



Administrative Approval Action

Case File / Name: ASR-0039-2021
DSLCL - Departure Lofts

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Departure Drive. The site is located within the corporate city limits of the City of Raleigh. The current address is listed as follows: 5329 Departure Drive (PIN#:1716966708).

REQUEST: Development of 2 Multi Unit Living, Apartment building type. The footprint for both buildings is a total of 36,504 square feet. The total square footage for both buildings is 182,520 square feet which will accommodate 170 units for affordable housing with associated parking, utilities and underground Stormwater detention system. The existing properties are listed to total a gross site area of 6.08 acres; zoned RX-5.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0015-2022: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 15, 2021 by Kimley-Horn.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Include UDO Section 1.5.3 B.2. calculation to clarify and demonstrate compliance with Amenity Area.
2. Solid Waste Services: Provide a Will Serve Letter from private hauler.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval
4. The Developer shall provide a letter or e-mail from Duke Energy authorizing new water and sewer encroachments across existing transmission easement prior to concurrent approval

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. Provide written approval from Duke Energy for any land disturbance within the Duke Energy easement.

Urban Forestry

9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Utility Placement Easement Required

☒ Cross Access Agreements Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for private sewer extension

Stormwater

2. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. Provide 10 ft by 10 ft temporary construction easements on either side of the cross access easements to allow for a future connection from the adjacent property.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for 3.5ft of asphalt for widening across the frontage shall be paid to the City of Raleigh (UDO 8.1.10).
6. A cross access agreement to the lots identified as PIN 1716974298 and 1716963495 and this development shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
7. A public infrastructure surety for 12 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications

Stormwater

9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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12. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

13. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 18 street trees along Departure Drive.

The following are required prior to issuance of building occupancy permit:

General

1. All Water & Sanitary Sewer facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 29, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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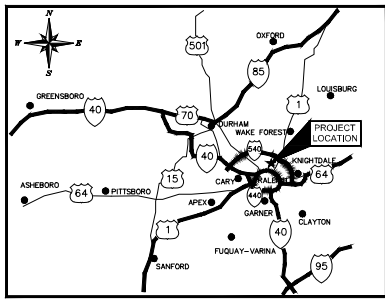
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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 11/30/2021
Development Services Dir/Designee
Staff Coordinator: Cara Russell

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ASR-0039-2021

ADMINISTRATIVE SITE REVIEW DEPARTURE LOFTS

1ST SUBMITTAL: MAY 7, 2021

A DEVELOPMENT BY:

TWG DEVELOPMENT

5329 DEPARTURE DRIVE
RALEIGH, NORTH CAROLINA 27616

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2400.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - EXISTING INFORMATION TAKEN FROM AN BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., 221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514. PHONE: (919)929-0481 AND DATED JULY 20, 2020.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BORN, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.
 - TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACES AND ACCESSIBLE SPACES SHALL BE NO GREATER THAN TWO PERCENT (2%) INCHES IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENDOCRON ON THIS MINIMUM CORNER CLEARANCE.
 - NO ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWING STANDARDS AND ADA SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI, NSIB, AND ICC STANDARDS AND SPECIFICATIONS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE, PRESTRESS, ELECTRICAL, TRANSFORMERS, BACKFLOW DEVICE, HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, TREES, OR WALL.

PROJECT OWNER AND CONSULTANTS

OWNER / SITE DEVELOPER: TWG DEVELOPMENT
1301 E. WASHINGTON ST., SUITE 100
INDIANAPOLIS, IN 46202
PHONE: (317) 264-1833
ATTN: JOSH HOGAN, P.E.
JHOGAN@TWGDEV.COM

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 676-4129
ATTN: DIANA HOWELL, P.E.
DIANA.HOWELL@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 676-4170
ATTN: MATT GROSS, P.L.A.
MATT.GROSS@KIMLEY-HORN.COM

SURVEYOR: BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD
CHAPEL HILL, NC 27514
PHONE: (919) 929-0481
ATTN: STEVEN INJASULLIAN, PLS

ARCHITECT: TMO ARCHITECTURE, LLC
PHONE: (334) 201-2776
ATTN: WALT MASON
WALT@TMOARCHITECTURE.COM

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8, as amended by text change case TC-14-18 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building Type	General <input type="checkbox"/> Mixed use <input type="checkbox"/> Apartment <input checked="" type="checkbox"/> Townhouse <input type="checkbox"/>	Site Transaction History Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____

GENERAL INFORMATION

Development name: Departure Lofts
Inside City limits? Yes ☒ No ☐
Property address(es): 5329 Departure Drive, Raleigh, NC
Site P.I.N. (s): 171666708
Please describe the scope of work. Include any additions, expansions, and change of use.
Two multi-unit affordable housing apartment buildings with a total of 170 units along with associated parking, utilities, and an underground stormwater detention system.

Current Property Owner/Developer Contact Name: Josh Hogan
NOTE: please attach purchase agreement when submitting this form.
Company: TWG Development Title: Civil Engineer
Address: 1301 East Washington St. Suite 100, Indianapolis, IN 46202
Phone #: (317) 543-7040 Email: jhogan@twgdev.com
Applicant Name: Diana Howell
Company: Kimley-Horn and Associates Address: 421 Fayetteville Street Suite 600, Raleigh, NC 27601
Phone #: (919) 676-4129 Email: diana.howell@kimley-horn.com

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raleighnc.gov

Cara Russell

Digitally signed by Cara Russell
DN: cn=Cara Russell, o=Kimley-Horn and Associates, Inc., ou=Kimley-Horn and Associates, Inc., email=Cara.Russell@kimley-horn.com, c=US
Reason: I am approving this document
Date: 2021.11.22 14:53:29 -05'00'

PREPARED IN THE OFFICE OF:

