ PriestCraven.\ P$

EASED FOR CONSTRUCTION DATE: (SEE COVER) **II** NO

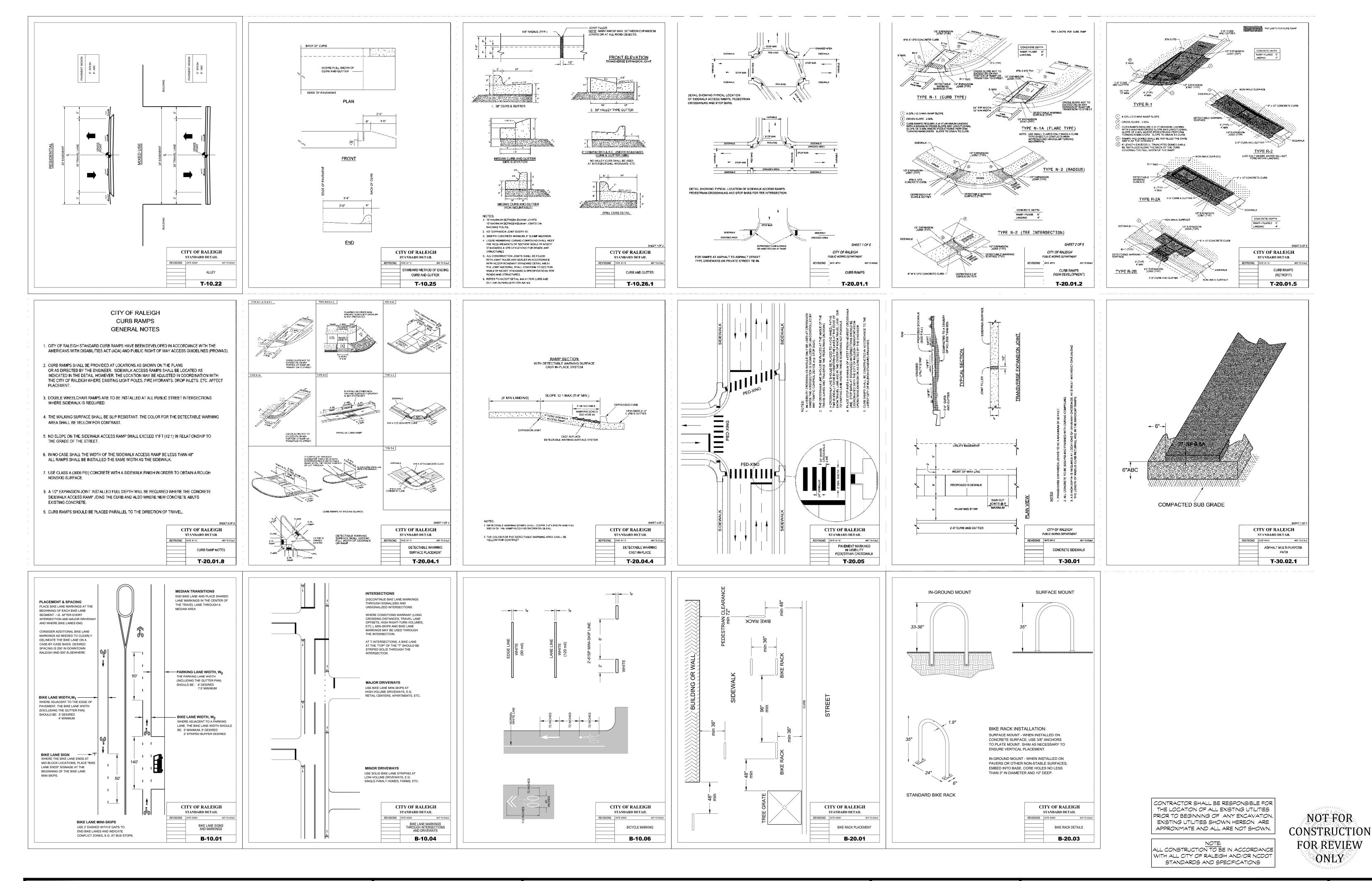
SHEET # C9.02

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CONSTRUCTION

FOR REVIEW

ONLY



GLENWOOD PLACE III
PHASES 1-3

CITY OF RALEIGH

DATE:

DATE:

PROJECT NUMBER:

CLIENT:

NATIONAL DRIVE HOLDINGS, LLC

NORTH CAROLINA

PLAN TYPE:

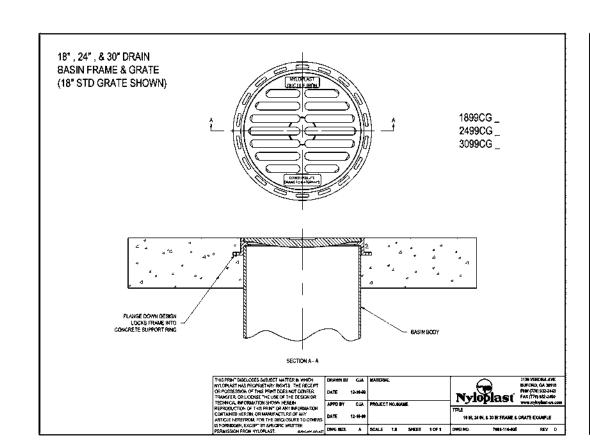
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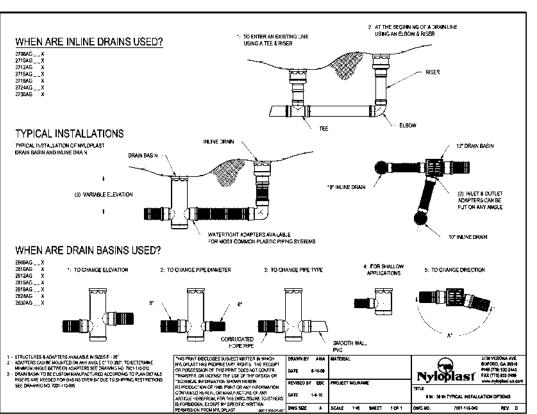
CITY OF RALEIGH STANDARD DETAILS

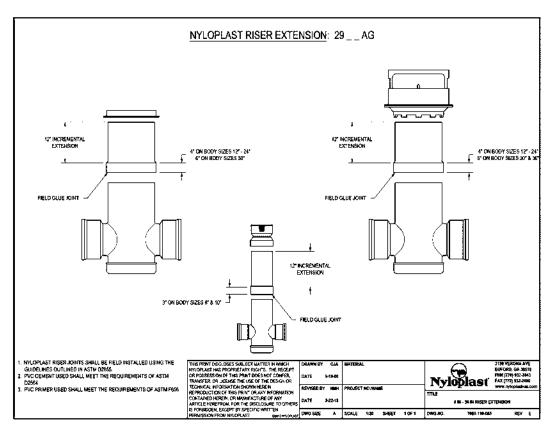
EASED FOR CONSTRUCTION DATE: (SEE CO

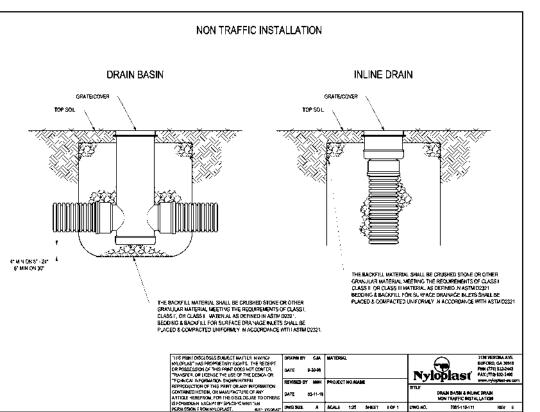
PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

