



Administrative Approval Action

Case File / Name: ASR-0040-2023
DSLCL - AJA - OFFICE BUILDING

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: Identified as 4981 Windy Hill Drive, this parcel is located north of East Millbrook Road, south of Quail Ridge Road, west of Old Wake Forest Road, and east of Falls of Neuse Road. It is adjacent to Sweetbrier Forest Townhomes. The property is zoned OX-3.

REQUEST: This plan proposes developing the 0.37 acre existing vacant lot for a 1-story, 3,390 square foot office building. No vehicular parking is proposed; bicycle parking facilities are included in this plan.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 29, 2024 by Andre Johnson Architect.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Retaining wall located at rear of building to be permitted prior to SPR approval. Permits for other walls also to be completed prior to SPR approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
-------------------------------------	---

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
-------------------------------------	--

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



Administrative Approval Action

Case File / Name: ASR-0040-2023
DSLCL - AJA - OFFICE BUILDING

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for 105 LF of 1' sidewalk is paid to the City of Raleigh (UDO 8.1.10).
A 5' utility placement easement deed of easement, in addition to a plat showing the location of the
2. easement, shall be submitted to the Planning and Development Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
4. All means of transporting stormwater runoff shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Windy Hill Dr.



Administrative Approval Action

Case File / Name: ASR-0040-2023
DSLCL - AJA - OFFICE BUILDING

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

3. A public infrastructure surety for the 2 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 12, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 07/12/2024
Development Services Dir/Designee

Staff Coordinator: Jessica Gladwin

ASR-0040-2023

ANDRE JOHNSON ARCHITECT - OFFICE BUILDING

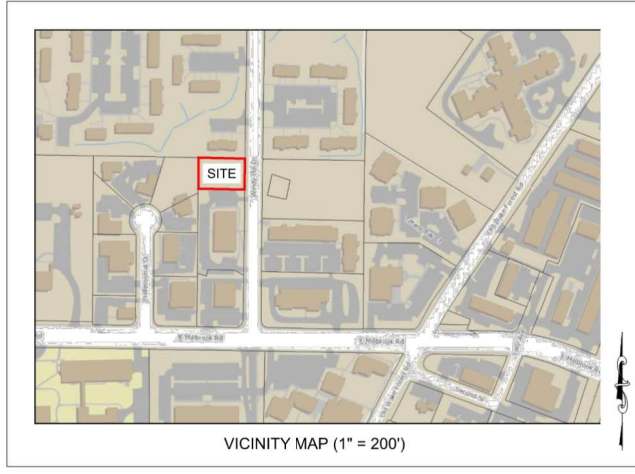
4981 WINDY HILL DRIVE, RALEIGH, NORTH CAROLINA

NVIS
NVS ENGINEERS AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, SUITE 100
CARY, NC 27513
P: 919.851.1932
www.nvis.com
NCEM No. 1113

**PRELIMINARY
DO NOT USE
FOR CONSTRUCTION**

GENERAL NOTES

- All construction shall be in accordance with applicable municipality standards, specifications, and details. Work in this project shall also conform to these items: the City of Raleigh Standards and Specifications, the latest editions of the North Carolina Department of Transportation (NCDOT) Road and Bridge Specifications, the Road and Bridge Standards, the North Carolina Division and Seismic Control Handbook, the North Carolina Division and Seismic Control Regulations, the fire structural report, and General Design Standard. In the event of conflict between any of the standards, specifications, or plans, the most stringent shall govern.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie to or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute, Chapter 87, Article 8, The Underground Damage Prevention Act.
- The contractor shall salvage and protect all existing power poles, signs, manholes, telephone poles, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic control on public streets shall be in conformance with the traffic control plan, "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or omissions in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or omissions. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or omissions shall be done at the contractor's risk.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall be responsible for the design and construction of all drainage structures, including but not limited to, but not limited to, as required to prevent soil and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion.
- The contractor shall clear and grub vegetation on the site as indicated on the drawings and notes. Compact and restore condition all fill per the project's geotechnical engineer's report. The fill material to be used shall be approved by the geotechnical engineer prior to placement. All compacted fill and materials containing fill shall be compacted to 95% of maximum density as determined by a minimum, the following may be met: Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches or any other depression requiring fill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-1558. The contractor shall prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and water gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used as a guide only.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All dimensions shown represent horizontal ground distances.
- Man elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junctions Boxes.
- Storm Sewer (SS) shall be constructed to the following standards:
Cover less than 10 feet - Class C bedding, Class III walls
Cover 10 to 15 feet - Class B bedding, Class III walls
Cover greater than 15 feet and less than 2 feet - Class B bedding Class IV walls
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
- All handrails and associated pavement markings shall conform to ADA requirements, North Carolina State Building Code and the City of Raleigh Standards Details.
- Existing water and sewer mainlines to the property are to be verified by the contractor prior to the start of construction. The project engineer has attempted to verify sizes from relevant plans, however, exact size/dimensions can only be determined from field copies of the relevant file.
- The contractor shall be responsible for contacting the City of Raleigh Inspections Department at (919) 516-2495 to obtain a street cut permit.
- Where the right triangles shown on this plan, no obstruction between 2 feet and 8 feet in height above the curb line elevation shall be located in whole or part. Obstructions include but are not limited to any trees, foliage, fence, wall, sign, post, vehicle or other object.
- All construction shall be in accordance with all City of Raleigh Standards and Specifications.
- The Developer has reviewed the City of Raleigh Solid Waste Collection Design Manual, Version 2.1, dated January 14, 2005, in conjunction with this site plan. Trash and recycle containers will be stored in a trash/recycle room inside the building, brought out to the point of collection by designated facility maintenance or staff and removed from the point of collection after being collected.



