

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
Zoning Case #: _____			
Administrative Alternate #: _____			
GENERAL INFORMATION			
Development name: _____			
Inside City limits? Yes No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use. 			
Current Property Owner/Developer Contact Name: _____			
NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

DEVELOPMENT TYPE + SITE DATE TABLE**(Applicable to all developments)**

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

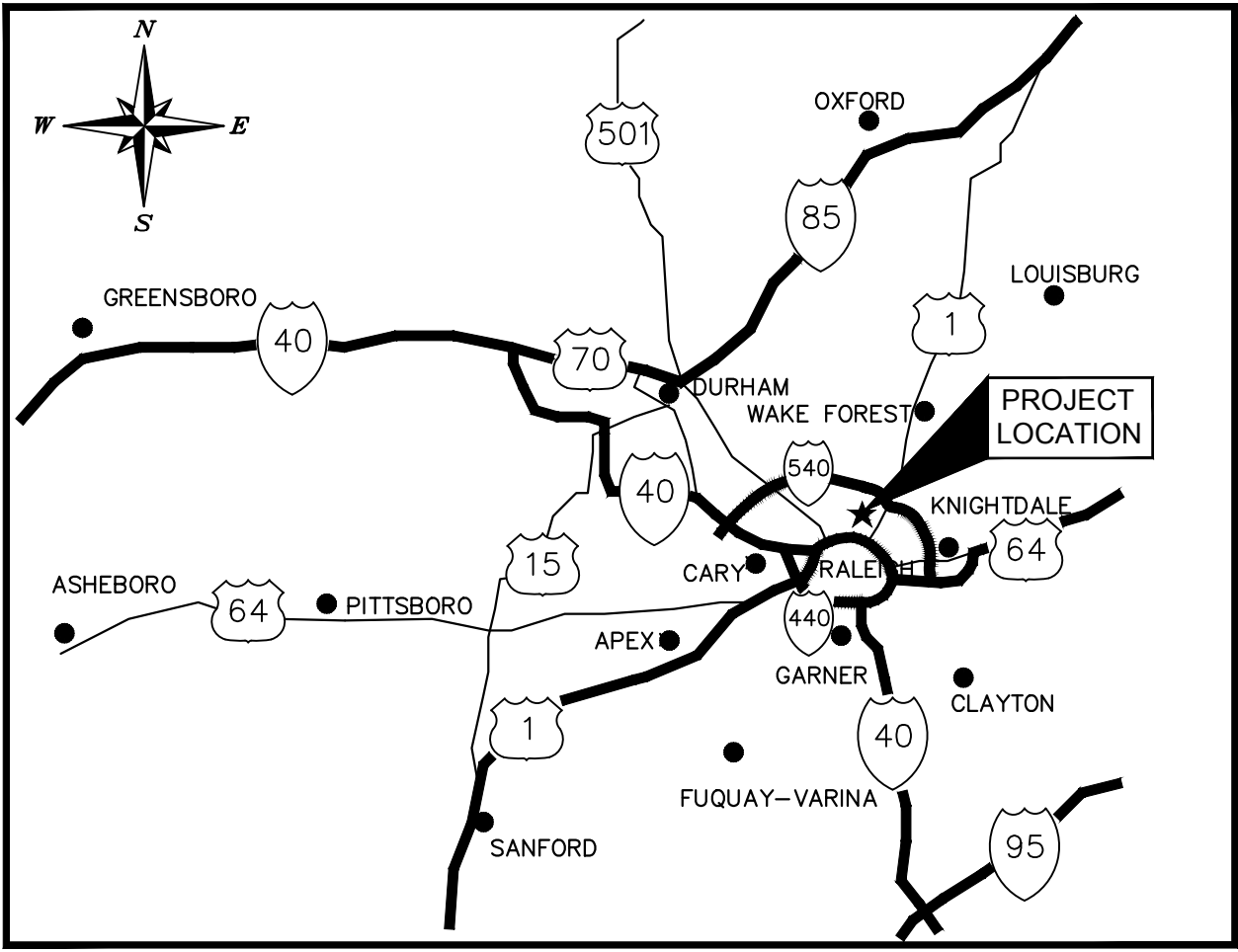
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK