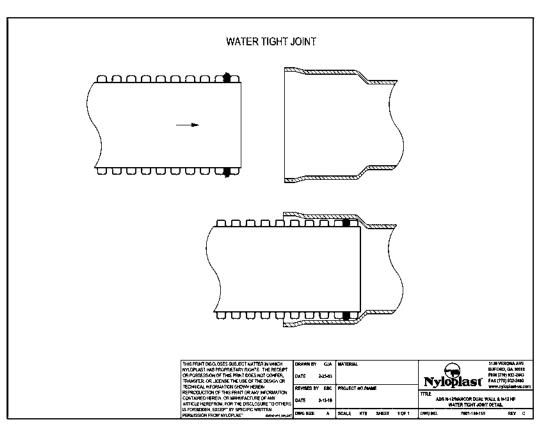
SHEET # C9.03

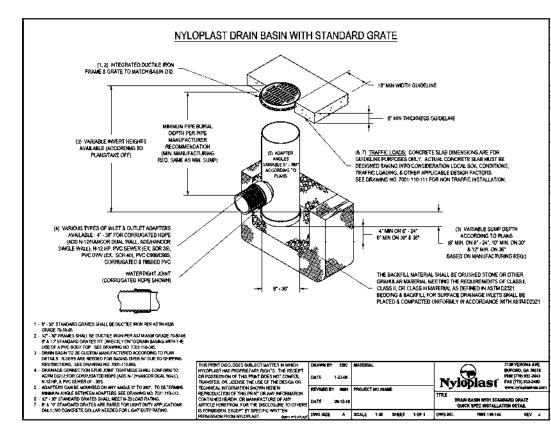


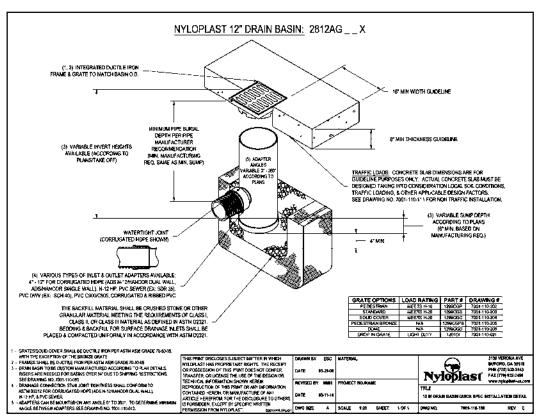


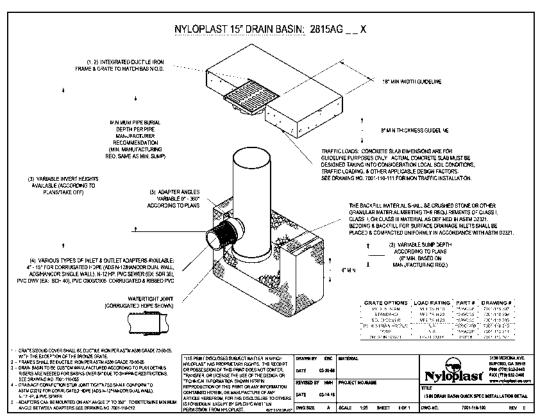


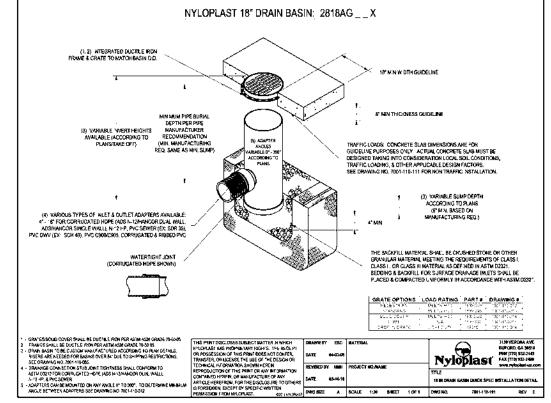


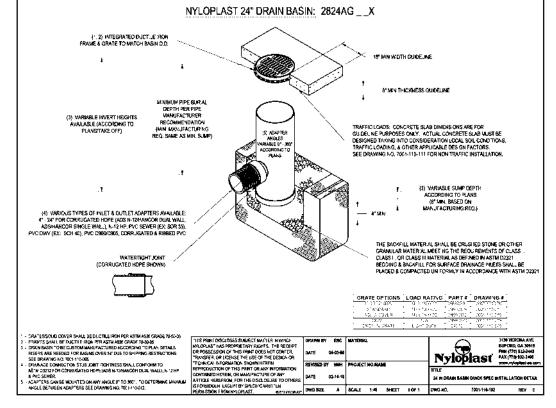


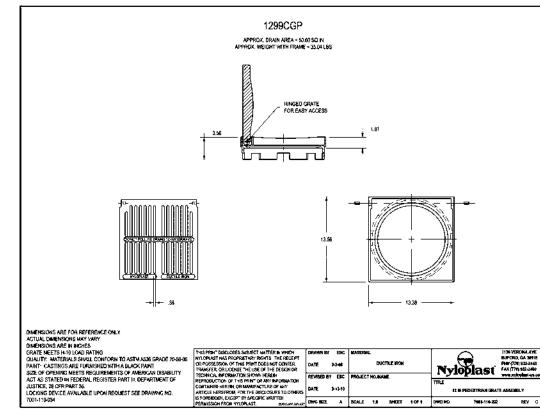


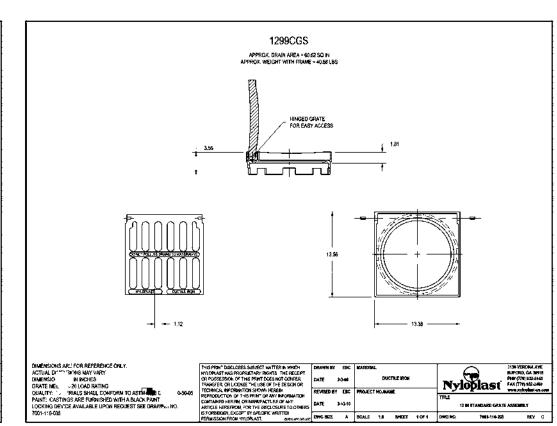


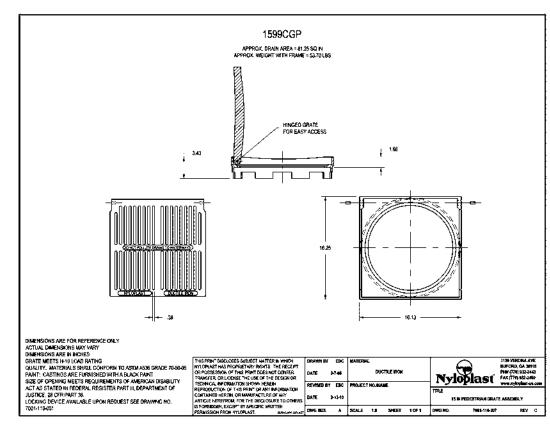


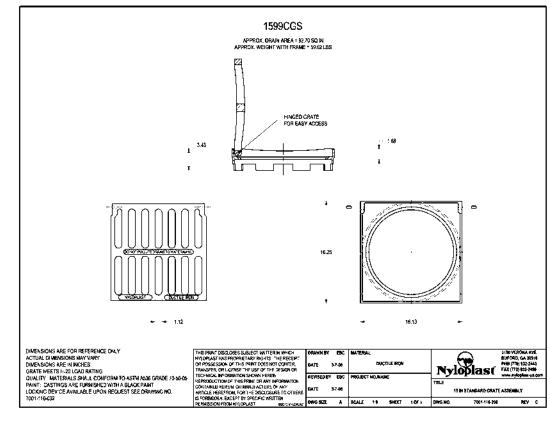


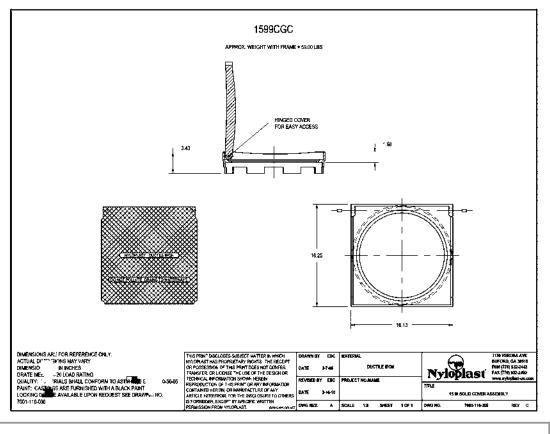


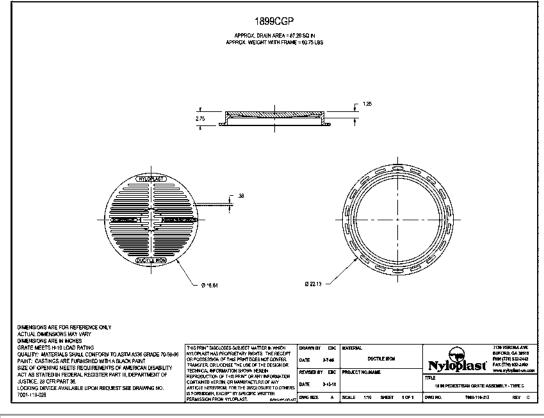


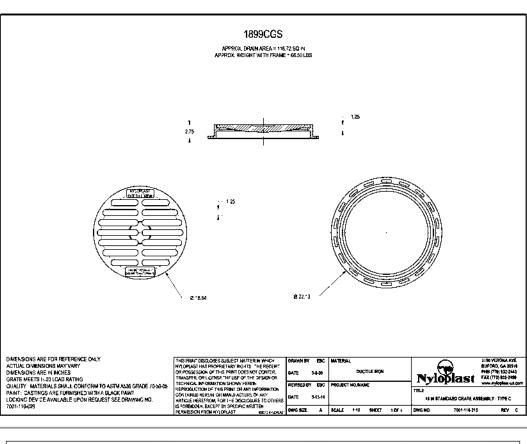


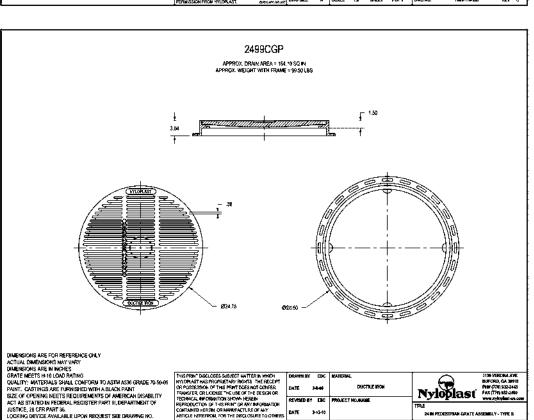


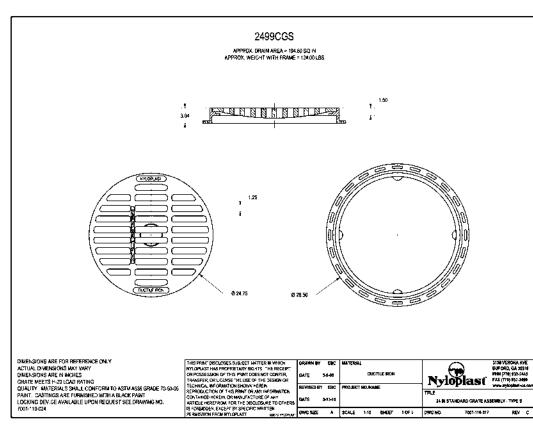




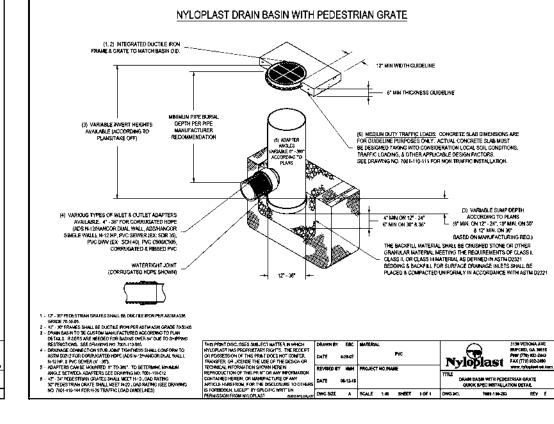


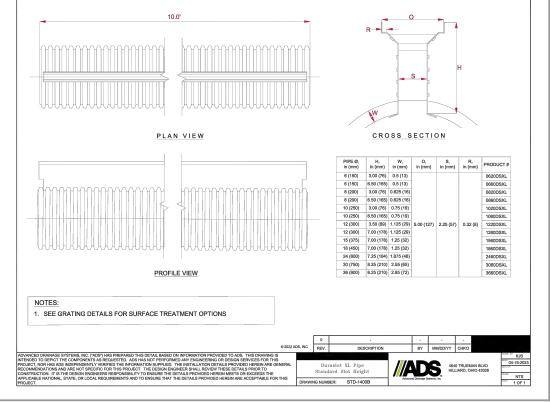


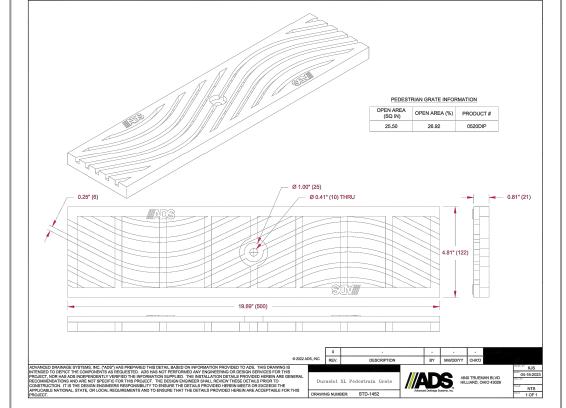


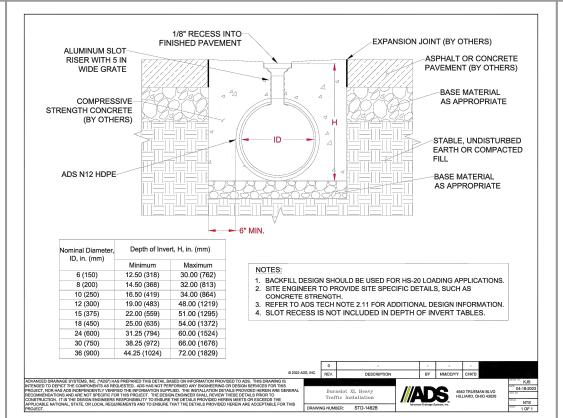


CITY OF RALEIGH

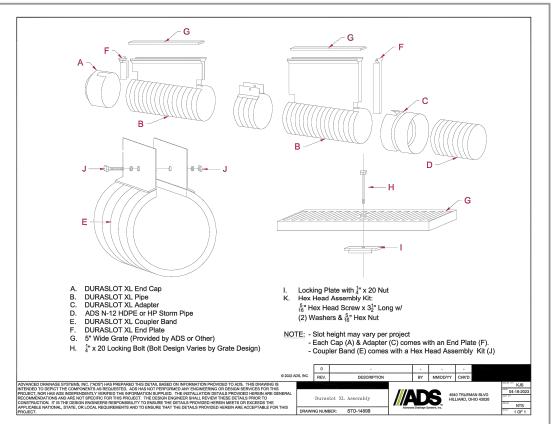








LEASED FOR CONSTRUCTION DATE: (SEE CO



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

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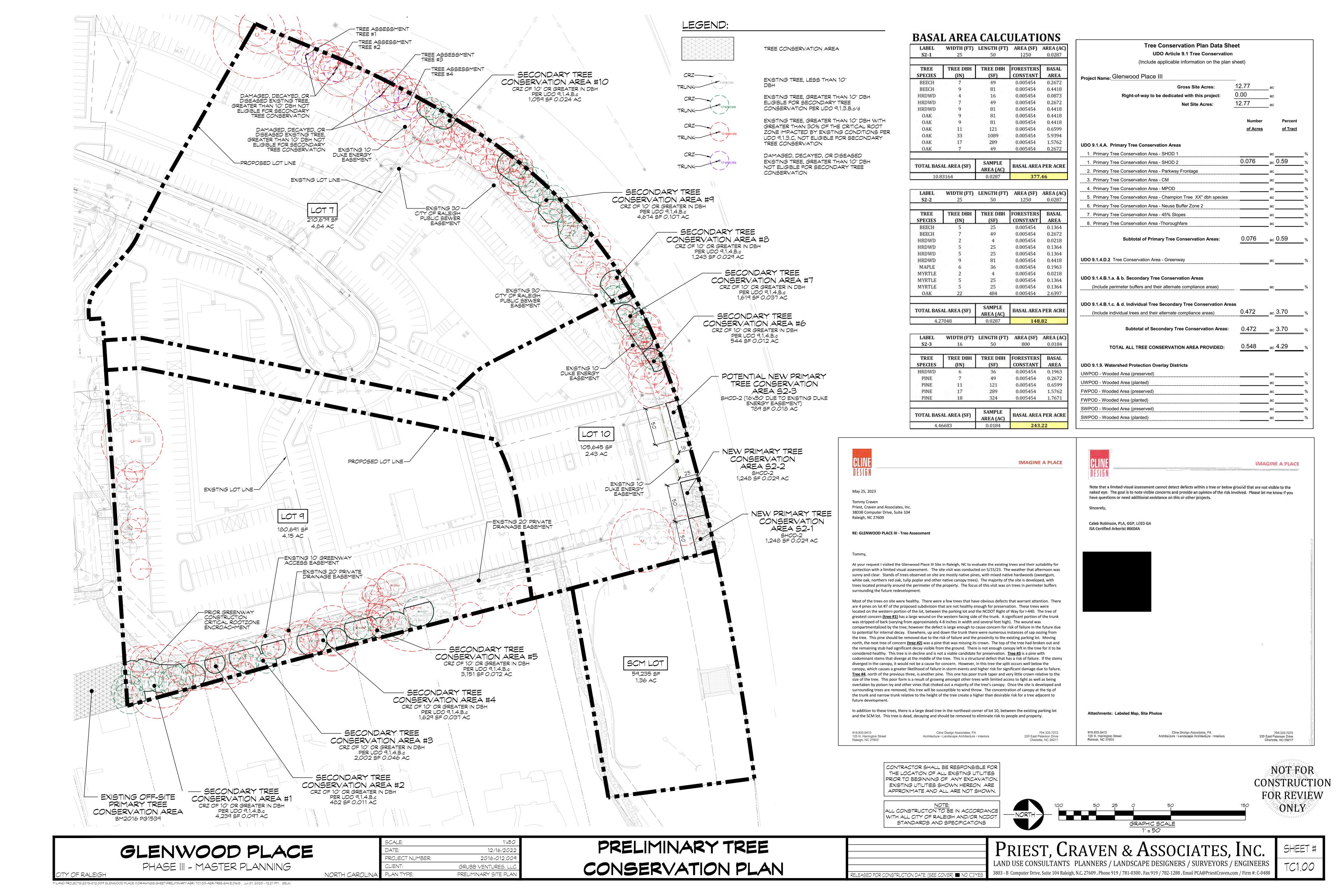
GLENWOOD PLACE III

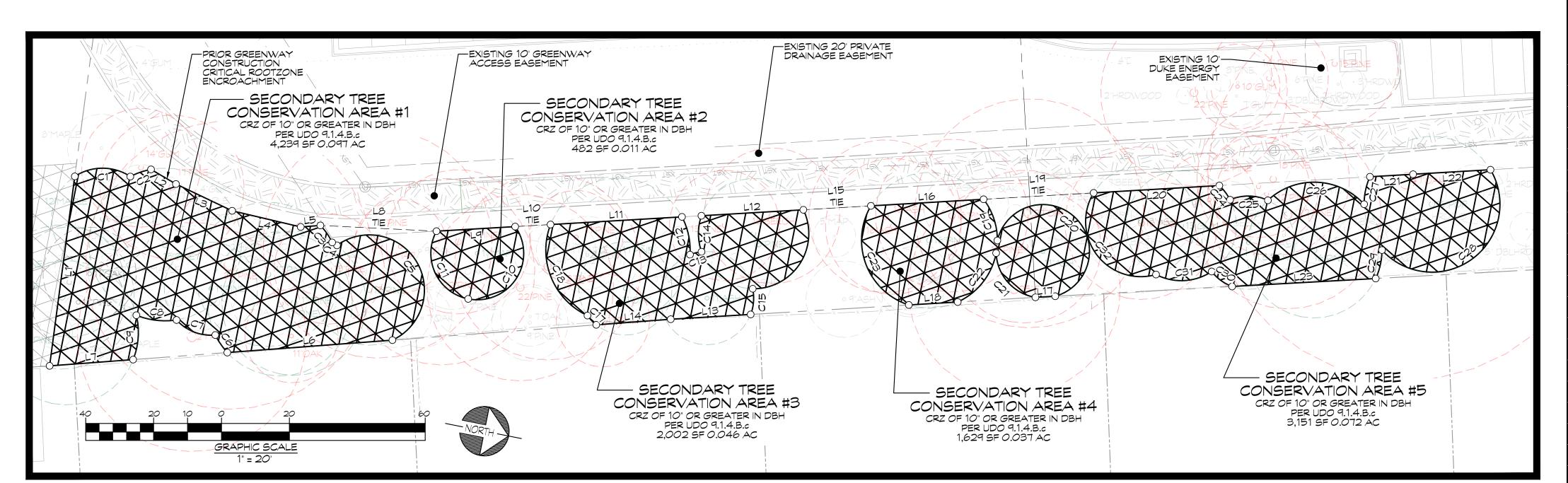
JUNE 1, 202 2016-012.00 PHASES 1-3 CLIENT: NATIONAL DRIVE HOLDINGS, I NORTH CAROLINA ADMINISTRATIVE SITE REVIE PLAN TYPE:

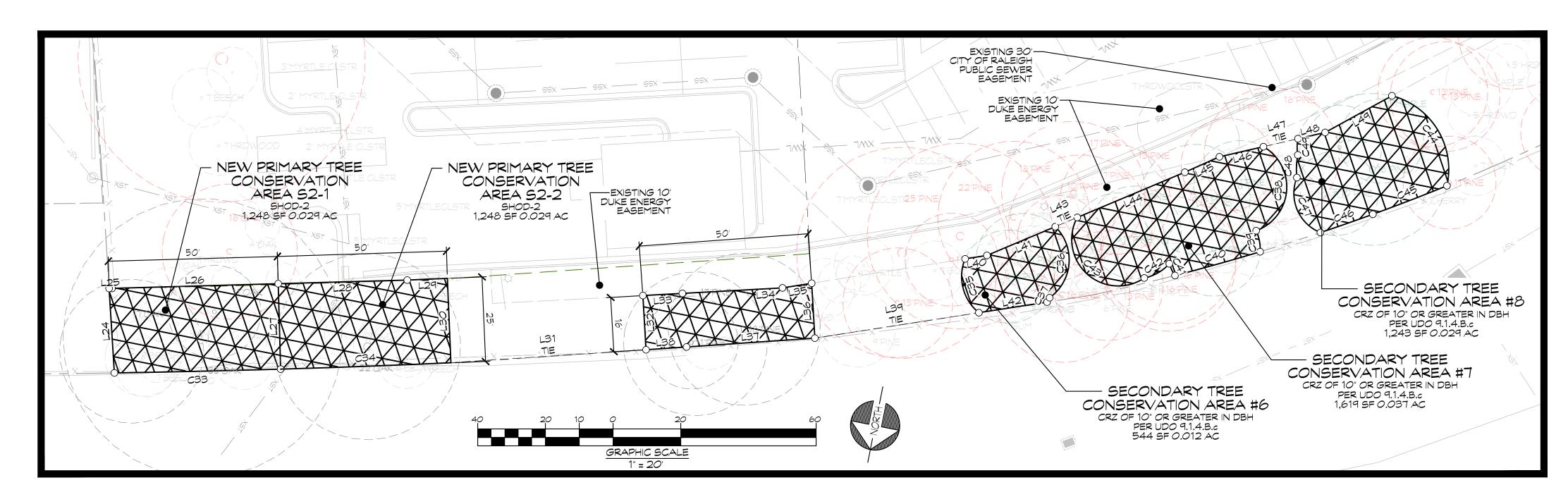
STANDARD DETAILS

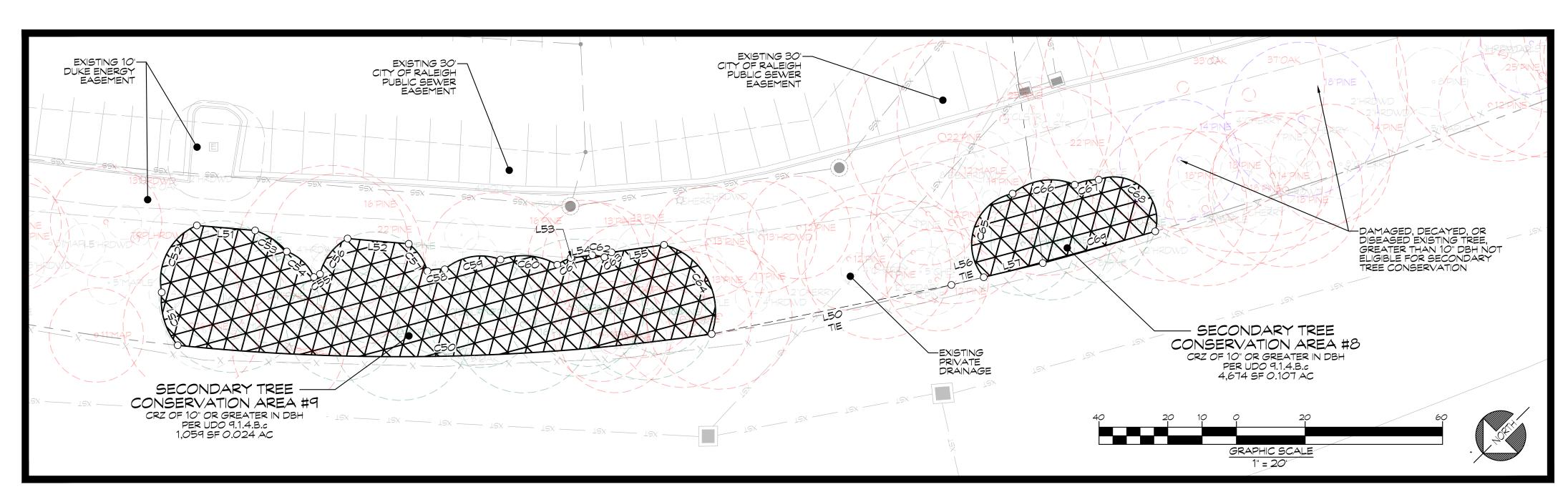
PRIEST, CRAVEN & ASSOCIATES, INC. LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS $3803-B\ \ Computer\ Drive, Suite\ 104\ Raleigh, N.C.\ 27609.\ Phone\ 919\ /\ 781-0300.\ Fax\ 919\ /\ 782-1288.\ Email\ PCA@PriestCraven.com\ /\ Firm\ \#:\ C-0488.$

SHEET # C9.04









	CURVE TABLE				
CURVE #	ARC LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	17.31	15.00	66.11	16.36	N11° 07' 49"W
C2	6.46	22.50	16.45	6.44	N30° 13' 44"W
C3 C4	6.11	19.33 215.73	18.12 0.44	6.09 1.66	N44° 00' 38"E N20° 12' 23"E
C5	54.16	16.25	190.98	32.35	N48° 25' 03"E
C6	6.28	22.65	15.88	6.26	544° 18' 30"W
C7	12.70	13.80	52.70	12.25	509° 57' 38"W
උප	12.06	22.99	30.06	11.92	504° 31′ 32″E
C9	13.30	21.72	35.10	13.10	N82° 51' 48"E
C10 C11	32.57 25.61	13.67 13.67	136.47	25.4 <i>0</i> 22. <i>0</i> 3	568° 14' 14"E 553° 39' 04"W
C12	11.52	21.25	31.05	11.38	N66° 45' 49"E
C13	3.51	13.75	14.62	3.50	N25° 14' 47"W
C14	10.81	16.25	38.13	10.62	S78° 34' 21"W
C15	7.69	13.75	32.05	7.59	N83° 10' 32"E
C17	3.78	13.38 21.25	16.19 85.81	3.77 28.93	S35° 17' 27"W
C19	13.03	20.00	37.32	12.80	N60° 17' 16"E
C20	57.93	13.76	241.31	23.67	N32° 41' 19"E
C21	18.89	13.76	78.69	17.44	537° 10' 21"W
C22	19.05	20.00	54.57	18.34	S63° 06' 31"E
C23	35.87	20.00	102.75	31.25	S57° 49' 22"W
C24	5.28 11.46	16.25 13.75	18.61 47.75	5.26 11.13	N41° 39' 02"E N10° 27' 19"W
C25 C26	31.54	13.75 20.00	41.15	28.37	NO8° 55' 04"W
C27	8.33	20.00	23.85	8.27	N89° 19' 32"W
C28	58.66	20.00	168.05	39.78	S47° 45' 36"E
C29	8.65	20.00	24.77	8.58	588° 51' 50"E
C30	7.55	13.75	31.46	7.45	S24° 53' 21"W
C31 C32	17.22 38.93	16.25 16.25	60.71	16.42 30.27	S14° 19' 11"E S41° 22' 45"W
C33	49.15	3689.71	0.76	49.15	N77° 26' 08"E
	50.35	3689.71	0.78	50.35	N76° 39' 47"E
C35	17.59	13.75	73.29	16.41	525° 34′ 59″E
C36	23.99	13.75	99.97	21.06	NO6° 40' 41"W
C37	1.50	13.75	6.24	1.50	N18° 57' 41"E
C38 C39	31.22 6.38	13.75 13.75	130.10	24.93 251.26	NO6° 19' 11"W
C40	26.14	628.20	2.38	252.54	N63° 09' 09"E
C41	3.87	13.75	16.12	3.86	536° 54' 03"E
C42	8.66	13.75	36.10	8.52	N49° 06' 05"E
C43	36.51	13.75	152.13	26.69	559° 08' 37"E
C44 C45	34.42 23.45	22.50 628.20	87.66 2.14	31.16 23.45	N42° 40' 42"W N57° 41' 21"E
C46	16.41	628.20	1.50	16.41	N59° 30' 25"E
C47	19.64	12.50	90.02	17.68	534° 27' 32"E
C48	6.72	22.50	17.11	6.70	508° 51' 42"E
C49	4.83	12.50	22.12	4.80	S10° 36′ 28″E
C50	155.87	628.20	14.22	155.47	N43° 47' 09"E
C51 C52	16.57 23.84	20.43 17.38	46.48 78.59	16.12 22.02	S61° 51' 30"E S17° 16' 42"E
C53	11.17	21.25	30.11	11.04	578° 38' 16"W
C54	11.19	13.75	46.61	10.88	588° 15' 32"W
C55	1.97	16.25	6.94	1.97	S18° 14' 03"W
C56	13.48	16.25	47.53	13.10	507° 09' 11"E
C57	9.79	16.25 12.50	34.52 23.43	9.64 5.08	N79° 24' 12"W S38° 49' 29"W
C50 C59	17.27	16.25	60.91	16.47	535° 05' 14"W
C60	17.10	20.00	49.00	16.59	950° 12' 31"W
C61	4.43	16.25	15.62	4.42	S18° 29' 05"W
C62	3,60	16.25	12.69	3.59	S54° 59' 18"W
C63	2.52	20.00	7.23	2.52	S10° 31' 54"W
C64 C65	33.07 30.95	20.00 15.00	94.73 118.22	29.43 25.74	N73° 04' 55"W S25° 55' 43"E
C66	19.20	17.50	62.86	18.25	929 99 43 E 936° 47' 51"W
C67	7.19	15.00	27.48	7.13	533° 08' 30"W
C68	27.56	12.50	126.33	22.31	587° 24' 29"W
C69	34.00	1571.73	1.24	34.00	N29° 13' 47"E
		<u></u>			
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EASED FOR CONSTRUCTION DATE: (SEE COVER) lacktriangle NO I

