



Administrative Approval Action

Case File / Name: ASR-0039-2023
DSLCL - Lot 11 Budleigh East

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located at 2500 Oberlin Rd specifically PIN 1704292734, on the northeast corner of Oberlin Road and Fairview Road. The site is split zoned having both NX-3-UL and R-10 zoning. The site is also identified as Lot 11 in the Budleigh east Subdivision, case SUB-0062-2022.

REQUEST: The request is to construct a three -story mixed use development consisting of 12 residential units with mixed use on the ground floor in a 26,300 square foot building. The project has also incorporated underground parking.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 4, 2024 by Scott Dixon.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Further review of the proposed streetscape plan following up on prior commenting of standing sidewalk connection practices.
2. Prior to Site Permit Review approval the site data table and application form shall reflect the maximum height limit of 3 stories.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

4. A tree impact permit must be obtained for the installation of tree protection fence around existing street trees to remain along Oberlin Road. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installations in the right-of-way. This development proposes 4 street trees along Fairview Road.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: September 3, 2027

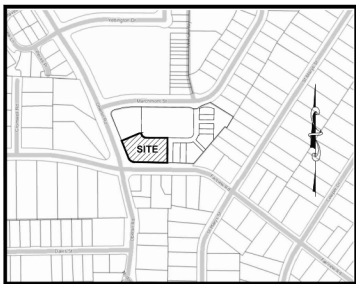
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan McDonald Date: 09/03/2024
Development Services Dir/Designee
Staff Coordinator: Jeff Caines Corrected 12/2/24



VICINITY MAP
(NOT TO SCALE)

DENSITY CALCULATION - LOT 11 FREQUENT TRANSIT OPTION

TOTAL ACREAGE: 21,064 S.F. (0.4836 AC.)

R-10 PORTION: 11,717 S.F. (0.269 AC.) BUILDING TYPE IN R-10 PORTION IS ALL APARTMENT (CONDO) THERE IS NO MIXED USE WITHIN THE R-10 AREA
MAXIMUM DENSITY ON R-10: 14.65 UNITS (10U / 800 SF)
PROPOSED DENSITY ON R-10: 10 UNITS (10U / 1,171 SF)

NX-3 UL PORTION: 9,347 S.F. (0.215 AC.) BUILDING TYPE MIXED USE WHICH INCLUDES OFFICE/RETAIL AND 2 APARTMENT UNITS (CONDO)
PROPOSED RETAIL/OFFICE: 9,120 SF
MAXIMUM RESIDENTIAL DENSITY ON NX-3 UL: N/A
PROPOSED RESIDENTIAL DENSITY ON NX-3 UL: 2 UNITS (10U / 4,673 SF)

TOTAL PROPOSED RESIDENTIAL UNITS FOR LOT 11: 12 UNITS
NO AFFORDABLE UNITS REQUIRED

VEHICLE PARKING SUMMARY

PROPOSED 8-2BR UNITS 2.25 SP PER UNIT MAX = 18 SPACES

PROPOSED 4-3BR UNITS 3 SP PER UNIT MAX = 12 SPACES

PROPOSED RETAIL/OFFICE MAX (1200SF) = 46 SPACES

MAXIMUM ALLOWED PARKING = 76 SPACES

TOTAL PARKING PROVIDED IN GARAGE..... 22 SPACES
(INCLUDES) 1 ADA SPACE (VAN)

SHARED PARKING PROVIDED FOR SUB-0062-2022..... 4 SPACES
PARKING IN PUBLIC ACCESS EASEMENT

BICYCLE PARKING SUMMARY

SHORT-TERM (MIN) 1 PER 20 UNITS MIN 4 = 4 SPACES (12 UNITS)

LONG-TERM (MIN) 1 PER 7 BR = 4 SPACES (28 BEDROOMS)

SHORT-TERM RETAIL 1 PER 5,000SF (MIN 4) = 4 SPACES

LONG-TERM RETAIL N/A

SHORT-TERM OFFICE 1 PER 10,000SF (MIN 4) = 4 SPACES

LONG-TERM OFFICE 1 PER 5,000SF (MIN 4) = 4 SPACES

TOTAL BICYCLE PARKING PROVIDED (ALL IN GARAGE)

SHORT-TERM - 12 SPACES

LONG-TERM - 8 SPACES

AMENITY AREA CALCULATION - LOT 11

GROSS AREA 21,064 S.F. (0.4836 AC.)

NET AREA 21,064 S.F. (0.4836 AC.)

REQUIRED AREA (10%) 2,106 S.F. (0.0483 AC.)

REQUIRED ADA ACCESSIBLE (50% OF REQ'D) 1,053 S.F. (0.0242 AC.)

PROVIDED AREA (10.8%) 2,266 S.F. (0.0516 AC.)

PROVIDED ADA ACCESSIBLE AREA 1,116 S.F. (0.0256 AC.)

SOLID WASTE SERVICES

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

PRIVATE SERVICE TO BE PROVIDED.

BUILD-TO-SUMMARY

NX-3 UL FRONTAGE REQUIRED 50% BUILD-TO ON PRIMARY STREET

LOT 11 HAS 2 PRIMARY STREETS

UL LOT FRONTAGE ON OBERLIN = 103.8'

REQUIRED BUILD TO (50%) = 51.9'

PROVIDED BUILD TO (50.1%) = 52.0'

UL LOT FRONTAGE ON FAIRVIEW = 74.2'

REQUIRED BUILD TO (50%) = 37.1'

PROVIDED BUILD TO (56.8%) = 51.8'

SEE DIAGRAM SHEET CE-3

PRIMARY STREET DESIGNATIONS

PER TC-6A-16 & SEC 1-5.4.C, THE PRIMARY STREETS SHALL BE:

OBERLIN ROAD

FAIRVIEW ROAD



September 12, 2022

Beacon Street
2607 Oberlin Rd
Raleigh, NC 27608
Attn: Justin Hime

This is a letter of support for trash and recycling services for your new project being planned for Budleigh located off St. Mary's, Oberlin and Fairview.

We have reviewed the plans and have found that GFL Environmental will be able to safely perform all commercial waste and recycling services for this property.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Current design plans include residential carts for the perimeter buildings and mini max containers for the center condo building. Valet service is anticipated by GFL. Frequency of service is to be determined.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and the trash enclosure will be large enough to accommodate the volume of trash that will be produced.

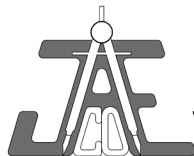
We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at jac@beacon-street.com.

Sincerely,

Justin Hime

Account Manager
GFL Environmental - Raleigh
(919) 427-2399



CIVIL ENGINEER:

JAECO

JOHN A. EDWARDS & COMPANY

Consulting Engineers

NC License F-0289

333 Wade Ave., Raleigh, NC 27605

Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com

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A202	EXTERIOR ELEVATIONS

Digitally signed by
jeff.caines@raleighnc.gov
DN:
C=us, E=jeff.caines@raleighnc.gov,
O=City of Raleigh, CN=Jeff Caines
Reason: I am approving this document
Date: 2024.09.04
08:28:38-0400

LOT 11 BUDLEIGH EAST

ADMINISTRATIVE SITE REVIEW - TIER 3

MIXED USE & APARTMENT BUILDINGS

FREQUENT TRANSIT DEVELOPMENT OPTION

ASR-0039-2023

SUB-0062-2022(REV)

RALEIGH, NORTH CAROLINA

JUNE 2024

OWNER/DEVELOPER:

BEACON STREET BUDLEIGH LLC

PO Box 6474

Raleigh, N.C. 27628

919-785-1445

sdixon@beacon-street.com

SITE DATA

OWNER: BEACON STREET BUDLEIGH LLC
PO BOX 6474
RALEIGH, NC 27628-6474

ADDRESS: 2550 OBERLIN RD
RALEIGH, NC 27608

PIN#: (PARENT PARCEL) 1704-29-3852

AREA: PROPOSED LOT 11 (SUB-0062-2022)
21,064 S.F. (0.4836 AC.)

ZONING: R-10 (PROPOSED APARTMENTS)
NX-3-UL (PROPOSED MIXED USE)

CURRENT USE: VACANT

REFERENCES: DB 19959, PG 2149
BM 2022, PG 386
WAKE COUNTY REGISTRY

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND / OR NC DOT STANDARDS AND
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD83



Administrative Site Review Application

Planning and Development Customer Service Center / One Exchange Place, Suite 100 Raleigh, NC 27601 / 919-996-2200

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier	Tier Two Site Plan	Tier Three Site Plan	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	<input checked="" type="checkbox"/> Mixed use	Subdivision case # SUB-0062-2022
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Single-family plan case # SCOPED-0099-2022	Scope/plan case # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	<input type="checkbox"/> Certificate of Appropriateness # _____	Board of Adjustment # _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Collage Court	<input type="checkbox"/> Zoning Case # _____	Design Alternative # _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option		
<input type="checkbox"/> Open lot			

GENERAL INFORMATION

Development name: LOT 11 BUDLEIGH EAST

Inside City limits? ☒ Yes ☐ No

Property address(es): 2550 OBERLIN ROAD

Site P.I.N.(s): 1704-29-3852

Please describe the scope of work, include any additions, expansions, and uses (UDO 6.1.4).

Mixed Use in the NX-3UL, portion and Apartment (condo) in the R-10 portion of site.