SITE DATA	
OWNER:	CRYSTAL JOHNSON, AJM DEVELOPMENT 919-815-1753 AJMDEVELOPMENT@GMAIL.COM
CONTACT:	JONATHAN ALLEN, PE 919-858-1831 JONATHAN.ALLEN@NVS.COM
FIN:	1716651123
EXISTING ZONING:	OX-3
EXISTING FRONTAGE:	NA
EXISTING OVERLAY:	NA
EXISTING USE:	VACANT
PROPOSED USE:	OFFICE
PROPOSED BUILDING:	3,300 SF / 1 STORY
ACREAGE:	0.37 ACRES / 16,117.2 SF
WETLAND AREA:	0.00 ACRES / 0 SF
AREA IN FLOODPLAIN:	0.06 ACRES / 0 SF
WATERSHED:	NEUSE RIVER BASIN
TREE CONSERVATION AREA:	NA
EXISTING IMPERVIOUS AREA (ON-SITE):	0 SF
PROPOSED IMPERVIOUS AREA (ON-SITE):	8,737 SF

PUBLIC IMPROVEMENT QUANTITIES	
PHASE NUMBER(S)	N/A
LOT NUMBER(S) BY PHASE	N/A
NUMBER OF UNITS	N/A
LIVABLE BUILDINGS	N/A
OPEN SPACE	N/A
NUMBER OF OPEN SPACE LOTS	N/A
PUBLIC WATER (L.F.)	0
PUBLIC STREET (L.F.)	0
PUBLIC SIDEWALK (L.F.)	0
STREET SIGNS (L.F.)	0
WATER SERVICE STUBS	1"
SEWER SERVICE STUBS	1"

INDEX OF SHEETS	
C-000	COVER
C-100	EXISTING CONDITIONS AND DEMOLITION
C-200	SITE PLAN
C-300	GRADINGS PLAN
C-400	UTILITIES PLAN
C-500	SITE DETAILS
C-501	SITE DETAILS
C-502	SITE DETAILS
C-503	SITE DETAILS
L-100	LANDSCAPE NOTES AND REQUIREMENTS
L-101	LANDSCAPE AND PLANTING PLAN
L-102	SITE LIGHTING AND BUILDING ELEVATIONS
L-103	ELEVATIONS
ES101	ELECTRICAL SITE PLAN

UDO SITE REQUIREMENTS	
MAXIMUM VEHICULAR PARKING ALLOWED:	17 SPACES (1 PER 400 SF OFFICE)
VEHICULAR PARKING PROVIDED:	9 SPACES
SHORT-TERM BICYCLE PARKING PROVIDED:	4 SPACES (CODE MINIMUM)
LONG-TERM BICYCLE PARKING PROVIDED:	4 SPACES
LONG-TERM BICYCLE PARKING REQUIRED:	4 SPACES (CODE MINIMUM)
LONG-TERM BICYCLE PARKING PROVIDED:	4 SPACES
AMENITY AREA PROVIDED:	1,611 SF (10% OF 0.37 AC PARCEL AREA)
AMENITY AREA REQUIRED:	3,772 SF

OWNER
JMJM DEVELOPMENT
PO BOX 14637
RALEIGH, NORTH CAROLINA
CONTACT: CRYSTAL JOHNSON, SR. EXECUTIVE
JMJMEDVELOPMENT@GMAIL.COM
(919) 815-0753

ARCHITECT
ANDRE JOHNSON ARCHITECT
172 MINE LAKE COURT, SUITE 202
RALEIGH, NORTH CAROLINA
CONTACT: ANDRE JOHNSON, AIA, NCARB
ANDRE@ANDREJOHNSONARCHITECT.COM
(919) 661-6955

ENGINEER
NVS ENGINEERS & CONSULTANTS, INC.
3300 REGENCY PARKWAY, SUITE 100
CARY, NORTH CAROLINA 27518
CONTACT: JONATHAN ALLEN, PE
ANDRE@ANDREJOHNSONARCHITECT.COM
(919) 858-1831

CROSS-ACCESS EXEMPTION
Windy Hill Drive is considered a Neighborhood Street, which is a local street. Per UDO Section 8.3.5.D, cross-access is only applicable to lots abutting a street other than a local street.