LINE TABLE		
LINE #	LENGTH	BEARING
L1	56.31	586° 19' 19''W
L2	8.51	N19° 08' 31"E
L3	18.33	N14° 13' 21"E
L4	20.75	NO1° 59′ 43″E
L5	5.82	N15° 35' 10"W
L6	48.77	S15° 32' 55"E
L7	24.68	S15° 33' 17"E
L8 TIE	34.24	N08° 25' 01"W
L9	23.22	N14° 35′ 10″W
L10 TIE	10.44	N14° 35' 10"W
L11	38.77	N14° 35′ 10″W
L12	30.09	N14° 35′ 10″W
L13	23.59	S14° 41′ 16″E
L14	22.00	S15° 32' 39"E
L15 TIE	19.93	N14° 35' 10"W
L16	33.24	N14° 35' 10"W
L17	5.83	S14° 24′ 52″E
L18	14.42	S14° 41′ 16″E
L19 TIE	32.47	N14° 35' 10"W
L20	37.09	N14° 35' 10"W
L21	12.74	N14° 35' 10"W
L22	22.84	N14° 35′ 48″W
L23	42.36	S14° 24′ 52″E
L24	25.03	S14° 49' 10"E
L25	0.85	S77° 56′ 49″W
L26	49.15	S77° 08' 17"W
L27	25.26	N12° 51' 43"W
L28	38.14	S77° 08' 17"W
L29	11.86	576° 20' 07"W
L30	25.01	N13° 39′ 53″W
L31 TIE	57.74	S74° 58' 20"W
L32	16.05	S14° 34' 50"E
L33	11.70	575° 36' 10"W
 L34	29.61	N75° 36' 10"E
L35	8.73	569° 43' 02"W
L36	16.25	N14° 34' 50"W
L37	38.00	N74° 48' 06"E
L38	12.00	N74° 48' 06"E
L39	49.04	569° 55' 34"W
TIE		
L40	6.53	569° 43' 02"W
L41	21.90	S55° 57' 01"W
L42	20.39	N69° 55' 34"E
L43 TIE	7.04	S55° 57' 01"W
L44	34.49	S55° 57' 01"W
L45	11.19	554° 41' 25"W
L46	13.34	S65° 47' 19"W
, , ,		6650 471 1710
L47 TIE	10.49	S65° 47' 19"W
TIE L48	8.22	565° 47' 19"W
TIE L48 L49		
L48 L49 L50 TIE	8.22	S65° 47' 19"W S49° 58' 32"W N33° 25' 39"E
TIE L48 L49 L50	8.22 22.53	565° 47' 19"W S49° 58' 32"W
L48 L49 L50 TIE	8.22 22.53 71.24	S65° 47' 19"W S49° 58' 32"W N33° 25' 39"E
L48 L49 L50 TIE	8.22 22.53 71.24 17.03	565° 47' 19"W S49° 58' 32"W N33° 25' 39"E S49° 58' 32"W
TIE L48 L49 L50 TIE L51 L52	8.22 22.53 71.24 17.03	565° 47' 19"W 549° 58' 32"W N33° 25' 39"E 549° 58' 32"W 549° 58' 32"W
TIE L48 L49 L50 TIE L51 L52 L53 L54 L55	8.22 22.53 71.24 17.03 17.87 0.30	565° 47' 19"W 549° 58' 32"W N33° 25' 39"E 549° 58' 32"W S49° 58' 32"W S49° 58' 32"W
TIE L48 L49 L50 TIE L51 L52 L53 L54	8.22 22.53 71.24 17.03 17.87 0.30 6.01	565° 47' 19"W 549° 58' 32"W N33° 25' 39"E 549° 58' 32"W S49° 58' 32"W S49° 58' 32"W S49° 58' 32"W

NOT FOR CONSTRUCTION FOR REVIEW ONLY

GLENWOOD PLACE	ı
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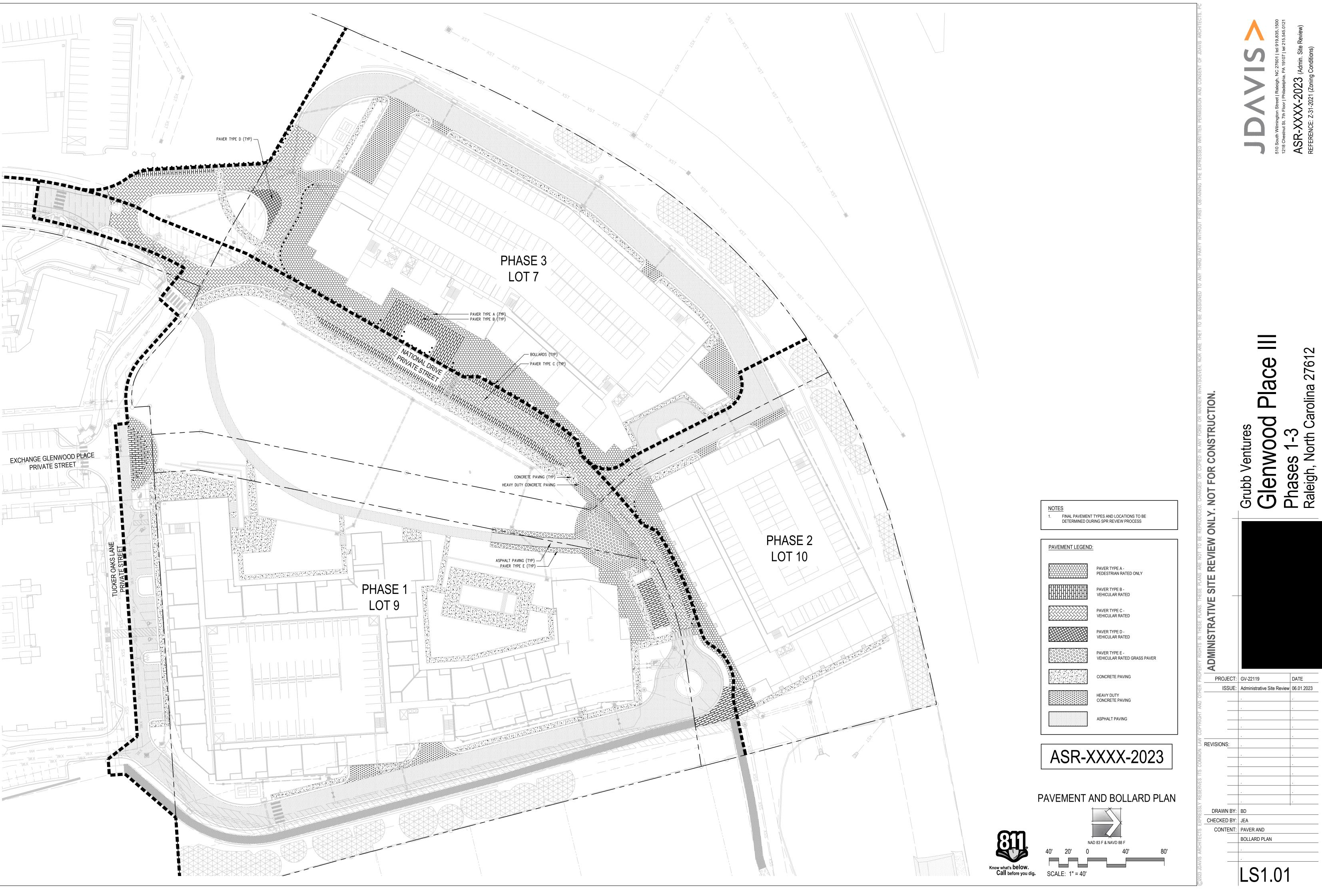
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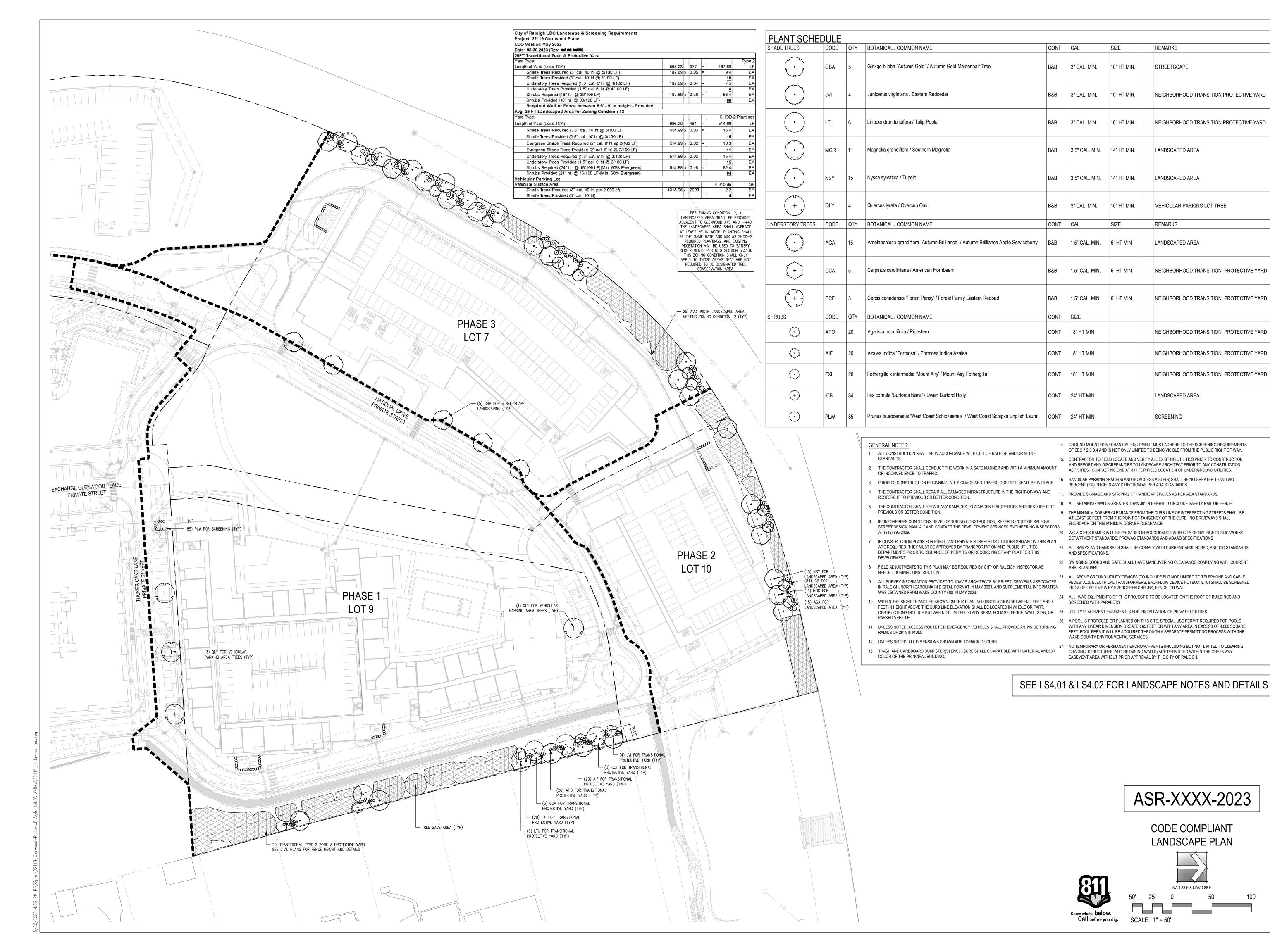
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	PROJECT NUMBER:	2016-012
	CLIENT:	GRUBB VENTURES,
TH CAROLINA	PLAN TYPE:	PRELIMINARY SITE F

TREE CONSERVATION AREAS
MEETS AND BOUNDS

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

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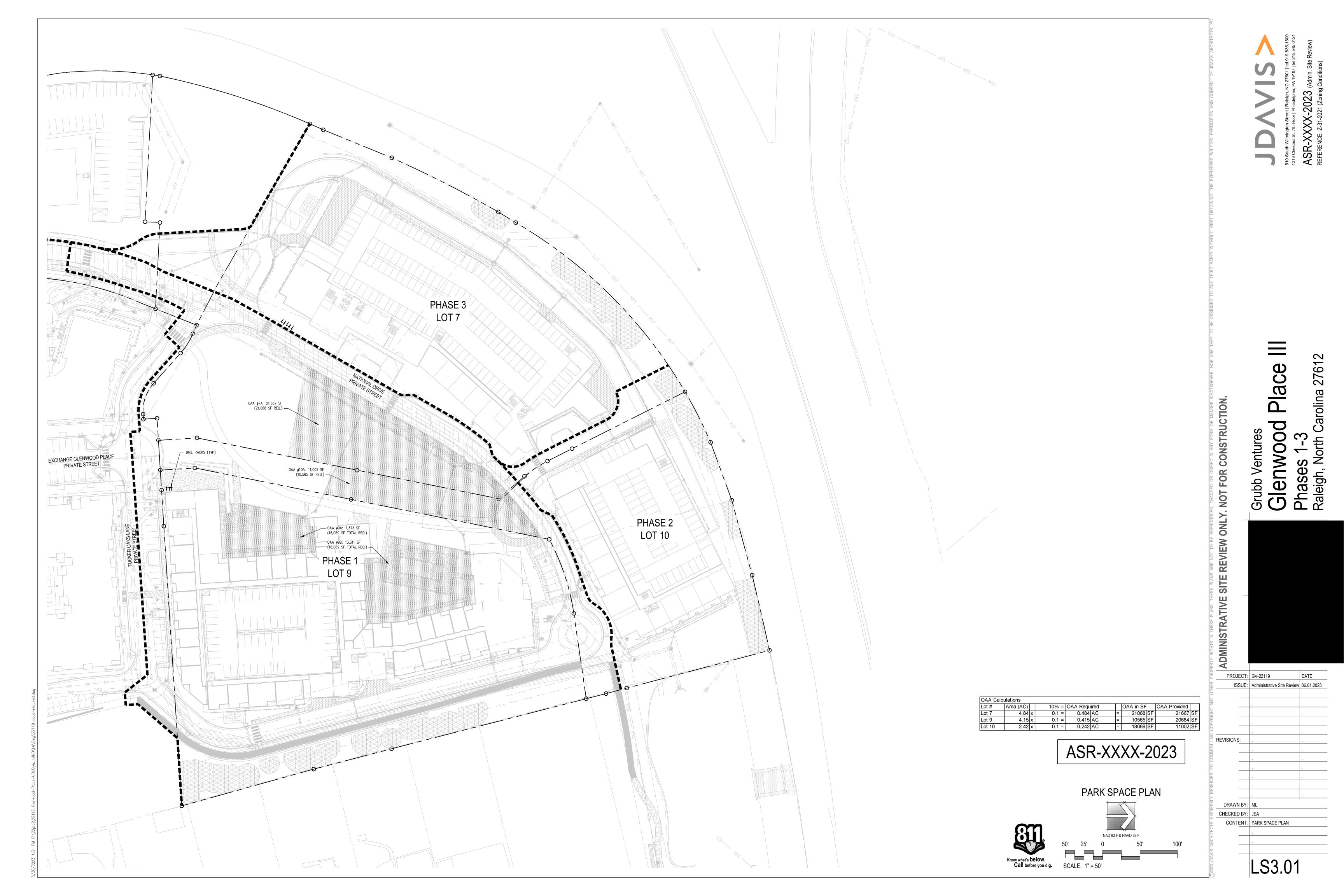
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PROJECT: GV-22119 DATE ISSUE: Administrative Site Review 06.01.2023 REVISIONS: DRAWN BY: ML CHECKED BY: JEA CONTENT: CODE COMPLIANT LANDSCAPE PLAN

LS2.01

ONSTRU NOT ONL REVIEW



LANDSCAPE NOTES: 1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION 2. THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH. 4. ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN. EITHER BE MULCH OR LAWN. NO CURBING EXISTS BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL. DOCUMENTS. 16. TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.

- 3. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- 5. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 6. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- 7. ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
- 8. ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN. THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF
- 10. HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS:
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION
- 12. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- 13. MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
- 14. TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
- 15. TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- 17. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL
- 18. A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- 19. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

1. IF PLANTING HOLES ARE DUG WITH A 3. SYNTHETIC BURLAP SHALL BE REMOVED 6. THOROUGHLY SOAK THE ROOT BALL

ENTIRELY FROM ROOT BALL

KEEP MULCH AWAY FROM ROOT

CONTAINER PLANT INSTALATION

AND CREATE THE SLOPING SIDE 4. PROVIDE 2 INCH DEEP SAUCER AROUND

SHRUB PLANTING NOTES

LARGE AUGER, BREAK DOWN THE SIDES

WITH A SHOVEL TO ELIMINATE GLAZING

PROFILE SHOWN ON THE DETAIL.

2. SET SHRUB 2 INCHES HIGHER THAN

ABOVE ADJACENT GRADE.

PLANTING MIXTURE —

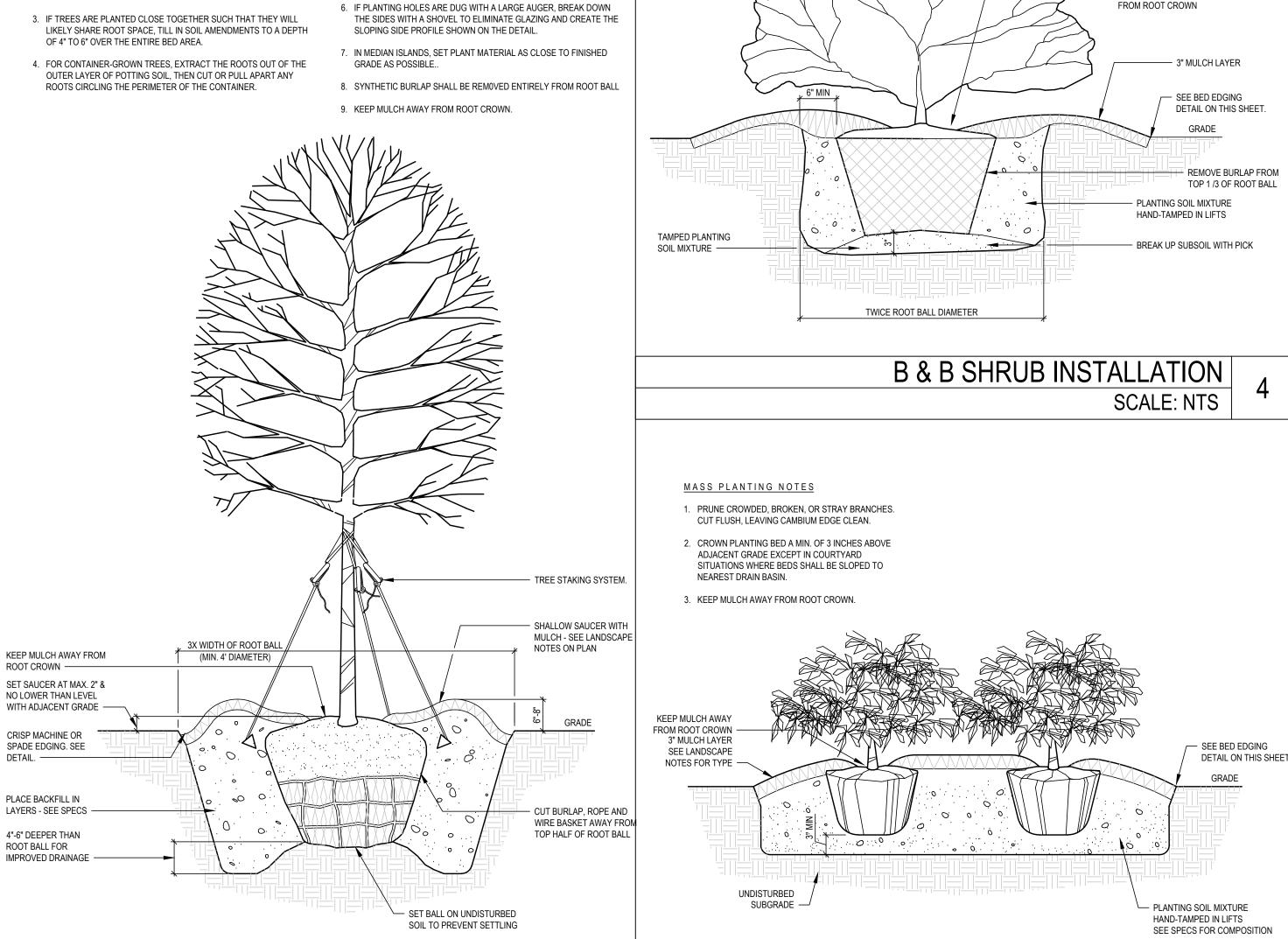
TREE PLANTING NOTES MATCH PLANTING PROCEDURE FOR EVERGREEN TREES.