Current Property Owner(s): Beacon Street Budleigh LLC

Company: _____ Title: _____

Address: PO Box 6474, Raleigh, NC 27628

Phone # 919-785-1445 Email: sdixon@beacon-street.com

Applicant Name (if different from owner. See "who can apply" in instructions): _____

Relationship to owner: ☐ Lessee or contract purchaser ☐ Owner's authorized agent ☐ Easement holder

Company: _____ Address: _____

Page 1 of 3

REVISION 1-2023

raleighnc.gov

Phone #	Email
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact: Scott Dixon	
Company: Beacon Street Budleigh LLC	Title: Vice President
Address: PO Box 6474, Raleigh, NC 27628	
Phone # 919-785-1445	Email: sdixon@beacon-street.com
Applicant Name: Beacon Street Budleigh LLC	
Company: _____	Address: PO Box 6474, Raleigh, NC 27628
Phone # 919-785-1445	Email: sdixon@beacon-street.com

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): NX-3 UL (0.21 AC) and R-10 (0.27 AC)	Existing gross floor area (not to be demolished): 178
Gross site acreage: 0.4836	Existing gross floor area to be demolished: 0
If all parking spaces proposed 22-4 shared	New gross floor area: 26,300 sf
Max # parking permitted (7.12 C): 67	Total of gross (to remain and new): 26,300 sf
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 4 + roof top areas (UDO 1)
Proposed use (UDO 6.1.4): Condo and mixed use	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sq. 2232) Proposed total (sq. 17500)	Impervious Area for Compliance (includes ROW): Existing (sq. 2232) Proposed total (sq. 17500)

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 12	Total # of hotel bedrooms:
# of bed room units: 12	4br or more
# of lots: 1	Is your project a collage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

APPLICANT SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-43(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for development approval as is determined by the assessment.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-43(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information provided in the application is correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-43(b).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-750(1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature: <i>Scott Dixon</i>	Date: 11/18/24
Printed Name: Scott Dixon	



LOT 11
BUDLEIGH EAST

BEACON STREET
BUDLEIGH LLC

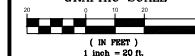
LEGEND

[illegible]

HANDCAP TOP		HANDCAP BOTTOM	
	CONCRETE		EX. POWER POLE
	EX. WATER VALVE		NEW WATER VALVE
	EX. FIRE HYDRANT		NEW WATER REDUCER
	EX. WATER METER		NEW FIRE HYDRANT
	EX. SEWER MANHOLE		NEW WATER METER
	EX. SEWER CLEANOUT		NEW SEWER MANHOLE
	EX. STORM CATCH BASIN		NEW SEWER CLEANOUT
	EX. STORM DROP INLET		NEW STORM CATCH BASIN
	EX. FLARED END SECTION		NEW STORM DROP INLET
			NEW FLARED END SECTION

EXCUTED FILE		
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		LOT LINE
		EASEMENT LINE
W		EXISTING WATER LINE
SS		EXISTING SANITARY SEWER
		EXISTING STORM DRAIN
W		NEW WATER LINE
SS		NEW SANITARY SEWER
		NEW STORM DRAINAGE
270		EXISTING CONTOUR LINE
270		NEW CONTOUR LINE
		BUILDING SETBACK LINE
		EX OVERHEAD ELECTRIC
		CENTERLINE ROAD

GRAPHIC SCALE



11

EXISTING
CONDITIONS PLAN

Revisions		
Number	Description	Date
1	11	

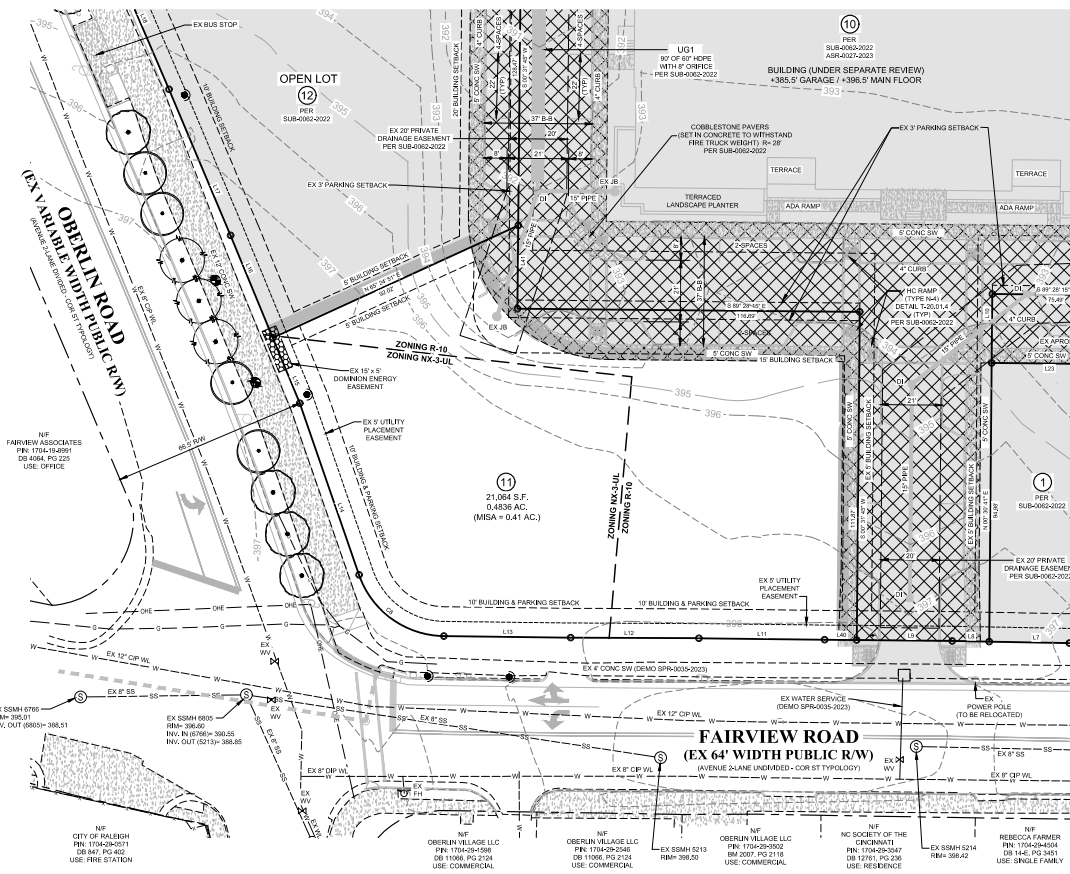
Drawing Scale: 1" = 2'

Drawn By: 05

Drawn By	BF
Checked By	BF

Checked By JAE

- CE-2



PROPOSED PROJECT LIMITS
(ACCESS DRIVE WITH SUB-0062-2022)

PER SUB-0062-2022

PROPOSED CONCRETE

EXISTING COBBLESTONE PAVERS

EXISTING CROSS ACCESS EASEMENT

ADA AMENITY AREA

PROPOSED AMENITY AREA

BOUNDARY LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	12.11'	S40°00'00"E
L2	6.60'	N84°11'23"E
L3	28.39'	N88°31'50"E
L4	2.40'	N88°28'40"E
L5	30.00'	N88°26'40"E
L6	7.88'	N88°26'40"E
L7	27.32'	N88°57'06"E
L8	12.64'	N88°57'06"E
L9	32.54'	N89°28'15"E
L10	23.50'	N00°31'45"E
L11	42.85'	N89°18'40"E
L12	43.71'	N89°44'41"E
L13	43.22'	N89°17'17"E
L14	61.87'	N19°02'22"E
L15	24.15'	N22°23'00"E
L16	37.74'	N22°23'00"E
L17	54.06'	N22°52'07"E

BOUNDARY LINE TABLE		
LINE #	LENGTH	DIRECTION
L18	48.76	N23° 17' 40"W
L19	23.96	N76° 13' 57"E
L20	21.07	S89° 33' 18"E
L21	10.08	N57° 08' 57"W
L22	16.05	S40° 00' 48"W
L23	35.00	S89° 28' 15"E
L24	30.00	S89° 28' 15"E
L25	10.49	S89° 28' 15"E
L26	66.30	S45° 14' 43"E
L27	24.80	N73° 51' 31"E
L28	17.08	S89° 28' 15"E
L29	31.08	S76° 14' 27"E
L30	95.90	N00° 30' 41"E
L31	95.37	N00° 30' 41"E
L32	4.06	S89° 28' 15"E
L33	5.50	N00° 31' 45"E
L34	25.00	N00° 31' 45"E

BOUNDARY LINE TABLE		
LINE #	LENGTH	DIRECTION
L35	26.00'	N00° 31' 45"E
L36	71.09'	S89° 28' 15"E
L37	26.00'	S00° 31' 45"W
L38	25.00'	S00° 31' 45"E
L39	21.20'	S89° 28' 15"E
L40	10.95'	N89° 28' 15"W
L41	26.39'	S00° 31' 45"W
L43	65.70'	N45° 14' 43"W
L44	71.09'	S89° 28' 15"E
L45	71.09'	S89° 28' 15"E
L46	26.00'	N00° 31' 45"E
L47	30.00'	S00° 31' 45"E
L48	30.00'	S00° 31' 45"E
L49	26.00'	S00° 31' 45"W
L50	71.09'	S89° 28' 15"E
L51	71.09'	S89° 28' 15"E