APPLICANT SIGNATURE BLOCK
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(b)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and that the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in developing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-756(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Jonathan Allen* Date: 05/24/2023
Printed Name: Andre L. Johnson, AIA, NOMA, NCARB

Right-of-Way Obstruction Notes:

- Street, Lane and Sidewalk closures or detours: Prior to any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.
- A permit required with a traffic control and/or pedestrian plan shall be submitted to rightofway@raleighnc.gov at www.raleighnc.gov "Right-of-Way Services."
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signs and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT Standard Specification for Roadway Structures, "NCDOT Roadway Structures Systems Manual", and the NCDOT equipment to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

RIGHT-OF-WAY NOTE
CONSTRUCTION WORK ON THE RIGHT-OF-WAY: THE CONTRACTOR MUST APPLY FOR A RIGHT-OF-WAY SERVICES PERMIT UNDER THE CITY OF RALEIGH'S RIGHT-OF-WAY SERVICES PLAN. THE RIGHT-OF-WAY SERVICES PLAN IS A SEPARATE CONTRACT AND A SEPARATE PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV ALONG WITH THE APPLICATION.

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2400, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

THIS NOTE SHALL APPLY TO EACH AND EVERY SHEET IN THIS SET.
THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NO ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS, FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGGINING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS IN ACCORDANCE WITH NC GENERAL STATUTE, CHAPTER 87, ARTICLE 8, THE UNDERGROUND DAMAGE PREVENTION ACT.

Administrative Site Review Application

Planning and Development Services Center • One Exchange Park, Suite 401 • Raleigh, NC 27601 | 919-980-2020

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (name): _____

Please review UDO Section 10.2.8 to determine the site plan fee. If assistance determining a Site Plan Fee is needed, a Site Plan Fee Verification request can be submitted online via the PermitAndDevelopmentPortal. (Note: There is a fee for this verification service.)

Site Plan Type	Two Site Plan	Three Site Plan	Site Transaction History
Detached	<input type="checkbox"/>	<input type="checkbox"/>	Subdivision case #:
Attached	<input type="checkbox"/>	<input type="checkbox"/>	Reopportunity case #:
Townhouse	<input type="checkbox"/>	<input type="checkbox"/>	Certificate of Appropriateness #:
Apartment	<input type="checkbox"/>	<input type="checkbox"/>	Board of Adjustment #:
Tray houses	<input type="checkbox"/>	<input type="checkbox"/>	Design Alternate #:
Open lot	<input type="checkbox"/>	<input type="checkbox"/>	

GENERAL INFORMATION
Development name: AJA - Office Building
Inside City limits? Yes No
Property address(es): 4981 Windy Hill Drive
Site P.I.N.(s): 1716651123
Please describe the scope of work, include any additions, expansions, and uses (UDO 6.1.4).

New 3,300 of office building; no new parking proposed; existing lot is vacant.

Current Property Owner(s): Crystal Johnson
Company: AJM Development
Address: PO Box 14637, Raleigh, NC 27620
Phone #: 919-815-1753
Email: jmjmedvelopment@icloud.com

Applicant Name (if different from owner, see "who can apply" in instructions):
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
Company: JMJM Development
Address: 172 Mine Lake Court, Raleigh, NC 27615

Phone #: 919-661-6935
Email: andre@andrejohnsonarchitect.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: Andre Johnson
Company: Andre Johnson Architect
Address: 172 Mine Lake Court, Raleigh, NC 27615
Phone #: 919-858-1831
Applicant Name: Jonathan Allen
Company: NVS Engineers
Phone #: 919-858-1831
Email: jonathan.allen@nvs.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (please provide the acreage of each): OX-3	Existing gross floor area (to be demolished): 0.37 ac.
Gross site acreage: 0.37 ac.	New gross floor area: 3,300 sf
# of parking spaces proposed: 0	Total of gross (to remain and newly): 3,300 sf
Max. # of parking permitted (7.1.2.0): 17	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of basement levels (UDO 5.1.7.A.5):
Proposed use (UDO 6.1.4): Office	