TREE INSTALLATION (NOT FOR STREET TREES)

STRUCTURAL CORRECTIONS. 3. IF TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL

2. DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC

- OF 4" TO 6" OVER THE ENTIRE BED AREA.
- 5. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.



Street Design Manual

6.18. STREET TREES

6.18.1. STREET TREE PLANTINGS IN AN URBAN SETTING

A. DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS

THE PARKS AND RECREATION DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BYTHE CITY. TREE RELATED ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES AND VEGETATION, PART 9 CHAPTER 8 AND THE CITY TREE MANUAL. WHERE THE TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE.

- 1. THE URBAN FORESTER OR DESIGNEE SHALL REVIEW ALL SITE PLANS WITH TREES IN THE RIGHT OF WAY AND ON CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW, PERMITTING, TREE PROTECTION, STANDARD SPECIFICATIONS, TREE QUALITY, INSTALLATION AND MAINTENANCE.
- 2. WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN THE RIGHT OF WAY.

B. APPLICATION PROCESS

- APPROVED MULCH

EXISTING GRADE

AND ADJACENT PREPARED SOIL

MONTH AFTER PLANTING AND

MAINTENANCE PERIOD.

REGULARLY THROUGHOUT THE

SEVERAL TIMES DURING THE FIRST

KFFP MUI CH AWAY

THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING, TRENCHING, BORING, EXCAVATING, FILLING, FERTILIZING, TREATING FOR DISEASE OR INSECTS, INSTALLING DECORATIONS AND

- 1. SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER
- ADDITIONAL DOCUMENTATION REQUIRED A.
 - a. SITE AND/OR LANDSCAPE PLAN
 - I. IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY
 - II. LABEL STREETS AND OTHER PLAN ELEMENTS
 - III. OVERHEAD UTILITIES AND LIGHTING PLAN
 - IV. IDENTIFY TREES FOR DEMOLITION AND PRESERVATION
 - V. DEPICT THE REQUIRED SITE DISTANCE TRIANGLES
 - VI. DEPICT TREE PROTECTION ZONES AND FENCING DETAIL
 - VII. TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS
 - VIII. URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE WITH 600CUFT MINIMUM SOIL REQUIREMENT.
 - IX. ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL
 - X. ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL
 - XI. TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)

6.18.2. TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS

1. A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE TO BE INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE

TREE GRATE

a. 4 FEET X 6 FEET GRAY IRON, ADA COMPLIANT

A. TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN

- b. TREE GRATES SHALL HAVE A PROVISION FOR TRUNK EXPANSION OF THE TREE, SUCH AS POP OUT CONCENTRIC RINGS IN THE GRATE AROUND THE TRUNK
 - c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE PIT OR GRATE (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)
 - d. TREES SHALL BE CENTERED IN THE PIT
 - e. TREE PITS SHALL ACCOMMODATE A DEPTH OF 3 FEET OF PLANTING SOIL
 - f. HIGH QUALITY PLANTING SOIL SHALL BE USED IN THE PIT DIRECTLY BELOW THE GRATE

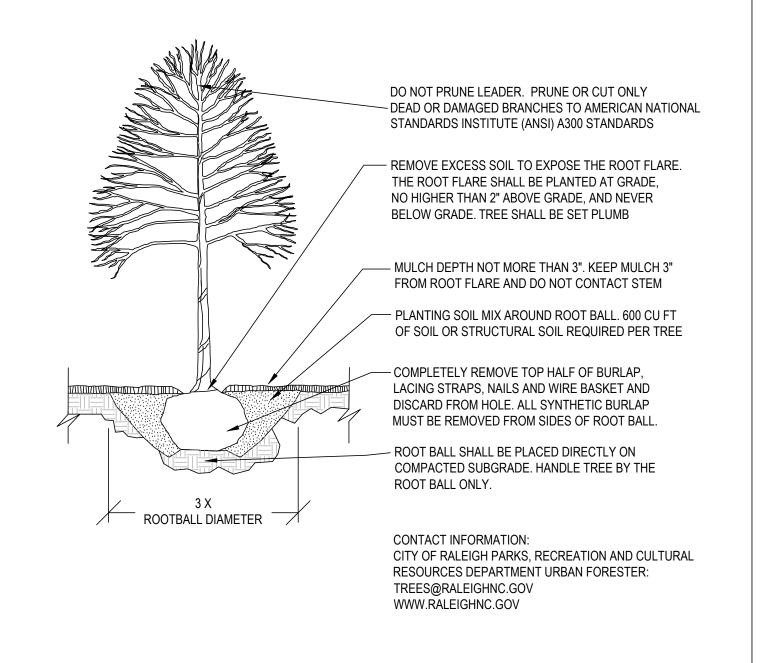
g. DRAINAGE SHALL BE PROVIDED

- a. MINIMUM 6 FEET WIDE TREE LAWN
- b TREES CENTERED IN AREA
- c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)
- d. 600 CUBIC FEET OF ORGANIC SOIL IN THE IMMEDIATE AREA WHERE THE TREE IS TO BE PLACED

B. REQUIRED SUBSURFACE ROOT EXPANSION

1. HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT.

- 2 REQUIRE MINIMUM 600 CUBIC FEET
- 3. EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME: URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND
- 4. SELECT ONE OR MORE OPTIONS BELOW
 - a. STRUCTURAL SOIL
 - b. SUBSURFACE SOIL CONTAINMENT STRUCTURE
 - c. MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20' MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT PIT
- 5. WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM DENSITY REQUIREMENTS ARE MET.
- 1. ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
 - a. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036
 - b. AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250
 - EYE STREET. NW, SUITE 500, WASHINGTON, D.C. 20005 c. HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM. 1976. MACMILLAN PUBLISHING CO., NEW YORK



- 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- 4. A TREE IMPACT PERMIT IS REQUIRED.
- 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL					
REVISIONS DATE: 8/2020 NOT TO SCALE					
10/2019					
	TREE PLANTING DETAIL				
	TPP-03				

SCALE: NTS

NOTE: DETAIL TPP-03 IS FOR STREET TREE PLANTINGS. SEE DETAIL # 3 THIS SHEET FOR ALL OTHER TREES ON SITE

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PROJECT: GV-22119 ISSUE: | Administrative Site Review | 06.01.2023 REVISIONS: DRAWN BY: ML CHECKED BY: JEA CONTENT: LANDSCAPE DETAILS AND NOTES

CITY OF RALEIGH STANDARD TREE PLANTING DETAILS AND NOTES

1. THE WORK OF THIS CONTRACT INCLUDES INSTALLATION OF PLANT MATERIAL AND TURF GRASS SOD INCLUDING MAINTENANCE OF THE LANDSCAPING DURING THE INSTALLATION PERIOD UNTIL FINAL ACCEPTANCE OF THE CONTRACT WORK AS INDICATED ON THE PLANS INCLUDING:

- A. INSTALLATION OF TREES, SHRUBS, AND GROUND COVERS
- B. SOIL PREPARATION
- C. INSTALLATION OF TURF GRASS SOD D. MULCHING
- E. STAKING AND GUYING OF PLANTS F. MAINTENANCE DURING THE INSTALLATION PERIOD
- G. ACCEPTANCE OF LANDSCAPE INSTALLATION H. WARRANTY REQUIREMENTS

SPECIFIC REQUIREMENTS ARE ENUMERATED IN THE SPECIFICATIONS BELOW.

2. THE CONTRACTOR IS REQUIRED TO SUBMIT TO THE OWNER A CONSTRUCTION SCHEDULE FOR THE EXECUTION OF THE WORK AND WILL CORRELATE SPECIFIC TASKS WITH REQUIRED COMPLETION DATES.

PROJECT CONDITIONS 1. WORK ZONE SAFETY: COMPLY WITH ALL PERTINENT STATE AND LOCAL SAFETY REGULATIONS.

THE CONTRACTOR SHOULD TAKE EVERY PRECAUTION TO ENSURE SAFETY FOR VEHICULAR TRAFFIC. PEDESTRIANS. AND HIS PERSONNEL AT ALL TIMES DURING HIS OPERATIONS AND THROUGHOUT THE DURATION OF THE WORK. TRAFFIC CONTROL PROCEDURES SHALL CONFORM TO THE "GUIDELINES FOR CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" HANDBOOK, 2002 VERSION PUBLISHED BY THE NORTH CAROLINA STATE UNIVERSITY ADDITIONAL SAFETY INFORMATION IS CONTAINED IN THE FOLLOWING INDUSTRY ALERT FROM THE N.C. DEPARTMENT

http://www.nclabor.com/osha/etta/wrkzone.pdf

- 3. PERFORM WORK OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH STREETS, WALKS, AND OTHER ADJACENT FACILITIES. ALLOW SAFE PASSAGE BY PEDESTRIANS ON PUBLIC SIDEWALKS OR, IF NECESSARY, PROVIDE SAFE ALTERNATE ROUTES AROUND OBSTRUCTED SIDEWALKS OR ADJACENT FACILITIES.
- 4. LOCATE AND IDENTIFY EXISTING OVERHEAD AND UNDERGROUND UTILITIES WITHIN THE CONTRACT WORK AREAS THROUGH NC ONE CALL UTILITY LOCATOR SERVICE AT 1-800-632-4949. THE CONTRACTOR IS RESPONSIBLE FOR CALLING DIRECTLY ANY UTILITY OWNER THAT IS NOT A MEMBER OF THE NC ONE CALL NETWORK AND TO REQUEST PHYSICAL MARKING OF THEIR LITH ITY LINES WITHIN PROPOSED WORK AREAS. WHEN LINMARKED OR INCORRECTLY MARKED LINDERGROLIND PIPING OR OTHER LITILITIES AND SERVICES ARE ENCOUNTERED. NOTIFY THE APPLICABLE UTILITY COMPANY IMMEDIATELY TO OBTAIN PROCEDURE INSTRUCTIONS. COOPERATE WITH THE APPLICABLE UTILITY COMPANY IN MAINTAINING ACTIVE SERVICES IN OPERATION. HAND EXCAVATE AS REQUIRED AROUND EXISTING UTILITIES. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR THE PROPER REPAIR OF UTILITIES DAMAGED BY OPERATIONS.
- 5. PROTECT EXISTING BUILDINGS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY WORK OPERATIONS. COST OF REPAIR AND RESTORATION OF DAMAGED ITEMS SHALL BE AT CONTRACTOR'S EXPENSE.
- 6. CONTRACTOR WILL COORDINATE WITH OWNER REGARDING CONTRACTOR PARKING, STORAGE OF PLANTS, AND STAGING OF THE WORK FOR COMMENT AND APPROVAL PRIOR TO COMMENCING WORK OPERATIONS.
- 7. CONTROL DUST CAUSED BY THE WORK. DAMPEN SURFACES AS REQUIRED. COMPLY WITH POLLUTION REGULATIONS OF GOVERNING AUTHORITIES.
- 8 WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED SUCH AS RUBBLE FILL ADVERSE DRAINAGE
- CONDITIONS, OR OBSTRUCTIONS, NOTIFY LANDSCAPE ARCHITECT AND OWNER FOR REVIEW PRIOR TO PLANTING. 9. IF PROPOSED TREE OR SHRUB RELOCATION IS NECESSARY DUE TO INTERFERENCE WITH UTILITIES, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND RECEIVE APPROVAL OF A REVISED LOCATION. CONTRACTOR MUST

PROVIDE PRECISE LOCATION OF UTILITIES AND REQUIRED PLANT RELOCATION PRIOR TO PIT EXCAVATION AND

10. ALL DAMAGES CAUSED BY LANDSCAPING OPERATIONS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE LANDSCAPE CONTRACTOR'S EXPENSE.

SUBMITTALS AND APPROVALS

1. PRIOR TO PLACING ORDERS FOR PLANT MATERIALS, THE CONTRACTOR WILL ELECTRONICALLY SUBMIT PHOTOGRAPHIC EVIDENCE OF THE SELECTED MATERIALS TO THE LANDSCAPE ARCHITECT FOR PRELIMINARY ACCEPTANCE. THE SPECIFIC PLANT OR PLANTS PHOTOGRAPHED SHOULD BE REPRESENTATIVE OF ALL PLANT STOCK REQUIRED FOR THE PROJECT. CONTRACTOR WILL LOCATE ALTERNATIVE SUPPLIER(S) FOR ANY MATERIALS REJECTED BY THE PRELIMINARY REVIEW. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIALS FOR FAILURE TO MEET THE SPECIFICATIONS THROUGHOUT THE LIFE OF THE CONTRACT. ANY ADDITIONAL COST ASSOCIATED WITH REPLACING REJECTED PLANT MATERIALS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

2. PRODUCT CERTIFICATES: FURNISH FOR EACH TYPE OF MANUFACTURED PRODUCT CERTIFYING THAT THEIR PRODUCTS COMPLY WITH SPECIFIED REQUIREMENTS INCLUDING:

- A. MANUFACTURER'S ANALYSIS OF FERTILIZER CONTENTS.
- B. CERTIFIED ANALYSIS FOR SOIL MIXTURES INCLUDING PLANTING MIXTURE AND PLANTER MIX AS DEFINED UNDER
- C. VENDOR'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE REQUIRED. STATING BOTANICAL AND COMMON. NAME, PERCENTAGES BY WEIGHT, AND PERCENTAGES OF PURITY, GERMINATION, AND WEED SEED FOR EACH GRASS SEED SPECIES. INCLUDE THE YEAR OF PRODUCTION AND DATE OF PACKAGING.
- D. PRE-EMERGENT HERBICIDE BRAND AND MANUFACTURER RECOMMENDATIONS AS PER PARAGRAPH ON PRE-EMERGENT HERBICIDE NOTED IN THIS SECTION.
- E. PRIOR TO PURCHASE AND/OR DELIVERY TO JOB SITE, SUBMIT MULCH SAMPLE TO LANDSCAPE ARCHITECT FOR

TOPSOIL ANALYSIS: FURNISH SOIL ANALYSIS BY A QUALIFIED SOIL-TESTING LABORATORY STATING PERCENTAGES OF RGANIC MATTER: GRADATION OF SAND, SILT, AND CLAY CONTENT: CATION EXCHANGE CAPACITY: DELETERIOUS MATERIAL; PH; AND MINERAL AND PLANT NUTRIENT CONTENT OF TOPSOIL. REPORT SUITABILITY OF TOPSOIL FOR PLANT GROWTH. STATE RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE SATISFACTORY TOPSOIL.

- PLANT PHOTOGRAPHIC EVIDENCE: CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF SOURCES OF PLANTING MATERIALS. EMAIL PHOTOS OF A SINGLE PLANT REPRESENTATIVE OF EACH INDIVIDUAL PLANT SPECIES SPECIFIED FOR REVIEW AND ACCEPTANCE BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY OF PLANT
- B. PLANTING SCHEDULE: INDICATE ANTICIPATED DATES AND LOCATIONS FOR EACH TYPE OF WORK. INCLUDE ESTIMATED DATE OF SUBSTANTIAL COMPLETION TO ALLOW CONTINUITY OF MAINTENANCE ACTIVITIES. ONCE ACCEPTED, REVISE DATES ONLY AS APPROVED IN WRITING AFTER DOCUMENTATION OF REASONS FOR DELAY.
- C. MAINTENANCE INSTRUCTIONS: SUBMIT BEFORE EXPIRATION OF REQUIRED ESTABLISHMENT AND MAINTENANCE PERIOD. FURNISH THREE COPIES OF WRITTEN MAINTENANCE INSTRUCTIONS TO OWNER FOR MAINTENANCE AND CARE OF INSTALLED PLANTS OVER ONE CALENDAR YEAR. MAINTENANCE WILL BE RESPONSIBILITY OF LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT. OWNER WILL ASSUME MAINTENANCE AFTER

<u>DEFINITIONS</u>

- BALLED AND BURLAPPED STOCK: PLANTS DUG WITH FIRM, NATURAL BALLS OF EARTH IN WHICH THEY ARE GROWN, WITH BALL SIZE NOT LESS THAN SIZES INDICATED AND DIAMETER AND DEPTH RECOMMENDED BY ANSI Z60.1 FOR TYPE AND SIZE OF THE TREE OR SHRUB REQUIRED; WRAPPED, TIED, RIGIDLY SUPPORTED, AND DRUM LACED AS RECOMMENDED BY ANSI Z60.1.
- 2. CONTAINER-GROWN STOCK: HEALTHY, VIGOROUS, WELL-ROOTED PLANTS GROWN IN A CONTAINER WITH WELL-ESTABLISHED ROOT SYSTEM REACHING SIDES OF CONTAINER AND MAINTAINING A FIRM BALL WHEN REMOVED FROM CONTAINER. CONTAINER SHALL BE RIGID ENOUGH TO HOLD BALL SHAPE AND PROTECT ROOT MASS DURING SHIPPING AND BE SIZED ACCORDING TO ANSI Z60.1 FOR KIND, TYPE, AND SIZE OF PLANT REQUIRED.
- 3. FINISH GRADE: ELEVATION OF FINISHED SURFACE OF PLANTING SOIL.
- 4. MANUFACTURED TOPSOIL: SOIL PRODUCED OFF-SITE BY HOMOGENEOUSLY BLENDING MINERAL SOILS OR SAND WITH STABILIZED ORGANIC SOIL AMENDMENTS TO PRODUCE TOPSOIL OR PLANTING SOIL.
- 5. PLANTING SOIL: NATIVE OR IMPORTED TOPSOIL, MANUFACTURED TOPSOIL, OR SURFACE SOIL MODIFIED TO BECOME TOPSOIL: MIXED WITH SOIL AMENDMENTS.
- 6. <u>SUB-GRADE</u>: SURFACE OR ELEVATION OF SUBSOIL REMAINING AFTER COMPLETING EXCAVATION, OR TOP SURFACE OF A FILL OR BACKFILL, BEFORE PLACING PLANTING SOIL.

QUALITY ASSURANCE

- 1. INSTALLER QUALIFICATIONS: INSTALLER SHALL BE A NORTH CAROLINA LICENSED LANDSCAPE CONTRACTOR. PROVIDE
- A. INSTALLER TO HAVE EXPERIENCE IN COMPLETING LANDSCAPE WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL LANDSCAPE ESTABLISHMENT.
- B. THE INSTALLER WILL MAINTAIN AN EXPERIENCED FULL-TIME SUPERVISOR ON THE PROJECT SITE WHEN
- LANDSCAPE INSTALLATION IS IN PROGRESS. (INSTALLER MUST PROVIDE STATEMENT OF QUALIFICATIONS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AT
- 2. SOIL-TESTING LABORATORY QUALIFICATIONS: AN INDEPENDENT LABORATORY, RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE, WITH THE EXPERIENCE AND CAPABILITY TO CONDUCT THE TESTING INDICATED AND THAT SPECIALIZES IN TYPES OF TESTS TO BE PERFORMED.

- 3. OBSERVATION: LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- A. PLANTS SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT FROM SUBMITTED PHOTO EVIDENCE AND UPON DELIVERY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF WORK.

PRODUCT DELIVERY, STORAGE, AND HANDLING

- 4. DELIVER PLANTS FRESHLY DUG.
- 5. DELIVER PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET PLANTS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE. AND KEEP ROOTS MOIST
- 6. SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE
- 7. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING.
- 8. WATER ROOT SYSTEMS OF PLANTS STORED ON-SITE WITH A FINE-MIST SPRAY. WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST CONDITION.
- 9. DO NOT ALLOW ROOT BALLS OR ROOT SYSTEMS IN TO FREEZE DURING TRANSPORT OR STORAGE.
- 10. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL
- 11. PROVIDE PROTECTIVE COVERING OF PLANTS DURING DELIVERY. DO NOT DROP PLANTS DURING DELIVERY.
- 12. HANDLE PLANTING STOCK BY ROOT BALL. DO NOT LIFT OR MOVE USING TRUNK OR BRANCHES. NO BALLED AND BURLAPPED PLANT SHALL BE ACCEPTED IF BALL IS BROKEN OR TRUNK IS LOOSE IN BALL.
- A. PACKAGED MATERIALS: DELIVER PACKAGED MATERIALS IN UNOPENED CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE
- B. SEED: DELIVER SEED IN ORIGINAL SEALED, LABELED, AND UNDAMAGED CONTAINERS. KEEP DRY AND PROTECT FROM CONTAMINATION.

