

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input type="checkbox"/>
Building Type		Site Transaction History
<input type="checkbox"/> Detached  <input type="checkbox"/> Attached  <input type="checkbox"/> Apartment  <input type="checkbox"/> Townhouse  <input type="checkbox"/> Tiny house	<input type="checkbox"/> Cottage Court  <input type="checkbox"/> General  <input type="checkbox"/> Mixed use  <input type="checkbox"/> Open lot  <input type="checkbox"/> Civic	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?    Yes    No		
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
<b>Current Property Owner(s):</b>		
Company:	Title:	
Address:		
Phone #:	Email:	
<b>Applicant Name (If different from owner. See “who can apply” in instructions):</b>		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner’s authorized agent <input type="checkbox"/> Easement holder		
Company:	Address:	

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units:	1br	2br	3br
			4br or more
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

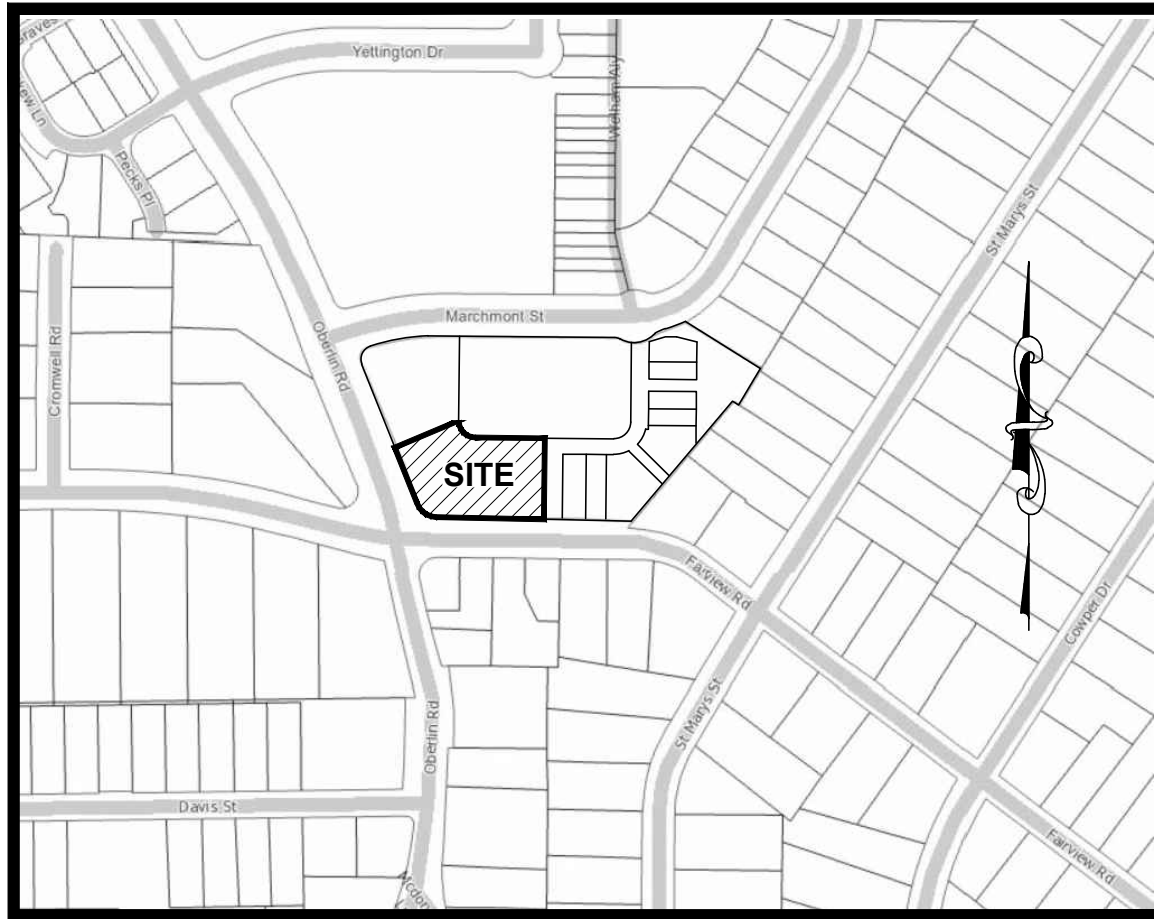
Signature:

*Scott Dixon*

Date: 6/6/23

Printed Name:

SCOTT DIXON



VICINITY MAP (NOT TO SCALE)

# LOT 11 BUDLEIGH EAST ADMINISTRATIVE SITE REVIEW - TIER 3 MIXED USE BUILDING FREQUENT TRANSIT DEVELOPMENT OPTION

## ASR-\_\_\_\_\_-2023

## SUB-0062-2022(REV)

## RALEIGH, NORTH CAROLINA

### JUNE 2023

### OWNER/DEVELOPER:

### BEACON STREET BUDLEIGH LLC

PO Box 6474

Raleigh, N.C. 27628

919-785-1445

sdixon@beacon-street.com

### CIVIL ENGINEER:

### JAECO

### JOHN A. EDWARDS & COMPANY

Consulting Engineers

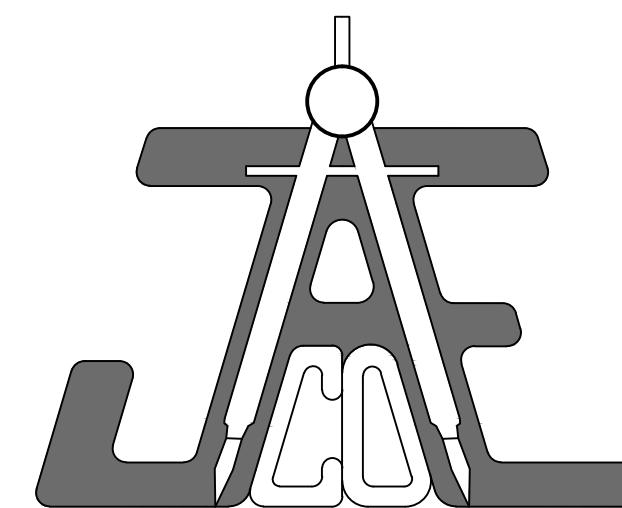
NC License F-0289

333 Wade Ave., Raleigh, NC 27605

Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com



September 12, 2022

Beacon Street  
2607 Oberlin Rd  
Raleigh, NC 27608  
Attn: Justin Hime

This is a letter of support for trash and recycling services for your new project being planned for Budleigh located off St. Mary's, Oberlin and Fairview.

We have reviewed the plans and have found that GFL Environmental will be able to safely perform all commercial waste and recycling services for this property.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Current design plans include residential carts for the perimeter buildings and mini mac containers for the center condo building. Valet service is anticipated by GFL. Frequency of service is to be determined.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and the trash enclosure will be large enough to accommodate the volume of trash that will be produced.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at [tara.zents@gflenv.com](mailto:tara.zents@gflenv.com).

Sincerely,  
*Tara Zents*  
Account Manager  
GFL Environmental - Raleigh  
(M) 919-427-2399

## INDEX

CE-1	COVER SHEET
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CE-3	EXISTING CONDITIONS
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CE-6	GRADING / STORMWATER MANAGEMENT PLAN
CE-7	FIRE DEPARTMENT PLAN
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
A104	ROOF DECK
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88



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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building Type:	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input type="checkbox"/> Tiny house	<input type="checkbox"/> Cottage Court <input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic
Site Transaction History:	Subdivision case #: SUB-0062-2022 Scoping/sketch plan case #: SCOPE-0092-2022 Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:	

GENERAL INFORMATION	
Development name: Lot 11 Budleigh East	
Inside City limits? <input checked="" type="radio"/> Yes <input type="radio"/> No	
Property address(es): 2550 Oberlin Road	
Site P.I.N.(s): 1704-29-3852	
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). MIXED USE BUILDING, ALL RESIDENTIAL CONDOMINIUM ON R-10 PORTION OF SITE WITH MIX OF OFFICE, RETAIL, AND RESIDENTIAL CONDO ON NX-3 UL PORTION. PARKING ON-SITE AND IN BASEMENT STRUCTURE.	
Current Property Owner(s): Beacon Street Budleigh LLC	
Company:	Title:
Address: PO Box 6474, Raleigh NC 27628	
Phone #: (919) 785-1445	Email: sdixon@beacon-street.com
Applicant Name (if different from owner. See "who can apply" in instructions): Beacon Street Budleigh LLC	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company:	Address: PO Box 6474, Raleigh NC 27628

Page 1 of 3

REVISED 05.25.22  
raleighnc.gov

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
Developer Contact: Scott Dixon	
Company: Beacon Street Budleigh LLC	Title: Vice President
Address: PO Box 6474, Raleigh NC 27628	
Phone #: (919) 785-1445	Email: sdixon@beacon-street.com
Applicant Name: Beacon Street Budleigh LLC	
Company:	Address: PO Box 6474, Raleigh NC 27628
Phone #: (919) 785-1445	Email: sdixon@beacon-street.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): NX-3-UL = 0.21 AC. R-10 = 0.27 AC.	Existing gross floor area (not to be demolished): n/a
Gross site acreage: 0.4836 Acres	Existing gross floor area to be demolished: n/a
# of parking spaces proposed: 22 + 4 shared	New gross floor area: 26,800 sf
Max # parking permitted (7.1.2.C): 67	Total sf gross (to remain and new): 26,800 sf
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 3 plus roof top areas
Proposed use (UDO 6.1.4): mixed use	Proposed # of basement levels (UDO 1.5.7.A.6) 1

STORMWATER INFORMATION	
Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 2,232 Proposed total (sf) 17,500	Existing (sf) 2,232 Proposed total (sf) 17,500

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 6	Total # of hotel bedrooms:
# of bedroom units: 1br <input type="checkbox"/> 2br <input checked="" type="checkbox"/> 3br <input checked="" type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	Is a frequent transit development? <input checked="" type="radio"/> Yes <input type="radio"/> No

APPLICANT SIGNATURE BLOCK	
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Signature: <i>Scott Dixon</i>	Date: 6/6/23
Printed Name: Scott Dixon	

### SITE DATA

OWNER: BEACON STREET BUDLEIGH LLC  
PO BOX 6474  
RALEIGH, NC 27628-6474

ADDRESS: 2550 OBERLIN RD  
RALEIGH, NC 27608

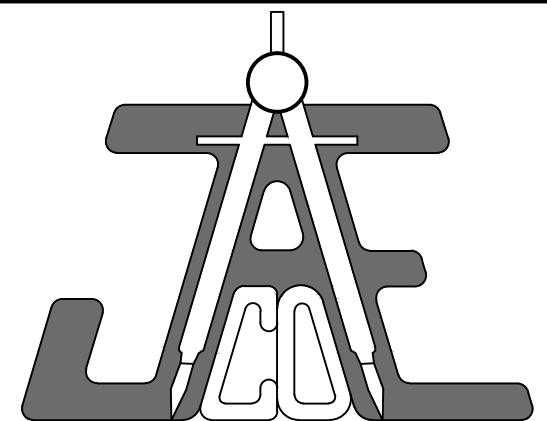
PIN# (PARENT PARCEL) 1704-29-3852

AREA: PROPOSED LOT 11 (SUB-0062-2022)  
21,064 S.F. (0.4836 AC.)

ZONING: R-10 & NX-3-UL

CURRENT USE: VACANT

REFERENCES: DB 18959, PG 2149  
BM 2022, PG 386  
WAKE COUNTY REGISTRY



JAECO Consulting Engineers and Land Surveyors

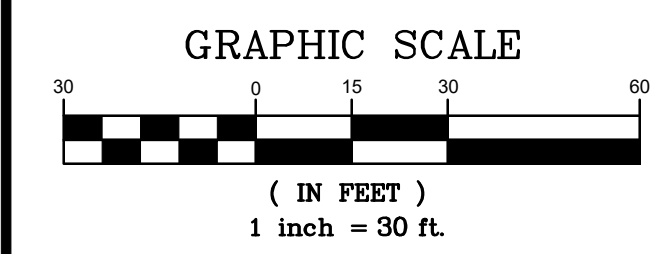
NC License F-0289 333 Wade Ave., Raleigh, N.C. 27605 Phone: (919) 828-4428 Fax: (919) 828-4711 E-mail: info@jaeco.com

www.jaeco.com

LOT 3 BUDLEIGH EAST

BEACON STREET BUDLEIGH LLC

LEGEND table with symbols for AC, BM, BO, BW, CB, CMP, CO, DOVA, DI, DIP, ELEV, EOP, ESMT, EX, FDC, FES, FFE, FH, FL, HB, HC, HT, HW, INV, IPS, JBX, MH, MN, NF, PG, PVC, RCP, S.F., S.P., SW, TCA, TSP, TR, TYP, W, WS, YI, etc.



SUBDIVISION PLAN

Revisions table with columns: Number, Description, Date. Includes entries for City of Raleigh review comments.

FAIRVIEW ROAD STREETSCAPE - 290 LF

TREES REQUIRED: 7 SHADE TREES (40' OC) TREES PROVIDED: 7 SHADE TREES

PLANT LIST

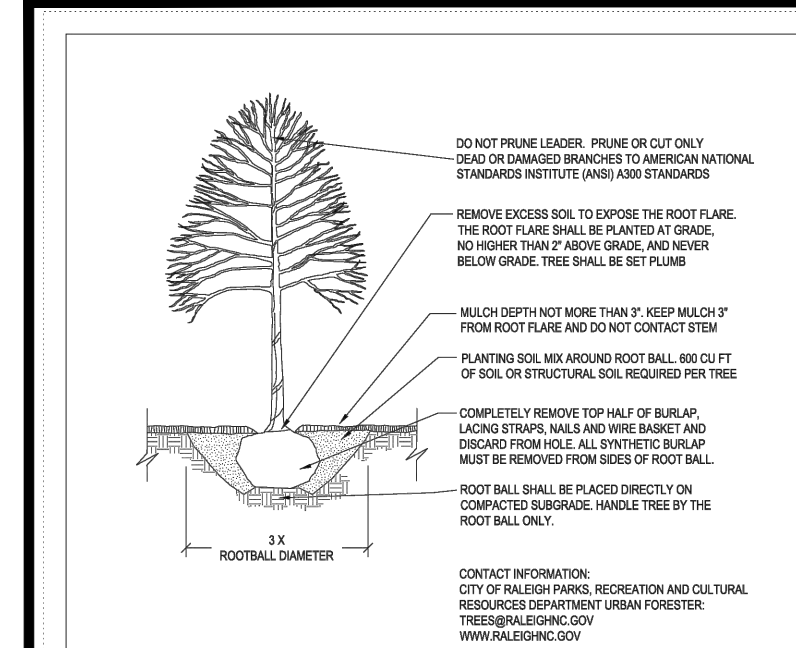
Table with columns: KEY, QUAN, BOTANICAL NAME, COMMON NAME, CAL., HT., MATURE SP., MATURE ROOT. Lists Quercus lyrata and Acer buergerianum.

NOTE: ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.

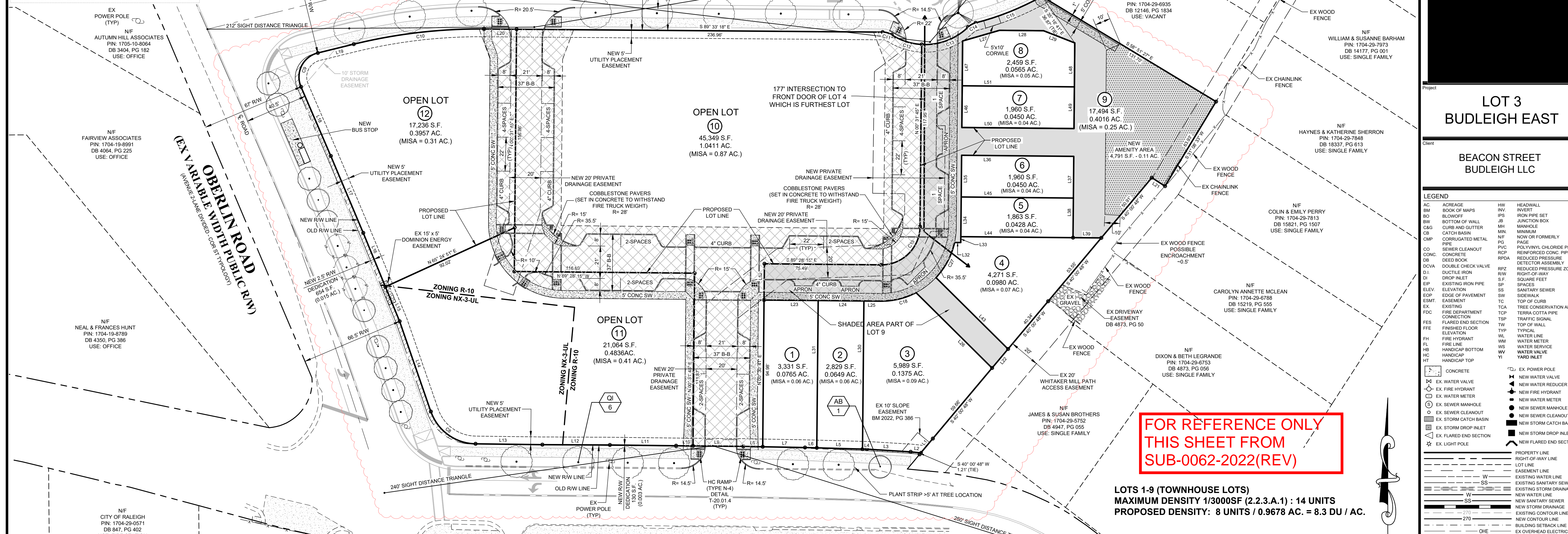
PROPOSED STREET TREE CALCULATION

MARCHMONT STREET ELIGIBLE FRONTAGE = 360' REQUIRED TREES = 360 LF / 40' OC = 9 TREES REQUIRED PROVIDED TREES = 10 PER SPR-0197-2021 (ELIMINATE 2 TREES)

MARCHMONT STREET (EX 64' WIDTH PUBLIC R/W)



- NOTES: 1. TREES MUST MEET THE TREE QUALITY STANDARDS... 2. CONTRACTOR IS RESPONSIBLE FOR POSITIVE DRAINAGE AWAY FROM PITS... 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH... 4. TREE IMPACT REPORT IS REQUIRED... 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED FROM PLANTING AREAS... 6. STAKING IS ACCORDANCE WITH THE CITY TREE MANUAL... 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.