Kimley»Horn

© 2021 Kimley-Horn and Associates, Inc.
421 FAYETTEVILLE STREET – SUITE 600 – RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

DEVELOPMENT TYPE • SITE DATE TABLE (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-5	Existing gross floor area (not to be demolished): N/A Existing gross floor area to be demolished: N/A
Gross site acreage: 6.08	New gross floor area: 36,176 SF
# of parking spaces required: 298	Total of gross (to remain and new): 36,176 SF
# of parking spaces proposed: 311	Proposed # of buildings: 2
Overlaid District (if applicable): N/A	Proposed # of stories for each: 5
Existing use (UDO 6.1.4): Undeveloped/Open Space	
Proposed use (UDO 6.1.4): Multi-Unit Living (Affordable Housing)	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.01 Square Feet: 438	Proposed Impervious Surface: Acres: 3.61 Square Feet: 157,108
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 170	Total # of hotel units: N/A
# of bedroom units: 1br 72 2br 50 3br 48 4br or more 0	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Diana Howell, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: Diana Howell	Date: 06/30/2021
Printed Name: Diana Howell	

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SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., 221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514. PHONE: (919)929-0481 AND DATED JULY 20, 2020.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.



VICINITY MAP

SCALE: 1" = 500'

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C010	EXISTING CONDITIONS PLAN
C011	DEMOLITION PLAN
C201	SITE PLAN
C202	FIRE DEPARTMENT ACCESS PLAN
C203	SOLID WASTE MANAGEMENT PLAN
C221	ACCESSIBLE ROUTE PLAN
C301	GRADING AND DRAINAGE PLAN
C302	STRUCTURE TABLE
C303	SIGHT DISTANCE PLAN
C401	UTILITY PLAN
C501	PHASE 1 EROSION CONTROL PLAN
C502	PHASE 2 EROSION CONTROL PLAN
C603	UNDERGROUND DETENTION & SAND FILTER DETAILS
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS
E101	SITE LIGHTING PHOTOMETRICS
A111	BUILDING 1 – FIRST FLOOR PLAN
A121	BUILDING 2 – FIRST FLOOR PLAN
A211	BUILDING 1 – EXTERIOR ELEVATIONS
A221	BUILDING 2 – EXTERIOR ELEVATIONS
A231	SITE STRUCTURES – ELEVATIONS

DISE DEPARTMENT NOTES:

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (WPA 130) OR 250 FEET (WPA131) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NOC 503.1.1).
 - FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NOC 607.5.1).
 - ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
 - FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3.
- REF: CONSERVATION NOTE:**
1. EXISTING WEE CONSERVATION AREA TO REMAIN PER WAKE COUNTY PLAT BOOK: BM2016 PAGE: 0955
RECORDED: JUNE 27, 2016.

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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SEAL:

MAY 7, 2021

JOB NUMBER:

170203002

SHEET NUMBER
C001

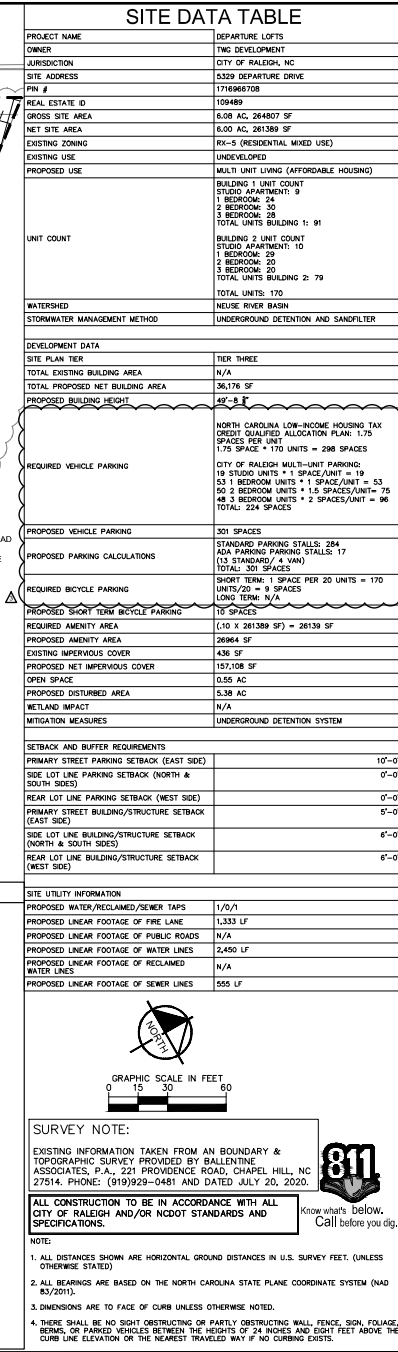
DEPARTURE LOFTS
PREPARED FOR
TWG DEVELOPMENT
RALEIGH


COVER SHEET

PRELIMINARY
NOT FOR CONSTRUCTION

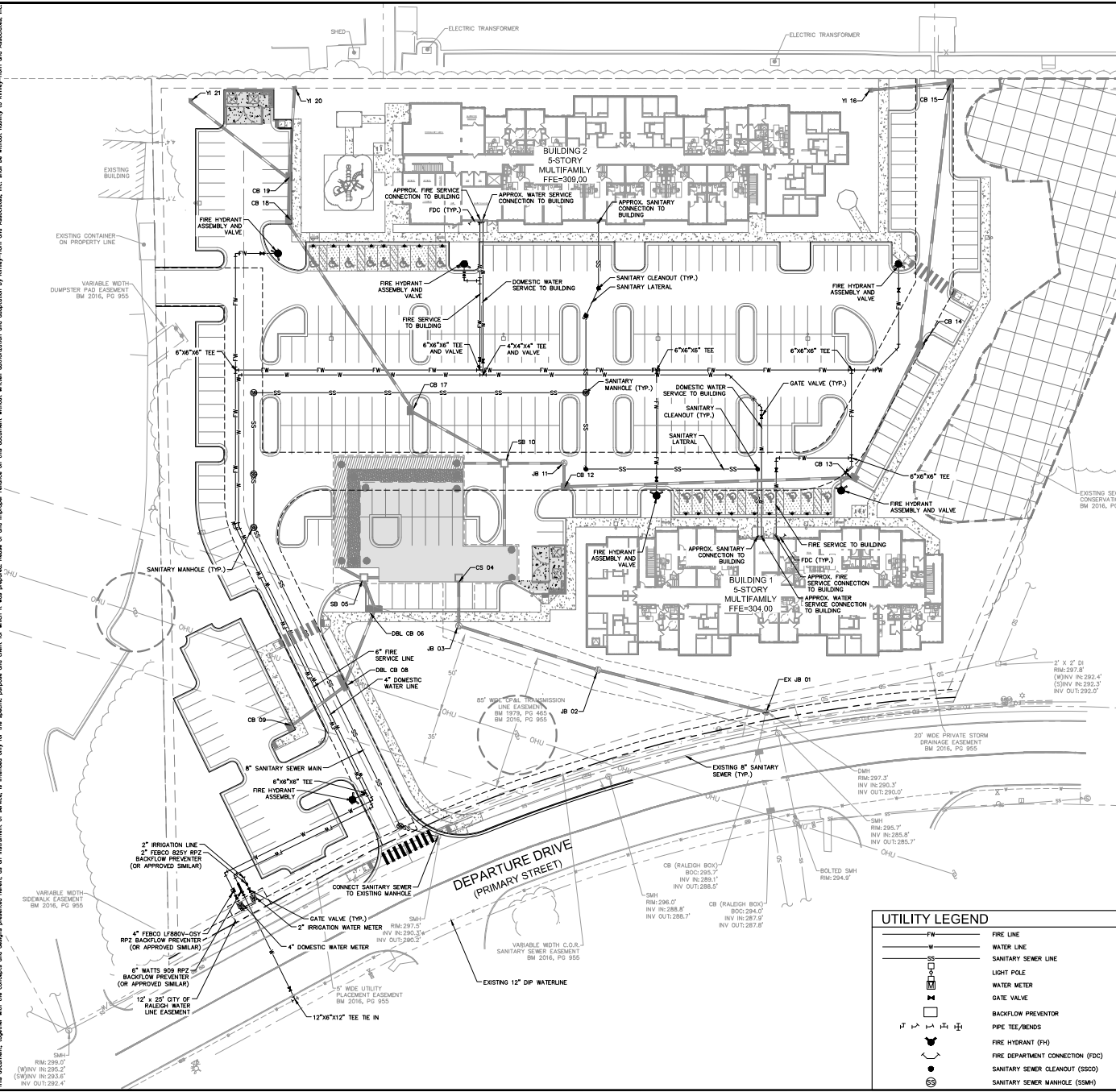
Kimley»Horn
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM
#P-002

NO.	REVISIONS	DATE	BY
1	REVISED PER ASR COMMENTS	05/30/21	NH
2	REVISED PER ASR COMMENTS	09/10/21	NH
3	REVISED PER ASR COMMENTS	10/15/21	NH



SHEET NUMBER C201	DEPARTURE LOFTS PREPARED FOR TWG DEVELOPMENT RALEIGH NC	SITE PLAN	KMA PROJECT 170203002 DATE 09/10/2021 SCALE AS SHOWN DESIGNED BY DWH DRAWN BY DWH CHECKED BY DWH	PRELIMINARY NOT FOR CONSTRUCTION		 © 2021 KIMLEY-HORN ASSOCIATES, INC. 421 FANTAILLE STREET, SUITE 600, FALCON, NC 27801 PHONE 919.487.7500 WWW.KIMLEY-HORN.COM #002	3 REVISED PER ASR COMMENTS 2 REVISED PER ASR COMMENTS 1 REVISED PER ASR COMMENTS No. REVISIONS	10/19/21 RMV 09/10/21 RMV 06/30/21 RMV DATE
				DATE	BY			

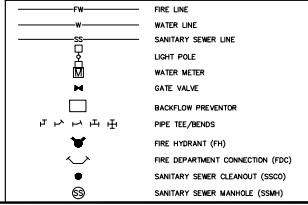
RALEIGH PUBLIC UTILITIES DEPARTMENT (RPU) HAS REVIEWED THIS UTILITY PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS FOR UTILITY PLANS. THE CITY OF RALEIGH DOES NOT ASSUME ANY LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS UTILITY PLAN. THE CITY OF RALEIGH DOES NOT ASSUME ANY LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS UTILITY PLAN. THE CITY OF RALEIGH DOES NOT ASSUME ANY LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS UTILITY PLAN.



STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IN THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED TO ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & ROP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A 4" CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENTS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
9. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE &/OR FMA FOR ANY RIBBON BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
10. NDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
11. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEVEN CALDWELL AT (919) 996-2334 OR STEVEN.CALDWELL@RALEIGHNC.GOV FOR MORE INFORMATION.
12. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN ARTICLE 8-4 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES SHALL MEET THE MINIMUM REQUIREMENTS OF THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANNE HARTLEY AT (919) 996-5923 OR JOANNE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

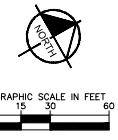
UTILITY LEGEND



SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY BALLENTINE ASSOCIATES, P.A., 221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514. PHONE: (919)929-0481 AND DATED JULY 20, 2020.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NDOT STANDARDS AND SPECIFICATIONS.