BOUNDARY CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C8	38.00	31.00	90°13'36"	S66° 10' 20" W
C9	27.78	16.00	98°31'33"	N26° 28' 00" E
C10	65.00	343.00	93°12'46"	N83° 20' 36" E
C11	6.16	11.00	93°2'11"	S73° 27' 19" E
C12	20.65	40.00	92°35'30"	S24° 52' 28" E
C13	32.88	40.00	94°06'53"	S77° 09' 36" E
C14	5.70	11.00	92°9'43"	S60° 47' 14" E
C15	46.26	190.00	94°45'22"	N66° 15' 37" E
C16	39.37	25.00	90°00'00"	N45° 31' 45" E
C18	23.79	45.00	93°06'06"	N75° 28' 41" E
C21	25.99	48.50	93°42'22"	N27° 53' 36" E

LOT AREA CHART		
LOT NUMBER	AREA (SF)	AREA (AC)
1	3,320	0.0764
2	2,869	0.0659
3	5,560	0.1266
4	4,424	0.1018
5	5,177	0.0989
6	1,848	0.0424
7	1,848	0.0424
8	2,446	0.0562
9	17,663	0.4055
LOTS 1 - 9 TOTAL	42,156	0.9678
10	10,349	0.2411
11	21,064	0.4837
12	17,237	0.3953
LOTS 1 - 12 TOTAL	125,805	2.8882

SITE DATA

OWNER: BEACON STREET BUDLEIGH LLC
PO BOX 6474
RALEIGH, NC 27628-6474

ADDRESS: 2550 OBERLIN ROAD

ADDRESS: 2500 GILBERT ROAD
RALEIGH, NC 27608

PIN: 1704-29-3852

AREA: 126.592 S.E. (2.9061 AC.)

FORMED 7-22-80 FILED

ZONING: R-10 & NX-3-UL

CURRENT LAND USE: VACANT

REFERENCE: DB 18959, PG 2149

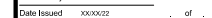
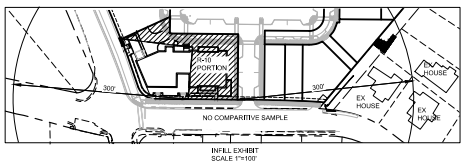
BM 2022, PG 386
WAKE COUNTY RE

NO. 202 7/21 PRELIMINARY TRANSDUCER ELEMENT POSITION IN R-0		
BUILDING TYPES	REQUIRE (CALCULATED)	PROPOSED
A-1-BUILDING TYPES		
A1-APPROXIMATE BUILDING TYPES	APPROXIMATE	APPROXIMATE
A2-LOTION NUMBER		
B1-WALKWAY (m)	2500 SF	11,171 SF
B2-LOT WIDTH (m)	45'	54'
B3-DEPTH (m)	60'	11'
B4-DEPTH (m)	N/A	N/A
B5-OUTCROPPED AREA	10%	12%
C-LOT AREA PER UNIT		
C1-MAXIMUM UNIT VALUE (m)	600 SF	1,171 SF
D-PRINCIPAL BUILDING TYPES		
D1-PRIMARY STREET (m)	10	10.8
D2-SIDE STREET (m)	10	N/A
D3-SECTOR LINE (m)	5	5.8
D4-SECTOR LINE (m)	15	28.0
D5-ALLEY	4'0"0"	
D6-NO. OF LOTS APPLIED	YES	SEEN/NOT NOTE
E-HEIGHT		
E1-APPROXIMATE	45' STORES	45' STORES
F-FLOORING TYPE		
F1-FLOOR TYPE (m)	10	N/A
F2-SIDE STREET (m)	10	N/A
F3-SECTOR LINE (m)	0	0
F4-SECTOR LINE (m)	3	3
F5-REAR LOT LINE (m)	4'0"0"	N/A
F6-ALLEY (m)	N/A	N/A
F7-ENTRANCE	N/A	N/A

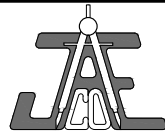
UDO SEC 6.7: FREQUENT TRANSIT DEVELOPMENT OPTION IN NX-3

** ADDITIONAL STORY ALLOWED BY SEC 15.7 A.3.

C21	25.99	48.50	030°42'23"	25.68	N27°53'36"E
-----	-------	-------	------------	-------	-------------



Date Issued XX/XX/22 of .