<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature:	Date:
Printed Name:	

Plotted By: Winter, Rebecca Sheet Set: DEPARTURE LOFTS LOYOUT: C001 COVER SHEET October 22, 2021 02:28:56pm \\kimley-horn.com\\SE-RALY\\RALEIGH\\DEVA\\20203002-Departure Lofts\\P10-CAD Files\\Plansheets\\C001 COVER SHEET.dwg

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION
NTS

- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 3. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 4. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 5. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 6. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
 7. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
 8. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 9. EXISTING INFORMATION TAKEN FROM AN BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., 221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514. PHONE: (919)929-0481 AND DATED JULY 20, 2020.
 10. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 11. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 12. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.
 13. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 14. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 15. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 16. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 17. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 18. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
 19. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 20. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
 21. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.

PROJECT OWNER AND CONSULTANTS

OWNER / SITE DEVELOPER: TWG DEVELOPMENT
1301 E. WASHINGTON ST., SUITE 100
INDIANAPOLIS, IN, 46202
PHONE: (317) 284-1833
ATTN.: JOSH HOGAN, P.E.
JHOGAN@TWGDEV.COM

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 678-4129
ATTN: DIANA HOWELL, P.E.
DIANA.HOWELL@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 678-4170
ATTN: MATT GROSS, PLA
MATT.GROSS@KIMLEY-HORN.COM

SURVEYOR: BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD
CHAPEL HILL, NC 27514
PHONE: (919) 929-0481
ATTN: STEVEN INJASOULIAN, PLS

ARCHITECT: TIMO ARCHITECTURE, LLC
PHONE: (334) 201-2776
ATTN: WALT MASON
WALT@TIMOARCHITECTURE.COM

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Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>																					
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		Zoning Case #: _____																					
		Administrative Alternate #: _____																					

GENERAL INFORMATION

Development name: Departure Lofts
Inside City limits? Yes ☒ No ☐

Property address(es): 5329 Departure Drive, Raleigh, NC

Site P.I.N.(s): 1716966708
Please describe the scope of work. Include any additions, expansions, and change of use.
Two multi-unit affordable housing apartment buildings with a total of 170 units along with associated parking, utilities, and an underground stormwater detention system.

Current Property Owner/Developer Contact Name: Josh Hogan	
NOTE: please attach purchase agreement when submitting this form.	
Company: TWG Development	Title: Civil Engineer
Address: 1301 East Washington St. Suite 100, Indianapolis, IN 46202	
Phone #: (317) 543-7040	Email: jhogan@twgdev.com
Applicant Name: Diana Howell	
Company: Kimley-Horn and Associates	Address: 421 Fayetteville Street Suite 600, Raleigh, NC 27601
Phone #: (919) 678-4129	Email: diana.howell@kimley-horn.com