Kimley»Horn

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PHONE: 919-996-2334 FAX: 919-996-2777
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
1	REVISED PER USR COMMENTS	10/15/21 RMV	
2	REVISED PER USR COMMENTS	09/10/21 RMV	
3	REVISED PER USR COMMENTS	06/30/21 RMV	

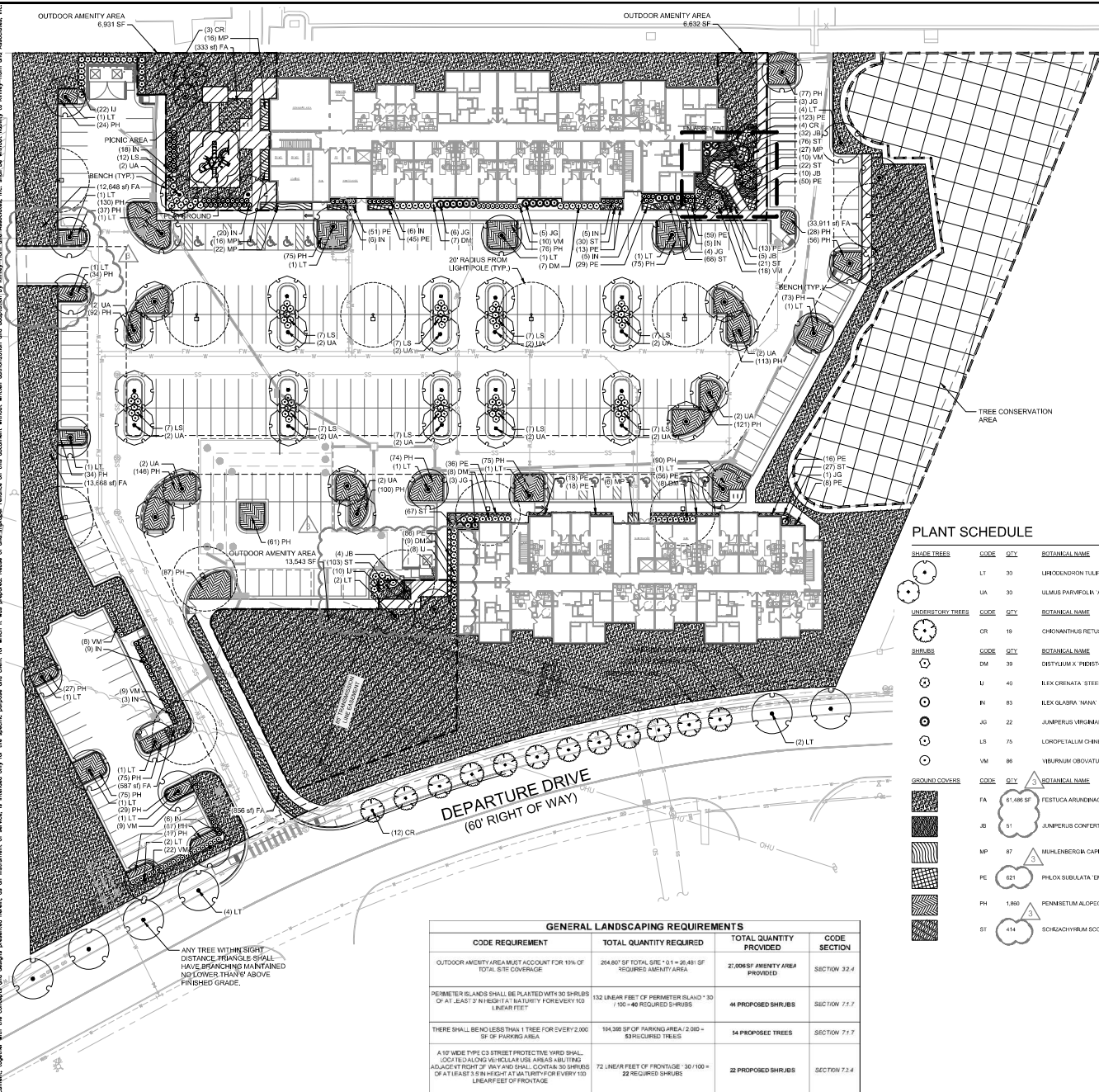
PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
17030002	09/10/2021	SCALE AS SHOWN				

DEPARTURE LOFTS
PREPARED FOR
TWG DEVELOPMENT
RALEIGH

SHEET NUMBER
C401

Kimley-Horn and Associates, Inc. 1700 South Blvd., Suite 200, Raleigh, NC 27601. Phone: 919-877-2000. Fax: 919-877-2001. Email: info@kimley-horn.com. Website: www.kimley-horn.com. This document is the property of Kimley-Horn and Associates, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.