JAECO
Consulting Engineers
and Land Surveyors

NC License F-2289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

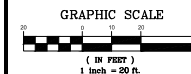


LOT 11 BUDLEIGH EAST

BEACON STREET BUDLEIGH LLC

LEGEND	
ACL	ADULTAGE
BL	BLACK TOP
BO	BOULEVARD
BR	BROWN
CB	CLAY
CD	CLAY DRIFT
CE	CLAY EARTH
CH	CHALK
CI	CLAY INTERLUM
CL	CLAY LIME
CM	CLAY MORTAR
CO	COARSE GRAVEL
CS	CLAY SAND
CT	CLAY TILL
CU	CLAY UNCLAYED
CV	CLAY VENEER
DC	DECK
DE	DECK EARTH
DI	DECK INTERLUM
DL	DECK LIME
DM	DECK MORTAR
DO	DECK OIL
DS	DECK SAND
DT	DECK TILL
DU	DECK UNCLAYED
DV	DECK VENEER
EA	EARTH
EB	EARTH BROWN
EC	EARTH CLAY
ED	EARTH DRIFT
EE	EARTH EARTH
EF	EARTH FINE
EG	EARTH GRAVEL
EH	EARTH HILL
EI	EARTH INTERLUM
EJ	EARTH JAIL
EK	EARTH KILL
EL	EARTH LIME
EM	EARTH MORTAR
EN	EARTH NAIL
EO	EARTH OIL
ES	EARTH SAND
ET	EARTH TILL
EU	EARTH UNCLAYED
EV	EARTH VENEER
EX	EXPOSED
FA	FAIRWAY
FB	FAIRWAY BROWN
FC	FAIRWAY CLAY
FD	FAIRWAY DRIFT
FE	FAIRWAY EARTH
FF	FAIRWAY FINE
FG	FAIRWAY GRAVEL
FH	FAIRWAY HILL
FI	FAIRWAY INTERLUM
FJ	FAIRWAY JAIL
FK	FAIRWAY KILL
FL	FAIRWAY LIME
FM	FAIRWAY MORTAR
FN	FAIRWAY NAIL
FO	FAIRWAY OIL
FS	FAIRWAY SAND
FT	FAIRWAY TILL
FU	FAIRWAY UNCLAYED
FV	FAIRWAY VENEER
GA	GRAVEL
GB	GRAVEL BROWN
GC	GRAVEL CLAY
GD	GRAVEL DRIFT
GE	GRAVEL EARTH
GF	GRAVEL FINE
GG	GRAVEL GRAVEL
GH	GRAVEL HILL
GI	GRAVEL INTERLUM
GJ	GRAVEL JAIL
GK	GRAVEL KILL
GL	GRAVEL LIME
GM	GRAVEL MORTAR
GN	GRAVEL NAIL
GO	GRAVEL OIL
GS	GRAVEL SAND
GT	GRAVEL TILL
GU	GRAVEL UNCLAYED
GV	GRAVEL VENEER
HA	HILL
HB	HILL BROWN
HC	HILL CLAY
HD	HILL DRIFT
HE	HILL EARTH
HF	HILL FINE
HG	HILL GRAVEL
HH	HILL HILL
HI	HILL INTERLUM
HJ	HILL JAIL
HK	HILL KILL
HL	HILL LIME
HM	HILL MORTAR
HN	HILL NAIL
HO	HILL OIL
HS	HILL SAND
HT	HILL TILL
HU	HILL UNCLAYED
HV	HILL VENEER
IA	INTERLUM
IB	INTERLUM BROWN
IC	INTERLUM CLAY
ID	INTERLUM DRIFT
IE	INTERLUM EARTH
IF	INTERLUM FINE
IG	INTERLUM GRAVEL
IH	INTERLUM HILL
II	INTERLUM INTERLUM
IJ	INTERLUM JAIL
IK	INTERLUM KILL
IL	INTERLUM LIME
IM	INTERLUM MORTAR
IN	INTERLUM NAIL
IO	INTERLUM OIL
IS	INTERLUM SAND
IT	INTERLUM TILL
IU	INTERLUM UNCLAYED
IV	INTERLUM VENEER
JA	JAIL
JB	JAIL BROWN
JC	JAIL CLAY
JD	JAIL DRIFT
JE	JAIL EARTH
JF	JAIL FINE
JG	JAIL GRAVEL
JH	JAIL HILL
JI	JAIL INTERLUM
JJ	JAIL JAIL
JK	JAIL KILL
JL	JAIL LIME
JM	JAIL MORTAR
JN	JAIL NAIL
JO	JAIL OIL
JS	JAIL SAND
JT	JAIL TILL
JU	JAIL UNCLAYED
JV	JAIL VENEER
KA	KILL
KB	KILL BROWN
KC	KILL CLAY
KD	KILL DRIFT
KE	KILL EARTH
KF	KILL FINE
KG	KILL GRAVEL
KH	KILL HILL
KI	KILL INTERLUM
KJ	KILL JAIL
KK	KILL KILL
KL	KILL LIME
KM	KILL MORTAR
KN	KILL NAIL
KO	KILL OIL
KS	KILL SAND
KT	KILL TILL
KU	KILL UNCLAYED
KV	KILL VENEER
LA	LIME
LB	LIME BROWN
LC	LIME CLAY
LD	LIME DRIFT
LE	LIME EARTH
LF	LIME FINE
LG	LIME GRAVEL
LH	LIME HILL
LI	LIME INTERLUM
LJ	LIME JAIL
LK	LIME KILL
LL	LIME LIME
LM	LIME MORTAR
LN	LIME NAIL
LO	LIME OIL
LS	LIME SAND
LT	LIME TILL
LU	LIME UNCLAYED
LV	LIME VENEER
MA	MORTAR
MB	MORTAR BROWN
MC	MORTAR CLAY
MD	MORTAR DRIFT
ME	MORTAR EARTH
MF	MORTAR FINE
MG	MORTAR GRAVEL
MH	MORTAR HILL
MI	MORTAR INTERLUM
MJ	MORTAR JAIL
MK	MORTAR KILL
ML	MORTAR LIME
MM	MORTAR MORTAR
MN	MORTAR NAIL
MO	MORTAR OIL
MS	MORTAR SAND
MT	MORTAR TILL
MU	MORTAR UNCLAYED
MV	MORTAR VENEER
NA	NAIL
NB	NAIL BROWN
NC	NAIL CLAY
ND	NAIL DRIFT
NE	NAIL EARTH
NF	NAIL FINE
NG	NAIL GRAVEL
NH	NAIL HILL
NI	NAIL INTERLUM
NJ	NAIL JAIL
NK	NAIL KILL
NL	NAIL LIME
NM	NAIL MORTAR
NN	NAIL NAIL
NO	NAIL OIL
NS	NAIL SAND
NT	NAIL TILL
NU	NAIL UNCLAYED
NV	NAIL VENEER
OA	OIL
OB	OIL BROWN
OC	OIL CLAY
OD	OIL DRIFT
OE	OIL EARTH
OF	OIL FINE
OG	OIL GRAVEL
OH	OIL HILL
OI	OIL INTERLUM
OJ	OIL JAIL
OK	OIL KILL
OL	OIL LIME
OM	OIL MORTAR
ON	OIL NAIL
OO	OIL OIL
OS	OIL SAND
OT	OIL TILL
OU	OIL UNCLAYED
OV	OIL VENEER
PA	PAYMENT
PB	PAYMENT BROWN
PC	PAYMENT CLAY
PD	PAYMENT DRIFT
PE	PAYMENT EARTH
PF	PAYMENT FINE
PG	PAYMENT GRAVEL
PH	PAYMENT HILL
PI	PAYMENT INTERLUM
PJ	PAYMENT JAIL
PK	PAYMENT KILL
PL	PAYMENT LIME
PM	PAYMENT MORTAR
PN	PAYMENT NAIL
PO	PAYMENT OIL
PS	PAYMENT SAND
PT	PAYMENT TILL
PU	PAYMENT UNCLAYED
PV	PAYMENT VENEER
QA	QUARTZ
QB	QUARTZ BROWN
QC	QUARTZ CLAY
QD	QUARTZ DRIFT
QE	QUARTZ EARTH
QF	QUARTZ FINE
QG	QUARTZ GRAVEL
QH	QUARTZ HILL
QI	QUARTZ INTERLUM
QJ	QUARTZ JAIL
QK	QUARTZ KILL
QL	QUARTZ LIME
QM	QUARTZ MORTAR
QN	QUARTZ NAIL
QO	QUARTZ OIL
QS	QUARTZ SAND
QT	QUARTZ TILL
QU	QUARTZ UNCLAYED
QV	QUARTZ VENEER
RA	REPAIR
RB	REPAIR BROWN
RC	REPAIR CLAY
RD	REPAIR DRIFT
RE	REPAIR EARTH
RF	REPAIR FINE
RG	REPAIR GRAVEL
RH	REPAIR HILL
RI	REPAIR INTERLUM
RJ	REPAIR JAIL
RK	REPAIR KILL
RL	REPAIR LIME
RM	REPAIR MORTAR
RN	REPAIR NAIL
RO	REPAIR OIL
RS	REPAIR SAND
RT	REPAIR TILL
RU	REPAIR UNCLAYED
RV	REPAIR VENEER
SA	SAND
SB	SAND BROWN
SC	SAND CLAY
SD	SAND DRIFT
SE	SAND EARTH
SF	SAND FINE
SG	SAND GRAVEL
SH	SAND HILL
SI	SAND INTERLUM
SJ	SAND JAIL
SK	SAND KILL
SL	SAND LIME
SM	SAND MORTAR
SN	SAND NAIL
SO	SAND OIL
SS	SAND SAND
ST	SAND TILL
SU	SAND UNCLAYED
SV	SAND VENEER
TA	TERRACE
TB	TERRACE BROWN
TC	TERRACE CLAY
TD	TERRACE DRIFT
TE	TERRACE EARTH
TF	TERRACE FINE
TG	TERRACE GRAVEL
TH	TERRACE HILL
TI	TERRACE INTERLUM
TJ	TERRACE JAIL
TK	TERRACE KILL
TL	TERRACE LIME
TM	TERRACE MORTAR
TN	TERRACE NAIL
TO	TERRACE OIL
TS	TERRACE SAND
TT	TERRACE TILL
TU	TERRACE UNCLAYED
TV	TERRACE VENEER
UA	UNDERLAY
UB	UNDERLAY BROWN
UC	UNDERLAY CLAY
UD	UNDERLAY DRIFT
UE	UNDERLAY EARTH
UF	UNDERLAY FINE
UG	UNDERLAY GRAVEL
UH	UNDERLAY HILL
UI	UNDERLAY INTERLUM
UJ	UNDERLAY JAIL
UK	UNDERLAY KILL
UL	UNDERLAY LIME
UM	UNDERLAY MORTAR
UN	UNDERLAY NAIL
UO	UNDERLAY OIL
US	UNDERLAY SAND
UT	UNDERLAY TILL
UU	UNDERLAY UNCLAYED
UV	UNDERLAY VENEER
VA	VALLEY
VB	VALLEY BROWN
VC	VALLEY CLAY
VD	VALLEY DRIFT
VE	VALLEY EARTH
VF	VALLEY FINE
VG	VALLEY GRAVEL
VH	VALLEY HILL
VI	VALLEY INTERLUM
VJ	VALLEY JAIL
VK	VALLEY KILL
VL	VALLEY LIME
VM	VALLEY MORTAR
VN	VALLEY NAIL
VO	VALLEY OIL
VS	VALLEY SAND
VT	VALLEY TILL
VU	VALLEY UNCLAYED
VV	VALLEY VENEER
WA	WATER
WB	WATER BROWN
WC	WATER CLAY
WD	WATER DRIFT
WE	WATER EARTH
WF	WATER FINE
WG	WATER GRAVEL
WH	WATER HILL
WI	WATER INTERLUM
WJ	WATER JAIL
WK	WATER KILL
WL	WATER LIME
WM	WATER MORTAR
WN	WATER NAIL
WO	WATER OIL
WS	WATER SAND
WT	WATER TILL
WU	WATER UNCLAYED
WV	WATER VENEER
XA	X-AXIS
XB	X-AXIS BROWN
XC	X-AXIS CLAY
XD	X-AXIS DRIFT
XE	X-AXIS EARTH
XF	X-AXIS FINE
YG	Y-AXIS
YH	Y-AXIS BROWN
YI	Y-AXIS CLAY
YJ	Y-AXIS DRIFT
YK	Y-AXIS EARTH
YL	Y-AXIS FINE
ZA	Z-AXIS
ZB	Z-AXIS BROWN
ZC	Z-AXIS CLAY
ZD	Z-AXIS DRIFT
ZE	Z-AXIS EARTH
ZF	Z-AXIS FINE

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW WATER REDUCER
EX. WATER METER	NEW TIME METER
EX. SEWER MANHOLE	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW SEWER CLEANOUT
EX. STORM DRAIN	NEW STORM CATCH BASIN
EX. FLARED END SECTION	NEW STORM DRAIN
EX. LIGHT POLE	NEW FLARED END SECTION
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW FIRE HYDRANT
EX. WATER METER	NEW WATER METER
EX. SEWER MANHOLE	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW STORM CATCH BASIN
EX. STORM DRAIN	NEW STORM DRAIN
EX. FLARED END SECTION	NEW FLARED END SECTION
EX. LIGHT POLE	NEW LIGHT POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW FIRE HYDRANT
EX. WATER METER	NEW WATER METER
EX. SEWER MANHOLE	NEW SEWER MANHOLE
EX. STORM CATCH BASIN	NEW STORM CATCH BASIN
EX. STORM DRAIN	NEW STORM DRAIN
EX. FLARED END SECTION	NEW FLARED END SECTION
EX. LIGHT POLE	NEW LIGHT POLE