STORMWATER INFORMATION
Impervious Area on Parcel(s):
Existing (sf) 0 sf Proposed total (sf) 8,737 sf
Total of impervious area (sf) 8,737 sf
Ending lot # 513 sf Proposed total (sf) 9,478 sf

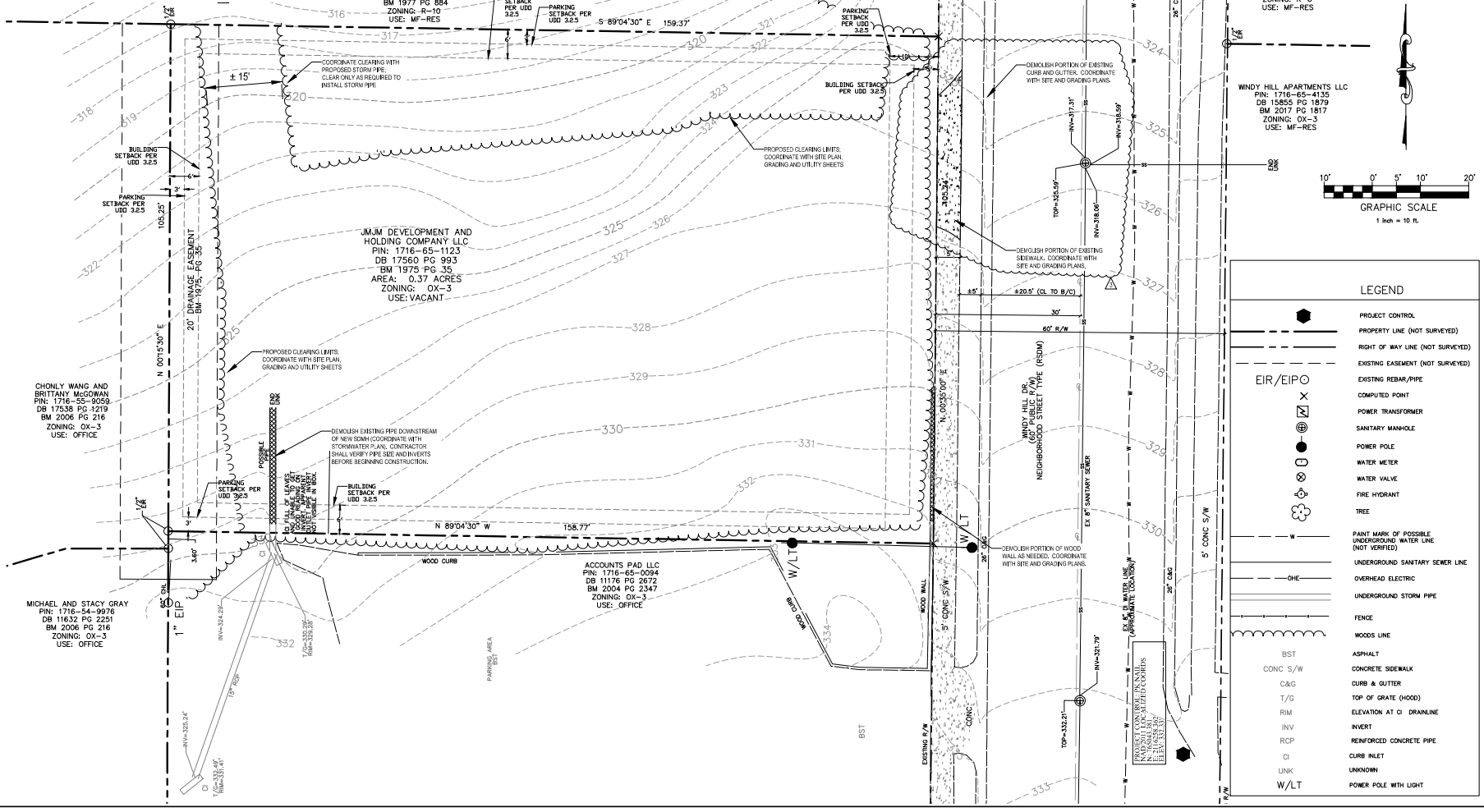
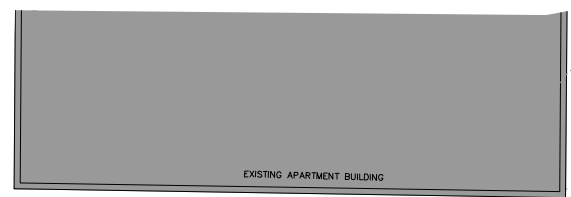
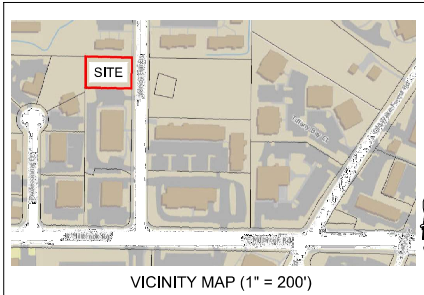
RESIDENTIAL + OVERNIGHT LODGING DEVELOPMENTS
Total # of dwelling units: N/A
Total # of floor bedrooms: N/A
of bedroom units: 1br 2br 3br 4br or more
Is it a: 1 year project or cottage court? Yes No
 Frequent transient development? Yes No