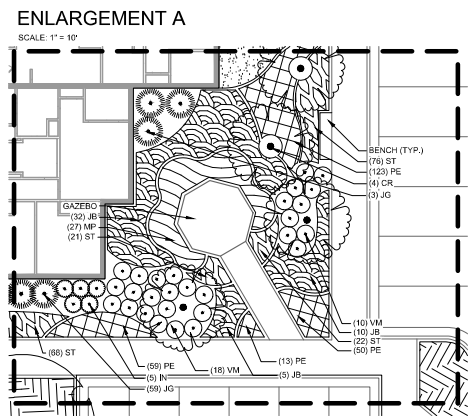


LEGEND

[Hatched Box] TREE CONSERVATION AREA

[Hatched Box] OUTDOOR AMENITY AREA

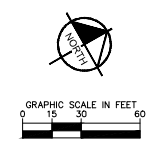
[Circle with Dot] LIGHT POLE



PLANT SCHEDULE

SHADE TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL/PER	HEIGHT
		LT	30	LIRIODENDRON TULIPIFERA	TULIP POPLAR	9/8B	3" MIN.	10'-12' HT.
		UA	30	ULMUS PARVIFOLIUS 'ALLEE' TM	ALLEE LACEBARK ELM	9/8B	3" MIN.	10'-12' HT.
UNDERSTORY TREES		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL/PER	HEIGHT
		CR	19	CHONANTHUS RETICULATUS	CHINESE FRINGE TREE	9/8B	2" MIN.	8'-10' HT.
SHRUBS		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	
		DM	39	DETQUILM X 'PIENST-V' TM	CINNAMON OIL DETQUILM	3 GAL	18" HT MIN	48" o.c.
		U	40	ILEX CORNATA 'STEEDES'	STEEDES JAPANESE HOLLY	5 GAL	18" HT MIN	48" o.c.
		IN	83	ILEX GLABRA 'NANA'	DWARF INKBERY HOLLY	3 GAL	18" HT MIN	36" o.c.
		JG	22	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	3 GAL	18" HT MIN	80" o.c.
		LS	75	LOROPETALUM CHINENSIS 'RUBRUM PEACH' TM	PURPLE PINK FRINGE FLOWER	3 GAL	18" HT MIN	48" o.c.
		VM	86	VIBURNUM OBOVATUM 'MRS. SCHILLERS DELIGHT'	MRS. SCHILLERS DELIGHT WALTER'S VIBURNUM	3 GAL	18" HT MIN	36" o.c.
GROUND COVERS		CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		
		FA	61,486 SF	FESTUCA ARUNDINACEA	TALL FESCUE	SEED		
		JB	51	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	1 GAL		36" o.c.
		MP	87	MUEHLBERGIA CAPILLARIS 'PINK CLOUD'	PINK MUHLY	1 GAL		36" o.c.
		PE	621	PHLOX SUBULATA 'EMERALD BLUE'	EMERALD BLUE MOSS PHLOX	1 GAL		12" o.c.
		PH	1,880	PENNISETUM ALPICOUCOIDES 'HAMELI'	HAMELI TOUNTAIN GRASS	1 GAL		24" o.c.
		ST	414	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM GRASS	1 GAL		12" o.c.

GENERAL LANDSCAPING REQUIREMENTS			
CODE REQUIREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA MUST ACCOUNT FOR 10% OF TOTAL SITE COVERAGE	264,807 SF TOTAL SITE * 0.1 = 26,481 SF REQUIRED AMENITY AREA	27,096 SF AMENITY AREA PROVIDED	SECTION 32.4
PERIMETER ISLANDS SHALL BE PLANTED WITH 30 SHRUBS OF AT LEAST 2" IN HEIGHT AT MATURITY FOR EVERY 100 LINEAR FEET	152 LINEAR FEET OF PERIMETER ISLAND * 30 / 100 = 46 REQUIRED SHRUBS	44 PROPOSED SHRUBS	SECTION 71.7
THERE SHALL BE NO LESS THAN 1 TREE FOR EVERY 2,000 SF OF PARKING AREA	194,398 SF OF PARKING AREA / 2,000 = 97 REQUIRED TREES	14 PROPOSED TREES	SECTION 71.7
A 10' WIDE TYPE C3 STREET PROTECTIVE YARD SHALL LOCATED ALONG HIGHWAY USE AREAS ADJACENT TO ADJACENT RIGHT OF WAY AND SHALL CONTAIN 30 SHRUBS OF AT LEAST 3" IN HEIGHT AT MATURITY FOR EVERY 100 LINEAR FEET OF FRONTAGE	72 LINEAR FEET OF FRONTAGE * 30 / 100 = 22 REQUIRED SHRUBS	22 PROPOSED SHRUBS	SECTION 72.4