- 1. PLANTING RESTRICTIONS: COORDINATE PLANTING PERIODS WITH INDUSTRY-ACCEPTABLE DIGGING SCHEDULES AND PLANT-SPECIFIC TOLERANCES.
- 2. WEATHER LIMITATIONS: PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT AND AVOID PLANTING DURING PERIODS OF EXTREME WEATHER CONDITIONS... DO NOT WORK SOILS UNDER FROZEN, MUDDY OR SATURATED CONDITIONS.
- 3. IF NECESSARY, ARRANGE WITH GOVERNING JURISDICTION TO DELAY PLANTING UNTIL A MUTUALLY-ACCEPTABLE TIME. PROVIDE LETTER OF GUARANTEE AND/OR BOND AS REQUIRED BY JURISDICTIONAL AUTHORITY.

- 1. WARRANT PLANTS FOR THE REQUIRED MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE. PLANTS SHALL BE WARRANTED AGAINST DEFECTS INCLUDING DEATH, UNSATISFACTORY GROWTH, IF MISSING, AND GREATER THAN 25% DIEBACK. DEFECTS RESULTING FROM DAMAGE BY OTHERS, UNUSUAL PHENOMENA, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL ARE EXEMPTED.
- 2. REMOVE AND REPLACE PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING THE WARRANTY PERIOD WITHOUT COST TO THE OWNER. INSTALL REPLACEMENTS UPON DISCOVERY OF DEATH OR UNHEALTHY CONDITION OR AS SOON AS PLANTING CONDITIONS ARE FAVORABLE. REPLACE PLANTS WHICH ARE IN A COMPROMISED CONDITION AT THE END OF THE WARRANTY PERIOD
- 3. REPLACEMENT PLANTS SHALL CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES AND SHALL BE SUBJECT TO ALL REQUIREMENTS OF THE SPECIFICATION AND SHALL BE INSTALLED IN THE SAME MANNER. REPLACEMENT PLANTS SHALL BE INSTALLED DURING THE APPROPRIATE PLANTING SEASON.
- 4. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH SPECIFIED REQUIREMENTS.

MAINTENANCE DURING INSTALLATION

- I. MAINTAIN PLANTS FOR THE DURATION OF THE INSTALLATION PROCESS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS. AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE
- 2. WATERING VOLUMES SHOULD BE BASED UPON DELIVERY OF 1" OF MOISTURE PER WEEK TO THE PLANTS IF PRECIPITATION DOES NOT MEET THAT AMOUNT DURING THE ACTIVE GROWING SEASON DEFINED AS APRIL 15TH THROUGH NOVEMBER 1ST.
- 3. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

DOUBT EXISTS AS TO ORIGIN OF PLANT MATERIAL.

4. MINOR VANDALISM OR OTHER DAMAGE TO PLANTINGS OR RELATED WORK SHALL BE RESPONSIBILITY OF CONTRACTOR UNTIL END OF INSTALLATION MAINTENANCE PERIOD. MAJOR VANDALISM OR DAMAGE CAUSED BY OTHERS THROUGH NO FAULT OF CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.

PRODUCTS

PLANT MATERIAL

- 1. PLANT LIST: PLANTS SHALL BE OF THE KIND AND SIZES SPECIFIED IN THE LIST SHOWN ON THE DRAWINGS.
- 2. PROCUREMENT: SUBMITTAL OF A BID PROPOSAL AND EXECUTION OF A CONTRACT WILL BE CONSTRUED AS EVIDENCE THAT LANDSCAPE CONTRACTOR HAS MADE SUCCESSFUL PROCUREMENT ARRANGEMENTS FOR PLANT MATERIALS AS
- 3. HARDINESS: TREES GROWN IN HARDINESS ZONES 6, 7, AND 8 ONLY WILL BE ACCEPTED. HARDINESS ZONES ARE DEFINED IN U.S. DEPARTMENT OF AGRICULTURE PUBLICATIONS. GROWER'S CERTIFICATES MAY BE REQUIRED WHEN
- 4. NURSERY GROWN: ALL PLANTS SHALL BE NURSERY GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR A MINIMUM OF TWO YEARS.
- 5. BALLED AND BURLAPPED PLANTS: PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. PROVIDE BALL SIZES COMPLYING WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK". BALLS SHALL BE FIRMLY WRAPPED WITH NON-SYNTHETIC. BIO-DEGRADABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NON-SYNTHETIC TWINE. BENDING OR CRACKING OF THE ROOT BALL MUST BE

AVOIDED DURING THE PROCESS OF PLANTING. THE BALL MAY BE SECURED TO A PLATFORM. THE ROOT COLLAR

SHALL BE APPARENT AT THE SURFACE OF THE BALL OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING

6. CONTAINER PLANTS: PLANTS SHOULD HAVE BEEN GROWN IN CONTAINER FOR SUFFICIENT LENGTH OF TIME FOR ROOT SYSTEM TO HAVE DEVELOPED TO HOLD ITS SOIL TOGETHER, FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER OR POT BOUND. IF STORED ON THE SITE, CONTAINER STOCK MUST BE WATERED THOROUGHLY AT

EXCESS SOIL FROM THE TOP OF THE ROOT BALL. BALLS MUST BE KEPT MOIST AND SHADED UNTIL THEY ARE

- 7. QUANTITIES: QUANTITIES NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN AND LOCATED ON THE DRAWINGTS SHALL BE FURNISHED. QUANTITIES SHOWN IN THE PLANT LIST ARE FOR THE CONVENIENCE OF CONTRACTORS ONLY. VERIFICATION OF PLANT QUANTITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE DRAWINGS SHALL GOVERN.
- 8. IDENTIFICATION: LABEL AT LEAST A SINGLE TREE OR SHRUB OF EACH VARIETY WITH A GROWER'S LABEL AFFIXED TO PLANT. GROWER'S LABEL SHALL GIVE DATA NECESSARY TO INDICATE CONFORMANCE TO SPECIFICATIONS. USE DURABLE WATERPROOF LABELS WITH WATER RESISTANT INK WHICH WILL REMAIN LEGIBLE FOR AT LEAST 60 DAYS. NOTIFY LANDSCAPE ARCHITECT AT LEAST 2 WORKING DAYS PRIOR TO DELIVERY OF PLANT MATERIALS TO SITE SO THAT PRE-PLANTING INSPECTION MAY BE MADE OR INDICATE DELIVERY SCHEDULE IN ADVANCE SO PLANT MATERIAL MAY BE INSPECTED UPON ARRIVAL AT JOBSITE, WHICHEVER IS MORE APPROPRIATE.
- 9. PLANT SIZE: PROVIDE SIZES COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK" FOR EACH VARIETY OF PLANT INDICATED. ROOT FLARE SHOULD BE VISIBLE OR EVIDENT FOR TREES AND SHRUBS. SIZES DICTATED ON THE CONSTRUCTION DRAWINGS ARE MINIMUM STANDARDS.
- 10. TREE CALIPER: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 WITH BRANCHES AND TRUNKS OR CANES IN HEIR NORMAL POSITION. DO NOT PRUNE TO OBTAIN REQUIRED SIZES. TAKE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4-INCH CALIPER SIZE. AND 12 INCHES ABOVE GROUND FOR LARGER SIZES. MEASURE MAIN BODY OF TREE OR SHRUB FOR HEIGHT AND SPREAD; DO NOT MEASURE BRANCHES OR ROOTS

11. PLANT QUALITY: PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF ALL PESTS.

- DISEASES, CANKERS, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS AND FREE OF MECHANICAL DAMAGE AND DISFIGUREMENT AT THE TIME OF PLANTING.
- 12. PLANT UNIFORMITY: SELECT STOCK IN EACH GROUPING WITH UNIFORM HEIGHT AND SPREAD TO ENSURE A MATCHED PLANTING.

SHADE AND FLOWERING TREES

- 1. PROVIDE BALLED AND BURLAPPED OR CONTAINERIZED TREES IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
- A. SINGLE-STEM TRUNK: SINGLE TRUNK WITH NO MORE THAN 10 DEGREES OF BOW. TREES WITH "DOGLEG" TRUNKS OR COMPETING LEADERS ARE UNACCEPTABLE. NO PRUNING WOUNDS SHALL BE PRESENT WITH A DIAMETER OF MORE THAN 1 INCH AND SUCH WOUNDS MUST SHOW VIGOROUS BARK ON ALL EDGES.
- B. MULTI-STEM TRUNK: MINIMUM OF 3 TRUNKS TO MAXIMUM OF 5 TRUNKS. TRUNKS SHOULD BE EVENLY DISTRIBUTED AND SUFFICIENTLY SEPARATED

- C. BRANCHES: ALL BRANCHES EQUALLY DOMINANT AND AT LEAST 6 INCHES APART. NO BRANCH IN UPPER HALF OF REE MAY BE GREATER THAN 2/3 THE SIZE OF THE TRUNK. NO BRANCH TIPS SHOULD BE TALLER THAN THE TRUNK
- D. CROWN: BRANCHES TO BE EVENLY DISTRIBUTED AROUND TRUNK. ONLY ONE MAJOR BRANCH MAY BE LOCATED BOVE ANOTHER MAJOR BRANCH. NO LARGE VOIDS IN THE CANOPY SHOULD BE EVIDENT
- E. HEIGHT AND CROWN SPREAD: THE MINIMUM AND MAXIMUM HEIGHT AND THE MINIMUM CROWN SPREAD OF THE REE SHOULD BE APPROPRIATE TO THE CALIPER OF THE TREE TRUNK AND SHALL MEET THE FOLLOWING STANDARDS:

(NOTE: COLUMNAR VARIETIES OF TREES ARE EXEMPT FROM THESE STANDARDS)

CALIPER	MIN. HEIGHT	MAX. HEIGHT	MIN. SPREAD
2"	8'	14'	4'
2.5"	9'	15'	4-1/2'
3"	10"	16'	5'
3.5"	11'	17'	5-1/2'
4"	12'	18'	6-1/2'
4.5"	14'	20'	7-1/2'
5"	16'	22'	9'
5.5"	17'	23'	10'

- 2. <u>UNACCEPTABLE TREES</u>: TREES MAY BE REJECTED DUE TO EVIDENCE OF ANY SINGLE OR MULTIPLE CONDITIONS AS
- A. STAKING TO SUPPORT TREES OVER 1-INCH CALIPER
- B. ROOT BALL OR CONTAINER UNDERSIZED C. B&B ROOT BALL NOT PROPERLY SECURED
- D. ROOT BOUND PLANTS
- E. ROOTS GROWING OUT OF CONTAINER OR GROW BAG F. SPARSELY FOLIATED CROWN G. TIP DIEBACK ON MORE THAN 5% OF BRANCHES
- H. FAILURE TO MEET HEIGHT RESTRICTIONS I. FLUSH OR STUB PRUNING CUTS

BROADLEAF EVERGREENS, CONIFERS, AND SHRUBS

- J. OPEN TRUNK WOUNDS OR INJURIES K. INCOMPLETE GRAFT UNION L. GREATER THAN 40% OF LOWER TRUNK VOID OF BRANCHES
- M. CHLOROTIC OR ABNORMALLY SMALL LEAVES N EVIDENCE OF PESTS OR DISEASE

O. INCLUDED BARK BETWEEN TRUNK AND MAJOR BRANCHES P. MAJOR BRANCHES THAT ARE TOUCHING Q. CIRCLING ROOTS

1. FORM AND SIZE: BRANCHES SHALL BE GENEROUS, WELL-TWIGGED, AND THE PLANT AS A WHOLE WELL-BUSHED TO THE GROUND. SINGLE-STEMMED OR THIN SHRUBS WILL NOT BE ACCEPTED.

1. DO NOT MAKE SUBSTITUTIONS. SUBSTITUTIONS ARE DISCOURAGED BUT WILL ONLY BE PERMITTED UPON SUBMISSION OF WRITTEN PROOF THAT ANY PLANT AS SPECIFIED IS NOT AVAILABLE WITHIN REGION DURING THE SCHEDULED PLANTING SEASON. WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT WILL BE REQUIRED FOR ANY SUBSTITUTION PRIOR TO ORDERING AND INSTALLATION. THE NEAREST EQUIVALENT OBTAINABLE SIZE AND VARIETY OF PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS SHALL BE USED. AN EQUITABLE CREDIT TO THE CONTRACT PRICE SHALL BE DETERMINED BY THE CONTRACTOR AND LANDSCAPE ARCHITECT.

- 1. <u>SOIL FUMIGANT</u>: BASIMID OR PRE-APPROVED EQUAL.
- 2. PLANTING SOIL MIXTURE (BACKFILL MATERIAL): NATIVE SOIL SHALL BE USED FOR NO MORE THAN 50% OF THE BACKFILL USED IN EXCAVATED PLANT PITS. 100% OF NATIVE SOIL IS ACCEPTABLE FOR CONSTRUCTION OF REQUIRED SAUCERS AROUND PLANTS. THE REMAINDER OF THE UNUSED SOIL SHALL BE HAULED AWAY FROM THE SITE. NATIVE BACKFILL MATERIAL SHALL BE BLENDED WITH A MIXTURE CONSISTING OF 50% COMPOST, 25% CLAY LOAM, AND 25% SANDY LOAM. COMPOST SHALL CARRY U.S. COMPOST COUNCIL SEAL OF ASSURANCE. EXCESS EXCAVATED SOILS SHALL BE HAULED OFF-SITE.
- 3. PLANTER MIX: SOIL BLEND TO FILL PLANTERS IF INDICATED ON THE DRAWINGS CONSISTING OF 60% COARSE SAND, 20% AGED PINE BARK, 10% COMPOST, AND 10% COMPOSTED COW MANURE. COMPOST SHALL CARRY U.S. COMPOST COUNCIL SEAL OF ASSURANCE.
- 4. INORGANIC SOIL AMENDMENTS
- A. LIME: ASTM C 602, AGRICULTURAL LIMESTONE CONTAINING A MINIMUM 80 PERCENT CALCIUM CARBONATE EQUIVALENT AND AS FOLLOWS:
- CLASS: CLASS O, WITH A MINIMUM 95 PERCENT PASSING THROUGH NO. 8 (2.36-MM) SIEVE AND A MINIMUM 55
- PERCENT PASSING THROUGH NO. 60 (0.25-MM) SIEVE. PROVIDE LIME IN FORM OF DOLOMITIC LIMESTONE.

5. ORGANIC SOIL AMENDMENTS

- A. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS; AND AS FOLLOWS:
- ORGANIC MATTER CONTENT: 50 TO 60 PERCENT OF DRY WEIGHT.
- FEEDSTOCK: AGRICULTURAL, FOOD, OR INDUSTRIAL RESIDUALS; BIOSOLIDS; YARD TRIMMINGS; OR SOURCE-SEPARATED OR COMPOSTABLE MIXED SOLID WASTE.
- B. WOOD DERIVATIVES: DECOMPOSED, NITROGEN-TREATED SAWDUST, GROUND BARK, OR WOOD WASTE; OF UNIFORM TEXTURE, FREE OF CHIPS, STONES, STICKS, SOIL, OR TOXIC MATERIALS. C. MULCH: AGED DOUBLE-SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS.
- 6. STAKES AND GUYS: "TREE FROG PRO 40 HD" STAKING SYSTEM. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 7. WATER: PROVIDED BY CONTRACTOR FROM OFF-SITE. WATER SHALL BE FREE OF SUBSTANCES HARMFUL TO PLANT

EXECUTION

- 1. PLANTING STANDARDS: ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS
- DETAILED IN THE FOLLOWING DOCUMENTS: A. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036
- B. AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET. NW, SUITE 500, WASHINGTON, D.C. 20005
- C. HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM. 1976. MACMILLAN PUBLISHING CO., NEW YORK
- A. EXAMINE ALL AREAS TO RECEIVE PLANTING FOR COMPLIANCE WITH REQUIREMENTS AND FOR CONDITIONS AFFECTING PERFORMANCE OF WORK. DO NOT PROCEED WITH INSTALLATION UNTIL SATISFACTORY CONDITIONS
- B. SOIL PREPARATION OR PLANT INSTALLATION SHALL NOT BE ATTEMPTED WHEN GROUND IS FROZEN, MUDDY, OR EXCESSIVELY DRY.

RETENTION IN TREE OR SHRUB PITS.

- A. TIME OF PLANTING: AFTER NOTIFICATION TO PROCEED, PLANTING OPERATIONS SHALL BE CONDUCTED UNDER
- FAVORABLE WEATHER CONDITIONS.
- B. FUMIGATE ALL LANDSCAPE BEDS WITH BASAMID OR EQUIVALENT TO ELIMINATE EXISTING WEED SEEDS. C. PLANTING BED LAYOUT: LOCATE PLANTING BED EDGES BY SCALING DIMENSIONS FROM BUILDINGS. CURBS. PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT SMOOTH AND UNIFORM ALIGNMENTS
- D. <u>LAYOUT OF INDIVIDUAL PLANTS AND MASS PLANTINGS</u>: INDIVIDUAL TREES, SHRUBS, AND MASS PLANTINGS SHALL BE ACCURATELY LOCATED AS SHOWN ON THE DRAWINGS. PLANT LOCATIONS MAY BE SCALED FROM THE DRAWINGS. TREES AND LARGE SHRUBS IN CLOSE PROXIMITY TO BUILDINGS SHALL NOT BE LOCATED IN FRONT OF WINDOWS UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

AT TIME OF REVIEW UNLESS UNFORESEEN SITE CONDITIONS OR CIRCUMSTANCES REQUIRED THE CHANGE.

CONSISTENT WITH THE PLANS ARE PROVIDED. MAJOR DEVIATIONS FROM THE PLAN ARE SUBJECT TO REJECTION

- E. SOIL PREPARATION: LIMIT SOIL PREPARATION TO AREAS THAT WILL BE PLANTED IN THE IMMEDIATE FUTURE. 3. EXCAVATION FOR TREES AND SHRUBS
- A. EXCAVATE SO THAT SIDES OF PLANTING HOLES SLOPE OUTWARD. PITS WITH VERTICAL OR STEEPLY SLOPING SIDES ARE UNACCEPTABLE. EXCAVATE SO THAT TOP OF HOLE IS AT LEAST 2 TIMES AS WIDE AS BALL OR CONTAINER DIAMETER. EXCAVATE DEPTH EQUAL TO DISTANCE FROM ROOT FLARE TO BASE OF BALL OR
- B. <u>OBSTRUCTIONS</u>: NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO ES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

C. <u>DRAINAGE</u>: NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS REVEAL UNEXPECTED WATER SEEPAGE OR

4. TREE AND SHRUB INSTALLATION

A. SET PLANTS PLUMB AND IN CENTER OF EXCAVATION ON UNDISTURBED SOIL TO SUCH DEPTH THAT THE ROOT

FLARE IS NO LOWER THAN LEVEL OR NO MORE THAN 2 INCHES ABOVE THE SURROUNDING FINISHED GRADE.

- B. REMOVE BURLAP, ROPE, TWINE AND WIRE BASKET FROM TOP OF BALL AND AT LEAST 1/2 OF SIDES. DO NOT USE PLANT IF BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
- C. EXAMINE PLANT FOR EVIDENCE OF GIRDLING OR MATTED ROOTS NEAR THE ROOT FLARE. SEVER ANY ROOTS WHICH MAY INTERFERE WITH STEM GROWTH IN FUTURE. REJECT AND DO NOT INSTALL PLANTS THAT SHOW SUBSTANTIAL EVIDENCE OF CIRCLING ROOTS OR MATTED ROOTS ON SURFACE.
- D. PLACE SOIL BACKELL AROUND BALL IN LAYERS, TAMPING TO SETTLE BACKELL AND ELIMINATE VOIDS AND AIR
- E. TOP SURFACE OF ROOT BALL SHALL REMAIN FREE OF ANY SOIL BACKFILL OR OTHER SOIL.