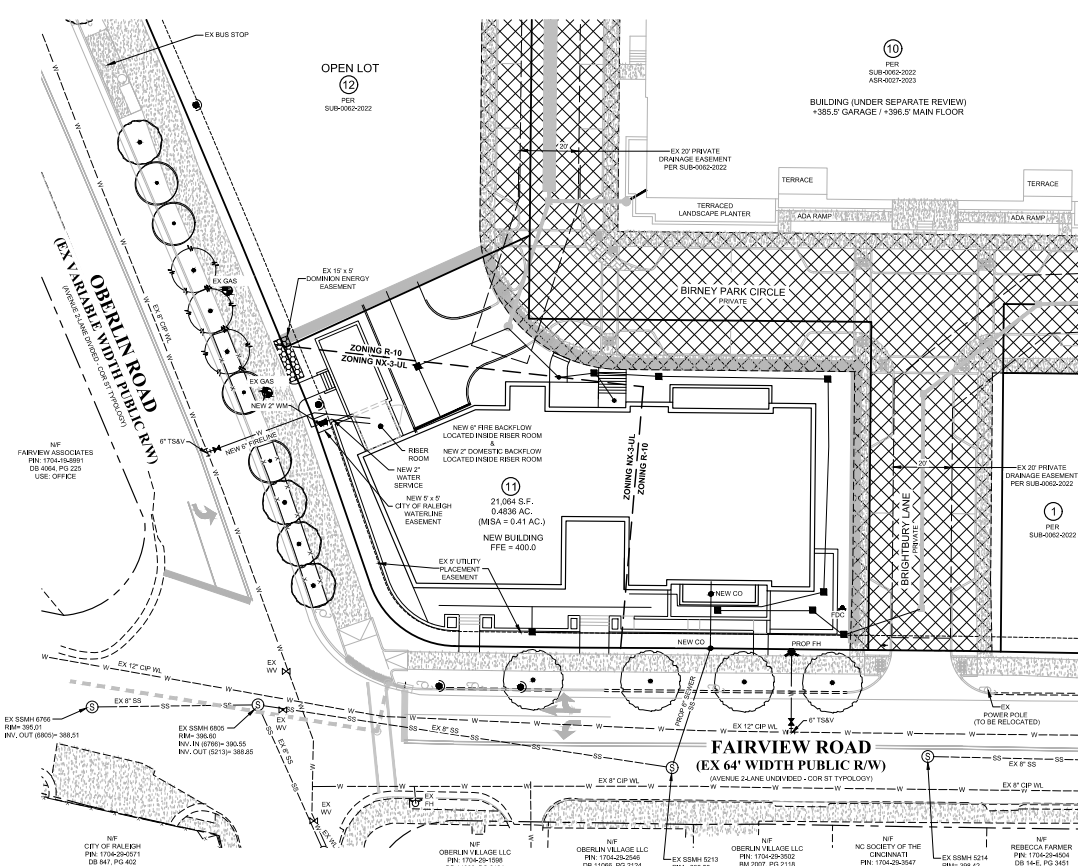


UTILITY PLAN

Revisions	Number	Description	Date
	1	Initial	
	2	Revised	
	3	Revised	
	4	Revised	
	5	Revised	
	6	Revised	
	7	Revised	
	8	Revised	
	9	Revised	
	10	Revised	

Drawing Scale: 1" = 20'
Drawn By: JAE, JR.
Checked By: JAE, JR.
Date Issued: 10/00/02

CE-5



- PROPOSED PROJECT LIMITS (ACCESS DRIVE WITH SUB-0062-2022)
- PROPOSED CONCRETE
- EXISTING COBBLESTONE PAVES SPR-0035-2023 (UNDER CONSTRUCTION)
- EXISTING CROSS ACCESS EASEMENT
- ADA AMENITY AREA
- PROPOSED AMENITY AREA



Project

LOT 11
BUDLEIGH EAST

BEACON STREET
BUDLEIGH LLC

LEGEND

AC	ACREAGE	AVC	HEADWALL
BC	BOOK OF HAPS	BWS	BOOKING SET
BO	BOOK OF HAPS	JB	JUNCTION BOX
BS	BOOK OF WALL	CB	CATCH BASIN
CA	CATCH BASIN	WAL	WALL
CC	CATCH BASIN	WAL	WALL
CD	CATCH BASIN	WAL	WALL
CE	CATCH BASIN	WAL	WALL
CF	CATCH BASIN	WAL	WALL
CG	CATCH BASIN	WAL	WALL
CH	CATCH BASIN	WAL	WALL
CI	CATCH BASIN	WAL	WALL
CJ	CATCH BASIN	WAL	WALL
CK	CATCH BASIN	WAL	WALL
CL	CATCH BASIN	WAL	WALL
CM	CATCH BASIN	WAL	WALL
CN	CATCH BASIN	WAL	WALL
CO	CATCH BASIN	WAL	WALL
CP	CATCH BASIN	WAL	WALL
CQ	CATCH BASIN	WAL	WALL
CR	CATCH BASIN	WAL	WALL
CS	CATCH BASIN	WAL	WALL
CT	CATCH BASIN	WAL	WALL
CU	CATCH BASIN	WAL	WALL
CV	CATCH BASIN	WAL	WALL
CW	CATCH BASIN	WAL	WALL
CX	CATCH BASIN	WAL	WALL
CY	CATCH BASIN	WAL	WALL
CZ	CATCH BASIN	WAL	WALL
DA	CATCH BASIN	WAL	WALL
DB	CATCH BASIN	WAL	WALL
DC	CATCH BASIN	WAL	WALL
DD	CATCH BASIN	WAL	WALL
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DR	CATCH BASIN	WAL	WALL
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EK	CATCH BASIN	WAL	WALL
EL	CATCH BASIN	WAL	WALL
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EN	CATCH BASIN	WAL	WALL
EO	CATCH BASIN	WAL	WALL
EP	CATCH BASIN	WAL	WALL
EQ	CATCH BASIN	WAL	WALL
ER	CATCH BASIN	WAL	WALL
ES	CATCH BASIN	WAL	WALL
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FA	CATCH BASIN	WAL	WALL
FB	CATCH BASIN	WAL	WALL
FC	CATCH BASIN	WAL	WALL
FD	CATCH BASIN	WAL	WALL
FE	CATCH BASIN	WAL	WALL
FF	CATCH BASIN	WAL	WALL
FG	CATCH BASIN	WAL	WALL
FH	CATCH BASIN	WAL	WALL
FI	CATCH BASIN	WAL	WALL
FJ	CATCH BASIN	WAL	WALL
FK	CATCH BASIN	WAL	WALL
FL	CATCH BASIN	WAL	WALL
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FR	CATCH BASIN	WAL	WALL
FS	CATCH BASIN	WAL	WALL
FT	CATCH BASIN	WAL	WALL
FU	CATCH BASIN	WAL	WALL
FV	CATCH BASIN	WAL	WALL
FW	CATCH BASIN	WAL	WALL
FX	CATCH BASIN	WAL	

HANDCAP TOP	
	CONCRETE
	EX. WATER VALVE
	EX. FIRE HYDRANT
	EX. WATER METER
	EX. SEWER MANHOLE
	EX. SEWER CLEANOUT
	EX. STORM CATCH BASIN
	EX. STORM DROP INLET
	EX. FLARED END SECTION
	EX. LIGHT POLE
	EX. POWER POLE
	NEW WATER VALVE
	NEW WATER REDUCER
	NEW FIRE HYDRANT
	NEW WATER METER
	NEW SEWER MANHOLE
	NEW SEWER CLEANOUT
	NEW STORM CATCH BASIN
	NEW STORM DROP INLET
	NEW FLARED END SECTION

—————	PROPERTY LINE
—————	RIGHT-OF-WAY LINE
- - - - -	LOT LINE
—————	EASEMENT LINE
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER
—————	EXISTING STORM DRAINAGE
W	NEW WATER LINE
—————	NEW SANITARY SEWER
—————	NEW STORM DRAINAGE
—————	EXISTING CONTOUR LINE
270	NEW CONTOUR LINE
—————	BUILDING SETBACK LINE
—————	EX OVERHEAD ELECTRIC
—————	ONE

GRAPHIC SCALE

(IN FEET)