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

ASR-0039-2021

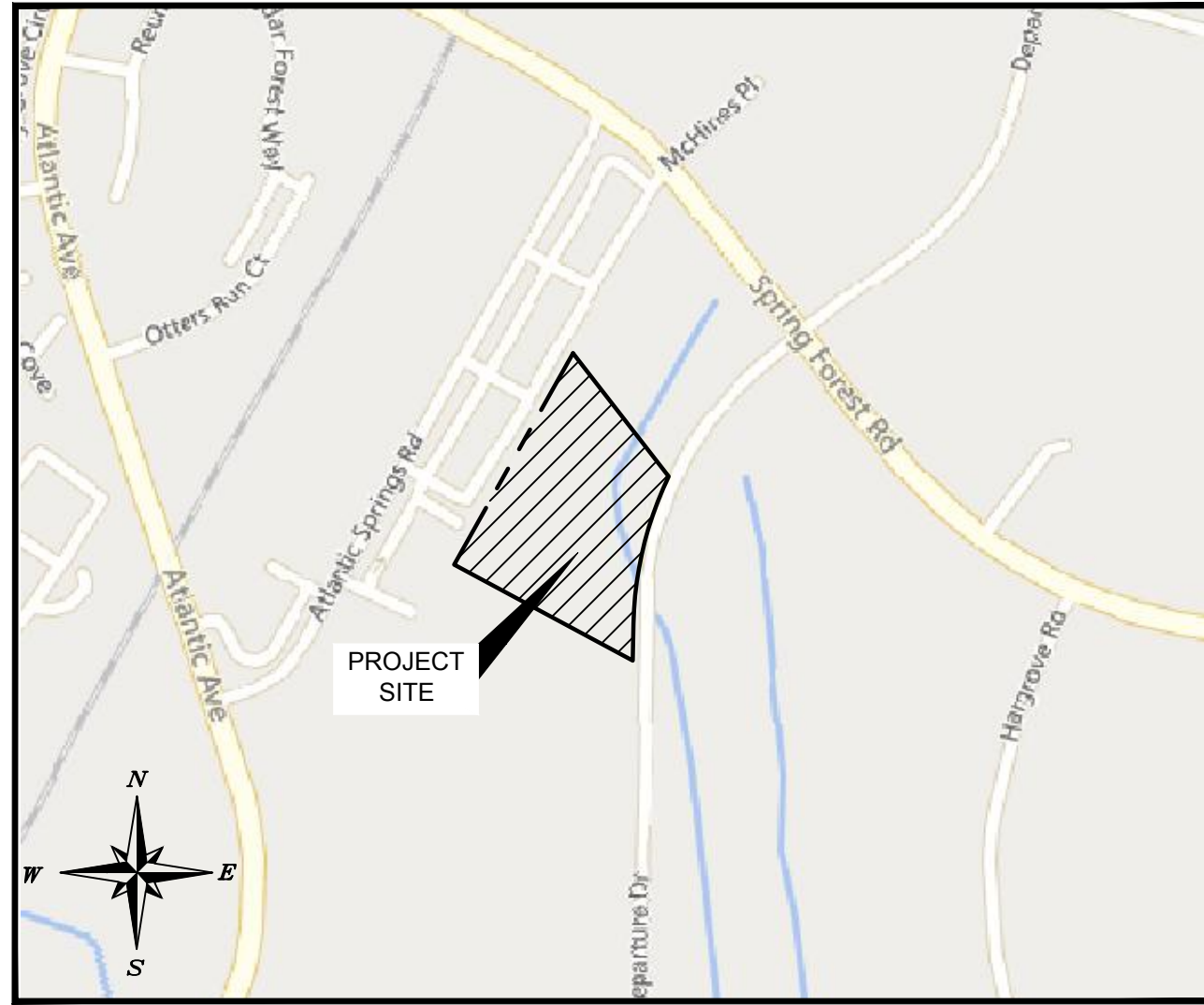
ADMINISTRATIVE SITE REVIEW
DEPARTURE LOFTS

1ST SUBMITTAL: MAY 7, 2021

A DEVELOPMENT BY:

TWG DEVELOPMENT

5329 DEPARTURE DRIVE
RALEIGH, NORTH CAROLINA 27616



VICINITY MAP

SCALE: 1" = 500'

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C100	EXISTING CONDITIONS PLAN
C101	DEMOLITION PLAN
C201	SITE PLAN
C202	FIRE DEPARTMENT ACCESS PLAN
C203	SOLID WASTE MANAGEMENT PLAN
C221	ACCESSIBLE ROUTE PLAN
C301	GRADING AND DRAINAGE PLAN
C302	STRUCTURE TABLE
C303	SIGHT DISTANCE PLAN
C401	UTILITY PLAN
C501	PHASE 1 EROSION CONTROL PLAN
C502	PHASE 2 EROSION CONTROL PLAN
C603	UNDERGROUND DETENTION & SAND FILTER DETAILS
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
E101	SITE LIGHTING PHOTOMETRICS
A111	BUILDING 1 - FIRST FLOOR PLAN
A121	BUILDING 2 - FIRST FLOOR PLAN
A211	BUILDING 1 - EXTERIOR ELEVATIONS
A221	BUILDING 2 - EXTERIOR ELEVATIONS
A231	SITE STRUCTURES - ELEVATIONS

- FIRE DEPARTMENT NOTES:**
1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCFC 503.1.1).
 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.
- TREE CONSERVATION NOTE:**
1. EXISTING TREE CONSERVATION AREA TO REMAIN PER WAKE COUNTY PLAT BOOK: BM2016 PAGE: 0955 RECORDED JUNE 27, 2016.

SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., 221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514. PHONE: (919)929-0481 AND DATED JULY 20, 2020.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NC CERTIFICATE OF AUTHORIZATION: F-0102

PREPARED IN THE OFFICE OF:

Kimley»Horn

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421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

PRELIMINARY
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SEAL:

JOB NUMBER:

MAY 7, 2021

170203002

DEPARTURE LOFTS
PREPARED FOR
TWG DEVELOPMENT

SHEET NUMBER
C001

COVER SHEET

PRELIMINARY
NOT FOR CONSTRUCTION

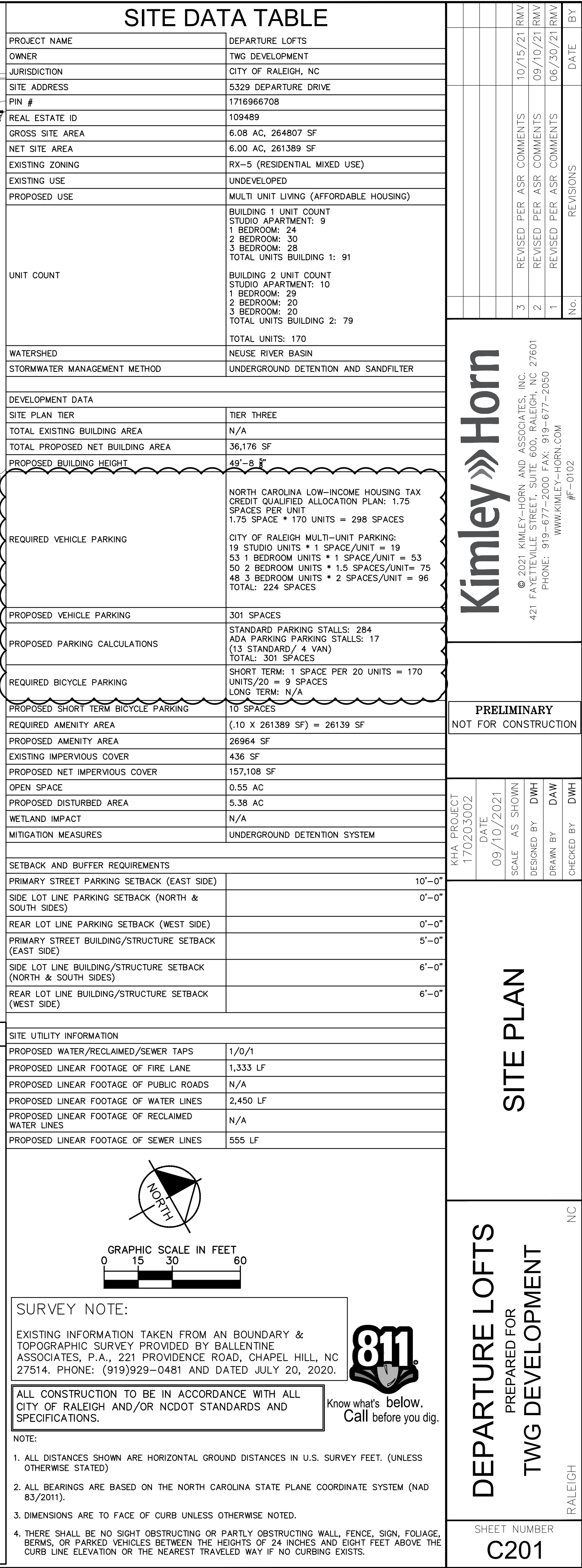
KHA PROJECT
170203002
DATE
09/10/2021
SCALE AS SHOWN
DESIGNED BY DWH
DRAWN BY DAW
CHECKED BY DWH

Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM

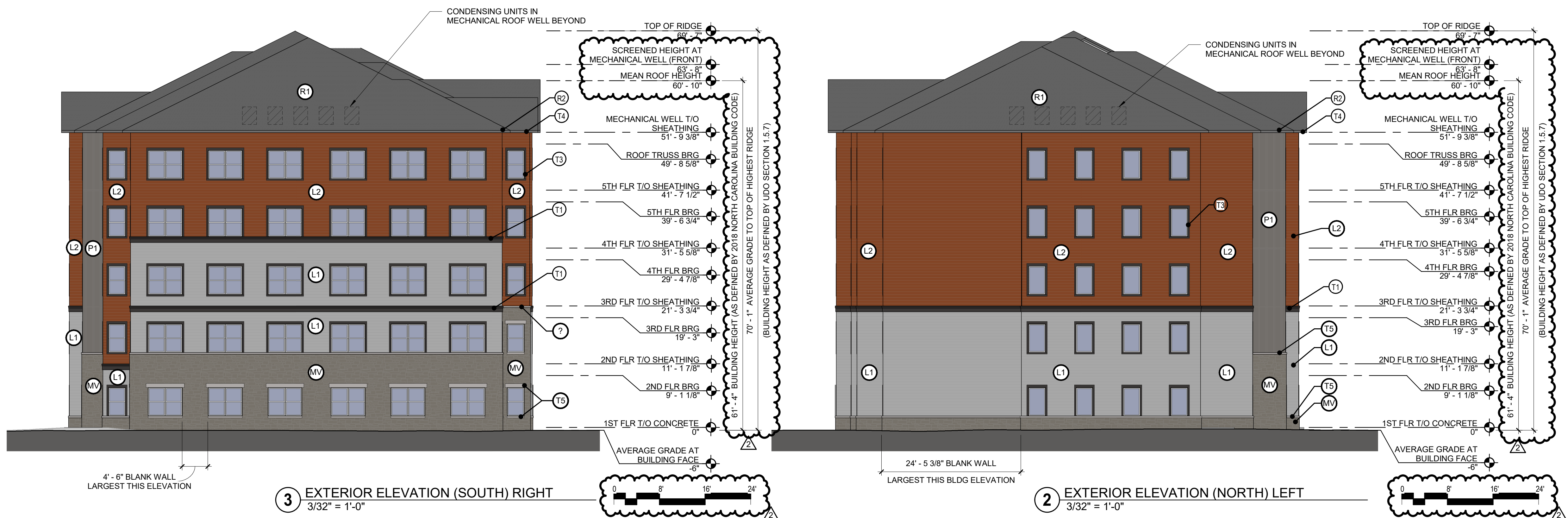
#F-0102

REVISED PER ASR COMMENTS	DATE
3	10/15/21 RMV
2	09/10/21 RMV
1	06/30/21 RMV
No.	REVISIONS
	DATE





4 BLDG 1 - EXTERIOR ELEVATION (EAST)-REAR
3/32" = 1'-0"



3 EXTERIOR ELEVATION (SOUTH) RIGHT
3/32" = 1'-0"

2 EXTERIOR ELEVATION (NORTH) LEFT
3/32" = 1'-0"



1 EXTERIOR ELEVATION (WEST)-FRONT
3/32" = 1'-0"

GENERAL NOTES - ELEVATIONS

- COORDINATE FINISH FLOOR AND GRADES WITH CIVIL DRAWINGS.
- SIDEWALKS AT BUILDING AND STRUCTURES ON AN ACCESSIBLE ROUTE TO BE 1/4" MAX BELOW FINISH FLOOR AT DOORS AND MUST SLOPE AWAY IN ACCORDANCE WITH ALL ADA, STATE, AND LOCAL ACCESSIBILITY STANDARDS.
- SEE ROOF PLANS FOR ROOF SLOPE, DOWNSPOUT, GUTTER AND ROOF VENT INFORMATION.
- REFER TO PLANS AND SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
- ALL FIBER CEMENT SIDING AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS.
- REVIEW ALL PENETRATIONS THROUGH SHEAR WALLS WITH STRUCTURAL. ANY PENETRATION LARGER 1/2" OR NOT IN APPROVED ZONES SHOULD BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY.
- PROVIDE "QUICK FLASH" AT ALL EXTERIOR WALL PENETRATIONS.
- ALL SEALANT TO MATCH ADJACENT MATERIALS.
- PROVIDE FLASHING CUT INTO BRICK WHERE ROOF OR CANOPY TERMINATES INTO BRICK WALL. PROVIDE 4" VERTICAL COVERAGE MIN.
- ALL EXPOSED FLASHING TO BE FACTORY FINISHED BY MANUFACTURER / SUPPLIER OF MATERIAL WHICH IS BEING FLASHED.
- PAIN