POCKETS. WATER THOROUGHLY WITHIN 4 HOURS OF PLANTING, PREFERABLY AFTER MULCHING.

- F. FORM A SHALLOW SAUCER AROUND EACH PLANT BY PLACING A RIDGE OF SOIL AROUND THE EDGE OF THE BALL. THE OUTSIDE DIAMETER OF THE SAUCER SHALL BE 6 FEET. INSTALL A 4-INCH DEEP V-SHAPED TRENCH EDGING
- G. NO PRUNING SHOULD BE DONE EXCEPT TO REMOVE BROKEN BRANCHES. WHEN REMOVING BROKEN BRANCHES, PRUNING CUTS SHALL BE MADE OUTSIDE OF BRANCH COLLAR. PRUNING SHALL BE DONE IN ACCORDANCE WITH
- 5. TREE STAKING AND GUYING: INSTALL STAKING AND GUYING IMMEDIATELY FOLLOWING PLANTING. ENSURE TREE IS IN A PLUMB POSITION PRIOR TO AND AFTER GUYING IS SECURED. SECURELY ATTACH NO FEWER THAN 3 GUYS PER
- 6. MASS PLANTING BED / PARKING LOT ISLAND SOIL BED PREPARATION
- A. REMOVE AND DISPOSE OF ANY EXISTING VEGETATION. DO NOT TURN OVER INTO SOIL BEING PREPARED FOR
- B. LOOSEN EXISTING SOIL TO A MINIMUM DEPTH OF 12 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION, STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATERIALS FROM THE SOIL.
- C. RECONSTRUCT BERMS IN PARKING LOT ISLANDS IF EXISTING PRIOR TO BED PREPARATION OPERATIONS. D. PLACE A 1-INCH LAYER OF COMPOST, TILL INTO THE TOP 4" OF LOOSENED SOIL, AND FINE GRADE THE AMENDED
- E. FINE GRADE THE AMENDED SOIL TO A SMOOTH, EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. LIGHTLY ROLL AND RAKE, REMOVE RIDGES AND FILL DEPRESSIONS TO OBTAIN A UNIFORM SURFACE. NO PONDING BROKEN OR STRETCHED AND FREE OF DISEASE, PESTS, AND THATCH. OF WATER SHOULD BE PRESENT AFTER WATERING. LIMIT FINE GRADING TO AREAS THAT WILL BE PLANTED IN THE IMMEDIATE FUTURE. RESTORE PREPARED AREAS IF ERODED OR OTHERWISE DISTURBED BEFORE PLANTING.
- F. FUMIGATE THE SOIL IN ALL LANDSCAPE BEDS TO ELIMINATE ALL WEED SEED. APPLY IN STRICT ACCORDANCE WITH
- G. WHERE PLANTING BEDS ARE TO BE INSTALLED IN AREAS UNDISTURBED BY RECENT CONSTRUCTION OF THE ROAD, PREPARE SOIL AS FOLLOWS:
- 7. INSTALLING CONTAINER PLANTS
- A. SPACE PLANTS IN ACCORDANCE WITH SPACING REQUIREMENTS

G. WATER PLANTS THOROUGHLY WITHIN ONE HOUR OF INSTALLATION.

MANUFACTURER'S INSTRUCTIONS AND PROCEDURES.

- B. REMOVE CONTAINER PRIOR TO PLANTING.
- C. SET PLANTS WITH CROWN AT SURFACE OF SOIL.
- D. PRIOR TO PLANTING, BIODEGRADABLE POTS SHALL BE CAREFULLY BROKEN UP AND ANY ABOVE-GROUND PORTION SHALL BE REMOVED. NON-BIODEGRADABLE POTS SHALL BE REMOVED.
- E. INSTALL PLANTS SO THAT ROOTS ARE SURROUNDED BY SOIL. DO NOT COVER ROOT BALL WITH SOIL.
- F. INSTALL A 4-INCH DEEP V-SHAPED TRENCH EDGING AROUND THE OUTER EDGE OF THE PLANTING BED.

UNACCEPTABLE PRACTICE THAT INHIBITS THE HEALTH AND VIGOR OF TREES.

- A. MULCH SAUCERS UNDER INDIVIDUAL TREES AND SHRUBS AND BACKFILLED AREAS AROUND PLANTINGS IN
- PLANTING BEDS. FILL TRENCH IN V-SHAPED PLANT BED EDGING WITH SLIGHTLY COMPACTED MULCH. B. APPLY A MINIMUM 3-INCH THICK BUT NO MORE THAN 4-INCH THICK LAYER OF SPECIFIED MULCH.
- C. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS. MULCHING AGAINST THE TRUNK IS AN

A. DURING LANDSCAPING OPERATIONS, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION.

9. CLEANUP AND DISPOSAL OF SURPLUS AND WASTE

- AND DEBRIS AND LEGALLY DISPOSE OF OFF-SITE AT NO COST TO THE OWNER. 10. ACCEPTANCE OF LANDSCAPE WORK
- A. MAINTENANCE OF INSTALLED PLANTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONTINUE B. WHEN THE INDIVIDUAL TREES AND SHRUBS AND THE PLANTING BEDS ARE READY FOR FINAL INSTALLATION INSPECTION, ALL PLANT BEDS WILL BE FREE FROM WEEDS AND EDGED NEATLY TO A LINE AS SHOWN ON THE

B. REMOVE WASTE MATERIAL AND SURPLUS MATERIALS DAILY, INCLUDING EXCESS SOIL, UNSUITABLE SOIL, TRASH,

DRAWINGS. PLANT TAGS OF ALL DESCRIPTION SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO THE INSPECTION FOR PRELIMINARY ACCEPTANCE.

ANY DEFICIENCIES OF THE REQUIREMENTS OF COMPLETION OF THE WORK.

DURING THE INSTALLATION PERIOD FOR THE PLANTINGS UNDER THIS CONTRACT.

- C. MULCH SHALL BE REPLENISHED TO A DEPTH OF THREE INCHES. D. 10 DAYS PRIOR TO THE ANTICIPATED DATE OF COMPLETION, THE CONTRACTOR WILL FURNISH WRITTEN NOTICE
- REQUESTING INSPECTION BY THE LANDSCAPE ARCHITECT. E. FINAL ACCEPTANCE OF THE WORK WILL BE MADE UPON COMPLETION OF ALL WORK UNDER THIS CONTRACT.
- PLANTS MUST BE IN EXCELLENT AND VIGOROUS CONDITION. F. WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY LANDSCAPE ARCHITECT AND FOUND TO BE
- G. EXCESSIVELY PRUNED TREES AND SHRUBS WHICH, IN OPINION OF LANDSCAPE ARCHITECT, ARE NO LONGER EXCELLENT REPRESENTATIVES OF THEIR SPECIES SHALL BE REPLACED PRIOR TO FINAL ACCEPTANCE.

H. THE CONTRACTOR WILL BE NOTIFIED IN WRITING OF ACCEPTANCE OF ALL WORK OF THIS SECTION EXCLUSIVE OF

I. AT THE TIME OF ACCEPTANCE. THE CONTRACTOR IS RELIEVED OF ROUTINE MAINTENANCE RESPONSIBILITIES

SEEDING & SODDING SPECIFICATIONS

SITE PREPARATION

INSTALLATION

- 1. CONTRACTOR SHALL CONSULT WRITTEN SPECIFICATIONS FOR SEEDING AND SODDING, AS APPLICABLE, IN ADDITION TO THE NOTES BELOW.
- 2. CONTRACTOR TO FINE GRADE ALL SEED/SOD AREAS PRIOR TO
- 3. CONTRACTOR TO LOOSEN SOIL TO A DEPTH OF 4" BY DISKING, RAKING, ROTO-TILLING, OR OTHER ACCEPTABLE MEANS, AND RAKE SMOOTH ENSURING ALL ROOTS, DEBRIS, AND STONES GREATER THAN 1"Ø ARE REMOVED.
- 4. CONTRACTOR TO PROVIDE A SOIL pH TEST TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, AND AMEND SOIL AS NEEDED PER LOCAL COOPERATIVE EXTENSION OFFICE GUIDELINES TO ACHIEVE IDEAL GROWING CONDITIONS FOR BOTH TURF AND LANDSCAPE BEDS.
- 5. ALL SEEDED/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF SOD.
- 6. NO SEEDED/SODDED AREAS SHALL BE INSTALLED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING, HAVE OCCURRED AND LANDSCAPE ARCHITECT HAS REVIEWED/ACCEPTED THE FINAL GRADING AND SOIL CONDITIONS.

SOD INSTALLATION

- 1. CONTRACTOR TO ENSURE SOD AREAS UTILIZE ROLLS THAT ARE NOT
- 2. SODDING SHALL OCCUR IN EARLY SPRING OR EARLY FALL AND SHALL BE INSTALLED WITHIN 24 HOURS OF ARRIVING ON SITE UNLESS APPROVED OTHERWISE BY LANDSCAPE ARCHITECT.
- 3. SOD SHALL BE LAID PARALLEL TO THE CONTOURS ON SITE AND HAVE STAGGERED JOINTS. SOD SHALL BE STAKED ON SLOPES GREATER THAN
- 3:1 OR IN DRAINAGE SWALES. 4. CONTRACTOR TO APPLY STARTER FERTILIZER AT TIME OF SODDING AT A
- 5. CONTRACTOR IS RESPONSIBLE FOR WATERING AND CONTINUED

MAINTENANCE OF SODDED AREAS UNTIL PROJECT COMPLETION

RATE RECOMMENDED BY THE MANUFACTURER.

SEEDED INSTALLATION

- 1. CONTRACTOR TO APPLY SEED UNIFORMLY WITH CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. MAXIMUM DEPTH SHOULD BE $\frac{1}{4}$ " ON CLAY SOILS AND $\frac{1}{2}$ " ON SANDY SOILS WHEN USING A METHOD OF APPLICATION OTHER THAN HYDROSEEDING.
- 2. STRAW MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING, EXCEPT FOR HYDROSEEDING, TO MEET COVERAGE REQUIREMENTS. MULCH CAN BE APPLIED BY HAND OR BLOWER. MULCH SHALL BE CLEAN, WELL SEASONED, AND FREE OF SEEDS AND ROOTS.
- 3. STRAW MULCH SHALL BE KEPT IN PLACE WITH APPROVED TACKIFIER APPLIED AT A RATE RECOMMENDED BY MANUFACTURER.
- SLURRY USED IMMEDIATELY WITHOUT INTERRUPTION. 5. CONTRACTOR TO APPLY STARTER FERTILIZER AT TIME OF SEEDING AT A

4. FOR ANY HYDROSEEDING, CONTRACTOR SHALL MIX ON SITE AND THE

6. CONTRACTOR IS RESPONSIBLE FOR WATERING AND CONTINUED

RATE RECOMMENDED BY THE MANUFACTURER.

MAINTENANCE OF SEEDED AREAS UNTIL THE COMPLETION OF THE PROJECT.

SHOULD ONE BE AVAILABLE.

- <u>MAINTENANCE</u> 1. CONTRACTOR SHALL WATER SEED OR SOD WITHIN 1 HOUR OF INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR KEEPING AREAS ADEQUATELY IRRIGATED EITHER BY HAND OR IRRIGATION SYSTEM
- CONTRACTOR TO UTILIZE THE SERVICES OF A CERTIFIED PROFESSIONAL LANDSCAPE CONTRACTOR. 3. SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR OWNER RESERVES THE RIGHT TO REJECT AT ANY

TIME OR PLACE PRIOR TO ACCEPTANCE OF ANY WORK AND SOD WHICH

LANDSCAPE TECHNICAL SPECIFICATIONS

AND SEEDING AND SODDING SPECIFICATIONS

2. CONTRACTOR IS RESPONSIBLE FOR CONTINUED MAINTENANCE (MOWING,

FERTILIZING, WEEDING, ETC.) OF SEEDED AND SODDED AREAS UNTIL

COMPLETION OF PROJECT OR AS THE CONTRACT DICTATES.

FAILS TO MEET SPECIFICATION REQUIREMENTS.