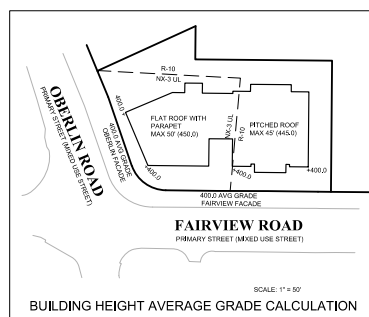
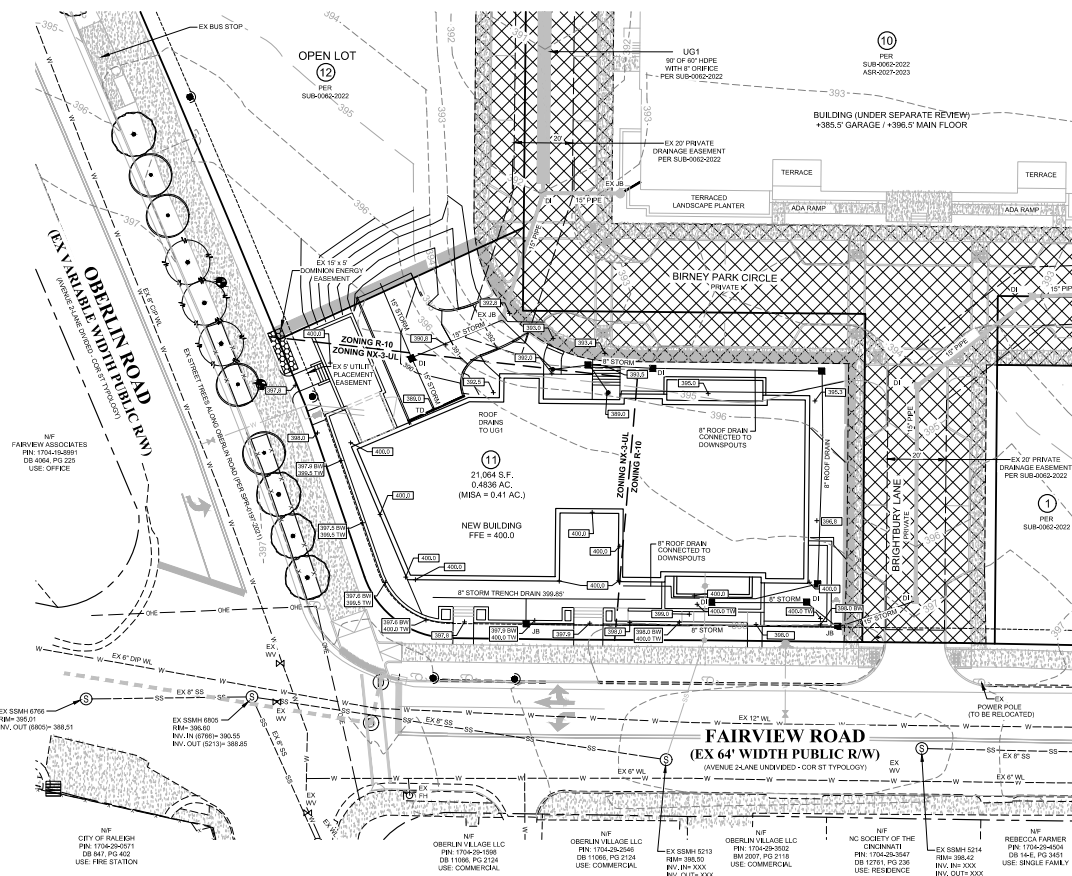
1 inch = 20 ft.

Drawing Title: **GRADING /
STORMWATER
MANAGEMENT PLAN**

[illegible]

Drawing Scale	1" = 20'
Drawn By	BJ
Checked By	JAE, JR.
Date Issued	XX/XX/22


CE-6





STORMWATER MANAGEMENT PLAN


**LOT 11 UTILIZES SHARED FACILITIES
CONSTRUCTED WITH SUB-0062-2022**


MAXIMUM IMPERVIOUS AREA FOR LOT 11
PER SUB-0062-2022 = 0.41 AC.
PROPOSED IMPERVIOUS AREA = 0.40 AC.


 PROPOSED PROJECT LIMITS
(ACCESS DRIVE WITH SUB-0062-2022)

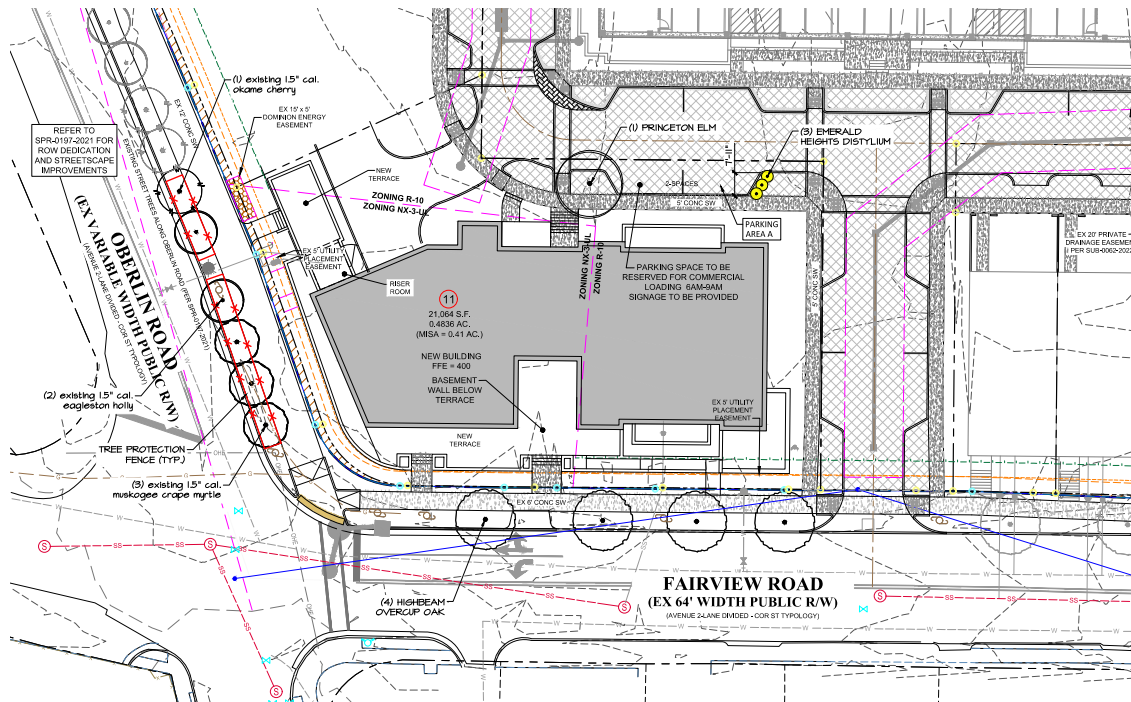
 PROPOSED CONCRETE

 EXISTING COBBLESTONE PAVERS
SPR-0035-2023 (UNDER CONSTRUCTION)

 EXISTING CROSS ACCESS EASEMENT

 ADA AMENITY AREA

 PROPOSED AMENITY AREA



QUAN	LOT 11 PLANT SCHEDULE		INSTALLATION SIZE	MATURE SIZE	NOTES
	BOTANICAL NAME	COMMON NAME			
	TREES AND LARGE EVERGREENS				
	QUERCUS LYRAA "HOBBAID"	HOBBAID OVERCUP OAK	8" CAL, 12' TALL, 18" DBH	30' TALL & 40' WIDE	FULL MATURING STREET TREES (NOT PROVIDED FOR THIS PROJECT)
	QUERCUS AMERIGANA PRINCETON	PRINCETON ELM	8" CAL, 12' TALL, 18" DBH	30' TALL & 40' WIDE	VEHICULAR PARKING LOT TREE
	SHRUBS				
	DIPTYLOM TERRESTRIS HEBBET	EMERALD HEIGHTS DIPTYLIUM	24" TALL, 18" DBH	8' TALL & 8' WIDE	FULL MATURING VEHICULAR PARKING LOT SHRUBS

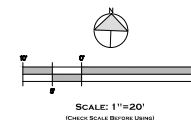
VEHICULAR PARKING LOT & PLANTING

TREES
 (1) SHADE TREE/10 SPACES
 4 SPACES/10 = 0.4 TREES REQUIRED
 1 SHADE TREE PROVIDED

SHRUBS
 (30) SHRUB/100 LF
 INSTALLED SIZE: 24" TALL
 8 LF
 8/100 = .08 x 30 = 2.4 SHRUBS REQUIRED
 3 SHRUBS PROVIDED

NOTE:
 STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

NOTE:
 SEE BUDLEIGH EAST SUBDIVISION PLANS (SUB-0054-2020) FOR ALL STREETScape IMPROVEMENTS, STREET TREE PLANTINGS AND DETAILS.



LANDSCAPE ARCHITECTURE
 SITE PLANNING & DESIGN

7550 PINEWOOD ROAD, RALEIGH, NC 27608
 PHONE: 919.555.0000 FAX: 919.555.1111
 WWW.LIGGETTDESIGNGROUP.COM

CONSULTANTS
 JOHN A. EDWARDS & CO.
 355 N. W. 10TH AVE., SUITE 100
 OAKLAND, CA 94612



BUDLEIGH EAST
BEACON STREET LOT 11
 BEACON STREET BUILDING, LLC
 2550 OBERLIN ROAD - RALEIGH, NC

ISSUED FOR:		
REVIEW		
ISSUED DATE:		
1/17/2024		
REVISIONS:		
NO.	ITEM	DATE

DRAWING TITLE:
 PLANTING PLAN

DRAWN BY: AS/RW/WAB
 CHECKED BY: FL
 SCALE: 1"=20'
 SHEET NUMBER:

L-1
 OF 2



Know what's below.
 Call before you dig.