NO.	DATE	REVISIONS
1	05/24/2023	ISSUE FOR PERMIT
2	05/24/2023	REVISED PER PLAN REVISIONS
3	01/29/2024	SITE PLAN REVISIONS
4	01/29/2024	SITE PLAN REVISIONS
5	01/29/2024	SITE PLAN REVISIONS
6	01/29/2024	SITE PLAN REVISIONS
7	01/29/2024	SITE PLAN REVISIONS
8	01/29/2024	SITE PLAN REVISIONS

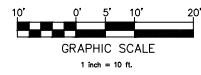
PROJECT NO: 2019162.00

DRAWN BY: ASJ
DWC, CHECKED BY: JAS
SCALE: SEE PLAN
DATE: 06-12-2023

COVER
C-000



- NOTES**
- THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPELINES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MARK ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS. FIELD MARK THE UTILITY LOCATIONS, AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS.
 - EXISTING CONDITIONS INFORMATION FROM SURVEY BY SALVX ENGINEERS AND CONSULTANTS, DATED 10-18-16.
 - NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - EXISTING LOT IS VACANT.
 - COORDINATE ALL DEMOLITION WORK WITH PROPOSED SITE CONSTRUCTION.
 - CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED BY A UTILITY LOCATING SERVICE PRIOR TO ANY DEMOLITION OR CONSTRUCTION. NOTIFY OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
 - CONTRACTOR SHALL SAWCUT ALL SEAMS BETWEEN AN EXISTING SURFACE TO REMAIN AND AN EXISTING SURFACE TO BE REMOVED.



LEGEND

	PROJECT CONTROL
	PROPERTY LINE (NOT SURVEYED)
	RIGHT OF WAY LINE (NOT SURVEYED)
	EXISTING EASEMENT (NOT SURVEYED)
	EXISTING REBAR/PIPE
	COMPUTED POINT
	POWER TRANSFORMER
	POWER POLE
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	TREE
	Faint mark of possible underground water line (NOT VERIFIED)
	UNDERGROUND SANITARY SEWER LINE
	OVERHEAD ELECTRIC
	UNDERGROUND STORM PIPE
	FENCE
	WOODS LINE
	ASPHALT
	CONCRETE SIDEWALK
	CURB & GUTTER
	TOP OF GRATE (HOOD)
	ELEVATION AT C DRAINAGE
	INVERT
	REINFORCED CONCRETE PIPE
	CURB INLET
	UNKNOWN
	POWER POLE WITH LIGHT

NIV5
 NIV5 ENGINEERS AND CONSULTANTS, INC.
 3300 REGENCY PARKWAY, SUITE 300
 CARY, NC 27513
 P: 919.851.1917
 WWW.NIV5.COM

**PRELIMINARY
 DO NOT USE
 FOR CONSTRUCTION**

ANDRE JOHNSON ARCHITECT
 OFFICE BUILDING
 ASR-0040-2023
 498 WINDY HILL DRIVE
 RALEIGH, NC

REVISIONS

NO.	DATE	REMARKS
1	07/12/2023 <td>SUBMITTAL</td>	SUBMITTAL
2	12/14/2023 <td>SUBMITTAL</td>	SUBMITTAL
3	01/20/2024 <td>SUBMITTAL</td>	SUBMITTAL
4		
5		
6		
7		
8		

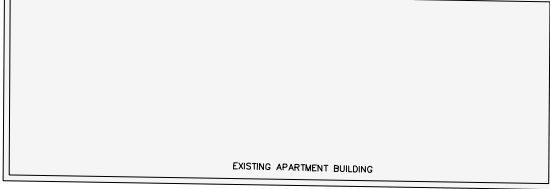
PROJECT NO: 2019162.01
 DRAWN BY: ASJ
 DWG. CHECKED BY: JA
 SCALE: SEE PLAN
 DATE: 06-12-2023