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LANDSCAPE PLAN

DEPARTURE LOFTS
PREPARED FOR
TWG DEVELOPMENT

SHEET NUMBER
L100

PROJECT NO.
17000002

DATE
09/10/2021

SCALE
AS SHOWN

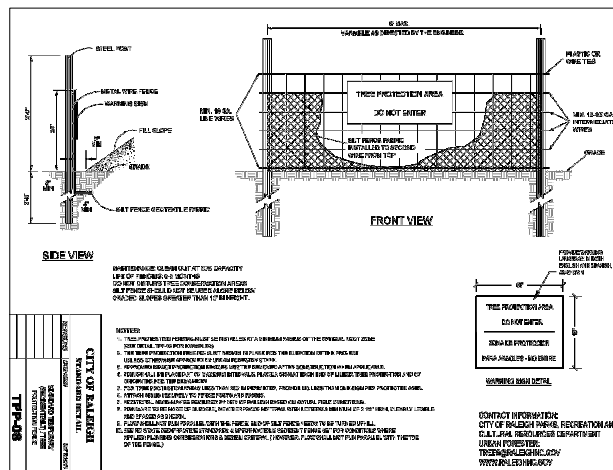
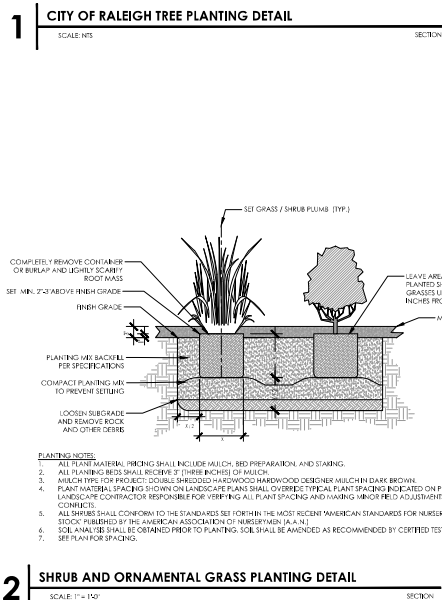
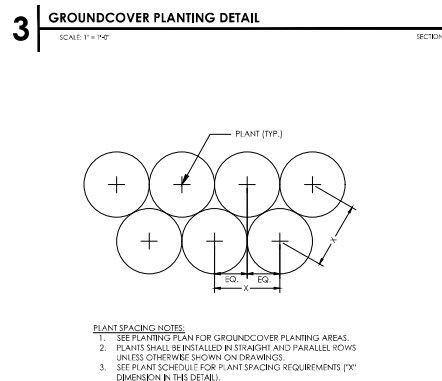
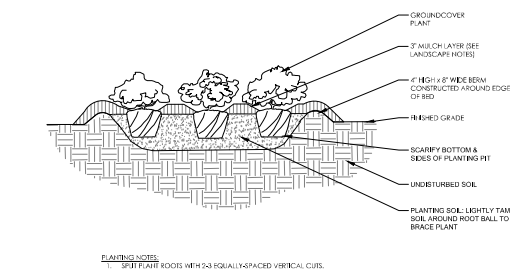
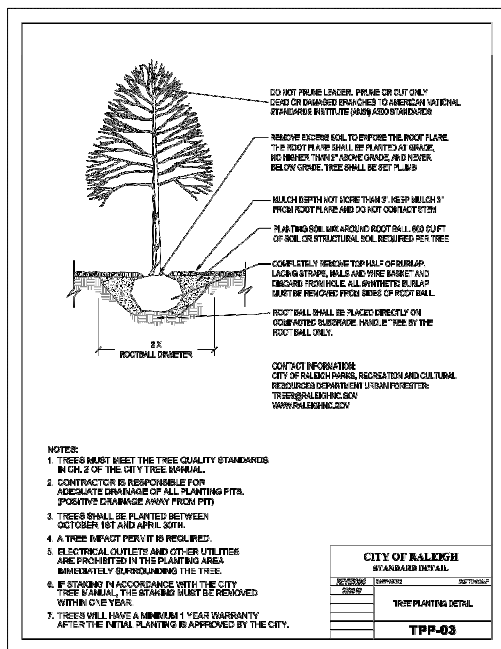
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KTHC

CHECKED BY
MRC

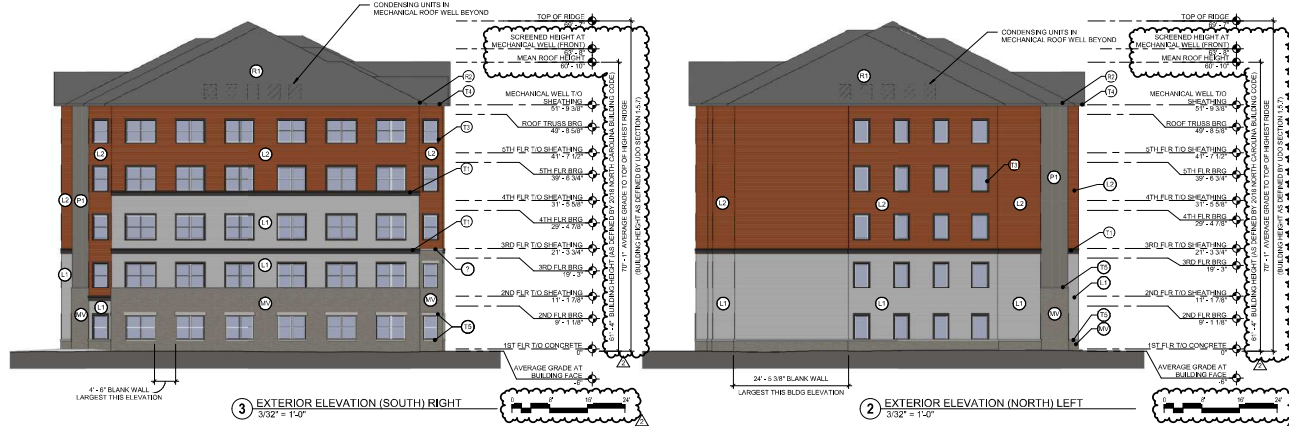
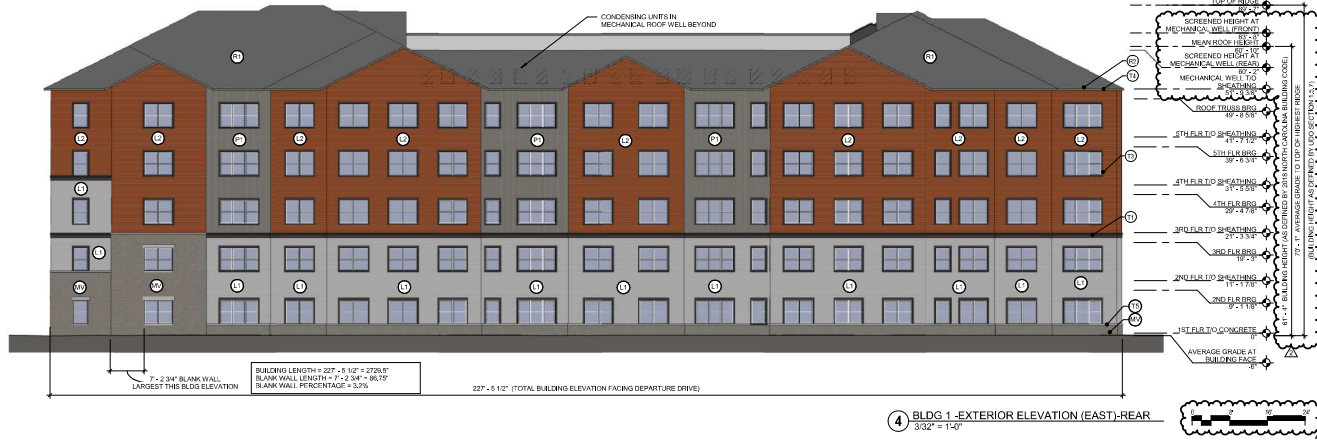
REVISIONS