FOR REFERENCE ONLY THIS SHEET FROM SUB-0062-2022(REV)

LOTS 1-9 (TOWNHOUSE LOTS) MAXIMUM DENSITY 1/3000SF (2.2.3.A.1) : 14 UNITS PROPOSED DENSITY: 8 UNITS / 0.9678 AC. = 8.3 DU / AC.

PRE R/W DEDICATION SITE AREA

SITE AREA ..... 126,592 S.F. - 2.91 AC.

AREA IN LOTS

LOTS 1-9 ..... 42,156 S.F. - 0.97 AC. OPEN LOTS 10-12 ..... 83,650 S.F. - 1.92 AC. TOTAL ALL LOTS ..... 125,806 S.F. - 2.89 AC.

AREA IN R/W DEDICATION

RIGHT-OF-WAY DEDICATION ..... 784 S.F. - 0.02 AC.

AMENITY AREA / OPEN SPACE

LOTS 1-9 REQUIRED ..... 4,216 S.F. - 0.10 AC. (10%) LOTS 1-9 PROVIDED ..... 4,791 S.F. - 0.11 AC. (11.4%)

IMPERVIOUS AREA CALCULATION

EXISTING ..... (ALLOCATION FROM SUB-0054-2020) - 1.26 AC. PROPOSED LOTS 1-9 ..... 0.70 AC.

PROPOSED OPEN LOT 10 ..... 0.87 AC. PROPOSED OPEN LOT 11 ..... 0.41 AC. PROPOSED OPEN LOT 12 ..... 0.31 AC. PROPOSED TOTAL ..... 2.29 AC.

LINE TABLE with columns: LINE #, LENGTH, DIRECTION. Lists line segments for the subdivision.

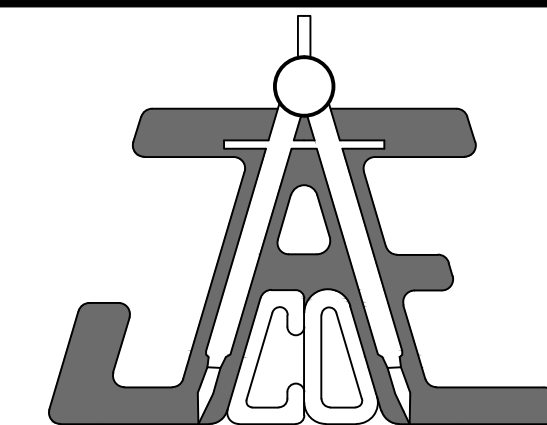
BOUNDARY CURVE TABLE with columns: CURVE, LENGTH, RADIUS, DELTA, CHORD, CHORD BEARING. Lists curve data for the subdivision.

NOTE: PUBLIC IMPROVEMENTS ALONG FRONTAGES ARE SHOWN BASED ON SPR-0197-2021 WHICH WAS APPROVED ALONG WITH SUB-0054-2020

BLOCK PERIMETER SITE IS EXEMPT FROM BLOCK PERIMETER PER 8.3.2.A.2.B AS SITE IS LESS THAN 3 ACRES FOR R-10 ZONING & LESS THAN 5 ACRES FOR NX ZONING.

LOT AREA CHART table with columns: LOT NUMBER, AREA (S.F.), AREA (AC). Lists area data for lots 1-12.

- TOWNHOME COMMON AREA LOT 9
PROPOSED BUILDING
PROPOSED CONCRETE
PROPOSED COBBLESTONE PAVERS
PROPOSED AMENITY AREA
PROPOSED R/W DEDICATION
PROPOSED CROSS ACCESS



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and Land Surveyors

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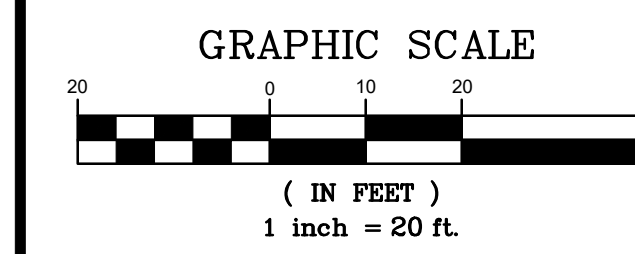
Project  
**LOT 11  
BUDLEIGH EAST**

Client  
**BEACON STREET  
BUDLEIGH LLC**

**LEGEND**

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
CG	CURB AND GUTTER	JH	MANHOLE
CB	CATCH BASIN	MN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOW OR FORMERLY
CO	SEWER CLEANOUT	PG	PAGE
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DB	DEED BOOK	RCF	REINFORCED CONC. PIPE
DOVA	DOUBLE CHECK VALVE	RPD	REDUCED PRESSURE DETECTOR ASSEMBLY
DI	DUCTILE IRON	RPZ	REDUCED PRESSURE ZONE
DIP	DROP INLET	RW	RIGHT-OF-WAY
EIP	EXISTING IRON PIPE	S.F.	SQUARE FEET
ELEV	ELEVATION	SS	SPACES
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
ESMT	EASEMENT	SW	SIDEWALK
EX	EXISTING	TCA	TREE CONSERVATION AREA
FDC	FIRE DEPARTMENT CONNECTION	TCP	TERRA COTTA PIPE
FES	FLARED END SECTION	TSP	TRAFFIC SIGNAL
FFE	FINISHED FLOOR ELEVATION	TW	TOP OF WALL
FL	FIRE HYDRANT	TYP	TYPICAL
FL	FIRE LINE	WL	WATER LINE
HB	HANDICAP BOTTOM	WM	WATER METER
HC	HANDICAP	WS	WATER SERVICE
HT	HANDICAP TOP	WV	WATER VALVE
		VI	YARD INLET

CONCRETE	NEW WATER VALVE	NEW WATER VALVE
EX WATER VALVE	NEW WATER REDUCER	NEW WATER REDUCER
EX FIRE HYDRANT	NEW FIRE HYDRANT	NEW FIRE HYDRANT
EX WATER METER	NEW WATER METER	NEW WATER METER
EX SEWER MANHOLE	NEW SEWER MANHOLE	NEW SEWER MANHOLE
EX SEWER CLEANOUT	NEW SEWER CLEANOUT	NEW SEWER CLEANOUT
EX STORM CATCH BASIN	NEW STORM CATCH BASIN	NEW STORM CATCH BASIN
EX STORM DRAIN	NEW STORM DRAIN	NEW STORM DRAIN
EX FLARED END SECTION	NEW FLARED END SECTION	NEW FLARED END SECTION
EX LIGHT POLE	NEW LIGHT POLE	NEW LIGHT POLE
PROPERTY LINE	RIGHT-OF-WAY LINE	EASEMENT LINE
LOT LINE	EXISTING WATER LINE	EXISTING SANITARY SEWER
EXISTING WATER LINE	EXISTING STORM DRAINAGE	NEW WATER LINE
NEW WATER LINE	NEW SANITARY SEWER	NEW STORM DRAINAGE
EXISTING CONTOUR LINE	NEW CONTOUR LINE	BUILDING SETBACK LINE
NEW CONTOUR LINE	EX OVERHEAD ELECTRIC	CENTERLINE ROAD

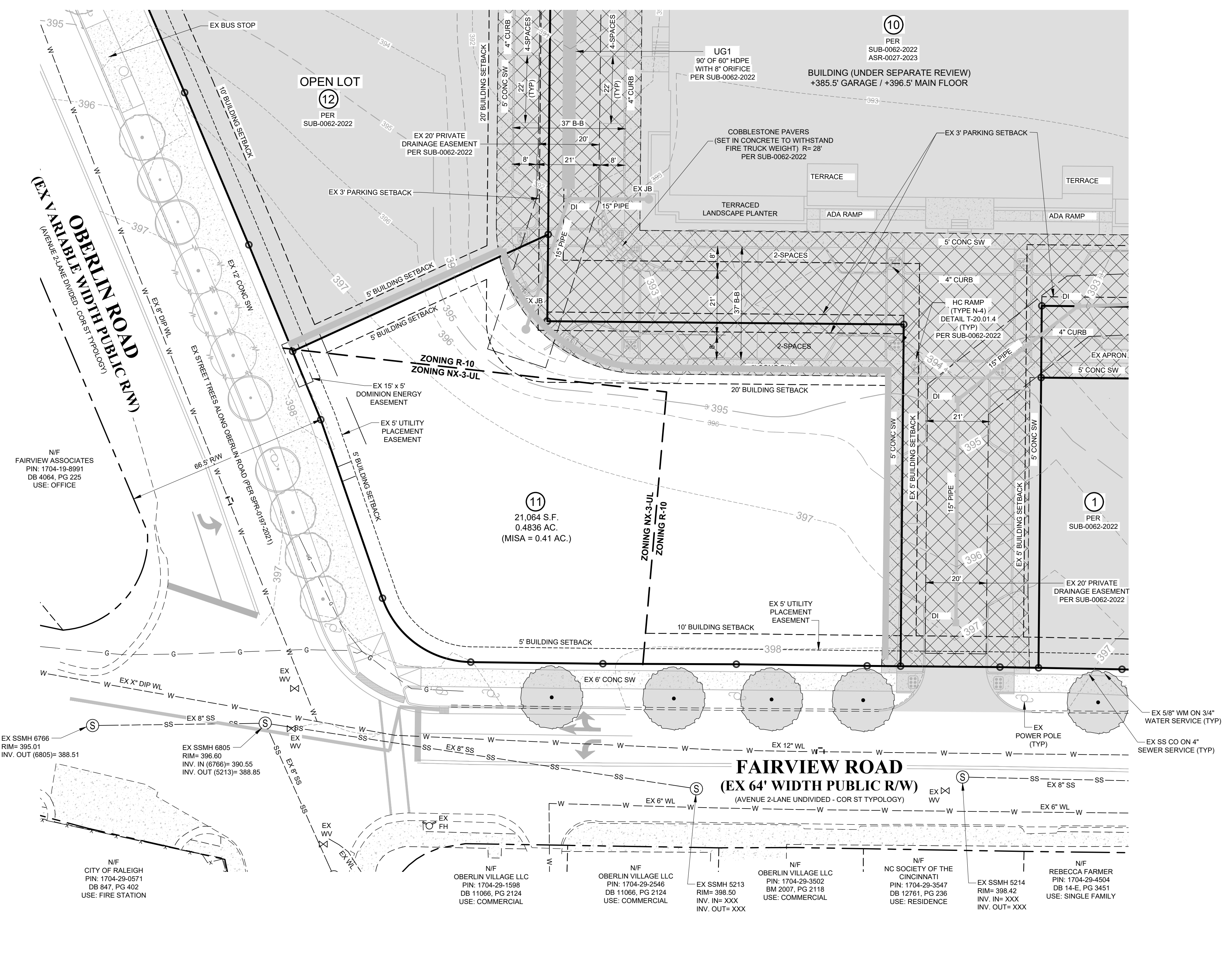


**EXISTING  
CONDITIONS PLAN**

Revisions

Number	Description	Date

Drawing Scale 1" = 20'  
Drawn By BF  
Checked By JAE, JR.  
Date Issued XXXX/22 of



PROPOSED PROJECT LIMITS  
(ACCESS DRIVE WITH SUB-0062-2022)

PER SUB-0062-2022

- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED AMENITY AREA
- EXISTING COBBLESTONE PAVERS
- EXISTING CROSS ACCESS EASEMENT
- EXISTING AMENITY AREA
- EXISTING TERRACE

**LOT AREA CHART**

LOT NUMBER	AREA (SF)	AREA (AC)
1	3,330	0.0764
2	2,869	0.0659
3	5,950	0.1366
4	4,424	0.1016
5	1,777	0.0408
6	1,848	0.0424
7	1,848	0.0424
8	2,446	0.0562
9	17,663	0.4055
LOTS 1 - 9 TOTAL	42,156	0.9678
10	45,349	1.0411
11	21,064	0.4836
12	17,237	0.3957
LOTS 1 - 12 TOTAL	125,805	2.8882

**SITE DATA**  
OWNER: BEACON STREET BUDLEIGH LLC  
PO BOX 6474  
RALEIGH, NC 27628-6474  
ADDRESS: 2550 OBERLIN ROAD  
RALEIGH, NC 27608  
PIN: 1704-29-3852  
AREA: 126,592 S.F. (2.9061 AC.)  
ZONING: R-10 & NX-3-JUL  
CURRENT LAND USE: VACANT  
REFERENCE: DB 18959, PG 2149  
BM 2022, PG 386  
WAKE COUNTY REGISTRY

**BOUNDARY LINE TABLE**

LINE #	LENGTH	DIRECTION
L1	12.11'	S40° 00' 48"W
L2	6.60'	N84° 11' 27"W
L3	28.39'	N86° 31' 50"W
L4	2.40'	N88° 26' 40"W
L5	30.00'	N88° 26' 40"W
L6	7.68'	N88° 26' 40"W
L7	27.32'	N88° 57' 09"W
L8	12.64'	N88° 57' 09"W
L9	32.54'	N89° 28' 15"W
L10	23.50'	N00° 31' 45"E
L11	42.85'	N89° 18' 15"W
L12	43.71'	N89° 44' 41"W
L13	43.24'	N89° 17' 18"W
L14	61.87'	N19° 03' 22"W
L15	24.15'	N22° 23' 00"W
L16	37.74'	N22° 23' 00"W
L17	54.06'	N22° 52' 01"W

**BOUNDARY LINE TABLE**

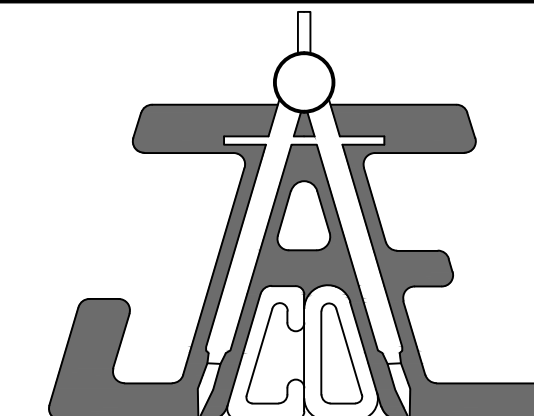
LINE #	LENGTH	DIRECTION
L18	48.76'	N23° 17' 40"W
L19	23.96'	N76° 13' 57"E
L20	21.07'	S89° 28' 15"E
L21	10.08'	S00° 31' 45"W
L22	16.05'	S40° 00' 48"W
L23	35.00'	S89° 28' 15"E
L24	30.00'	S89° 28' 15"E
L25	10.49'	S89° 28' 15"E
L26	69.30'	S45° 14' 43"E
L27	24.80'	N73° 51' 31"E
L28	17.08'	S89° 28' 15"E
L29	31.08'	S76° 14' 27"E
L30	95.90'	N00° 30' 41"E
L31	95.37'	N00° 30' 41"E
L32	4.06'	S89° 28' 15"E
L33	5.50'	N00° 31' 45"E
L34	25.00'	N00° 31' 45"E