EXISTING CONDITIONS AND DEMOLITION

C-100

UDO SITE REQUIREMENTS
 MAXIMUM VEHICULAR PARKING ALLOWED: 17 SPACES (1 PER 400 SF OFFICE)
 VEHICULAR PARKING PROVIDED: 0 SPACES
 SHORT-TERM BICYCLE PARKING REQUIRED: 4 SPACES (CODE MINIMUM)
 SHORT-TERM BICYCLE PARKING PROVIDED: 4 SPACES
 LONG-TERM BICYCLE PARKING REQUIRED: 4 SPACES (CODE MINIMUM)
 LONG-TERM BICYCLE PARKING PROVIDED: 4 SPACES
 AMENITY AREA REQUIRED: 1,611 SF (10% OF 0.37 AC PARCEL AREA)
 AMENITY AREA PROVIDED: 3,172 SF

SOLID WASTE NOTE
 SOLID WASTE AND RECYCLING TO BE HANDLED PRIVATELY WITH RECYCLING CONTAINERS THAT WILL FIT IN THE UNAVAILABLE SUPPORT SPACE. NO DUMPSTERS WILL BE UTILIZED ON SITE.



NOTES
 1. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS TRAFFIC SIGNALS, ELECTRIC, BRIS, CONDUIT, TELEPHONE CABLE, SERVICE CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS. TELEWORK FOR FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS.
 2. EXISTING CONDITIONS INFORMATION FROM SURVEY BY CALIX ENGINEERS AND CONSULTANTS, DATED 10-8-18.
 3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 4. ACROPY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 5. FINISHING LOTS IS VACANT.
 6. BUILDING INFORMATION TO BE SHOWN ON ARCHITECTURAL PLANS.

NIVIS

NIVIS ENGINEERS AND CONSULTANTS, INC.
 3300 REGENCY PARKWAY, SUITE 100
 CARY, NC 27513
 P: 919.551.1917
 WWW.NIVIS.COM

**PRELIMINARY
 DO NOT USE
 FOR CONSTRUCTION**

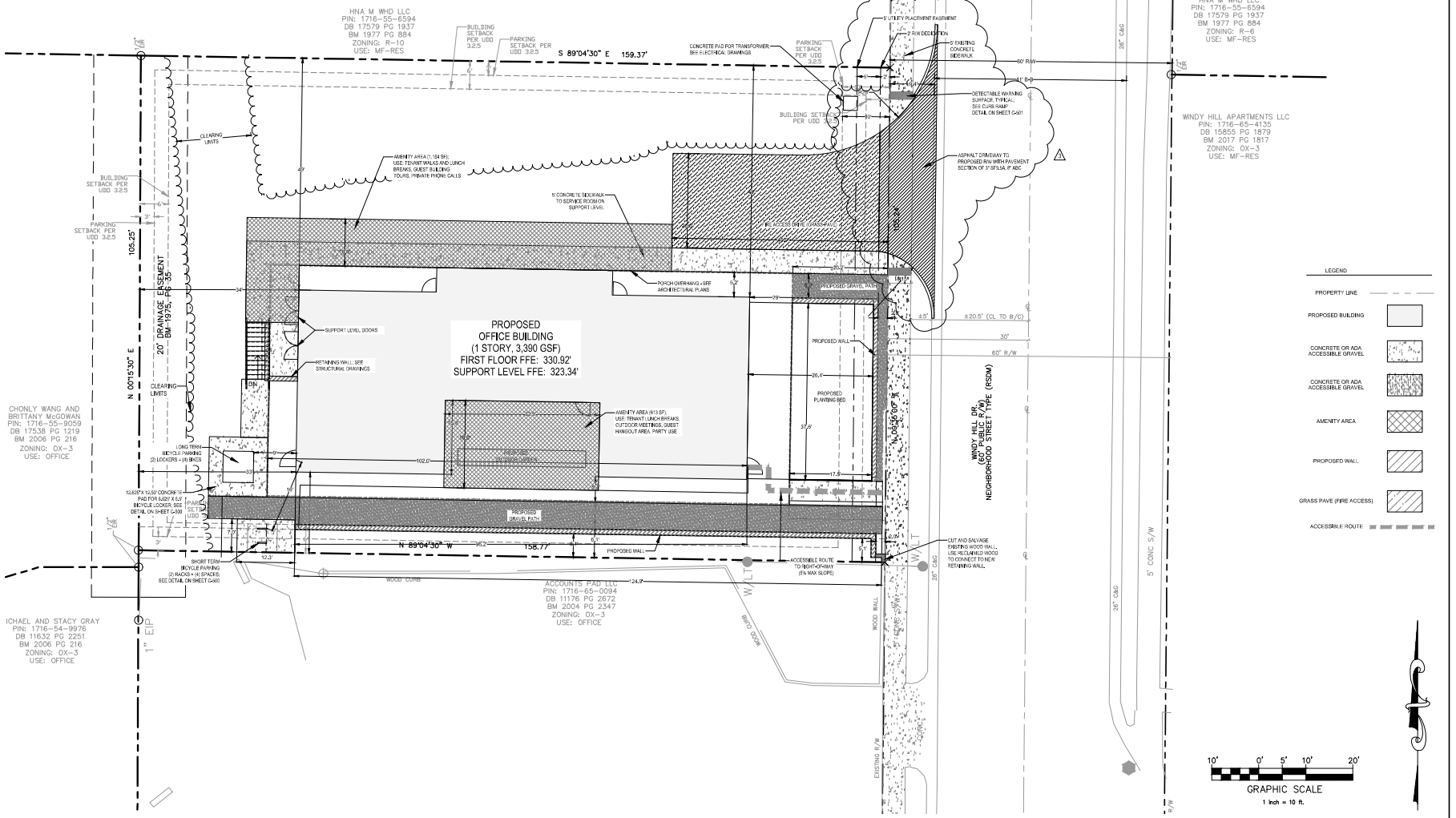
ANDRE JOHNSON ARCHITECT
 OFFICE BUILDING
 ASR-0040-2023