NO.	DATE	REVISIONS
1	09/10/21	REVISED PER KSR COMMENTS
2	09/10/21	REVISED PER KSR COMMENTS
3	10/15/21	REVISED PER KSR COMMENTS

DATE
BY



1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' MEASURED FROM ADJACENT PROJECTED CURB LINE (ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
7. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE 3 INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES. DURING THE COURSE OF WORK, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND UNPAVED SURFACES).
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK, ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
11. THE CONTRACTOR SHALL COMPLETELY WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION, CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEQUALIFIES PRIOR TO SUBSTANTIAL COMPLETION OF THE WORKS SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLAN SCHEDULE SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH IN DARK BROWN OR CURLED RALEIGH STRAW TO A DEPTH OF THREE (3) INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJUST ACCORDING TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
19. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND THE CITY OF RALEIGH UNIFORM DEVELOPMENT ORDINANCE (UDO). FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL REQUIRE A VARIANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
23. THE CONTRACTOR SHALL INSTALL NON-AVENED GEOMETRIC UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.
24. ALL TREES LOCATED WITHIN SIGHT DISTANCE TRIANGLES SHALL MAINTAIN A BRANCHING STRUCTURE NO LOWER THAN 8' ABOVE FINISHED



GENERAL NOTES - ELEVATIONS	
1.	COLORADO FIBER CEMENT BRICKS AND GROUTS WITH C&G DRAWINGS.
2.	SEAWALLS AT BUILDING AND STRUCTURES ON AN ACCESSIBLE ROUTE TO BE 18\"/>
3.	SEE ROOF PLANS FOR ROOF SLOPE, DOWNSPOUT, GUTTER AND ROOF JOINT INFORMATION.
4.	REFER TO PLANS AND SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
5.	ALL FIBER CEMENT BRICKS AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS.
6.	REVIEW ALL PENETRATIONS THROUGH SHEAR WALLS WITH STRUCTURAL. ANY PENETRATIONS LARGER 1/2\"/>
7.	PROVIDE QUICK FLASH AT ALL EXTERIOR WALL PENETRATIONS. ALL FLASHING TO MATCH ADJACENT MATERIALS.
8.	PROVIDE FLASHING CUT INTO BRICK WHERE ROOF OR CANOPY TERMINATES INTO BRICK WALL. PROVIDE #2 METALLIC CONDENSAGE.
9.	ALL EXTERIOR FLASHING TO BE FACTORY FINISHED BY MANUFACTURER. SUPPLIER OF MATERIAL WHICH IS BRICKS FLASHING.
10.	ALL FIBER CEMENT BRICKS AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS.
11.	ALL EXTERIOR TRIM TO BE 6\"/>
12.	SEE SECTIONS AND PLAN DETAILS FOR BRG.

EXTERIOR MATERIAL LEGEND	
(A)	ADHERED CONCRETE MASONRY VENEER
(1)	VINYL LAP SIDING - COLOR 1
(2)	VINYL LAP SIDING - COLOR 2
(3)	VINYL SIDING & BATTERY SIDING - COLOR 3
(4)	FIBER CEMENT PANEL - COLOR 4
(5)	1\"/>
(6)	1\"/>
(7)	1\"/>
(8)	FIBER CEMENT FASCIA & SOFFIT
(9)	ADHERED CONCRETE MASONRY VENEER ACCENT TRIM
(10)	ASPHALT SHINGLE ROOFING SYSTEM
(11)	PREFINISHED METAL GUTTERS (SEAMLESS)

PRELIMINARY

FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

ARCHITECT OF RECORD

TWG
Development

DESIGN FIRM

TIMO
ARCHITECTURE, LLC

TWG
Development

PRELIMINARY

DEPARTURE LOFTS

5329 DEPARTURE DR | RALEIGH, NC 27616

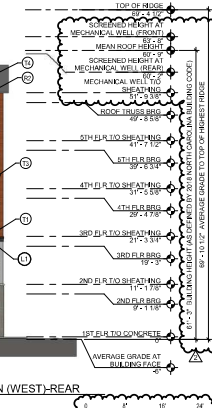
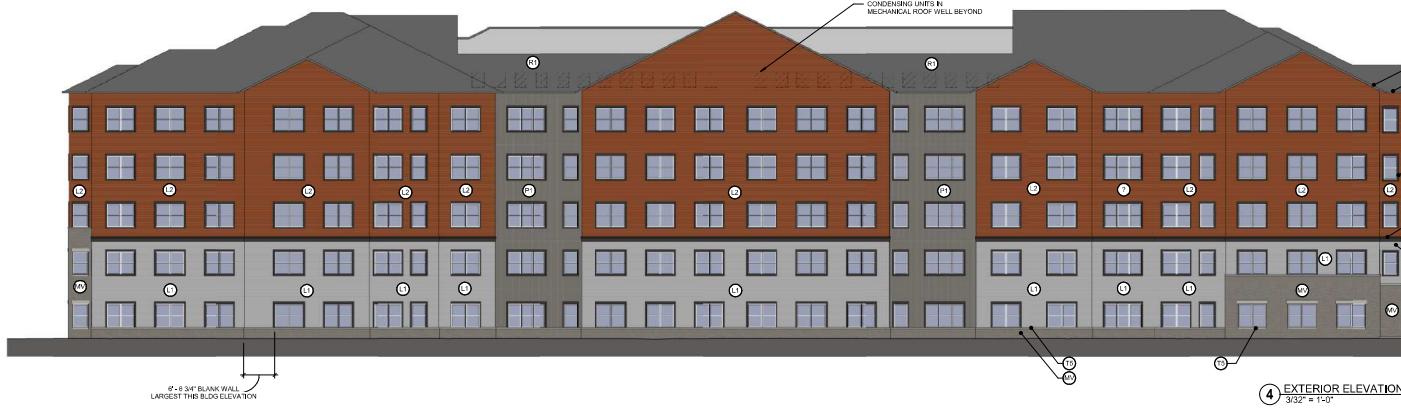
NO.	DATE	DESCRIPTION
1	07-09-2021	REV. 1
2	07-09-2021	REV. 2