EXTERIOR MATERIAL LEGEND

- (MV) ADHERED CONCRETE MASONRY VENEER
- (L1) VINYL LAP SIDING - COLOR 1
- (L2) VINYL LAP SIDING - COLOR 2
- (P1) VINYL BOARD & BATTEN SIDING - COLOR 3
- (P2) FIBER CEMENT PANEL - COLOR 4
- (T1) 4" TRIM BAND ON 12" TRIM BAND
- (T2) 8" TRIM BAND
- (T3) 4" TRIM
- (T4) FIBER CEMENT FASCIA & SOFFIT
- (T5) ADHERED CONCRETE MASONRY VENEER ACCENT TRIM
- (R1) ASPHALT SHINGLE ROOFING SYSTEM
- (R2) PREFINISHED METAL GUTTERS (SEAMLESS)

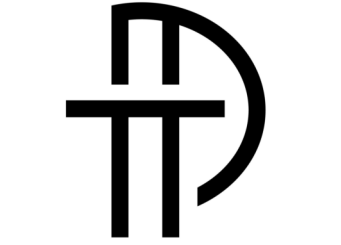
PRELIMINARY

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APPROVAL, PERMITTING,
OR CONSTRUCTION.

ARCHITECT OF RECORD



DESIGN FIRM



PRELIMINARY

DEPARTURE LOFTS
5329 DEPARTURE DR | RALEIGH, NC 27616

REVISIONS

NO.	DATE	DESCRIPTION
1	06-30-21	ASR REV. 1
2	08-23-21	ASR REV. 2

PROJECT NO.
21 001

ISSUE DATE
07-06-2021

SHEET NAME
BUILDING 1 -
EXTERIOR
ELEVATIONS

SHEET NO.