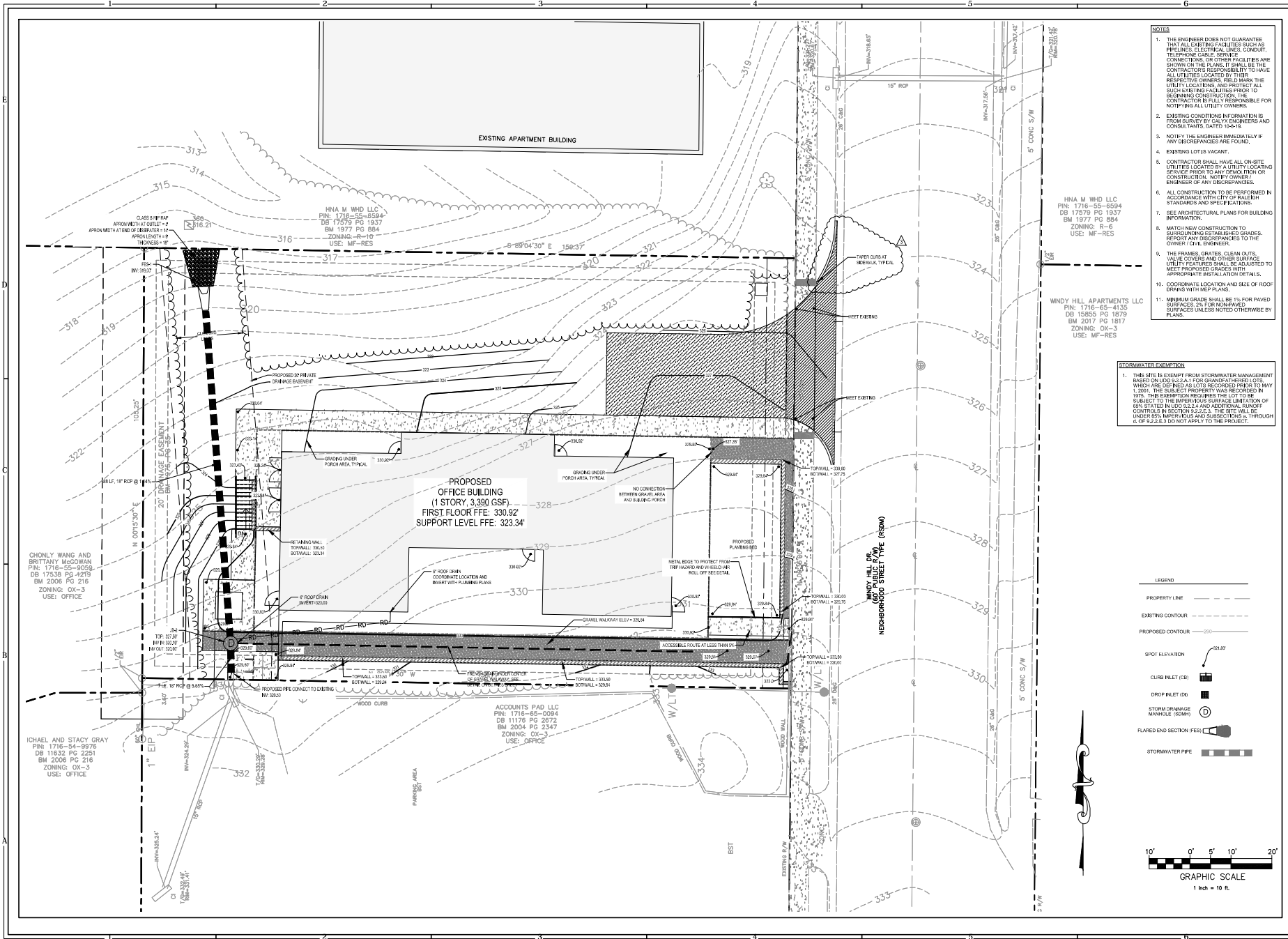
NO.	DATE	REVISIONS	REMARKS
1	12/16/2023	SUBMITTAL	PRELIMINARY
2	01/22/2024	SUBMITTAL	REVISIONS
3	01/22/2024	SUBMITTAL	REVISIONS
4			
5			
6			
7			
8			
9			