PROJECT NO. 21-001

ISSUE DATE 07-09-2021

SHEET NAME BUILDING 1 - EXTERIOR ELEVATIONS

SHEET NO. A211

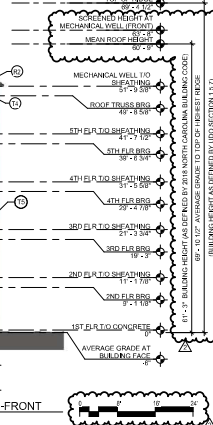
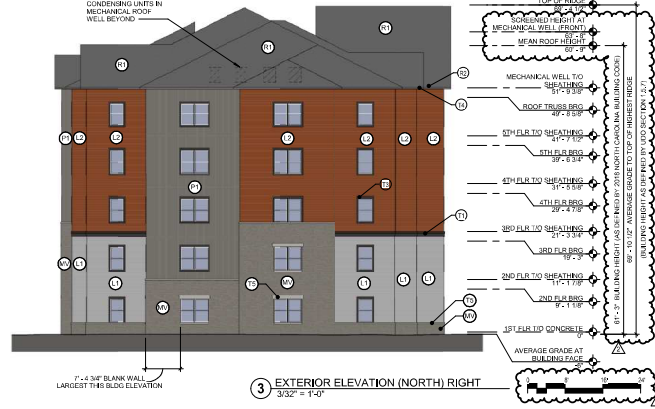


GENERAL NOTES - ELEVATIONS

1. CORNICES, EAVES, FRIESES, FLOORS AND GRAPES WITH EAVE DRAWINGS, SEPARATELY AT BUILDING AND STRUCTURES ON AN ACCESSIBLE ROUTE TO THE 1ST FLOOR BELOW FLOOR AT DOORS AND MUST SLOPE AWAY IN ACCORDANCE WITH ALL ADA, STATE, AND LOCAL ACCESSIBILITY STANDARDS.
2. SET ROOF PLANS FOR ROOF SLOPE, DOWNSPOUT, GUTTER AND ROOF JOINT INFORMATION.
3. REFER TO PLANS AND SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
4. ALL FIBER CEMENT SIDING AND TRIM TO BE INSTALLED PER JAMES HARDIE INSTALLATION INSTRUCTIONS.
5. REVEAL ALL PENETRATIONS THROUGH SHEAR WALLS WITH STRUCTURAL. ANY PENETRATIONS LARGER 1/2\"/>

EXTERIOR MATERIAL LEGEND

1	ADHERED CONCRETE MASONRY VENEER
2	WVLY LAP SIDING - COLOR 1
3	WVLY LAP SIDING - COLOR 2
4	WVLY SIDING & BATTER SIDING - COLOR 3
5	FIBER CEMENT PANEL - COLOR 4
6	1\"/>



REVISIONS

NO.	DATE	DESCRIPTION
1	07-09-2021	ISSUE
2	07-09-2021	REVISION
3	07-09-2021	REVISION

PROJECT NO.
21 001

ISSUE DATE
07-09-2021

SHEET NAME
BUILDING 2 - EXTERIOR ELEVATIONS

SHEET NO.
A221

PRELIMINARY

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ARCHITECT OF RECORD

TWO
TWO Development

DESIGN FIRM

TIMO
ARCHITECTURE, LLC

TWO
TWO Development

PRELIMINARY

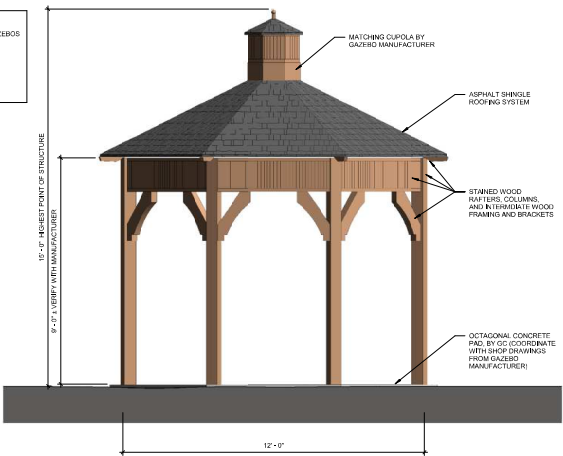
DEPARTURE LOFTS

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GAZEBO RENDERING: NTS

PREFABRICATED GAZEBO
MANUFACTURER: COUNTRY LANE GAZEBOS
STYLE: OCTAGON
SIZ: 12'x12'
WOOD: PINE, STAINED
STAIN COLOR: CEDAR
TRIM STYLE: DUTCH
ROOF MATERIAL: ASPHALT SHINGLES
ROOF COLOR: DARK GRAY
CUPOLA: YES, INCLUDED



1 GAZEBO ELEVATION
1/2" = 1'-0"

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ARCHITECT OF
RECORD



DESIGN FIRM



TIMO
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PRELIMINARY

DEPARTURE LOFTS
5329 DEPARTURE DR | RALEIGH, NC 27616

REVISIONS		
NO.	DATE	DESCRIPTION
1	05-01-2021	ASB REV. 1

PROJECT NO.
21 001

ISSUE DATE
05-01-2021

SHEET NAME
SITE
STRUCTURES -
ELEVATIONS

SHEET NO.
A231