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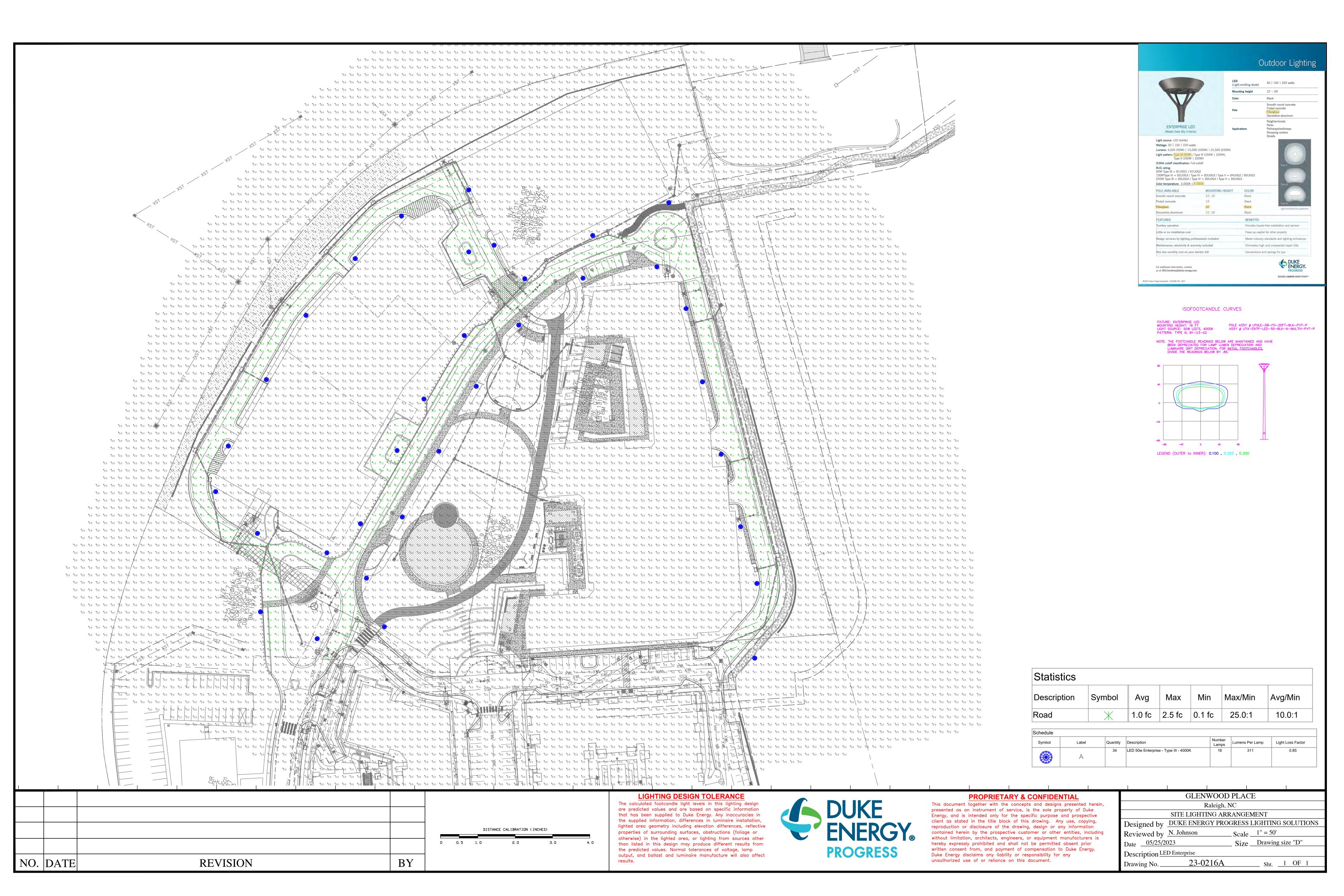
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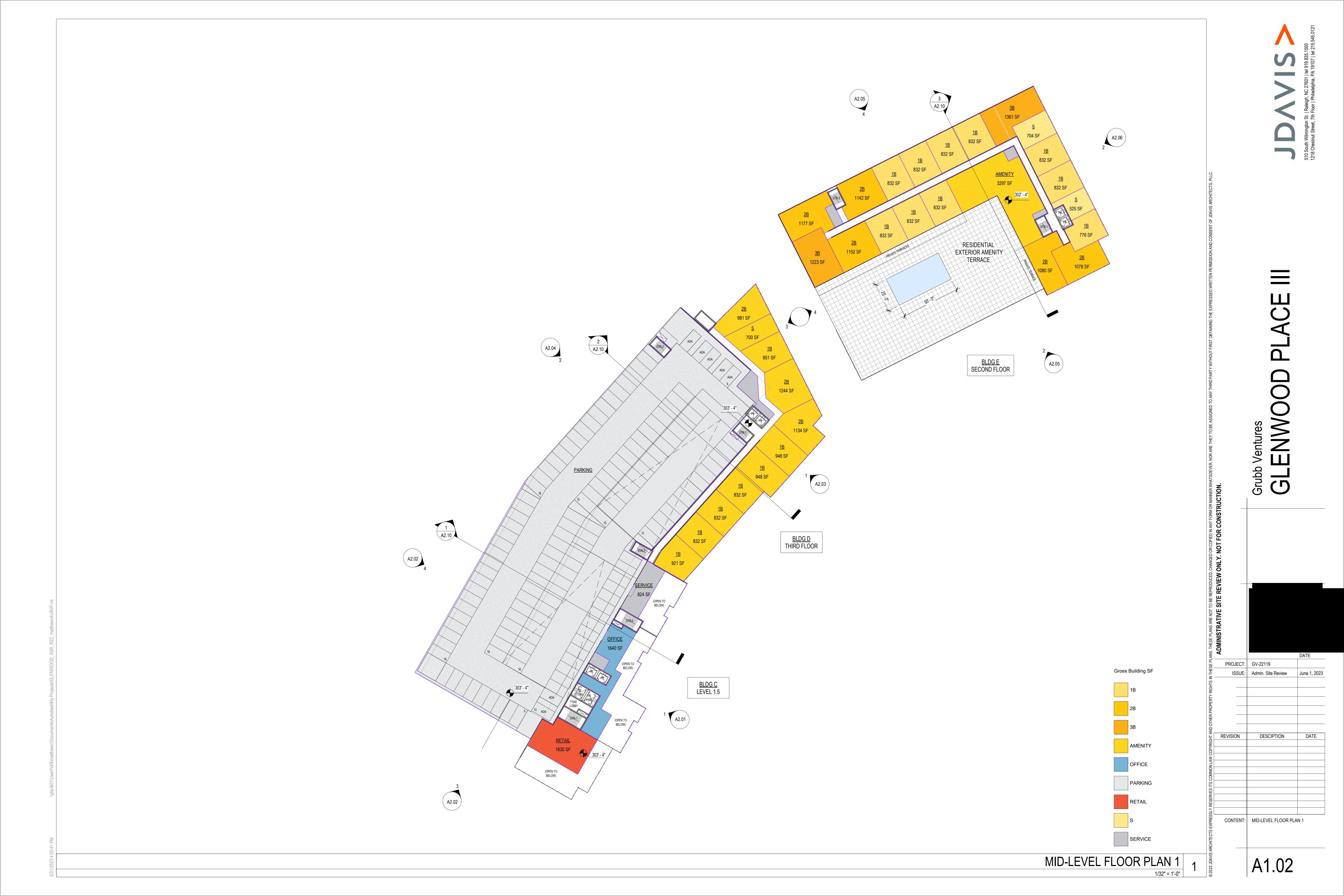
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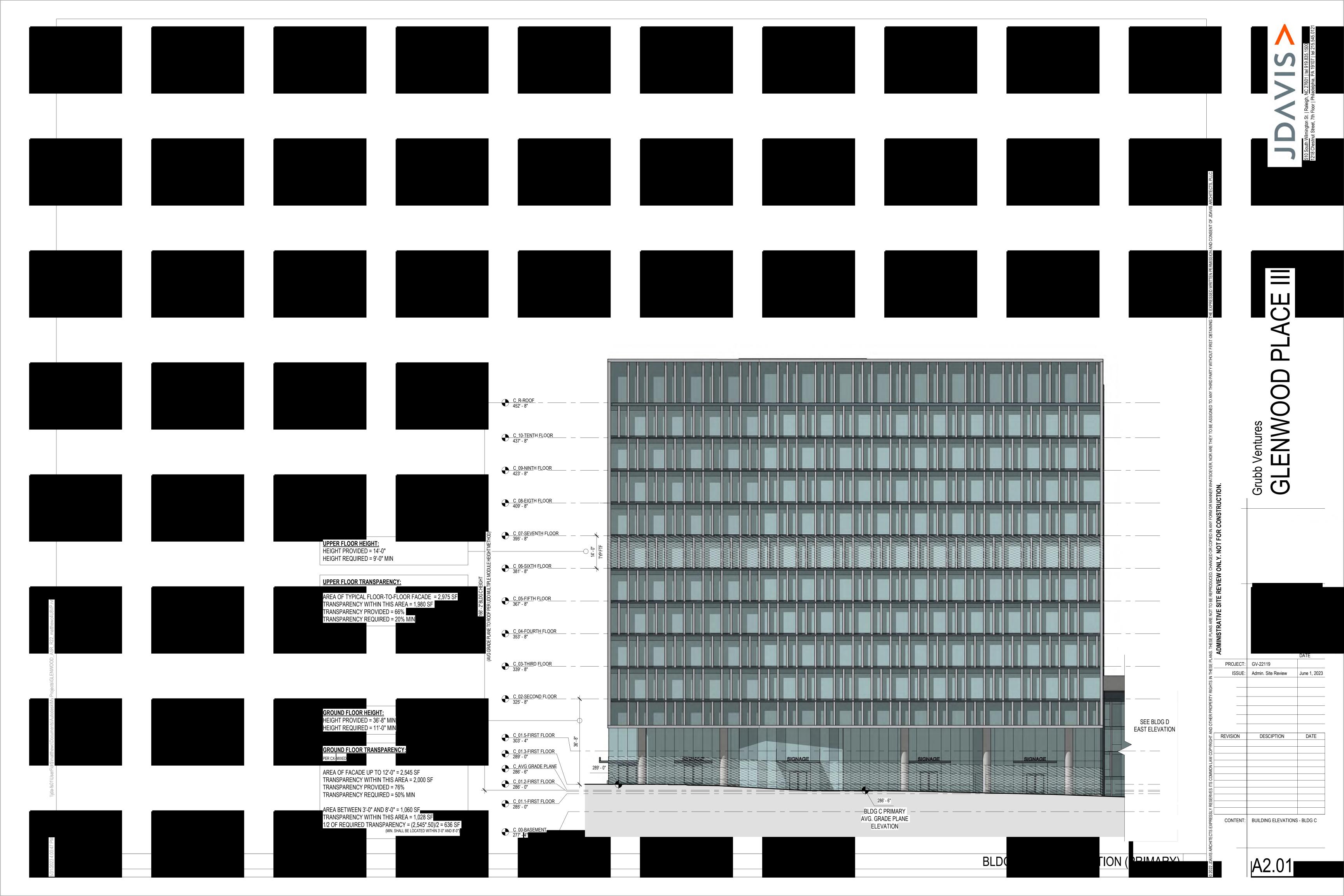
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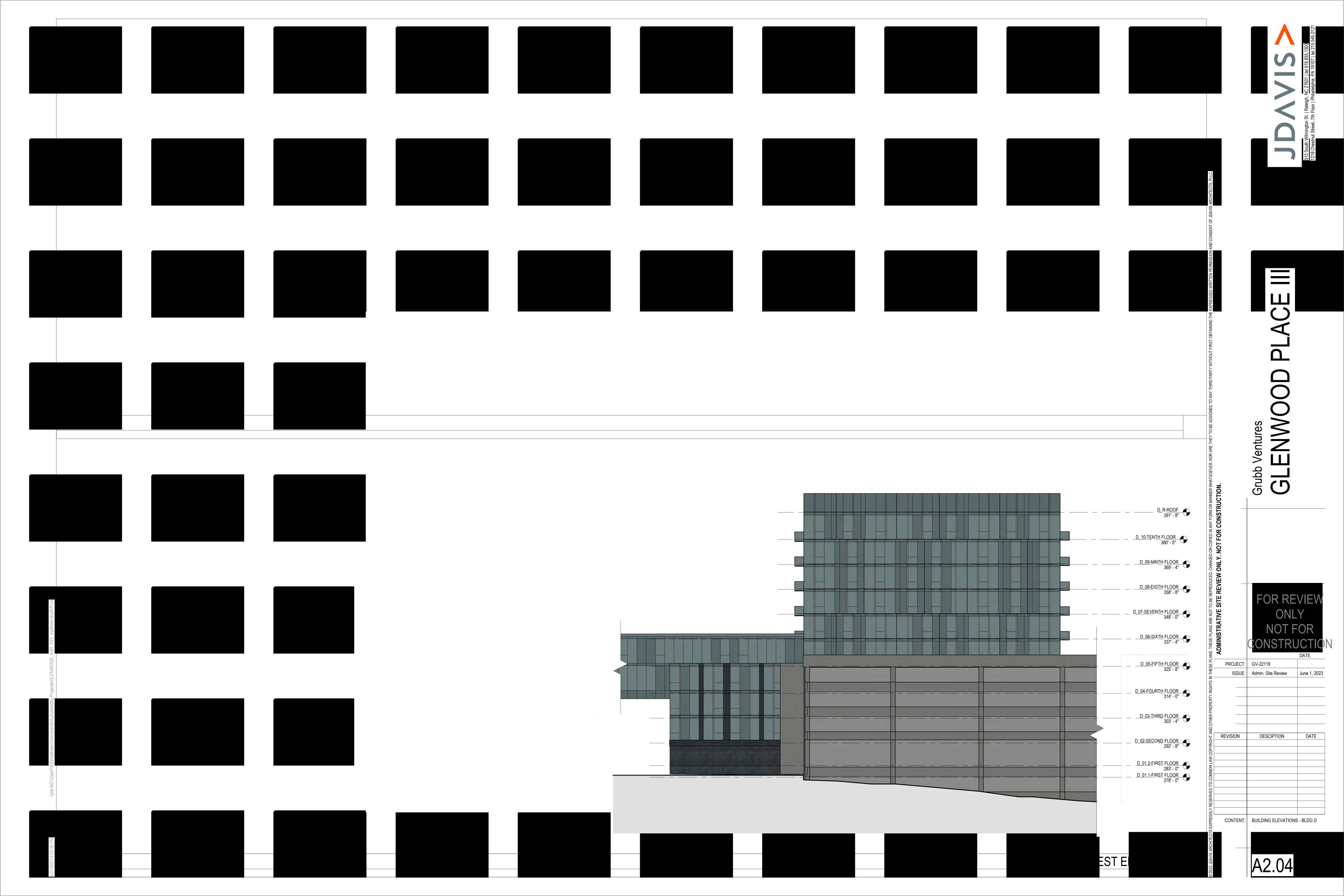
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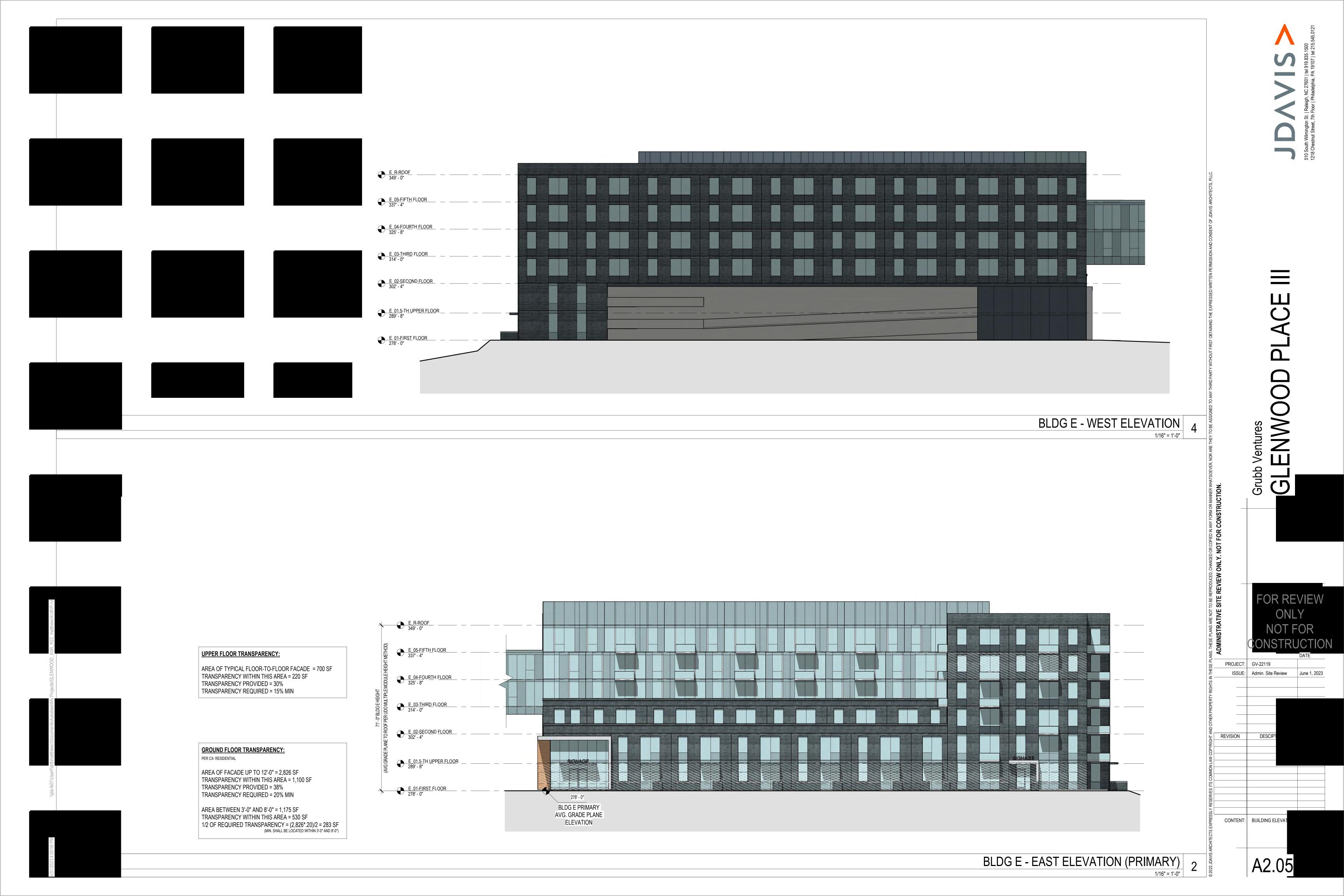




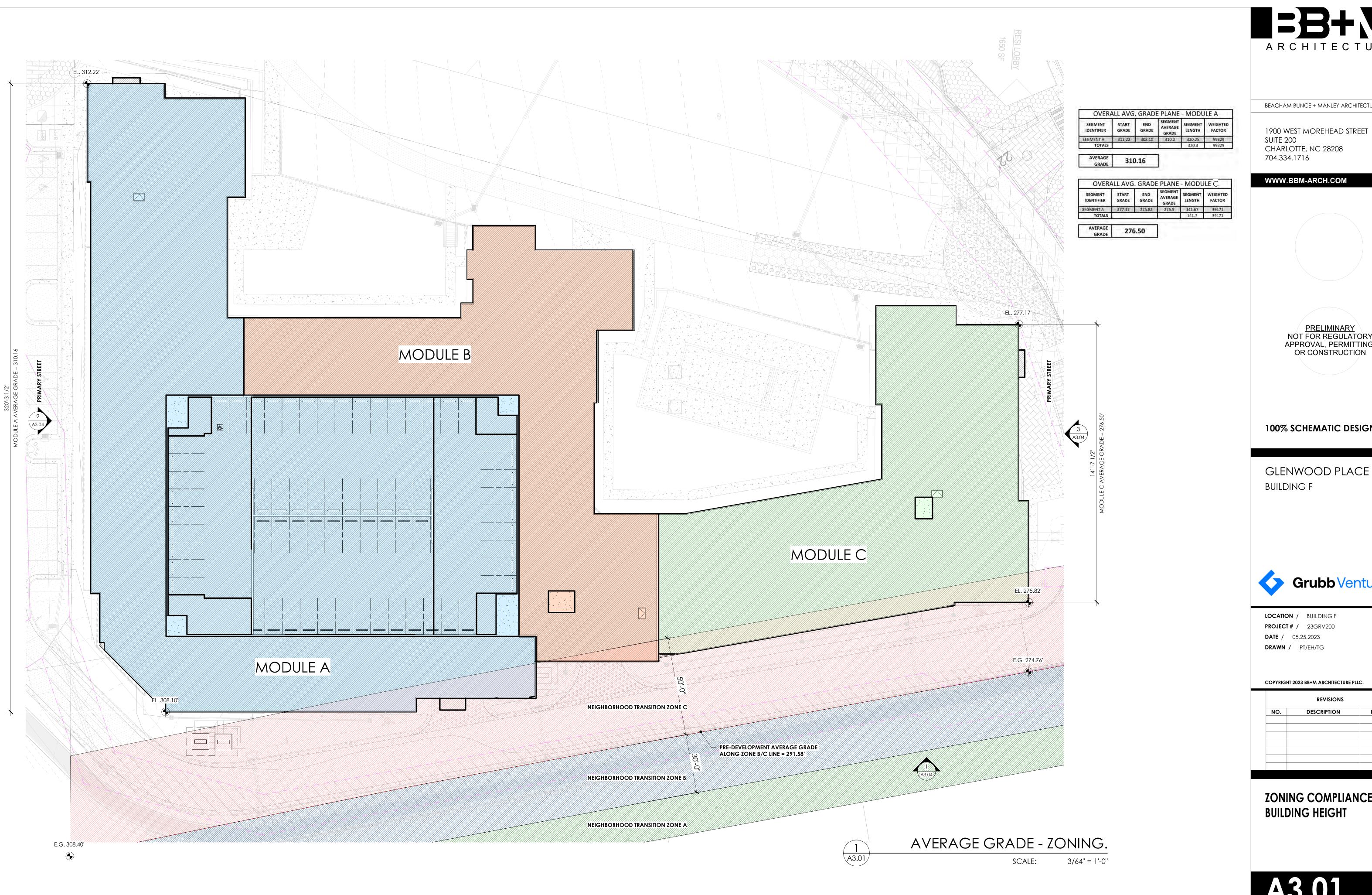








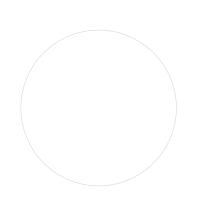




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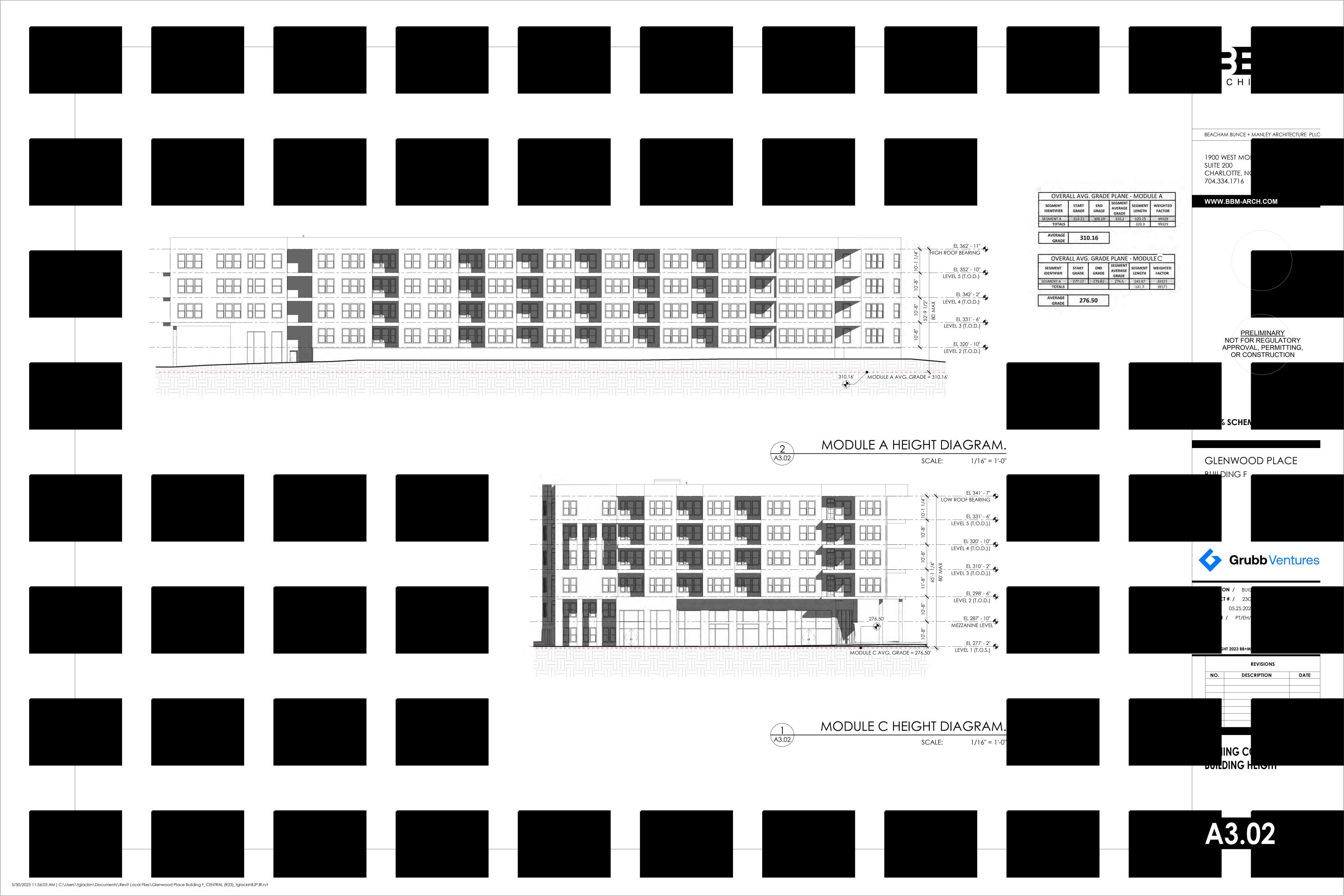
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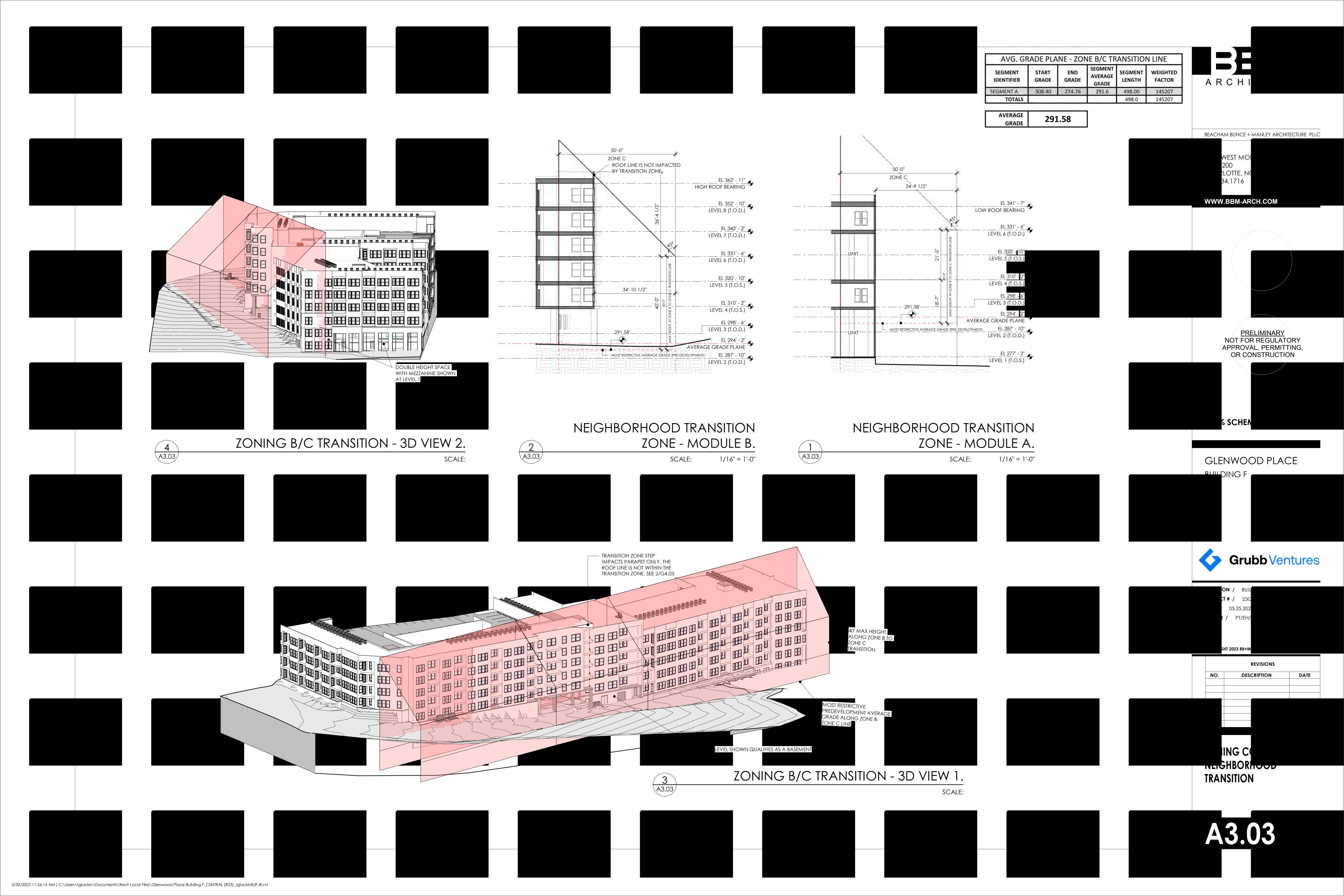