**BOUNDARY LINE TABLE**

LINE #	LENGTH	DIRECTION
L35	26.00'	N00° 31' 45"E
L36	71.09'	S89° 28' 15"E
L37	26.00'	S00° 31' 45"W
L38	25.00'	S00° 31' 45"W
L39	21.20'	S89° 28' 15"E
L40	10.95'	N89° 28' 15"W
L41	28.39'	S00° 31' 45"W
L42	65.70'	N45° 14' 43"W
L43	71.09'	S89° 28' 15"E
L44	71.09'	S89° 28' 15"E
L45	71.09'	S89° 28' 15"E
L46	26.00'	N00° 31' 45"E
L47	30.00'	N00° 31' 45"E
L48	30.00'	S00° 31' 45"W
L49	26.00'	S00° 31' 45"W
L50	71.09'	N89° 28' 15"W
L51	71.09'	S89° 28' 15"E

**BOUNDARY CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C8	38.00'	31.00'	070°13'56"	35.66'	N54° 10' 20"W
C9	27.79'	16.00'	099°31'37"	24.43'	N26° 28' 08"E
C10	85.08'	343.00'	014°12'46"	84.87'	N83° 20' 19"E
C11	6.18'	11.00'	032°11'23"	6.10'	S73° 27' 36"E
C12	20.65'	40.00'	029°35'02"	20.42'	S72° 09' 26"E
C13	32.89'	40.00'	047°06'53"	31.97'	N69° 29' 37"E
C14	5.70'	11.00'	029°42'08"	5.64'	N60° 47' 14"E
C15	46.36'	180.00'	014°45'22"	46.23'	N68° 15' 37"E
C16	39.27'	25.00'	090°00'00"	35.36'	N45° 31' 45"E
C18	23.79'	48.50'	028°06'08"	23.55'	N76° 28' 41"E
C21	25.99'	48.50'	030°42'23"	25.68'	N27° 53' 35"E



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LOT 11 BUDLEIGH EAST

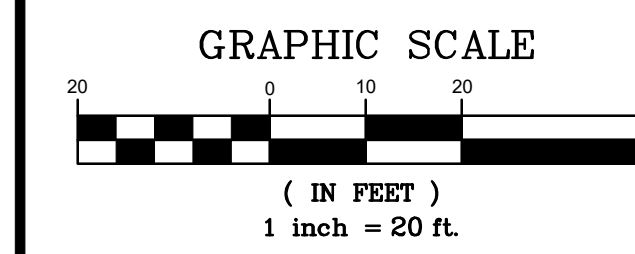
BEACON STREET BUDLEIGH LLC

LEGEND

Legend table with columns for symbols and descriptions, including AC (Acreage), BM (Book of Maps), BO (Blowoff), BW (Bottom of Wall), etc.

Legend table with symbols for CONCRETE, EX. WATER VALVE, EX. FIRE HYDRANT, EX. WATER METER, EX. SEWER MANHOLE, EX. SEWER CLEANOUT, EX. STORM CATCH BASIN, EX. STORM DRAIN INLET, EX. FLARED END SECTION, EX. LIGHT POLE, EX. POWER POLE, NEW WATER VALVE, NEW WATER REDUCER, NEW FIRE HYDRANT, NEW WATER METER, NEW SEWER MANHOLE, NEW SEWER CLEANOUT, NEW SEWER MANHOLE, NEW STORM CATCH BASIN, NEW STORM DRAIN INLET, NEW FLARED END SECTION.

Legend table with symbols for PROPERTY LINE, RIGHT-OF-WAY LINE, LOT LINE, EASEMENT LINE, EXISTING WATER LINE, EXISTING SANITARY SEWER, EXISTING STORM DRAINAGE, NEW WATER LINE, NEW SANITARY SEWER, NEW STORM DRAINAGE, EXISTING CONTOUR LINE, NEW CONTOUR LINE, BUILDING SETBACK LINE, EX. OVERHEAD ELECTRIC, CENTERLINE ROAD.



SITE PLAN

Revisions table with columns for Number, Description, and Date. Includes Drawing Scale (1" = 20'), Drawn By (BF), Checked By (JAE, JR.), Date Issued (XXXX/22), and CE-3.

DENSITY CALCULATION - LOT 11 FREQUENT TRANSIT OPTION. TOTAL ACREAGE: 21,064 S.F. (0.4836 AC.). R-10 PORTION: 11,717 S.F. (0.269 AC.). MAXIMUM DENSITY ON R-10: 14.65 UNITS (1DU / 800 SF). PROPOSED DENSITY ON R-10: 6 UNITS (1DU / 1,953 SF).

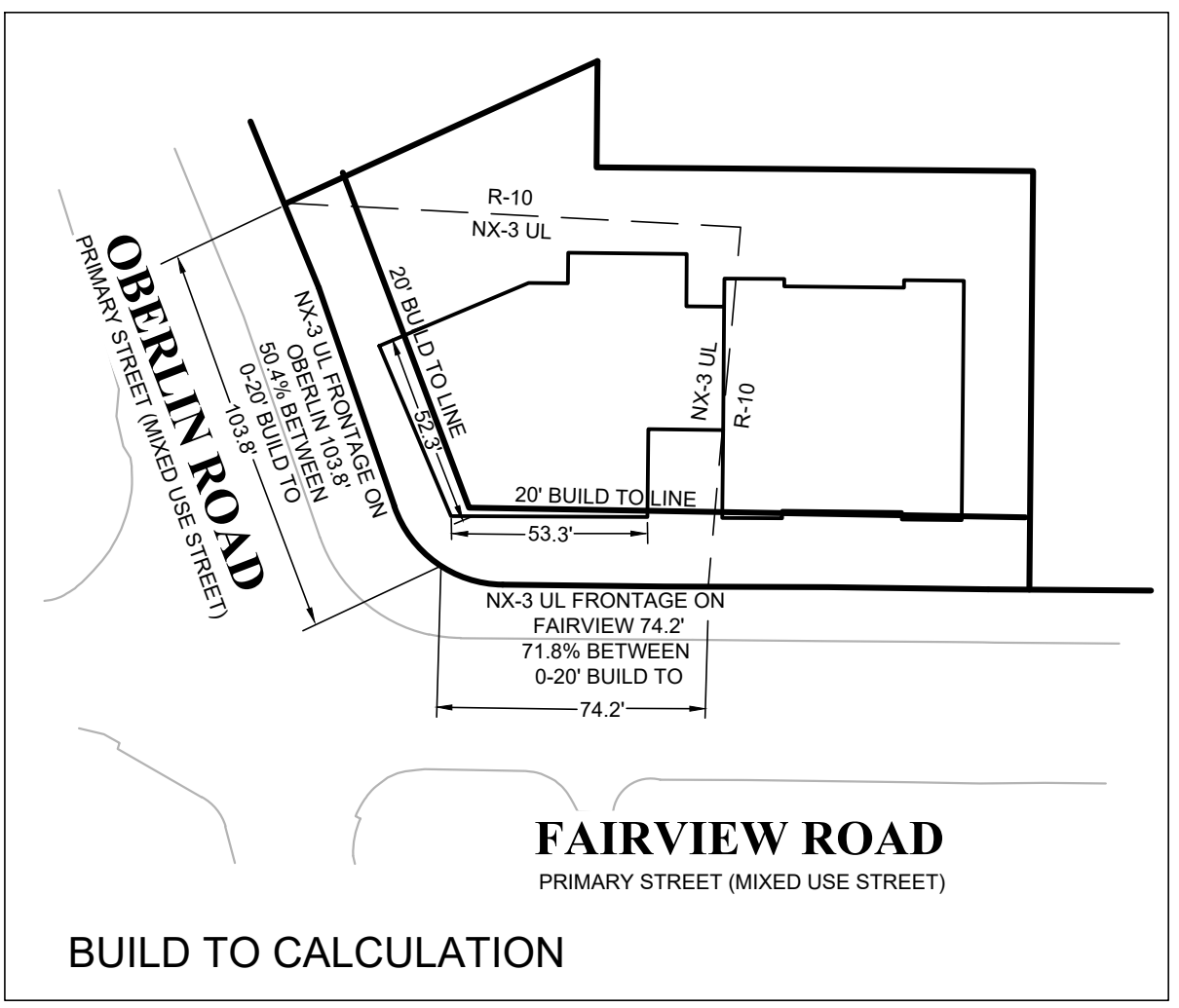
VEHICLE PARKING SUMMARY. PROPOSED 4 2-BR UNITS 2.25 SP PER UNIT MAX = 9 SPACES. PROPOSED 4 3-BR UNITS 3 SP PER UNIT MAX = 12 SPACES. PROPOSED RETAIL/OFFICE MAX (1/200SF) = 46 SPACES. MAXIMUM ALLOWED PARKING = 67 SPACES.

BICYCLE PARKING SUMMARY. SHORT-TERM (MIN) 1 PER 20 UNITS MIN 4 = 4 SPACES (12 UNITS). LONG-TERM (MIN) 1 PER 7 BR = 3 SPACES (20 BEDROOMS). SHORT-TERM RETAIL 1 PER 5,000SF (MIN 4) = 4 SPACES.

AMENITY AREA CALCULATION - LOT 11. GROSS AREA: 21,064 S.F. (0.4836 AC.). NET AREA: 21,064 S.F. (0.4836 AC.). REQUIRED AREA (10%) = 2,106 S.F. (0.0483 AC.).

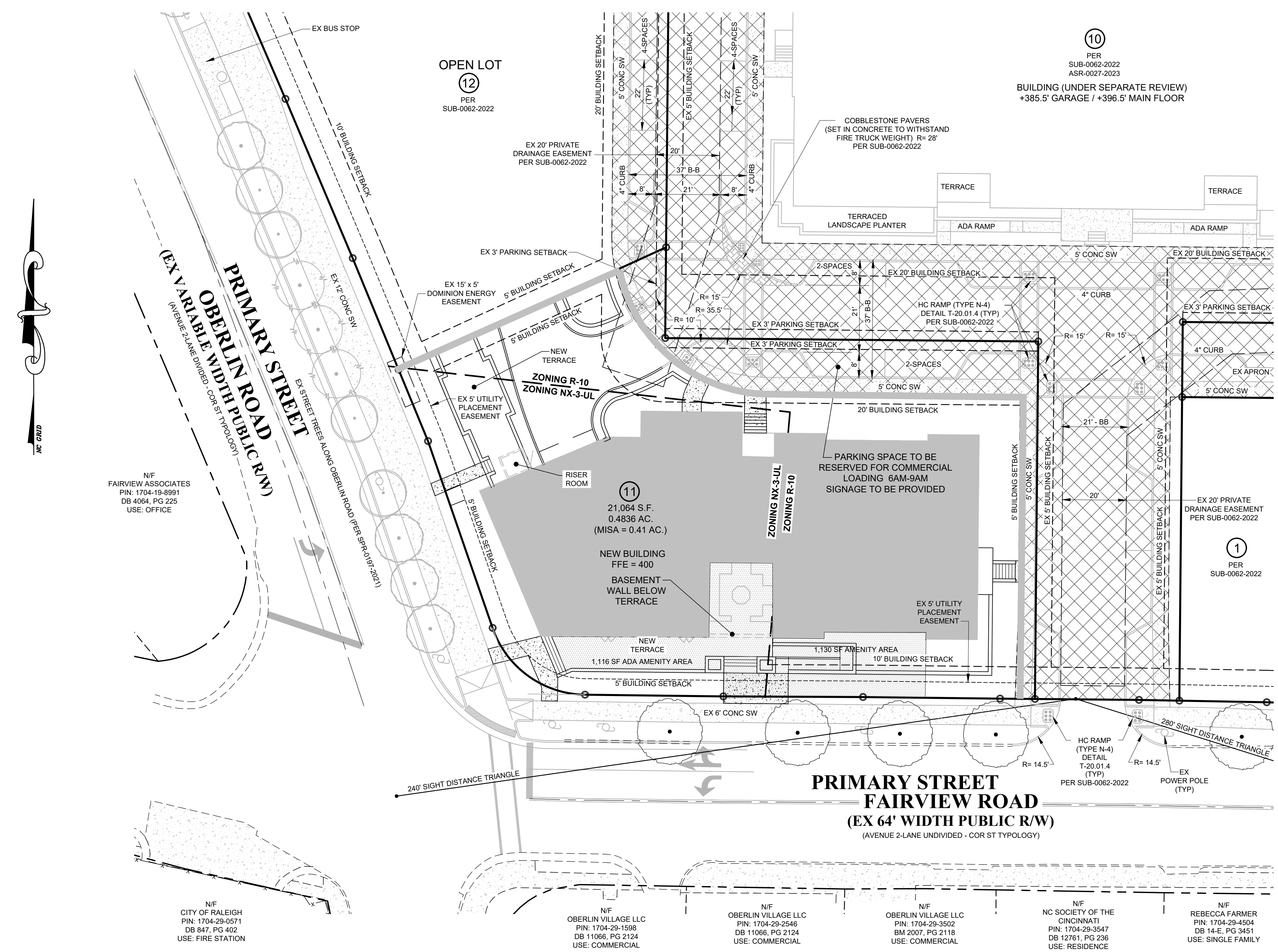
SOLID WASTE SERVICES. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. PRIVATE SERVICE TO BE PROVIDED.

BUILD-TO SUMMARY. NX-3 UL FRONTAGE REQUIRED 50% BUILD-TO ON PRIMARY STREET LOT 11 HAS 2 PRIMARY STREETS. UL LOT FRONTAGE ON OBERLIN = 103.8'. REQUIRED BUILD TO (50%) = 51.9'.



NOTE: PUBLIC IMPROVEMENTS ALONG FRONTAGES ARE SHOWN BASED ON SPR-0197-2021 WHICH WAS APPROVED ALONG WITH SUB-0054-2020

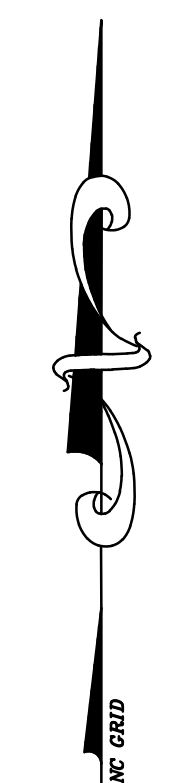
BLOCK PERIMETER SITE IS EXEMPT FROM BLOCK PERIMETER PER 8.3.2.A.2.B AS SITE IS LESS THAN 3 ACRES FOR R-10 ZONING & LESS THAN 5 ACRES FOR NX ZONING.



BOUNDARY LINE TABLE with columns for LINE #, LENGTH, and DIRECTION. Lists 17 boundary lines for the site.

BOUNDARY CURVE TABLE with columns for CURVE, LENGTH, RADIUS, DELTA, CHORD, and CHORD BEARING. Lists 21 curve data points.

- PROPOSED PROJECT LIMITS (ACCESS DRIVE WITH SUB-0062-2022)
PROPOSED BUILDING
PROPOSED CONCRETE
PROPOSED AMENITY AREA
EXISTING COBBLESTONE PAVERS
EXISTING CROSS ACCESS EASEMENT
EXISTING AMENITY AREA
EXISTING TERRACE



N/F FAIRVIEW ASSOCIATES PIN: 1704-19-8991 DB 4084, PG 225 USE: OFFICE

N/F CITY OF RALEIGH PIN: 1704-28-0571 DB 847, PG 402 USE: FIRE STATION

OPEN LOT 12 PER SUB-0062-2022

10 PER SUB-0062-2022 ASR-0027-2023 BUILDING (UNDER SEPARATE REVIEW) +385.5' GARAGE / +396.5' MAIN FLOOR

1 PER SUB-0062-2022

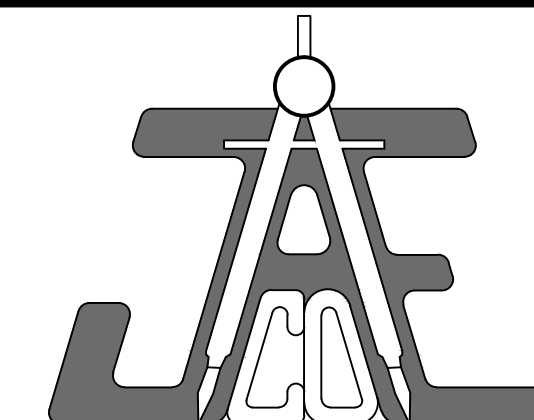
N/F OBERLIN VILLAGE LLC PIN: 1704-29-1598 DB 11086, PG 2124 USE: COMMERCIAL

N/F OBERLIN VILLAGE LLC PIN: 1704-29-2546 DB 11086, PG 2124 USE: COMMERCIAL

N/F OBERLIN VILLAGE LLC PIN: 1704-29-3502 BM 2007, PG 2118 USE: COMMERCIAL

N/F NC SOCIETY OF THE CINCINNATI PIN: 1704-29-3547 DB 12761, PG 236 USE: RESIDENCE

N/F REBECCA FARMER PIN: 1704-29-4504 DB 14-E, PG 3451 USE: SINGLE FAMILY



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www.jaeco.com



Project: LOT 11 BUDLEIGH EAST

Client: BEACON STREET BUDLEIGH LLC

LEGEND

Legend table with symbols for AC, BM, BO, BW, C&G, CB, CMP, CO, CONC, DB, DOVA, DI, DI, ELEV, EOP, ESMT, EX, FDC, FES, FFE, FL, HB, HC, HT, HW, INV, IPS, JBX, MH, MNL, NF, PG, PVC, RCP, RCPA, RPZ, RW, S.F., SP, SS, SW, TCA, TCC, TSP, TW, TYP, WL, WM, WS, WW, YI, etc.