PLANTING NOTES

1. Prior to the start of any excavation for the project, the contractor shall notify NC One Call or equivalent to locate all existing utilities.
2. Contractor shall maintain or provide positive drainage away from all building foundations, structures and within planting beds.
3. Contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on this drawing. Clarify any discrepancies with the Landscape Architect prior to ordering plant material.
4. All plants shall meet or exceed the minimum standards set by the U.S.D.A. for Nursery Stock, sponsored by the American Association of Nurserymen, Inc., Washington, D.C.
5. All plants shall bear the same relationship to finished grade as to the original grades before digging. The Contractor shall revise grades at a minimum of +/- 1.2% to ensure smooth transitions between planting beds and lawn areas.
6. Mulch - install 3" of shredded pine bark mulch in plant beds around buildings, patios, etc., and 3" of clean pine straw in all other natural areas with new planting and on slopes, unless otherwise noted on plans.
7. All plant materials are subject to the approval of the Landscape Architect at the nursery and at the job site.
8. Contractor is encouraged to provide the Landscape Architect with concerns and/or suggestions regarding proposed plant materials, prior to placing a purchase order for plants.
9. Contractor is responsible for verifying all quantities. Drawings symbols shall rule over plant lists if there are discrepancies between the two.
10. All trees located adjacent to walks and drives shall have 6' of clearance height to first branching.
11. All trees shall be placed a minimum of 3' from sidewalks, curbs and hardscape, and a minimum of 6' from fire hydrants and other utilities, unless otherwise noted on plans.
12. All plants shall be installed as per generally accepted planting standards.
13. All dead and/or diseased plants shall be replaced within warranty period at no charge to Owner/Client.
14. All plants and stakes shall be set plumb unless otherwise specified.
15. Refer to Existing Conditions Plan, Demo Plan and/or Planting Plan for trees/shrubs to be either removed or to remain undisturbed.
16. Landscape Architect shall select and layout all the perennial beds.
17. All planting bed edges to be smooth flowing arcs, unless otherwise specified. Bed edges shall be smooth, consistent, hand trenched 3 to 4 inches deep, and 1/4" shaped. All excavated material shall be removed from the bed edge and planting bed.
18. If the landscape contractor observes any deficiencies in the site conditions or which could negatively affect plant establishment, survival, or guarantee, notify the Owner and Landscape Architect prior to procurement and/or installation.
19. Any disturbed areas that are not planted or grassed as part of the landscape plan shall be restored to their previous existing condition (including taking uneven areas, seeding grassed areas and for natural areas spreading minimum 3" depth of pine straw, leaf litter or pine bark mulch per direction of Landscape Architect).

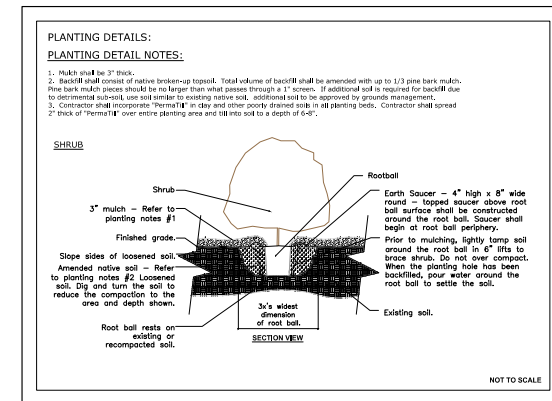
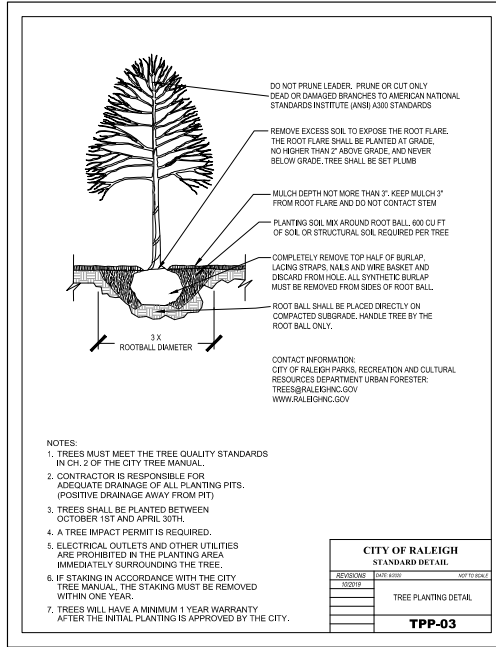
LANDSCAPE MAINTENANCE AGREEMENT

*The Owner of the Property and their Agents, heirs or Assigns shall be responsible for the installation, preservation and maintenance of all plantings and shrubs shown on this plan. The Owner shall be responsible for annual maintenance of the vegetation to include but not be limited to:

1. a. Fertilization: Zoex Zoysia lawn: Fertilize lawn twice per year (March 30 - May 15), and again (June 30 - July 31) according to soil test. Tifway 419 Bermuda lawn: fertilize lawn twice per year (March 30 - May 15), and again (June 15 - August 15) according to soil test.
1. b. Fertilization: Deciduous trees, evergreen trees and evergreen shrubs: Fertilize trees and shrubs per soil test. A deep root fertilizer shall be used for deciduous trees, evergreen trees and evergreen shrubs and applied once per year (Feb. 28 - March 30). Fertilizer shall be watered in.
1. c. Fertilization: Shrubs, groundcover and seasonal plants not listed in (2) Fertilize shrubs, groundcover and seasonal plants per soil test. A complete controlled release fertilizer shall be used for shrubs, groundcover and seasonal plants and applied (Feb. 28 - March 30), and again in (June 15 - July 31). Fertilizer shall be spread evenly under all plants unless otherwise specified and watered in. *Planting areas with trees, shrubs, groundcover and seasonal plants may receive fertilization Zoysia due to the planting "arrangement", however, over-fertilization shall not be acceptable.
2. Pruning: Removal of dead or diseased wood, or removal of tree branches for sight distance/safety reasons, the Shigo standards should be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges and sheared upright evergreen trees.
3. Pest control: Pre-emergent weed control for lawns to be applied in Sept. - November. Tree, shrub and groundcover bed pre-emergent control to be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.
4. Watering: Making shrubs maintained at a depth of 2 - 3" in plant beds and tree saucers. As a minimum, mulch shall be replaced at least every year during the months of February and March.
5. Mowing: Zoysia lawn shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 60 times per year. Tifway 419 Bermuda lawn shall be maintained at a height of 2" - 2 1/2" and shall be mowed approximately 72 times per year. Grasses used for stabilization and ornamental use shall not be mowed.
6. Plant protection: Avoid excess intrusion into the root zone area of established plantings including equipment, vehicular and pedestrian traffic, construction activities and materials.
7. Watering: If an irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.
8. Warranty: Remove/replace all dead and/or diseased plant material at each maintenance visit.

PREPARATION AND INSTALLATION FOR PLANTING SOD AREAS

1. Provide soil pH testing, adjust the pH range of soils that are unacceptable per local cooperative extension service standards. Incorporate agricultural lime, fertilizer, and superphosphate uniformly at the rate specified per soil pH testing results.
2. Site to be fine graded before permanent planting and seeding or sodding is installed.
3. Sod shall be loosened to a depth of 4 - 6 inches by disking, raking, roller-tilling or other acceptable means. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared 4 to 6 inches deep. Chisel compacted areas and spread topsoil 3 inches deep over diverse soil conditions.
4. Rake and remove all loose rock (over 1" diameter), roots, and other obstructions leaving surface reasonably smooth. Contractor shall incorporate 20-10-10 50/50 soil amendment in all plant beds.
5. All sod and installation techniques shall adhere to turfgrass producers international guideline specifications, current edition.
6. Sod areas to be sodded with workable size rolls that are not broken or stretched. Sod shall be free of thatch. Sod shall be installed within 24 hours of arrival at the site.
7. Water 1 inch minimum within the first hour of sod or seed installation. Begin irrigation system during the following 3 days keeping the sodded or seeded area moist.
8. Sod shall be laid parallel to the contours and shall have staggered joints on slopes greater than 3:1 or in drainage swales sod shall be stacked.
9. Apply starter fertilizer at time of sodding at rate recommended by manufacturer. Contractor is responsible for the initial watering.
10. Inspect all sodded areas and make necessary repairs or reseed within the planting season, if possible. If grass stand should be over 60% damaged, Contractor shall consult with a conservation inspector on maintenance treatment and fertilization to determine the best type of treatment necessary in order to establish and maintain an acceptable stand of grass.
11. Contractor shall water and maintain all planting and NEWLY SOD areas until a maintenance contractor has been selected.
12. Once an acceptable stand of grass has been established (of 95% or better), the Contractor shall repair all damaged areas and monitor the NEWLY SOD areas until the grass reaches a height of 4 inches tall.