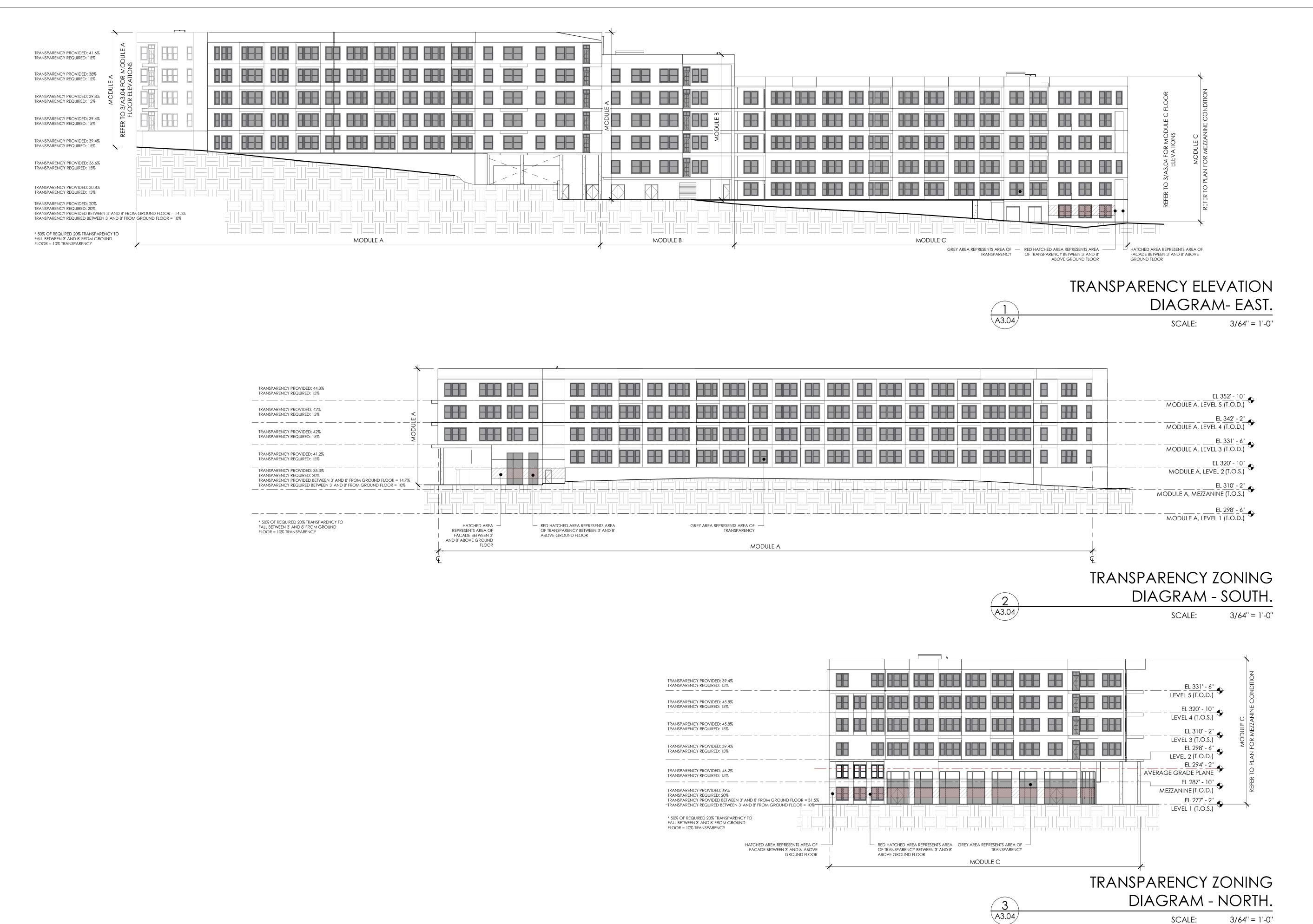
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ZONING COMPLIANCE -



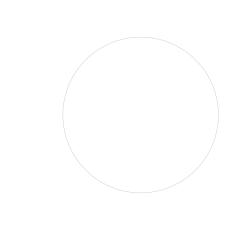






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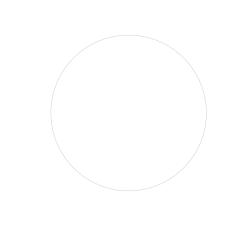
ZONING COMPLIANCE -TRANSPARENCY DIAGRAMS





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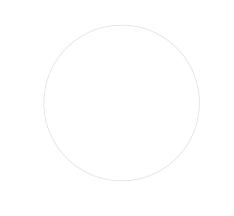
OVERALL FLOOR PLAN -LEVEL 1





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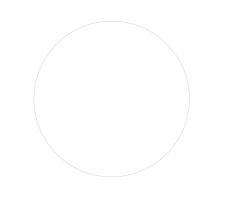
OVERALL FLOOR PLAN -LEVEL 2

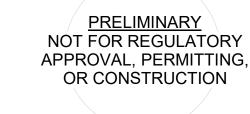




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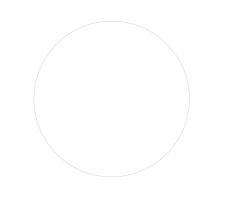
OVERALL FLOOR PLAN -LEVEL 3





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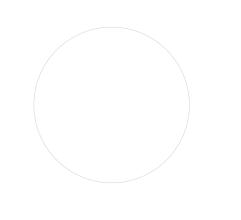
OVERALL FLOOR PLAN -LEVEL 4





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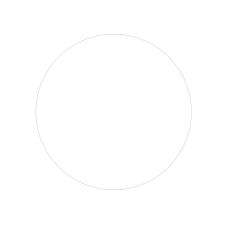
OVERALL FLOOR PLAN -LEVEL 5





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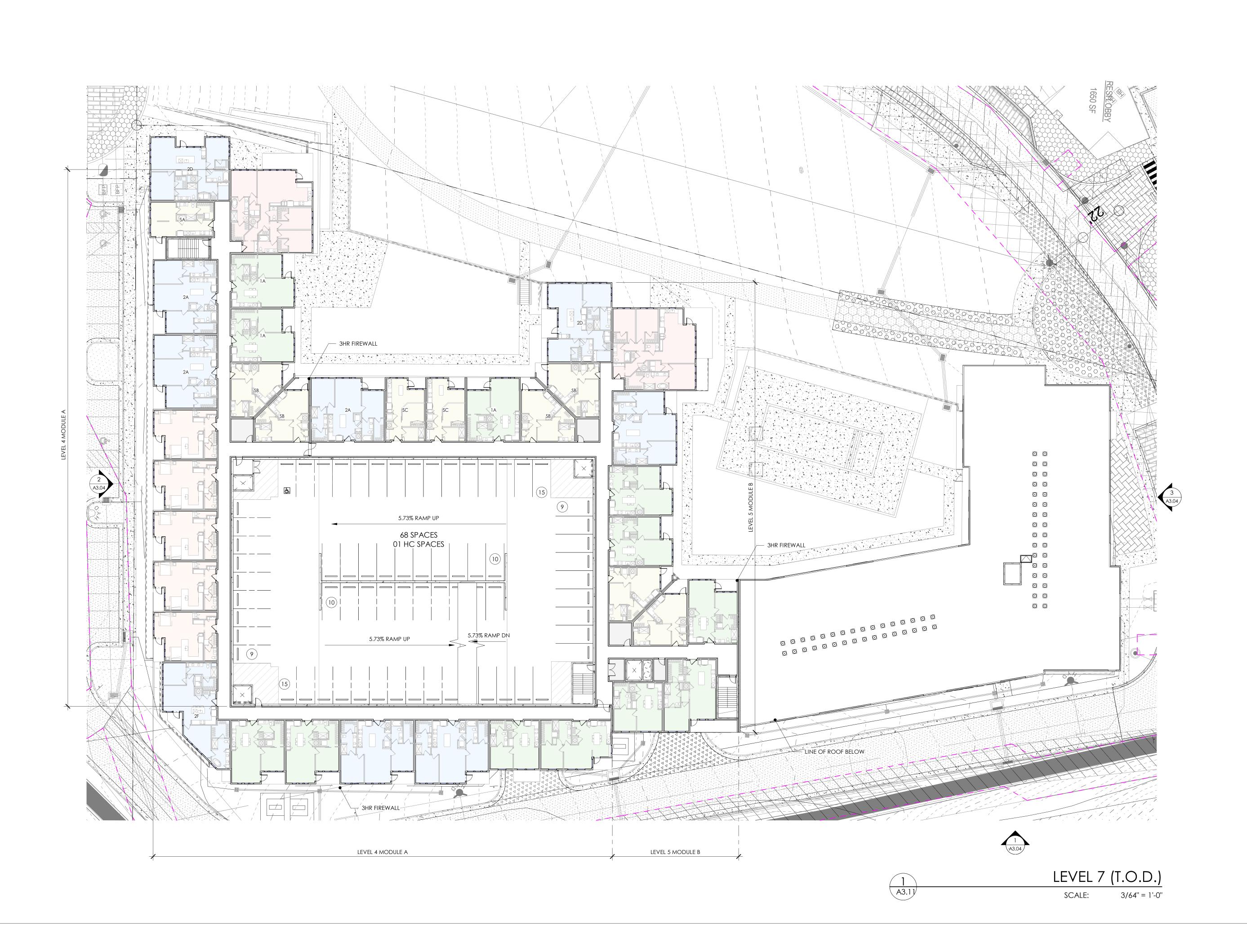
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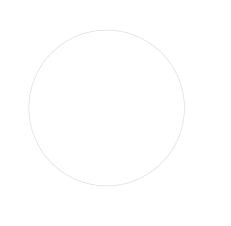
OVERALL FLOOR PLAN -LEVEL 6





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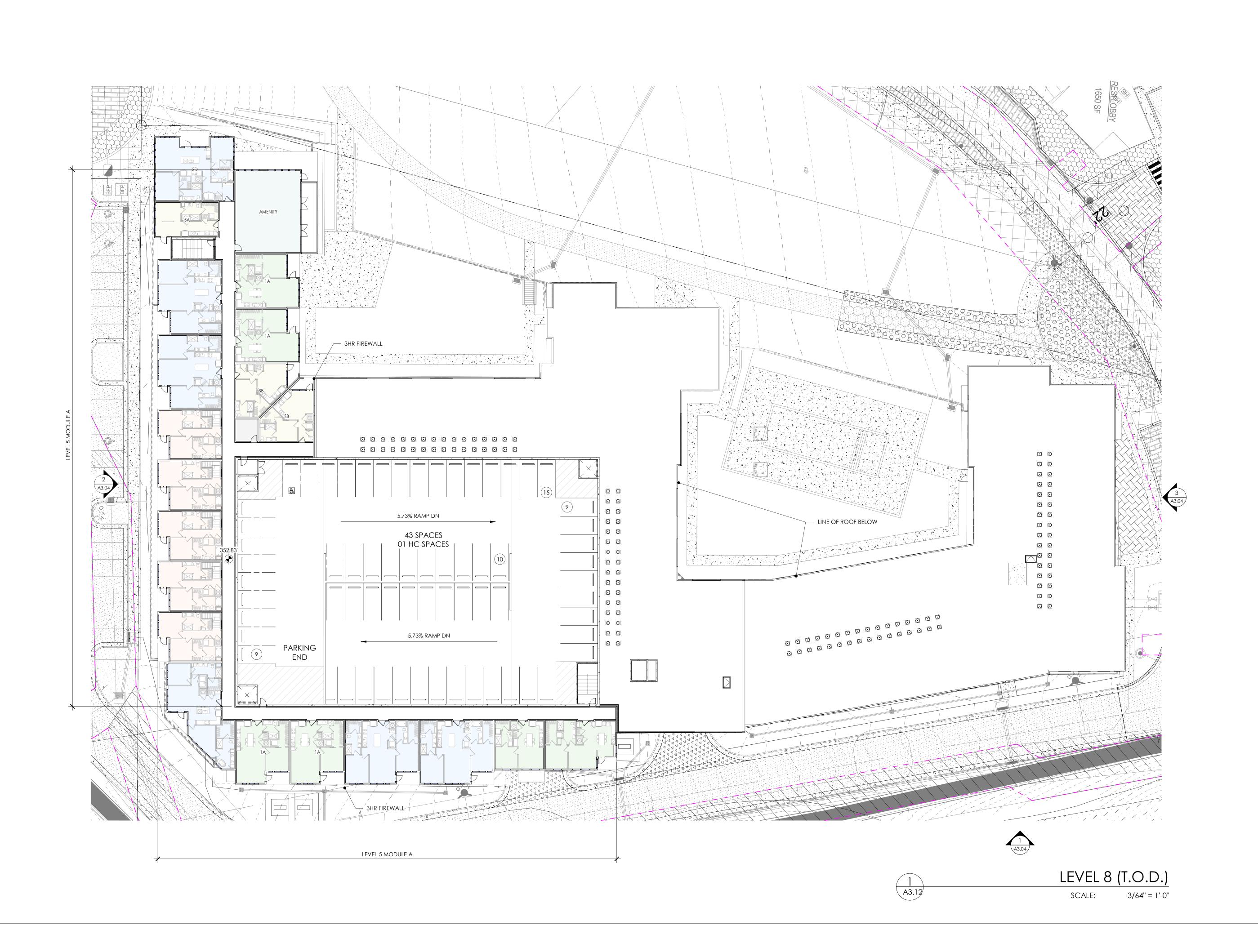
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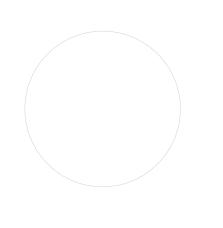
OVERALL FLOOR PLAN -LEVEL 7





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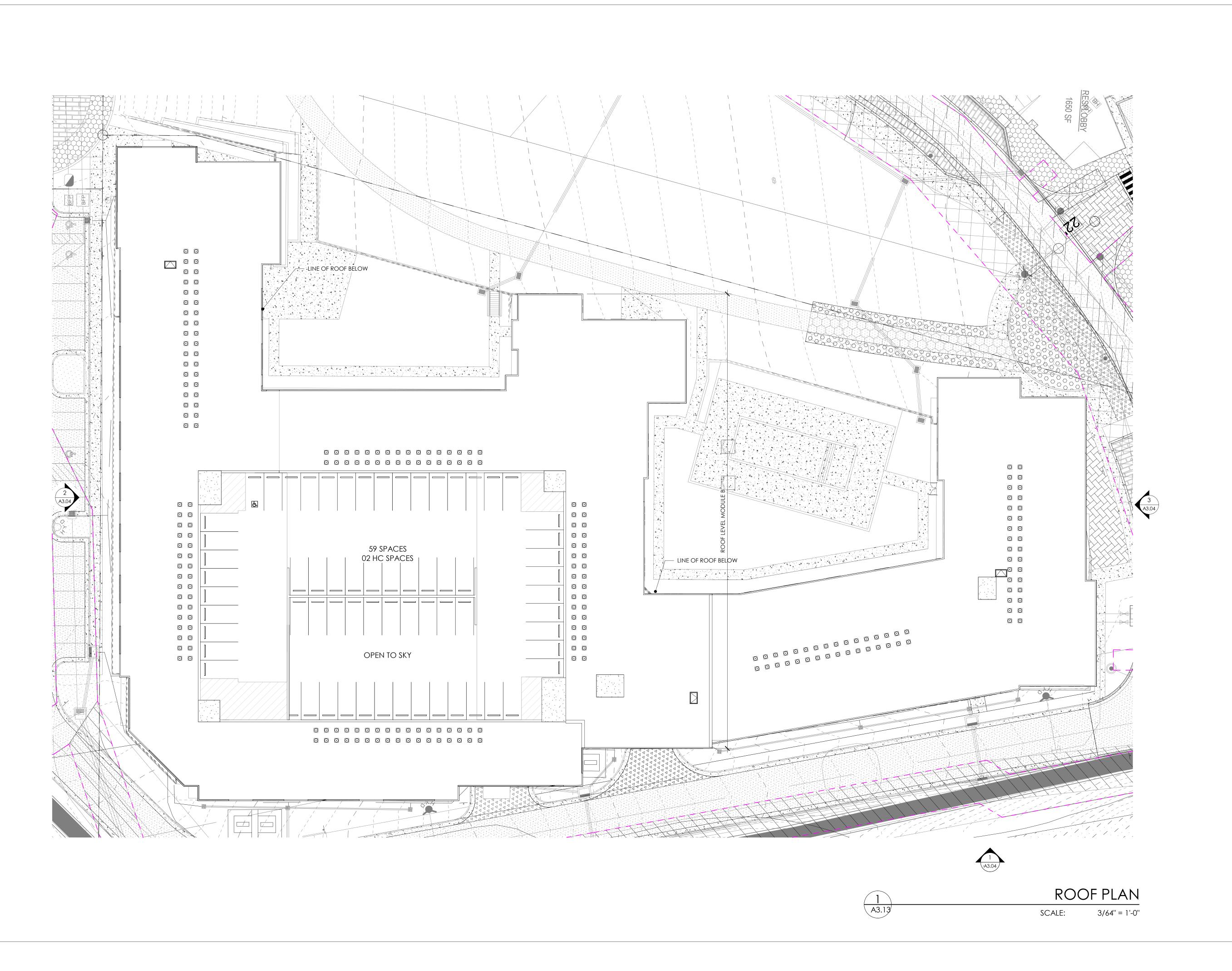
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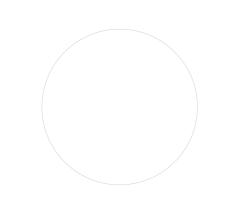
OVERALL FLOOR PLAN -LEVEL 8





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OVERALL ROOF PLAN