DENSITY CALCULATION - LOT 11 FREQUENT TRANSIT OPTION
TOTAL ACREAGE: 21,064 S.F. (0.4836 AC.)
R-10 PORTION: 11,717 S.F. (0.269 AC.)
MAXIMUM DENSITY ON R-10: 14.65 UNITS (1DU / 800 SF)
PROPOSED DENSITY ON R-10: 6 UNITS (1DU / 1,953 SF)
NX-3 UL PORTION: 9,347 S.F. (0.215 AC.)
PROPOSED RETAIL/OFFICE: 9,120 SF
MAXIMUM RESIDENTIAL DENSITY ON NX-3 UL: N/A
PROPOSED RESIDENTIAL DENSITY ON NX-3 UL: 2 UNITS (1DU / 4,673 SF)
TOTAL PROPOSED RESIDENTIAL UNITS FOR LOT 11: 8 UNITS
NO AFFORDABLE UNITS REQUIRED

VEHICLE PARKING SUMMARY
PROPOSED 4 2-BR UNITS 2.25 SP PER UNIT MAX = 9 SPACES
PROPOSED 4 3-BR UNITS 3 SP PER UNIT MAX = 12 SPACES
PROPOSED RETAIL/OFFICE MAX (1/200SF) = 46 SPACES
MAXIMUM ALLOWED PARKING = 67 SPACES
TOTAL PARKING PROVIDED IN GARAGE: 22 SPACES (INCLUDES) 1 ADA SPACE (VAN)
SHARED PARKING PROVIDED FOR SUB-0062-2022: 4 SPACES

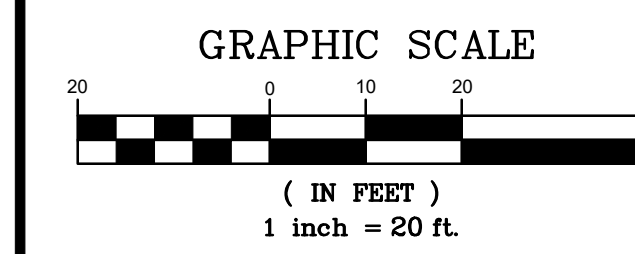
BICYCLE PARKING SUMMARY
SHORT-TERM (MIN) 1 PER 20 UNITS MIN 4 = 4 SPACES (12 UNITS)
LONG-TERM (MIN) 1 PER 7 BR = 3 SPACES (20 BEDROOMS)
SHORT-TERM RETAIL: N/A
LONG-TERM OFFICE 1 PER 5,000SF (MIN 4) = 4 SPACES
LONG-TERM OFFICE 1 PER 10,000SF (MIN 4) = 4 SPACES
TOTAL BICYCLE PARKING PROVIDED (ALL IN GARAGE)
SHORT-TERM - 12 SPACES
LONG-TERM - 8 SPACES

AMENITY AREA CALCULATION - LOT 11
GROSS AREA ..... 21,064 S.F. (0.4836 AC.)
NET AREA ..... 21,064 S.F. (0.4836 AC.)
REQUIRED AREA (10%) ..... 2,106 S.F. (0.0483 AC.)
REQUIRED ADA ACCESSIBLE (50% OF REQ'D) ..... 1,053 S.F. (0.0242 AC.)
PROVIDED AREA (10.6%) ..... 2,246 S.F. (0.0516 AC.)
PROVIDED ADA ACCESSIBLE AREA ..... 1,116 S.F. (0.0256 AC.)

SOLID WASTE SERVICES
DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
PRIVATE SERVICE TO BE PROVIDED.

NOTE: PUBLIC IMPROVEMENTS ALONG FRONTAGES ARE SHOWN BASED ON SPR-0197-2021 WHICH WAS APPROVED ALONG WITH SUB-0054-2020

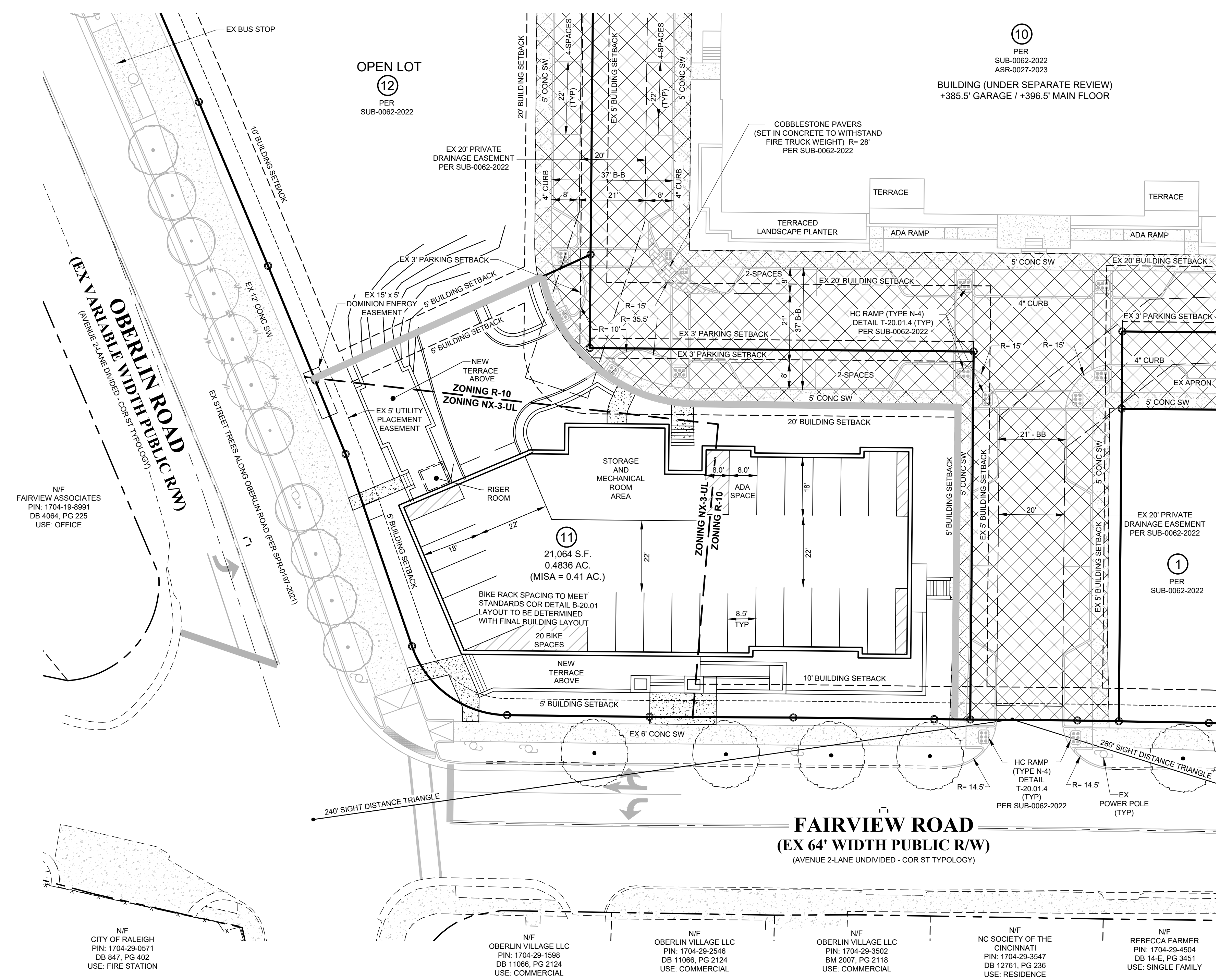
BLOCK PERIMETER SITE IS EXEMPT FROM BLOCK PERIMETER PER 8.3.2.A.2.B AS SITE IS LESS THAN 3 ACRES FOR R-10 ZONING & LESS THAN 5 ACRES FOR NX ZONING.



SITE PLAN PARKING LEVEL

Revisions table with columns: Number, Description, Date

Drawing Scale 1" = 20'
Drawn By BF
Checked By JAE, JR.
Date Issued XXXX/22



BOUNDARY LINE TABLE with columns: LINE #, LENGTH, DIRECTION

BOUNDARY LINE TABLE with columns: LINE #, LENGTH, DIRECTION

BOUNDARY LINE TABLE with columns: LINE #, LENGTH, DIRECTION

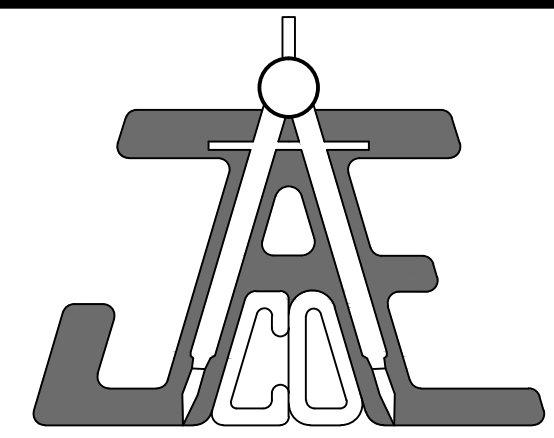
BOUNDARY CURVE TABLE with columns: CURVE, LENGTH, RADIUS, DELTA, CHORD, CHORD BEARING

- PROPOSED PROJECT LIMITS (ACCESS DRIVE WITH SUB-0062-2022)
PROPOSED BUILDING
PROPOSED CONCRETE
PROPOSED AMENITY AREA
EXISTING COBBLESTONE PAVERS
EXISTING CROSS ACCESS EASEMENT
EXISTING AMENITY AREA
EXISTING TERRACE

NOTE: PUBLIC IMPROVEMENTS ALONG FRONTAGES ARE SHOWN BASED ON SPR-0197-2021 WHICH WAS APPROVED ALONG WITH SUB-0054-2020

BLOCK PERIMETER SITE IS EXEMPT FROM BLOCK PERIMETER PER 8.3.2.A.2.B AS SITE IS LESS THAN 3 ACRES FOR R-10 ZONING & LESS THAN 5 ACRES FOR NX ZONING.





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**Consulting Engineers  
 and Land Surveyors**

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**LOT 11  
 BUDLEIGH EAST**

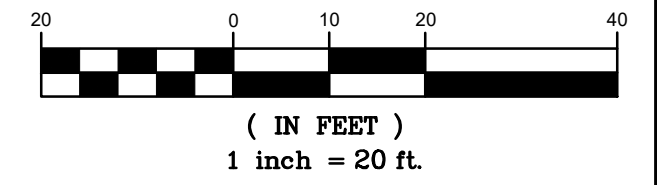
**BEACON STREET  
 BUDLEIGH LLC**

**LEGEND**

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV.	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MM	MINIMUM
CMP	CORRUGATED METAL PIPE	NIF	NOT IN FIELD
CO	CONCRETE	PG	PAGE
CO	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
CO	CONCRETE	RPC	REINFORCED CONC. PIPE
DB	DEED BOOK	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DCVA	DOUBLE CHECK VALVE	RPZ	REDUCED PRESSURE ZONE
D.I.	DUCTILE IRON	RHW	RIGHT-OF-WAY
DIP	DROP INLET	S.F.	SQUARE FEET
EIP	EXISTING IRON PIPE ELEVATION	SP	SPACES
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EASMT.	EASEMENT	SW	SIDEWALK
EX	EXISTING	TC	TOP OF CURB
FDC	FIRE DEPARTMENT CONNECTION	TCA	TREE CONSERVATION AREA
FES	FINISHED END SECTION	TCP	TERRA COTTA PIPE
FFE	FINISHED FLOOR ELEVATION	TSP	TRAFFIC SIGNAL
FH	FIRE HYDRANT	TW	TYPICAL
FL	FIRE LINE	WL	WATER LINE
FB	HANDICAP BOTTOM	WM	WATER METER
HC	HANDICAP	WS	WATER SERVICE
HT	HANDICAP TOP	WV	WATER VALVE
		YI	YARD INLET
⊠	CONCRETE	⊠	EX. POWER POLE
⊠	EX. WATER VALVE	⊠	NEW WATER VALVE
⊠	EX. FIRE HYDRANT	⊠	NEW WATER REDUCER
⊠	EX. WATER METER	⊠	NEW FIRE HYDRANT
⊠	EX. SEWER MANHOLE	⊠	NEW WATER METER
⊠	EX. SEWER CLEANOUT	⊠	NEW SEWER MANHOLE
⊠	EX. STORM CATCH BASIN	⊠	NEW SEWER CLEANOUT
⊠	EX. STORM DROP INLET	⊠	NEW STORM CATCH BASIN
⊠	EX. FLARED END SECTION	⊠	NEW STORM DROP INLET
⊠	EX. LIGHT POLE	⊠	NEW FLARED END SECTION

**PROPERTY LINE  
 RIGHT-OF-WAY LINE  
 LOT LINE  
 EASEMENT LINE  
 EXISTING WATER LINE  
 EXISTING SANITARY SEWER  
 EXISTING STORM DRAINAGE  
 NEW WATER LINE  
 NEW SANITARY SEWER  
 NEW STORM DRAINAGE  
 EXISTING CONTOUR LINE  
 -270-  
 -270-  
 NEW CONTOUR LINE  
 BUILDING SETBACK LINE  
 EX OVERHEAD ELECTRIC  
 CENTERLINE ROAD**

**GRAPHIC SCALE**



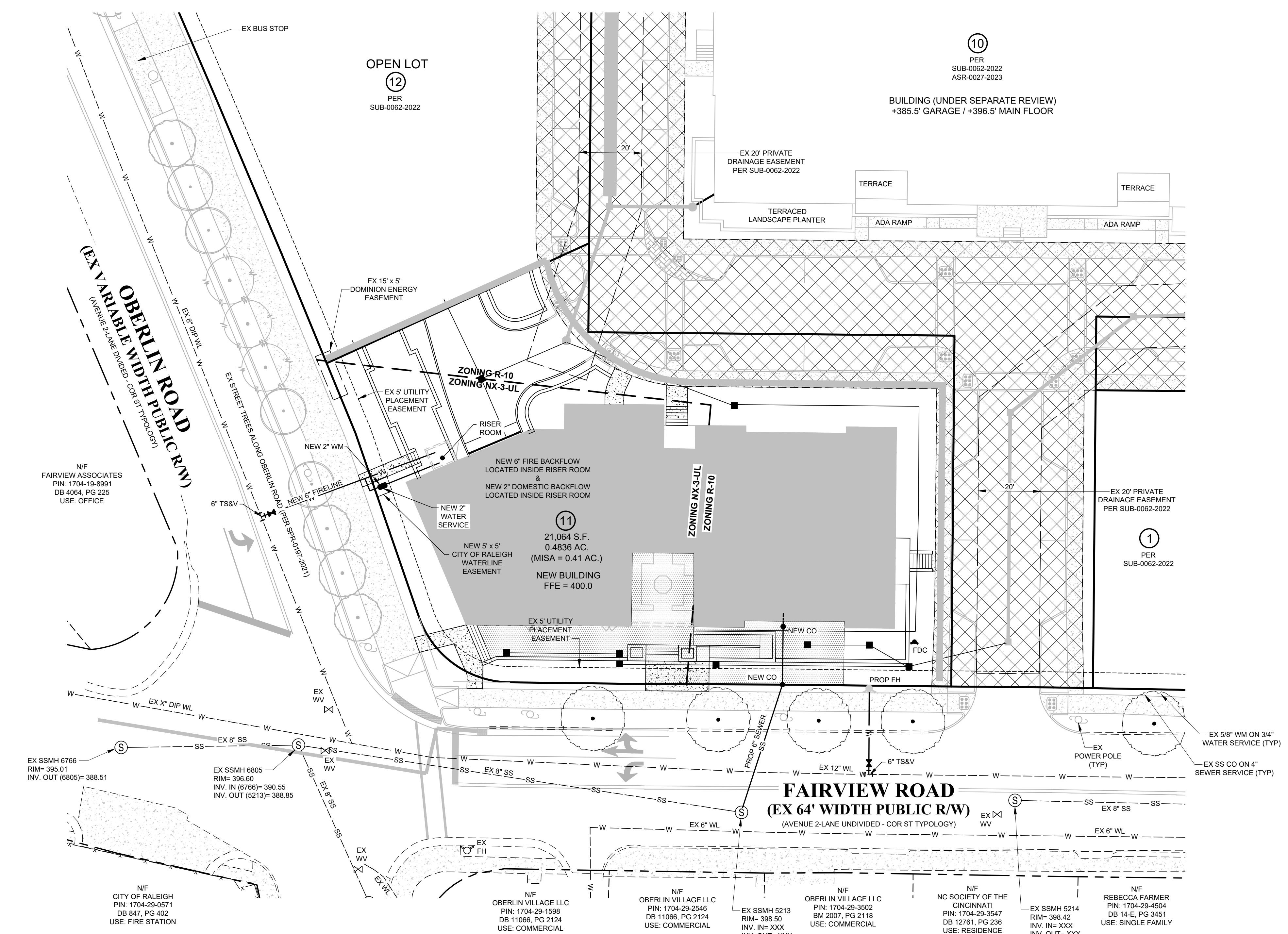
**UTILITY PLAN**

**Revisions**

Number	Description	Date

Drawing Scale: 1" = 20'  
 Drawn By: BF  
 Checked By: JAE, JR. **CE-5**  
 Date Issued: XXXX/22 of