A211



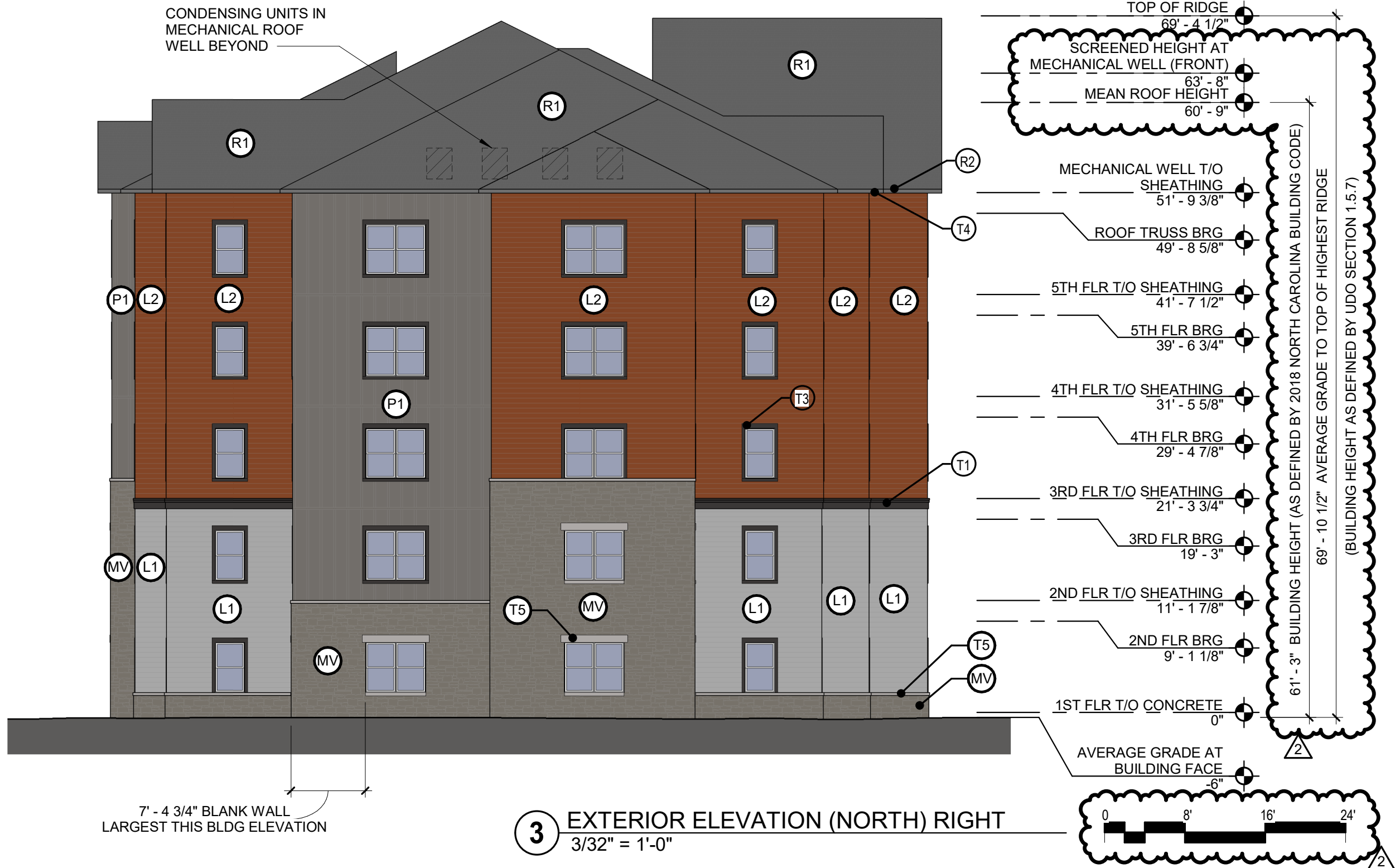
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- COORDINATE FINISH FLOOR AND GRADES WITH CIVIL DRAWINGS.
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- ALL EXPOSED FLASHING TO BE FACTORY FINISHED BY MANUFACTURER / SUPPLIER OF MATERIAL WHICH IS BEING FLASHED.
- PAIN ALL EXPOSED METAL THAT IS NOT SPECIFIED OR INDICATED TO RECEIVE A FACTORY FINISH.
- ALL FIBER CEMENT SIDING AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS.
- ALL EXTERIOR TRIM TO BE 5/4" FIBER CEMENT SYNTHETIC WOOD TRIM. SEE SECTIONS AND PLAN DETAILS FOR SIZING.

EXTERIOR MATERIAL LEGEND

- (M) ADHERED CONCRETE MASONRY VENEER
- (L1) VINYL LAP SIDING - COLOR 1
- (L2) VINYL LAP SIDING - COLOR 2
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ARCHITECT OF RECORD

TWGW
TWG Development

DESIGN FIRM

TIMO
ARCHITECTURE, LLC

PRELIMINARY

TWGW
TWG Development

REVISIONS

NO.	DATE	DESCRIPTION
1	06-30-21	ASR REV. 1
2	08-23-21	ASR REV. 2

PROJECT NO.

21 001

ISSUE DATE

07-06-2021

SHEET NAME

BUILDING 2 -

EXTERIOR

ELEVATIONS

SHEET NO.

A221

REVISIONS

NO.	DATE	DESCRIPTION
1	06-30-21	ASR REV. 1
2	08-23-21	ASR REV. 2

PROJECT NO.

21 001

ISSUE DATE

07-06-2021

SHEET NAME

BUILDING 2 -

EXTERIOR

ELEVATIONS

SHEET NO.

A221

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NO.

21 001

ISSUE DATE

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SHEET NAME

BUILDING 2 -

EXTERIOR

ELEVATIONS

SHEET NO.

A221

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BUILDING 2 -

EXTERIOR

ELEVATIONS

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A221

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