**LIGGETT
DESIGN GROUP**

LANDSCAPE ARCHITECTURE
SITE PLANNING & DESIGN

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CONSULTANTS

JOHN A. EDWARDS & CO
355 N. WILSON AVE., SUITE 100
919.755.4225



CLIENT

BUDLEIGH EAST
BEACON STREET LOT 11
BEACON STREET BUDLEIGH, LLC
2550 OBERLIN ROAD - RALEIGH, NC

ISSUED FOR:

REVIEW

ISSUED DATE:

1/17/2024

REVISIONS:

NO.	ITEM	DATE

DRAWING TITLE:

**PLANTING NOTES &
DETAILS**

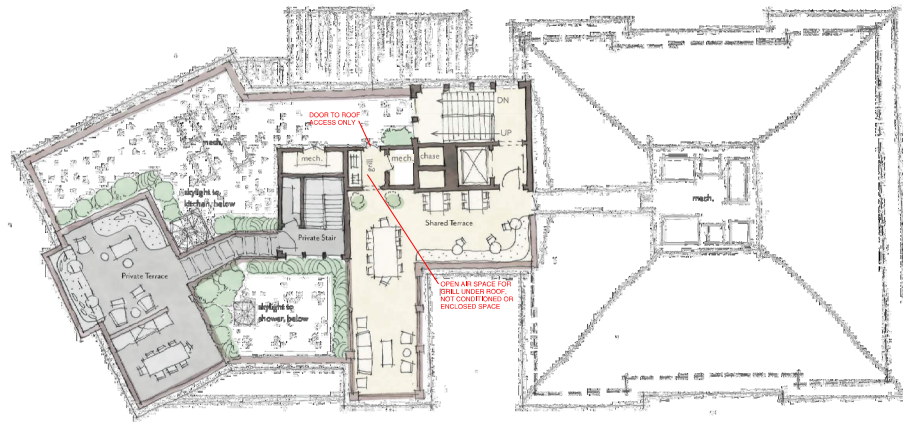
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CHECKED BY: FL

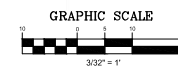
SCALE: 1"=10'

SHEET NUMBER:

L-2
OF 2



SCALE: 3/32"=1'



Project
**LOT 11
BUDLEIGH EAST**

Client
**BEACON STREET
BUDLEIGH LLC**

Drawing Title

ROOF DECK PLAN

Revisions		
Number	Description	Date

Drawing Scale
 Drawn By
 Checked By
 Date Issued

A-104

Page 1 of 1

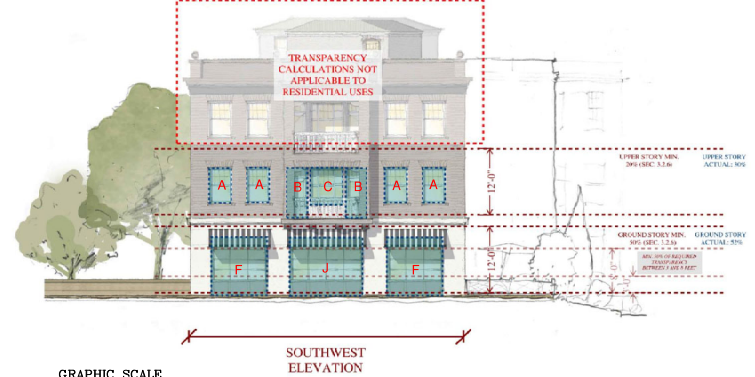
UDO 1.5.9.B.

B. General Requirements

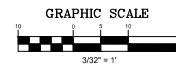
1. The minimum percentage of windows and doors that must cover a ground story facade is measured between 0 and 12 feet above the surface of the finished ground floor for all above-grade portions of the facade. A minimum of 50% of the required transparency must be located between 3 and 8 feet from the surface of the finished ground floor.
2. The minimum percentage of windows and doors that must cover an upper story facade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate.
3. In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).
4. Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 35%. Glass on upper stories may have any level of transparency and external reflectance.

UDO 3.2.6.F.

F. Transparency	
F1 Ground story (min)	50%
F2 Upper story (min)	20%
F3 Blank wall (max)	20'



SCALE: 3/32"=1'



GROUND STORY CALCULATIONS

WINDOWS AND DOORS
SURFACE AREA
(100 WINDOWS AND
DOORS OF VARIOUS SIZES)

761 sq. ft.

FACADE SURFACE AREA
CODE-DEFINED HEIGHT x LENGTH OF
STREET-FACING FACADE

12'-0" x 121'-6" = 1,458 sq. ft.

= 52% TRANSPARENCY
ON GROUND STORY

UPPER STORY CALCULATIONS

WINDOWS AND DOORS
SURFACE AREA
(100 WINDOWS AND
DOORS OF VARIOUS SIZES)

487.5 sq. ft.

FACADE SURFACE AREA
CODE-DEFINED HEIGHT x LENGTH OF
STREET-FACING FACADE

12'-0" x 135'-4" = 1,624 sq. ft.

= 30% TRANSPARENCY
ON UPPER STORY

Window and Door Calculations

Upper	Type	Width	Height	# Windows	Square Feet
A		3.92	6	6	141.12
B		3.92	9	4	141.12
C		5.92	7	2	82.88
D		3.92	8	2	62.72
E		7.92	8	1	63.36
				Total:	491.2
Ground					
F		5.71	11	4	427.24
G		5.71	10	2	114.2
H		1.71	5	2	17.1
I		5.71	11	1	62.81
J		12.71	11	1	133.81
				Total:	761.16

Scale

LOT 11
BUDLEIGH EAST

BEACON STREET
BUDLEIGH LLC

TRANSPARENCY
CALCULATIONS

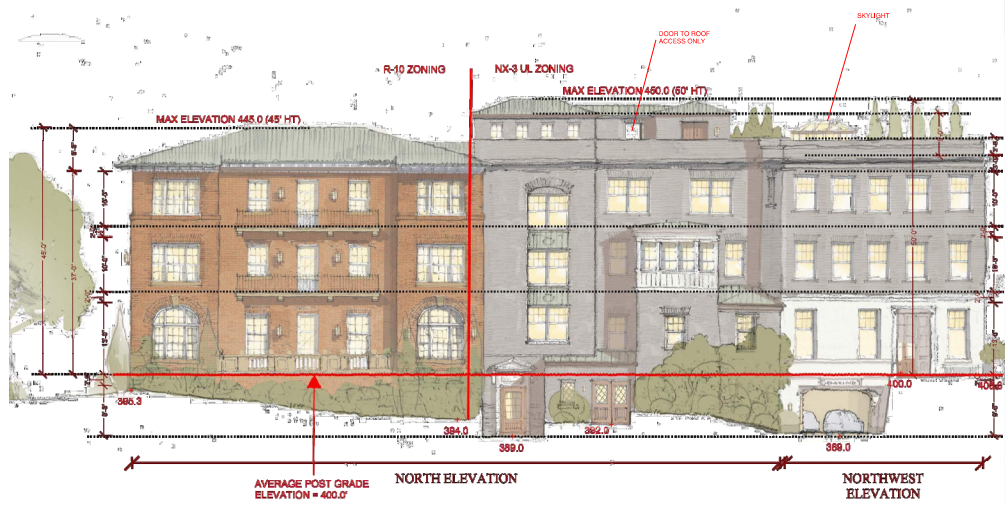
Revisions	Number	Description	Date

Drawing Scale
Drawn By
Checked By
Date Issued

A-105

A-201

ELEVATIONS NOTED W/
HEIGHT DIMENSIONS

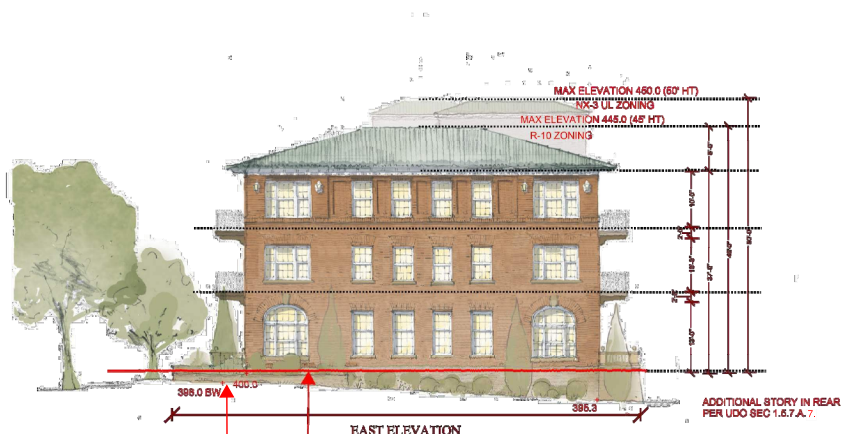


SCALE: 3/32" = 1'-0"



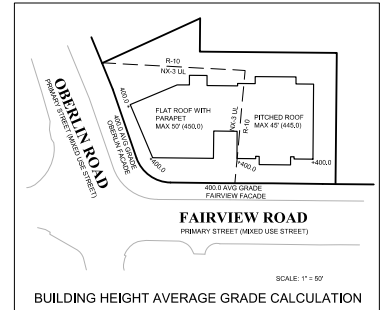
ELEVATIONS NOTED W/
HEIGHT DIMENSIONS

SEE SHEET A-105 FOR TRANSPARENCY CALCULATIONS



SCALE: 3/32" = 1'-0"

RETAINING WALLS AND PATIOS ARE WHAT ARE
SHOWN BELOW THE AVERAGE POST GRADE.
THIS IS NOT BUILDING FOUNDATION.



1	Initial	1/1/2020
2	Revised	2/1/2020
3	Revised	3/1/2020
4	Revised	4/1/2020
5	Revised	5/1/2020
6	Revised	6/1/2020
7	Revised	7/1/2020
8	Revised	8/1/2020
9	Revised	9/1/2020
10	Revised	10/1/2020
11	Revised	11/1/2020
12	Revised	12/1/2020

NORTH AND EAST ELEVATION

LOT 11
BUDLEIGH EAST
BEACON STREET
BUDLEIGH LLC

EXTERIOR
ELEVATIONS

Revisions		
Number	Description	Date
1	Initial	1/1/2020
2	Revised	2/1/2020
3	Revised	3/1/2020
4	Revised	4/1/2020
5	Revised	5/1/2020
6	Revised	6/1/2020
7	Revised	7/1/2020
8	Revised	8/1/2020
9	Revised	9/1/2020
10	Revised	10/1/2020
11	Revised	11/1/2020
12	Revised	12/1/2020

Drawing Scale
Drawn By
Checked By
Date Issued

A-202