—	PROPOSED PROJECT LIMITS (ACCESS DRIVE WITH SUB-0062-2022)
▒	PROPOSED BUILDING
⊠	PROPOSED CONCRETE
⊠	PROPOSED AMENITY AREA
⊠	EXISTING COBBLESTONE PAVERS
⊠	EXISTING CROSS ACCESS EASEMENT
⊠	EXISTING AMENITY AREA
⊠	EXISTING TERRACE



NIF  
 FAIRVIEW ASSOCIATES  
 PIN: 1704-19-8991  
 DB 4064, PG 225  
 USE: OFFICE

NIF  
 CITY OF RALEIGH  
 PIN: 1704-29-0571  
 DB 847, PG 402  
 USE: FIRE STATION

NIF  
 OBERLIN VILLAGE LLC  
 PIN: 1704-29-1598  
 DB 11066, PG 2124  
 USE: COMMERCIAL

NIF  
 OBERLIN VILLAGE LLC  
 PIN: 1704-29-2548  
 DB 11066, PG 2124  
 USE: COMMERCIAL

EX SSMH 5213  
 RIM= 398.50  
 INV. IN= XXX  
 INV. OUT= XXX

NIF  
 OBERLIN VILLAGE LLC  
 PIN: 1704-29-3502  
 BM 2007, PG 2118  
 USE: COMMERCIAL

NIF  
 NC SOCIETY OF THE  
 CINCINNATI  
 PIN: 1704-29-3547  
 DB 12761, PG 236  
 USE: RESIDENCE

EX SSMH 5214  
 RIM= 398.42  
 INV. IN= XXX  
 INV. OUT= XXX

NIF  
 REBECCA FARMER  
 PIN: 1704-29-4504  
 DB 14-E, PG 3451  
 USE: SINGLE FAMILY

**OBERLIN ROAD**  
 (EX VARIABLE WIDTH PUBLIC R/W)

**FAIRVIEW ROAD**  
 (EX 64' WIDTH PUBLIC R/W)  
 (AVENUE 2-LANE UNDIVIDED - COR ST TYPOLOGY)

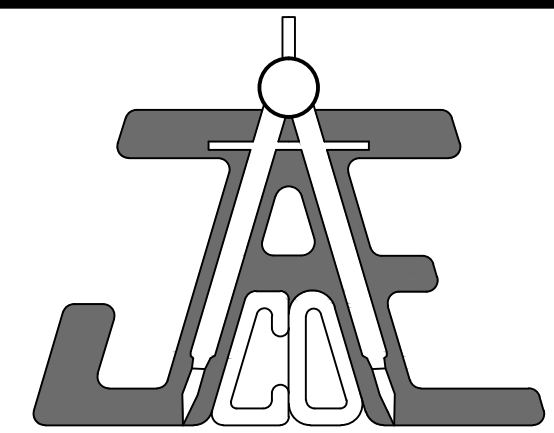
10  
 PER  
 SUB-0062-2022  
 ASR-0027-2023

BUILDING (UNDER SEPARATE REVIEW)  
 +385.5' GARAGE / +396.5' MAIN FLOOR

OPEN LOT  
 12  
 PER  
 SUB-0062-2022

1  
 PER  
 SUB-0062-2022





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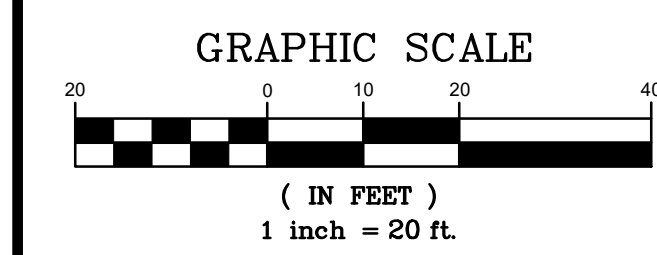
Project  
**LOT 11  
BUDLEIGH EAST**

Client  
**BEACON STREET  
BUDLEIGH LLC**

LEGEND

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOW OR FORMERLY
CO	CONCRETE	PG	PAGE
CO CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE PIPE
DB	DEED BOOK	RPC	REINFORCED CONC. PIPE
DCVA	DOUBLE CHECK VALVE	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DI	DUCTILE IRON	RPZ	REDUCED PRESSURE ZONE
DI ELEV.	ELEVATION	RW	RIGHT-OF-WAY
EIP	EXISTING IRON PIPE	S.F.	SQUARE FEET
ELEV.	ELEVATION	SS	SANITARY SEWER
EOP	EDGE OF PAVEMENT	SW	SIDEWALK
EMT.	EASEMENT	TC	TOP OF CURB
EX	EXISTING	TCO	TREE CONSERVATION AREA
FDC	FIRE DEPARTMENT CONNECTION	TCP	TERRA COTTA PIPE
FES	FLARED END SECTION	TSP	TRAFFIC SIGNAL
FFE	FINISHED FLOOR ELEVATION	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP	TYPICAL
FL	FIRE LINE	WL	WATER LINE
FL	FIRE LINE	WM	WATER METER
HB	HANDICAP BOTTOM	WS	WATER SERVICE
HC	HANDICAP	WV	WATER VALVE
HT	HANDICAP TOP	YI	YARD INLET

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW FIRE HYDRANT
EX. SEWER MANHOLE	NEW WATER METER
EX. SEWER CLEANOUT	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SEWER CLEANOUT
EX. STORM DROP INLET	NEW STORM CATCH BASIN
EX. FLARED END SECTION	NEW STORM DROP INLET
EX. LIGHT POLE	NEW FLARED END SECTION



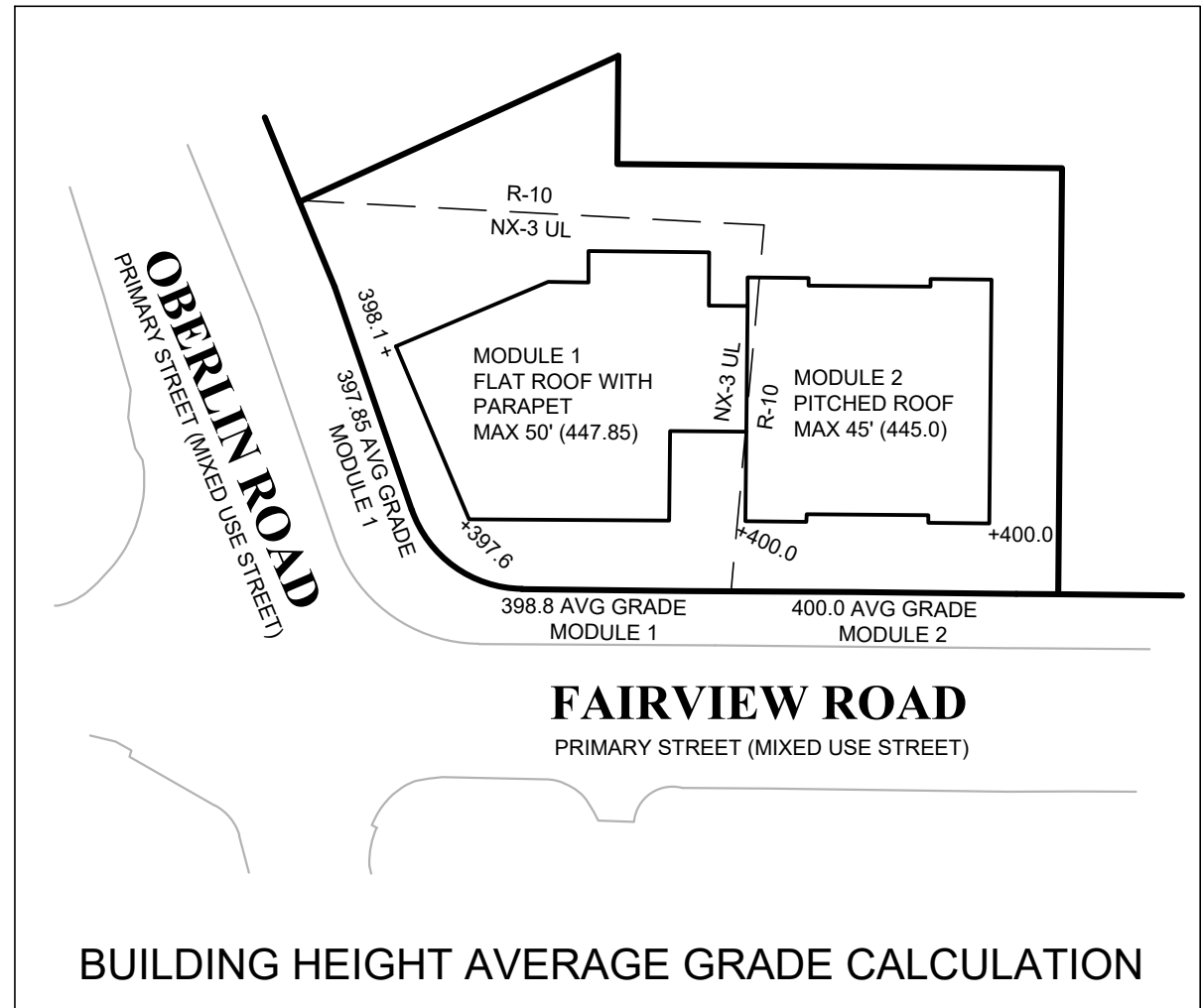
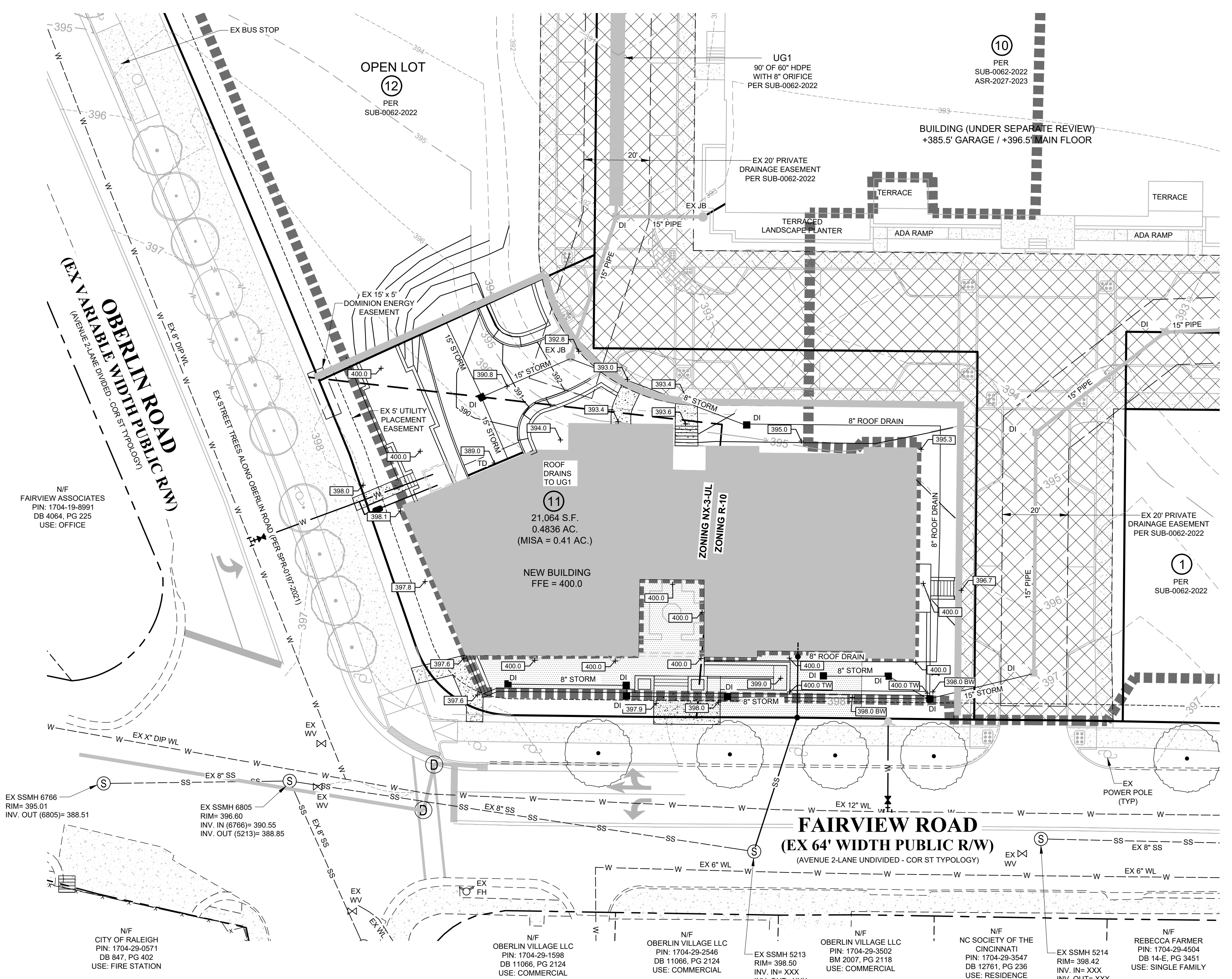
**GRADING /  
STORMWATER  
MANAGEMENT PLAN**

Revisions

Number	Description	Date

Drawing Scale 1" = 20'  
 Drawn By BF  
 Checked By JAE, JR.  
 Date Issued XXXX/22

CE-6



BUILDING ELEVATIONS

BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
Lot 11 Module 1	Fairview Rd	400.00	397.60	398.80
Lot 11 Module 1	Oberlin Rd	398.10	397.60	397.85
Lot 11 Module 2	Fairview Rd	400.00	400.00	400.00

**STORMWATER MANAGEMENT PLAN**

**LOT 11 UTILIZES SHARED FACILITIES  
CONSTRUCTED WITH SUB-0062-2022**

**MAXIMUM IMPERVIOUS AREA FOR LOT 11  
PER SUB-0062-2022 = 0.41 AC.  
PROPOSED IMPERVIOUS AREA = 0.40 AC.**

- PROPOSED PROJECT LIMITS (ACCESS DRIVE WITH SUB-0062-2022)
- PROPOSED BUILDING
- PROPOSED CONCRETE
- PROPOSED AMENITY AREA
- EXISTING COBBLESTONE PAVERS
- EXISTING CROSS ACCESS EASEMENT
- EXISTING AMENITY AREA
- EXISTING TERRACE

N/F  
FAIRVIEW ASSOCIATES  
PIN: 1704-19-8991  
DB 4064, PG 225  
USE: OFFICE

N/F  
CITY OF RALEIGH  
PIN: 1704-29-0571  
DB 847, PG 402  
USE: FIRE STATION

N/F  
OBERLIN VILLAGE LLC  
PIN: 1704-29-1598  
DB 11066, PG 2124  
USE: COMMERCIAL

N/F  
OBERLIN VILLAGE LLC  
PIN: 1704-29-2548  
DB 11066, PG 2124  
USE: COMMERCIAL

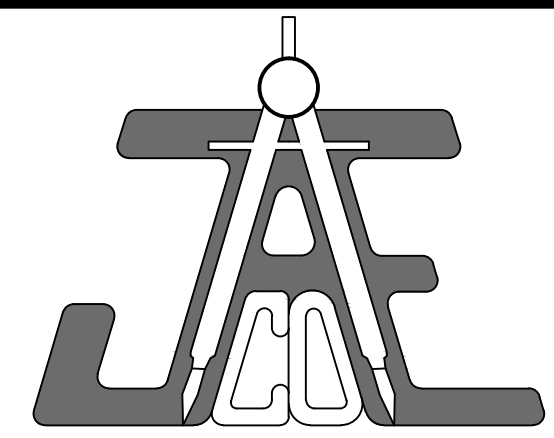
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INV. IN= XXX  
INV. OUT= XXX

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BM 2007, PG 2118  
USE: COMMERCIAL

N/F  
NC SOCIETY OF THE  
CINCINNATI  
PIN: 1704-29-3547  
DB 12761, PG 236  
USE: RESIDENCE

EX SSMH 5214  
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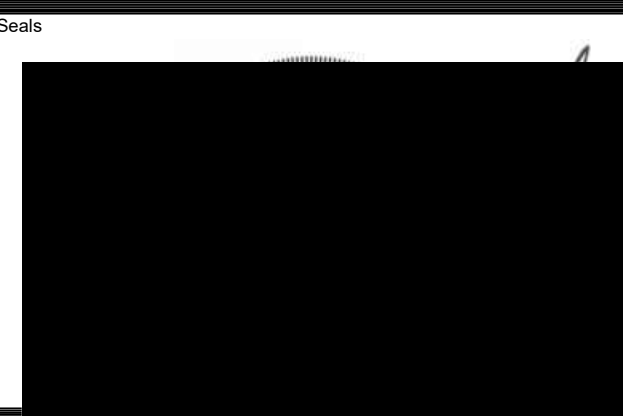
N/F  
REBECCA FARMER  
PIN: 1704-29-4504  
DB 14-E, PG 3451  
USE: SINGLE FAMILY



**JAECO**  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com



**LOT 11**  
**BUDLEIGH EAST**

**BEACON STREET**  
**BUDLEIGH LLC**

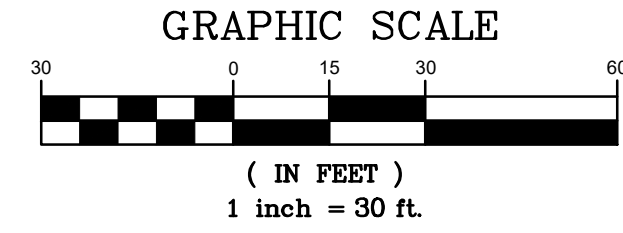
**LEGEND**

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BW	BOTTOM OF WALL	JB	JUNCTION BOX
C&G	CURB AND GUTTER	JH	JUNCTION HOLE
CB	CATCH BASIN	MH	MANHOLE
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM
CO	CONCRETE	NF	NOW OR FORMERLY
CONC.	CONCRETE	PG	PAGE
DB	DEED BOOK	PVC	POLYVINYL CHLORIDE PIPE
DCA	DOUBLE CHECK VALVE	RPDA	REDUCED CONC. PIPE
DI	DUCTILE IRON PIPE	RPS	REDUCED PRESSURE DETECTOR ASSEMBLY
DIP	DROP INLET	RW	RIGHT-OF-WAY
ELEV.	ELEVATION	S.F.	SQUARE FEET
EOP	EDGE OF PAVEMENT	SP	SPACES
ESMT.	EASEMENT	SS	SANITARY SEWER
EX.	EXISTING	SW	SIDEWALK
FDC	FIRE DEPARTMENT CONNECTION	TC	TERRA COTTA PIPE
FES	FINISHED END SECTION	TCP	TRAFFIC SIGNAL
FFE	FINISHED FLOOR ELEVATION	TW	TYPICAL
FL	FIRE LINE	TY	TYPICAL
FL	FIRE LINE	WL	WATER LINE
FL	FIRE LINE	WM	WATER METER
HC	HANDICAP BOTTOM	WS	WATER SERVICE
HC	HANDICAP	WV	WATER VALVE
HT	HANDICAP TOP	YI	YARD INLET

CONCRETE  
EX WATER VALVE  
EX FIRE HYDRANT  
EX WATER METER  
EX SEWER MANHOLE  
EX SEWER CLEANOUT  
EX STORM CATCH BASIN  
EX STORM DROP INLET  
EX STORM END SECTION  
EX LIGHT POLE

NEW WATER VALVE  
NEW WATER REDUCER  
NEW FIRE HYDRANT  
NEW WATER METER  
NEW SEWER MANHOLE  
NEW SEWER CLEANOUT  
NEW STORM CATCH BASIN  
NEW STORM DROP INLET  
NEW FLARED END SECTION

PROPERTY LINE  
RIGHT-OF-WAY LINE  
LOT LINE  
EASEMENT LINE  
EXISTING WATER LINE  
EXISTING SANITARY SEWER  
EXISTING STORM DRAINAGE  
NEW WATER LINE  
NEW SANITARY SEWER  
NEW STORM DRAINAGE  
EXISTING CONTOUR LINE  
NEW CONTOUR LINE  
BUILDING SETBACK LINE  
EX OVERHEAD ELECTRIC CENTERLINE ROAD



**Drawing Title**  
**FIRE DEPARTMENT PLAN**

Revisions

Number	Description	Date

Drawing Scale: 1" = 30'

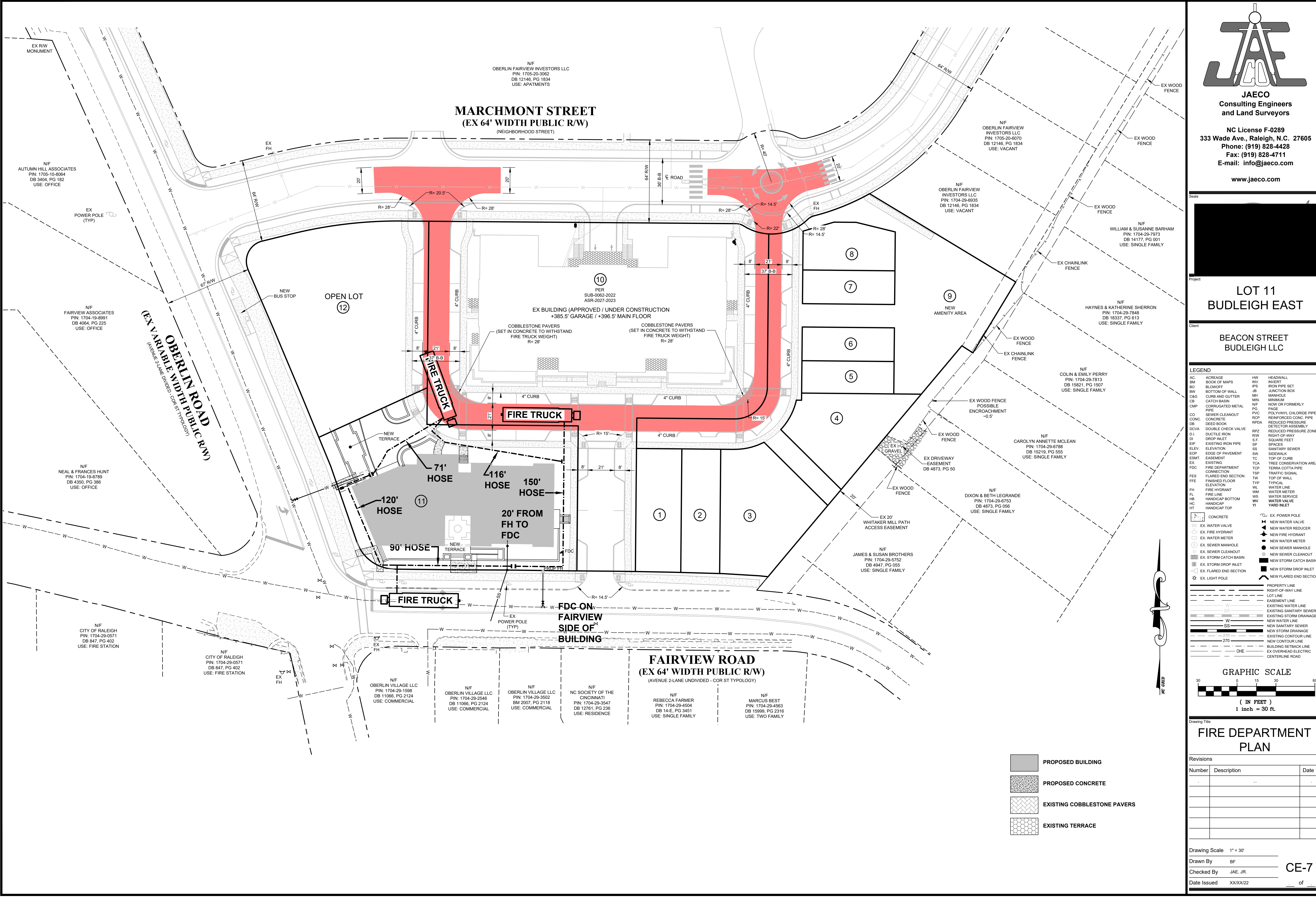
Drawn By: BF  
Checked By: JAE, JR.  
Date Issued: XXXX/22

**CE-7**

**MARCHMONT STREET**  
(EX 64' WIDTH PUBLIC R/W)  
(NEIGHBORHOOD STREET)

**FAIRVIEW ROAD**  
(EX 64' WIDTH PUBLIC R/W)  
(AVENUE 2-LANE UNDIVIDED - COR ST TYPOLOGY)

**OBERLIN ROAD**  
(EX VARIABLE WIDTH PUBLIC R/W)  
(AVENUE 2-LANE DIVIDED - COR ST TYPOLOGY)



**PROPOSED BUILDING**

**PROPOSED CONCRETE**

**EXISTING COBBLESTONE PAVERS**

**EXISTING TERRACE**

NIF  
OBERLIN FAIRVIEW INVESTORS LLC  
PIN: 1705-20-3062  
DB 12146, PG 1834  
USE: APARTMENTS

NIF  
OBERLIN FAIRVIEW INVESTORS LLC  
PIN: 1705-20-6070  
DB 12146, PG 1834  
USE: VACANT

NIF  
OBERLIN FAIRVIEW INVESTORS LLC  
PIN: 1704-29-6935  
DB 12146, PG 1834  
USE: VACANT

NIF  
WILLIAM & SUSANNE BARHAM  
PIN: 1704-29-7973  
DB 14177, PG 001  
USE: SINGLE FAMILY

NIF  
HAYNES & KATHERINE SHERRON  
PIN: 1704-29-7848  
DB 18337, PG 813  
USE: SINGLE FAMILY

NIF  
COLIN & EMILY PERRY  
PIN: 1704-29-7813  
DB 15821, PG 1507  
USE: SINGLE FAMILY

NIF  
CAROLYN ANNETTE MCLEAN  
PIN: 1704-29-6788  
DB 15219, PG 555  
USE: SINGLE FAMILY

NIF  
DIXON & BETH LEGRANDE  
PIN: 1704-29-6753  
DB 4873, PG 056  
USE: SINGLE FAMILY

NIF  
JAMES & SUSAN BROTHERS  
PIN: 1704-29-5152  
DB 4947, PG 055  
USE: SINGLE FAMILY

NIF  
NC SOCIETY OF THE CINCINNATI  
PIN: 1704-29-3547  
DB 12761, PG 236  
USE: RESIDENCE

NIF  
REBECCA FARMER  
PIN: 1704-29-4564  
DB 14-E, PG 3451  
USE: SINGLE FAMILY

NIF  
MARCUS BEST  
PIN: 1704-29-4563  
DB 15999, PG 2316  
USE: TWO FAMILY

NIF  
OBERLIN VILLAGE LLC  
PIN: 1704-29-1589  
DB 11086, PG 2124  
USE: COMMERCIAL

NIF  
OBERLIN VILLAGE LLC  
PIN: 1704-29-2546  
DB 11086, PG 2124  
USE: COMMERCIAL

NIF  
OBERLIN VILLAGE LLC  
PIN: 1704-29-3502  
BM 2007, PG 2118  
USE: COMMERCIAL

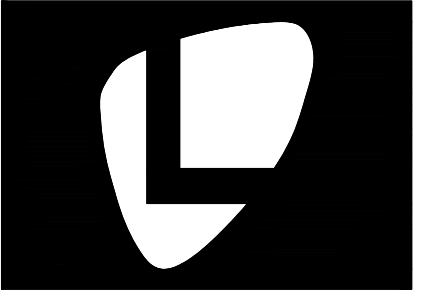
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AUTUMN HILL ASSOCIATES  
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USE: OFFICE

NIF  
FAIRVIEW ASSOCIATES  
PIN: 1704-19-8991  
DB 4084, PG 225  
USE: OFFICE

NIF  
NEAL & FRANCES HUNT  
PIN: 1704-19-8789  
DB 4350, PG 386  
USE: OFFICE

NIF  
CITY OF RALEIGH  
PIN: 1704-29-0571  
DB 847, PG 402  
USE: FIRE STATION

NIF  
CITY OF RALEIGH  
PIN: 1704-29-0571  
DB 847, PG 402  
USE: FIRE STATION



**LIGGETT  
DESIGN GROUP**

LANDSCAPE ARCHITECTURE  
SITE PLANNING & DESIGN

725A PRESHING ROAD, RALEIGH, NC 27608  
PHONE: 919.853.0303 FAX: 919.853.1116  
MAIL: LIGGETTDESIGNGROUP.COM

CONSULTANTS

JOHN A. EDWARDS & CO  
333 WALK AVE., RALEIGH, NC  
(919) 826-4425

SEALS/SIGNATURE

BY LANDSCAPE ARCHITECT

CLIENT

**BUDLEIGH EAST  
BEACON STREET LOT 11**  
BEACON STREET BUDLEIGH, LLC  
2550 OBERLIN ROAD - RALEIGH, NC

ISSUED FOR:  
**REVIEW**

ISSUED DATE:  
**6/7/2023**

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:

**PLANTING PLAN**

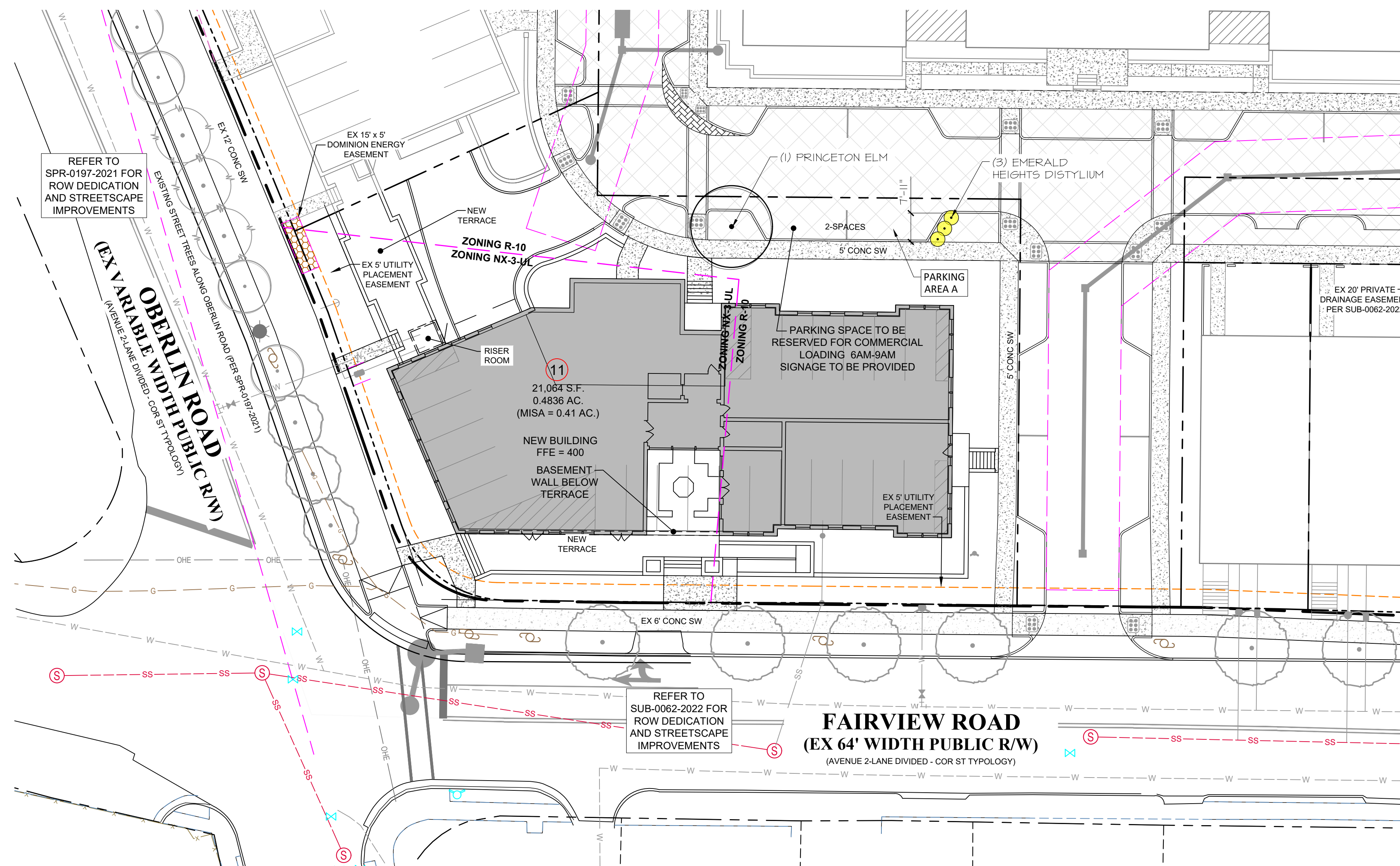
DRAWN BY: **AS/RW/WAB**

CHECKED BY: **FL**

SCALE: **1"=20'**

SHEET NUMBER:

**L-1**  
OF 2



**VEHICULAR PARKING LOT A PLANTING**

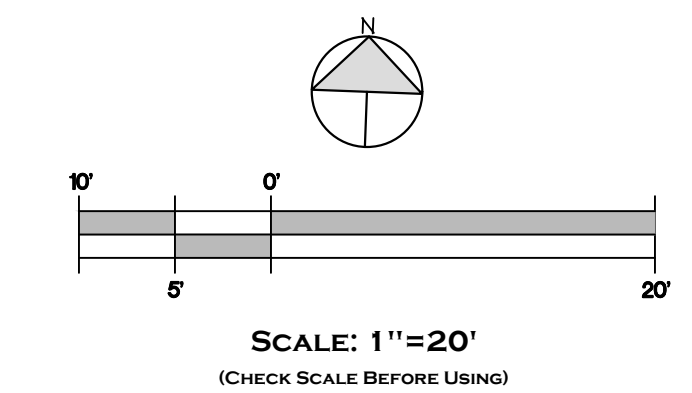
**TREES**  
 (1) SHADE TREE/10 SPACES  
 4 SPACES/10 = 0.4 TREES REQUIRED  
 1 SHADE TREE PROVIDED

**SHRUBS**  
 (30) SHRUB/100 LF  
 INSTALLED SIZE: 24" TALL  
 8 LF  
 8/100 = 0.8 x 30 = 2.4 SHRUBS REQUIRED  
 3 SHRUBS PROVIDED

**NOTE:**  
 1. STREET TREES SHALL BE  
 INSTALLED AND MAINTAINED  
 IN ACCORDANCE WITH THE  
 REQUIREMENTS OF CHAPTER  
 2 OF THE CITY TREE MANUAL.

**NOTE:**  
 SEE BUDLEIGH EAST SUBDIVISION PLANS  
 (SUB-0054-2020) FOR ALL STREETScape  
 IMPROVEMENTS, STREET TREE PLANTINGS AND  
 DETAILS.

QUAN	LOT 11 PLANT SCHEDULE		INSTALLATION SIZE	MATURE SIZE	NOTES
	BOTANICAL NAME	COMMON NAME			
<b>TREES AND LARGE EVERGREENS</b>					
1	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	3" CAL., 10' TALL, MIN.	80' TALL & 50' WIDE	VEHICULAR PARKING LOT TREE
<b>SHRUBS</b>					
3	DISTYLUM 'EMERALD HEIGHTS'	EMERALD HEIGHTS DISTYLUM	24" TALL, MIN.	5' TALL & 5' WIDE	FULL, MATCHING, VEHICULAR PARKING LOT SHRUBS



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

CITY OF RALEIGH DEVELOPMENT APPROVAL

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Know what's below.  
Call before you dig.

**PLANTING NOTES**

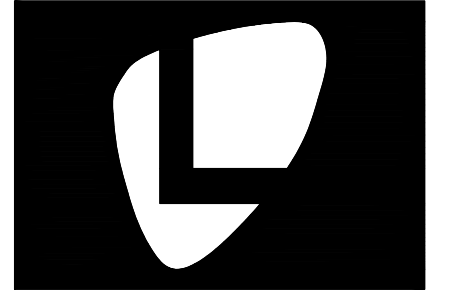
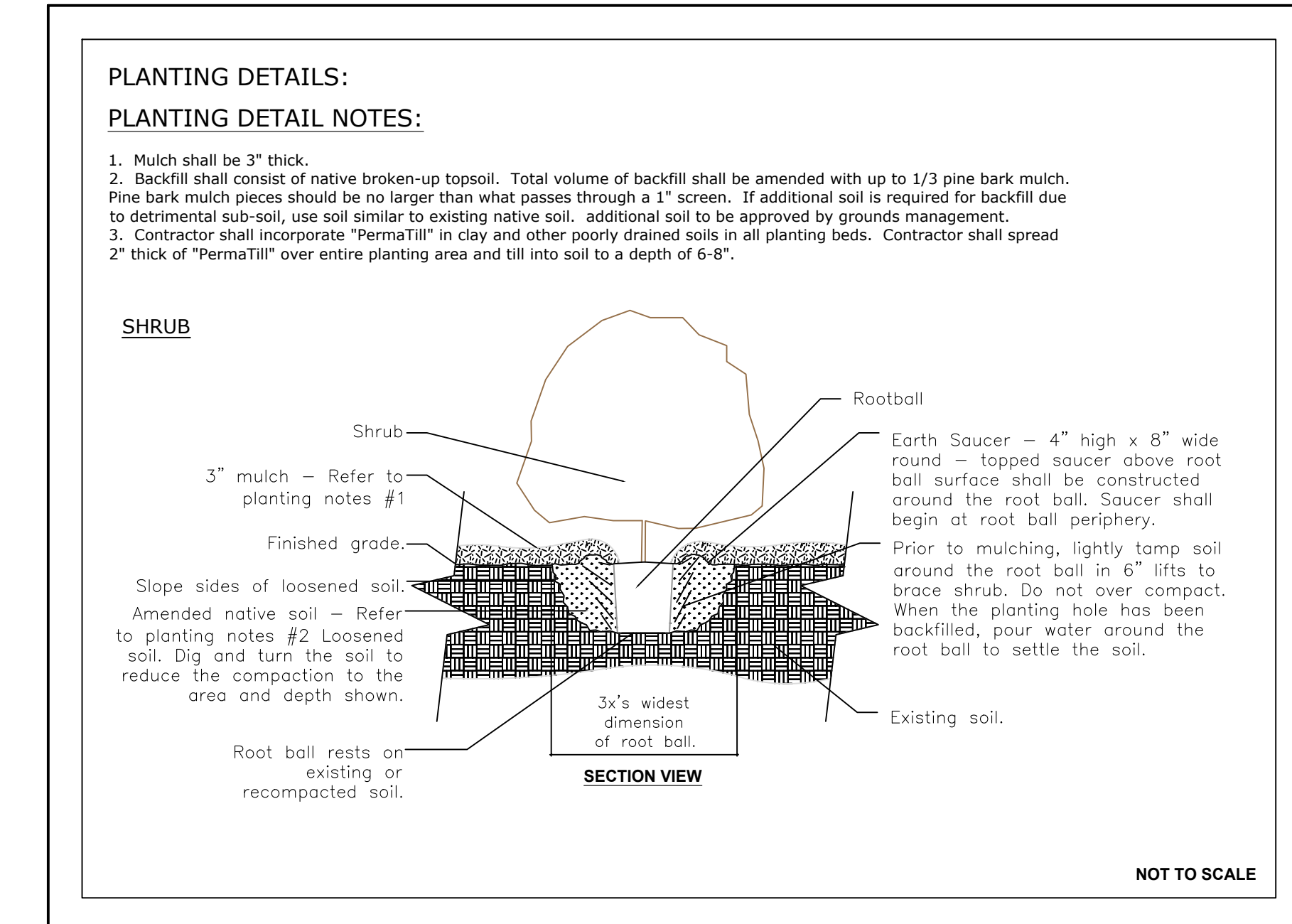
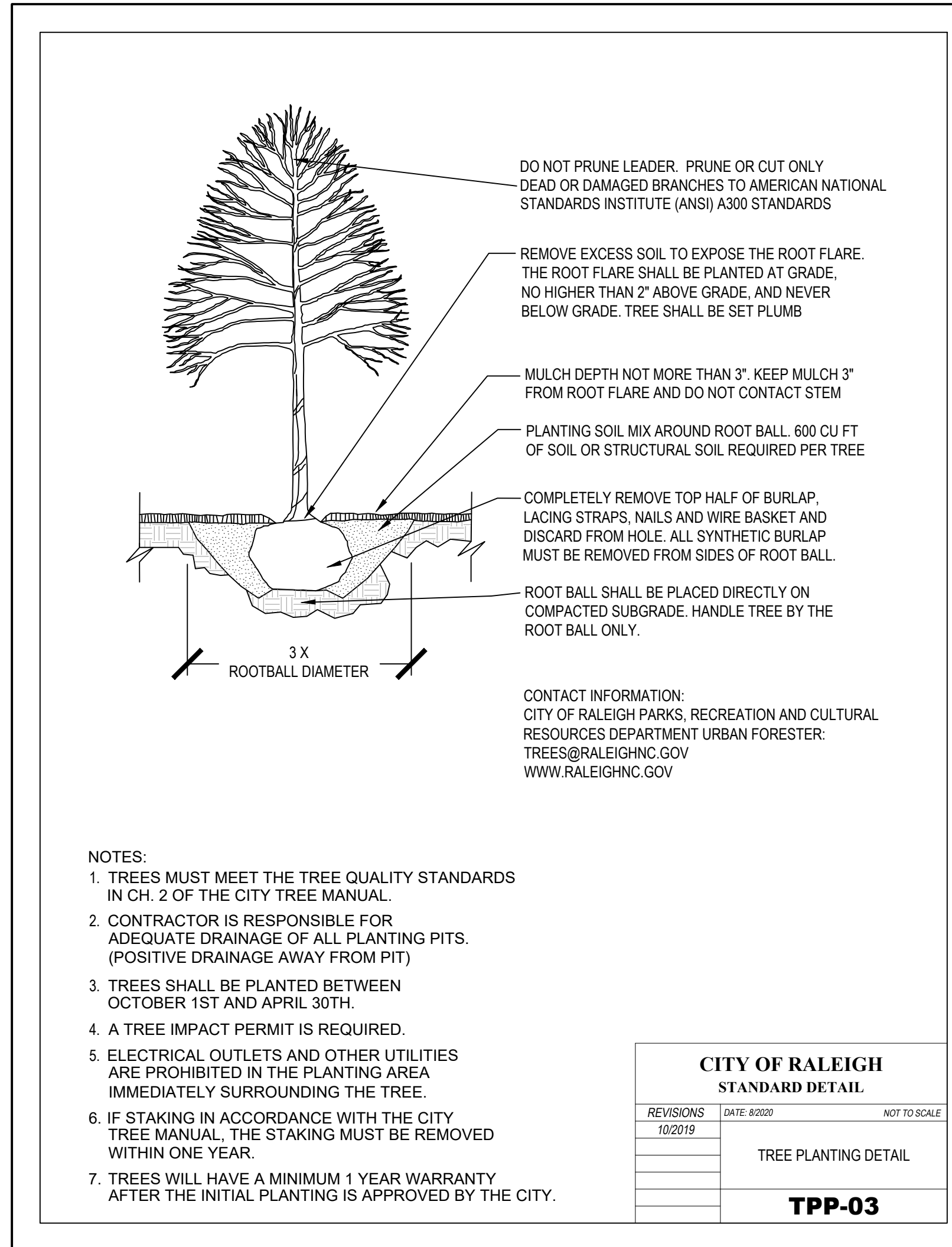
1. Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
2. Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
3. Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
4. All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
5. All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of +/- 1/2% to ensure smooth transitions between planting beds and lawn areas.
6. Mulch - install 3" of shredded pine bark mulch in plant beds around buildings, patio, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
7. All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
8. Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
9. Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
10. All trees located adjacent to walks and drives shall have 6' of clearance height to first branching.
11. All trees shall be placed a minimum of 3' from sidewalks, curbs and hardscape, and a minimum of 6' from fire hydrants and other utilities, unless otherwise noted on plans.
12. All plants shall be installed as per generally accepted planting standards.
13. All dead and/or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
14. All plants and stakes shall be set plumb unless otherwise specified.
15. Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
16. Landscape Architect shall select and layout all the perennial beds.
17. All planting bed edges to be smooth flowing arcs, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 3 to 4 inches deep, and "V" shaped. All excavated material shall be removed from the bed edge and planting bed.
18. If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
19. Any disturbed areas that are not planted or grassed as part of the landscape plan shall be restored to their previous existing condition (including raking uneven areas, seeding grassed areas and for natural areas spreading minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

**LANDSCAPE MAINTENANCE AGREEMENT**

- "The Owners of the Property and their Agents, Heirs or Assigns shall be responsible for the installation, preservation and maintenance of all plantings and physical features shown on this plan. The Owners shall be responsible for annual maintenance of the vegetation to include but not limited to:"
1. a. Fertilization: Zoysia lawns: Fertilize lawns twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Tifway 419 Bermuda lawns: fertilize lawns twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
  1. b. Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilizer shall be watered in.
  1. c. Fertilization: Shrubs, groundcover and seasonal plants not listed in a (2): Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be spread evenly under all plants (where applicable) and watered in. \*\*Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization 2x/year due to the planting "arrangement", however, over-fertilization shall not be acceptable.
  2. Pruning: Removal of dead or diseased wood, or removal of tree branches for sight distance/safety reasons, the Shigo standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges and sheared upright evergreen trees.
  3. Pest control: Pre-emergent weed control for lawns to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.
  4. Mulching: Mulching shall be maintained at a depth of 2 - 3" in plant beds and tree saucers. As a minimum, mulch shall be reapplied at least every year during the months of February and March.
  5. Mowing: Zoysia lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Tifway 419 Bermuda lawns shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
  6. Plant protection: Avoid excess intrusion into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
  7. Watering: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
  8. Warranty: Remove/replace all dead and/or diseased plant material at each maintenance visit.

**PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS**

1. Provide soil ph testing, adjust the ph range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and superphosphate uniformly at the rate specified per soil ph testing results.
2. Site to be fine graded before permanent planting and seeding or sodding is installed.
3. Soil shall be loosened to a depth of 4-6 inches by disking, raking, roto-tilling or other acceptable means. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Chisel compacted areas and spread topsoil 3 inches deep over adverse soil conditions.
4. Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate/till-in 50/50 soil amendment in all plant beds.
5. All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
6. Sod areas to be sodded with workable size rolls that are not broken or stretched. Sod shall be free of thatch. Sod shall be installed within 24 hours of arrival at the site.
7. Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sodded or seeded area moist.
8. Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be staked.
9. Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
10. Inspect all sodded areas and make necessary repairs or resod within the planting season, if possible. If grass stand should be over 60% damaged, Contractor shall consult with a conservation inspector on maintenance treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
11. Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
12. Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



**LIGGETT DESIGN GROUP**

LANDSCAPE ARCHITECTURE  
SITE PLANNING & DESIGN

725A PRESHING ROAD RALEIGH, NC 27608  
PHONE 919.825.0203 FAX 919.825.1116  
MAIL@LIGGETTDESIGNGROUP.COM

CONSULTANTS

JOHN A. EDWARDS & CO  
333 WALK AVE. RALEIGH, NC  
(919) 826-4425

SEALS/SIGNATURE

CLIENT

**BUDLEIGH EAST**  
**BEACON STREET LOT 11**  
BEACON STREET BUDLEIGH, LLC  
2550 OBERLIN ROAD - RALEIGH, NC

ISSUED FOR:  
**REVIEW**

ISSUED DATE:  
**6/7/2023**

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:

**PLANTING NOTES & DETAILS**

DRAWN BY: AS/RW/WAB

CHECKED BY: FL

SCALE: 1" = 10'

SHEET NUMBER:

**L-2**  
OF 2

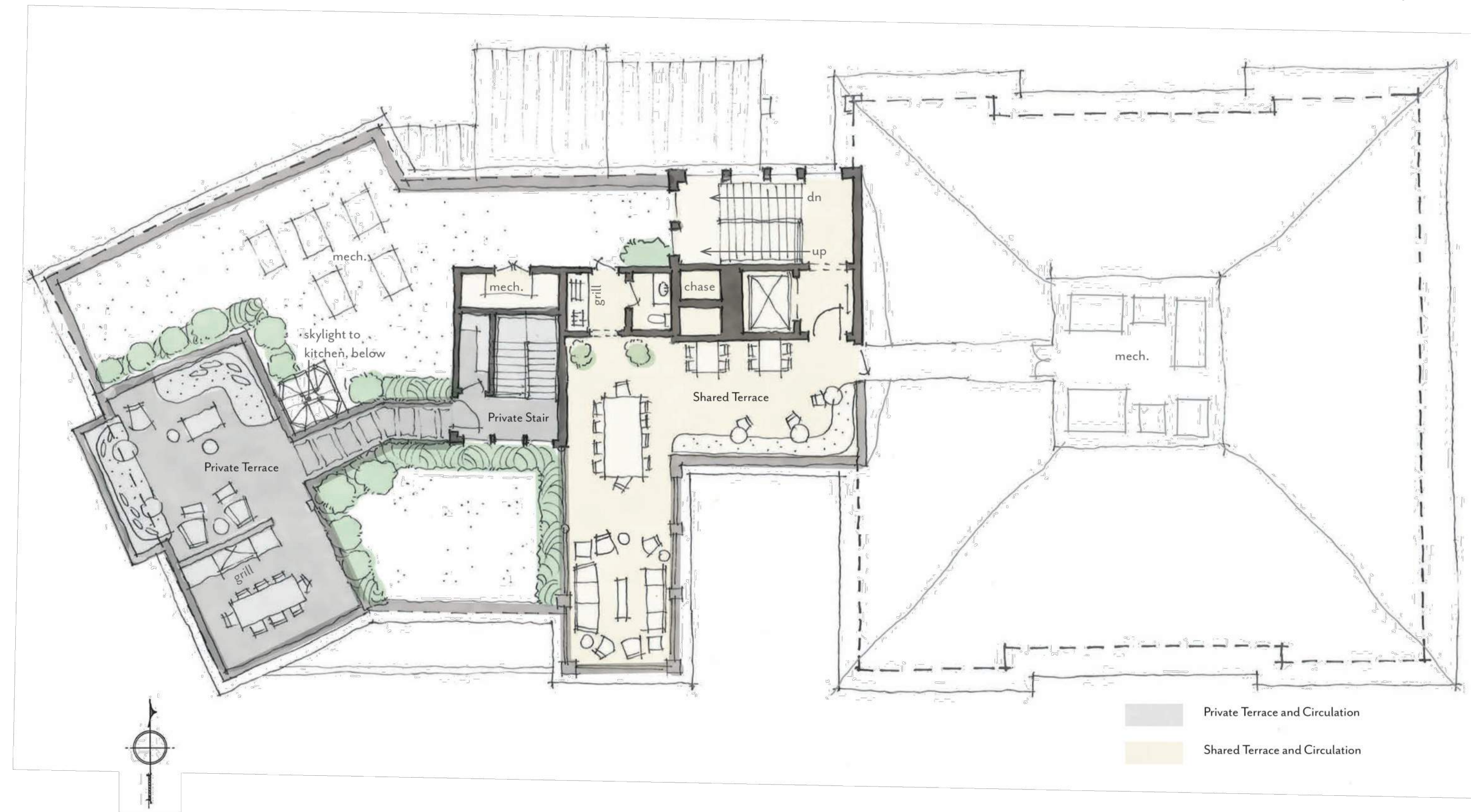
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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CITY OF RALEIGH DEVELOPMENT APPROVAL \_\_\_\_\_

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CONCEPT DESIGN  
05.24.2023 | page 7



4th FLOOR PLAN  
SCALE: 3/32" = 1'-0"

FAIRVIEW BUILDING - BUDLEIGH 

Seals

Project

LOT 11  
BUDLEIGH EAST

Client

BEACON STREET  
BUDLEIGH LLC

Drawing Title

ROOF DECK PLAN

Revisions

Number	Description	Date

Drawing Scale

Drawn By

Checked By

Date Issued

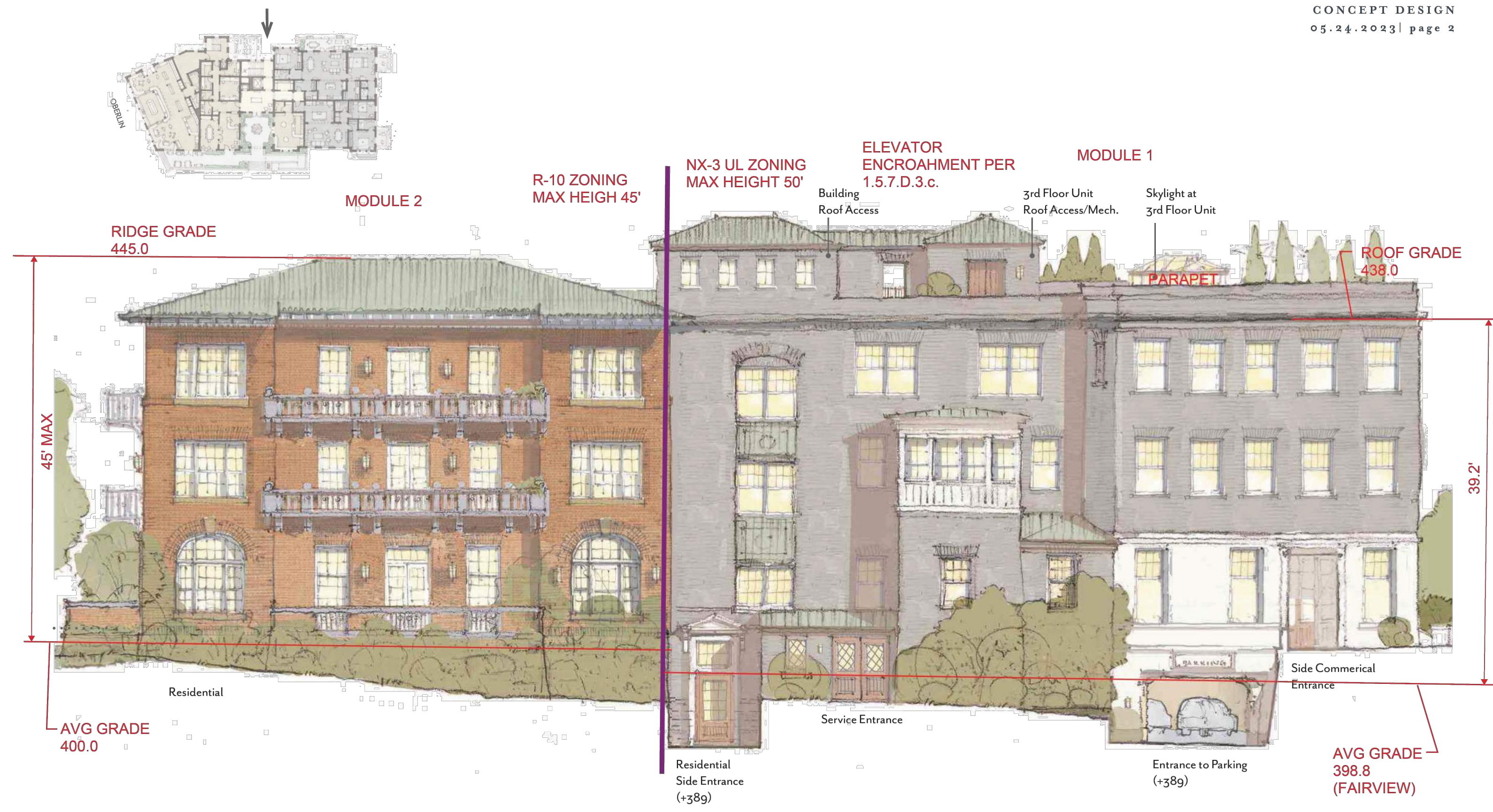
A-104

of



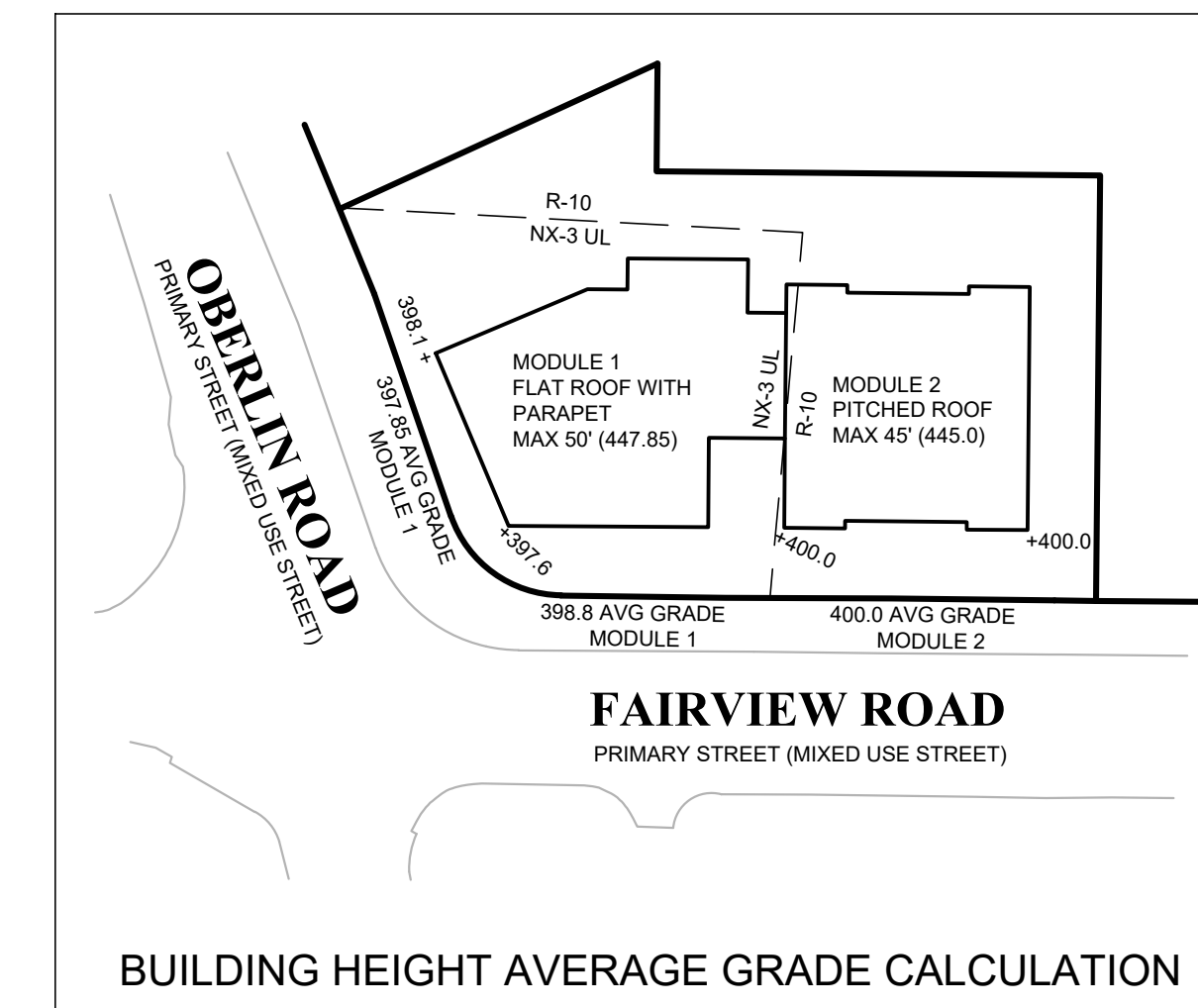
FAIRVIEW ROAD ELEVATION  
SCALE: 3/32" = 1'-0"

FAIRVIEW BUILDING - BUDLEIGH



REAR ELEVATION  
SCALE: 3/32" = 1'-0"

FAIRVIEW BUILDING - BUDLEIGH



Seals  
Project  
**LOT 11  
BUDLEIGH EAST**  
Client  
**BEACON STREET  
BUDLEIGH LLC**

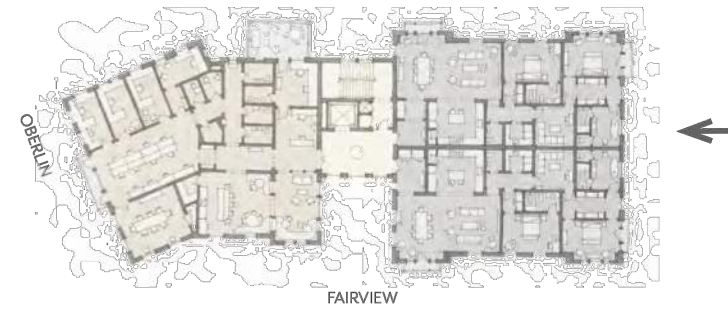
Drawing Title  
**EXTERIOR  
ELEVATIONS**

Revisions

Number	Description	Date

Drawing Scale  
Drawn By  
Checked By  
Date Issued

**A-201**  
of



MIXED USE BUILDING - RESIDENTIAL ELEVATION  
SCALE: 3/32" = 1'-0"

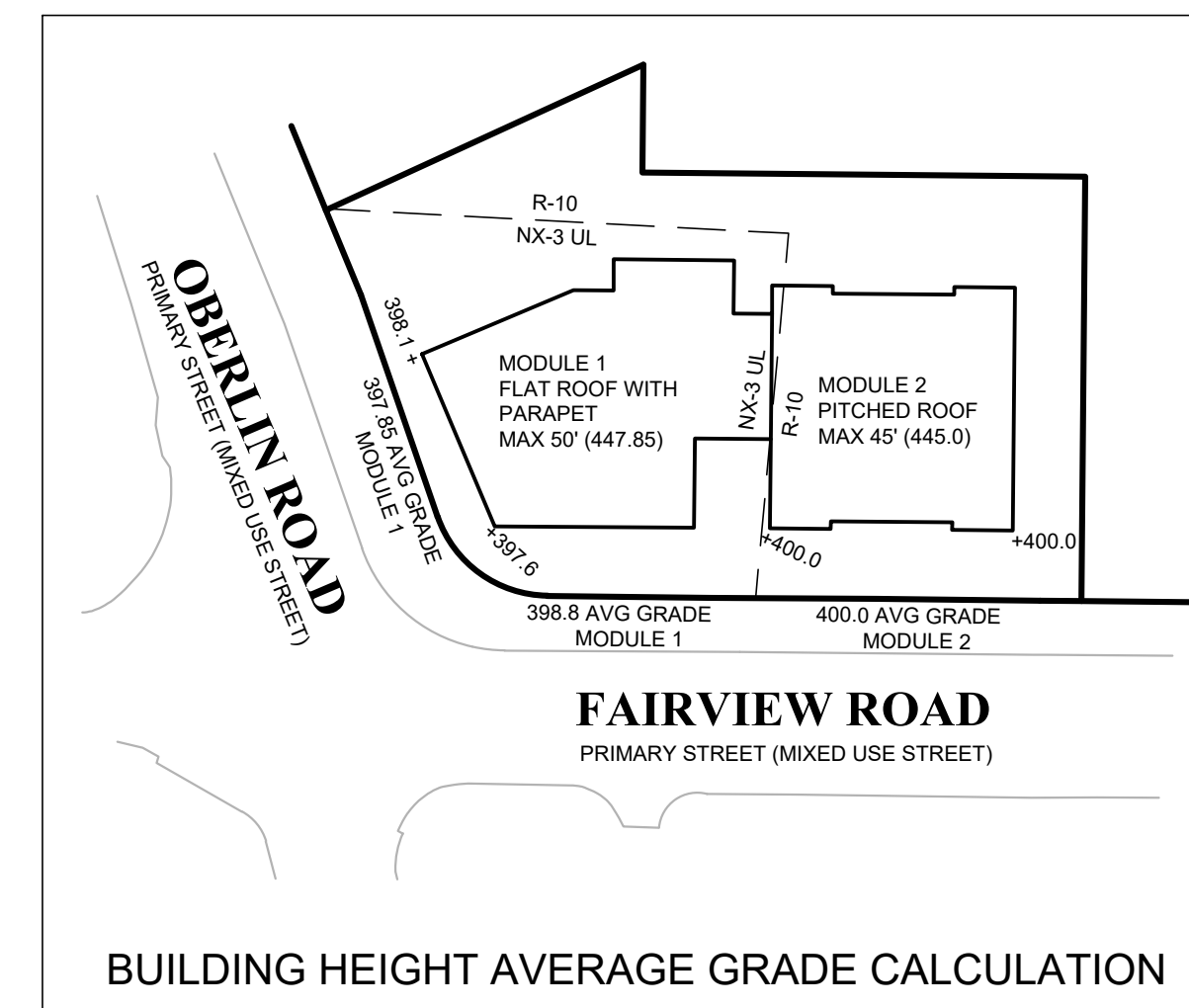
BUDLEIGH - MIXED USE AND OBERLIN BUILDINGS



MIXED USE BUILDING - OBERLIN ROAD ELEVATION  
SCALE: 3/32" = 1'-0"

AVG GRADE  
397.85  
(OBERLIN)

BUDLEIGH - MIXED USE AND OBERLIN BUILDINGS



Seals

Project

LOT 11  
BUDLEIGH EAST

Client

BEACON STREET  
BUDLEIGH LLC

Drawing Title

EXTERIOR  
ELEVATIONS

Revisions

Number	Description	Date

Drawing Scale

Drawn By

Checked By

Date Issued

A-202

of