PROJECT NO.: 2019162.01
 DRAWN BY: AJT
 DWG. CHECKED BY: JA
 SCALE: SEE PLAN
 DATE: 06-12-2023

SITE PLAN

C-200

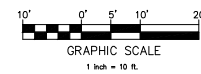
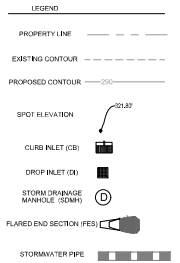




- NOTES**
1. THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS UTILITIES, ELECTRICAL LINES, GASOLINE, TELEPHONE CABLE, SERVICE, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL UTILITIES LOCATED BY THEIR RESPECTIVE OWNERS. FIELD MARK THE UTILITY LOCATIONS AND PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS.
 2. EXISTING CONDITIONS INFORMATION IS FROM SURVEY BY CALTY ENGINEERS AND CONSULTANTS, DATED 10-19-18.
 3. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 4. EXISTING LOTS VACANT.
 5. CONTRACTOR SHALL HAVE ALL ON-SITE UTILITIES LOCATED BY A UTILITY LOCATING SERVICE PRIOR TO ANY WORK FROM OR CONSTRUCTION. NOTIFY OWNER / ENGINEER OF ANY DISCREPANCIES.
 6. ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 7. SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
 8. MAKE ANY CONSTRUCTION TO ADJUSTING ESTABLISHED GRADES. REPORT ANY DISCREPANCIES TO THE OWNER / CIVIL ENGINEER.
 9. THE FRAMES, GRATES, CLEAN OUTS, MANHOLE COVERS AND OTHER SURFACE UTILITY FEATURES SHALL BE ADJUSTED TO MEET PROPOSED GRADES WITH APPROPRIATE INSTALLATION DETAILS.
 10. COORDINATE LOCATION AND SIZE OF ROOF DRAINS WITH MEP PLANS.
 11. MINIMUM GRADE SHALL BE 1% FOR PAVED SURFACES OR FOR UNPAVED SURFACES UNLESS NOTED OTHERWISE BY PLANS.

STORMWATER EXEMPTION

1. THIS SITE IS EXEMPT FROM STORMWATER MANAGEMENT BASED ON USE 2.2.2.1 FOR GRASSY BUFFERED LOTS WHICH ARE DEFINED AS LOTS RECORDED PRIOR TO MAY 1, 2004. THE SUBJECT PROPERTY WAS RECORDED IN 1977. THE EXEMPTION IS SUBJECT TO THE APPLICABLE SURFACE LIMITATION OF USE 2.2.2.1 AND ADDITIONAL CONTROL MEASURES IN SECTION 2.2.2.1. THE SITE WILL BE UNDER THE IMPROVEMENTS AND REGULATIONS THROUGHOUT 2.2.2.1.3 DO NOT APPLY TO THE PROJECT.



NIV5
 NIV5 ENGINEERS AND CONSULTANTS, INC.
 3300 REELEY FARMWAY, SUITE 100
 CARY, NC 27513
 P: 919.851.1312 www.niv5.com
 VOLUME 14-2023

**PRELIMINARY
 DO NOT USE
 FOR CONSTRUCTION**

ANDRE JOHNSON ARCHITECT
 OFFICE BUILDING
 ASR-0040-2023
 498 WINDY HILL DRIVE
 RALEIGH, NC

REVISIONS

NO.	DATE	REVISIONS
1	12/14/2023	SUB PLAN RESUBMITTAL
2	01/20/2024	SUB PLAN RESUBMITTAL
3	01/20/2024	SUB PLAN RESUBMITTAL
4		
5		
6		
7		
8		

PROJECT NO.: 201962.01
 DRAWN BY: AJT
 DWG. CHECKED BY: JAT
 SCALE: SEE PLAN
 DATE: 06-12-2023

GRADING AND STORM DRAINAGE PLAN

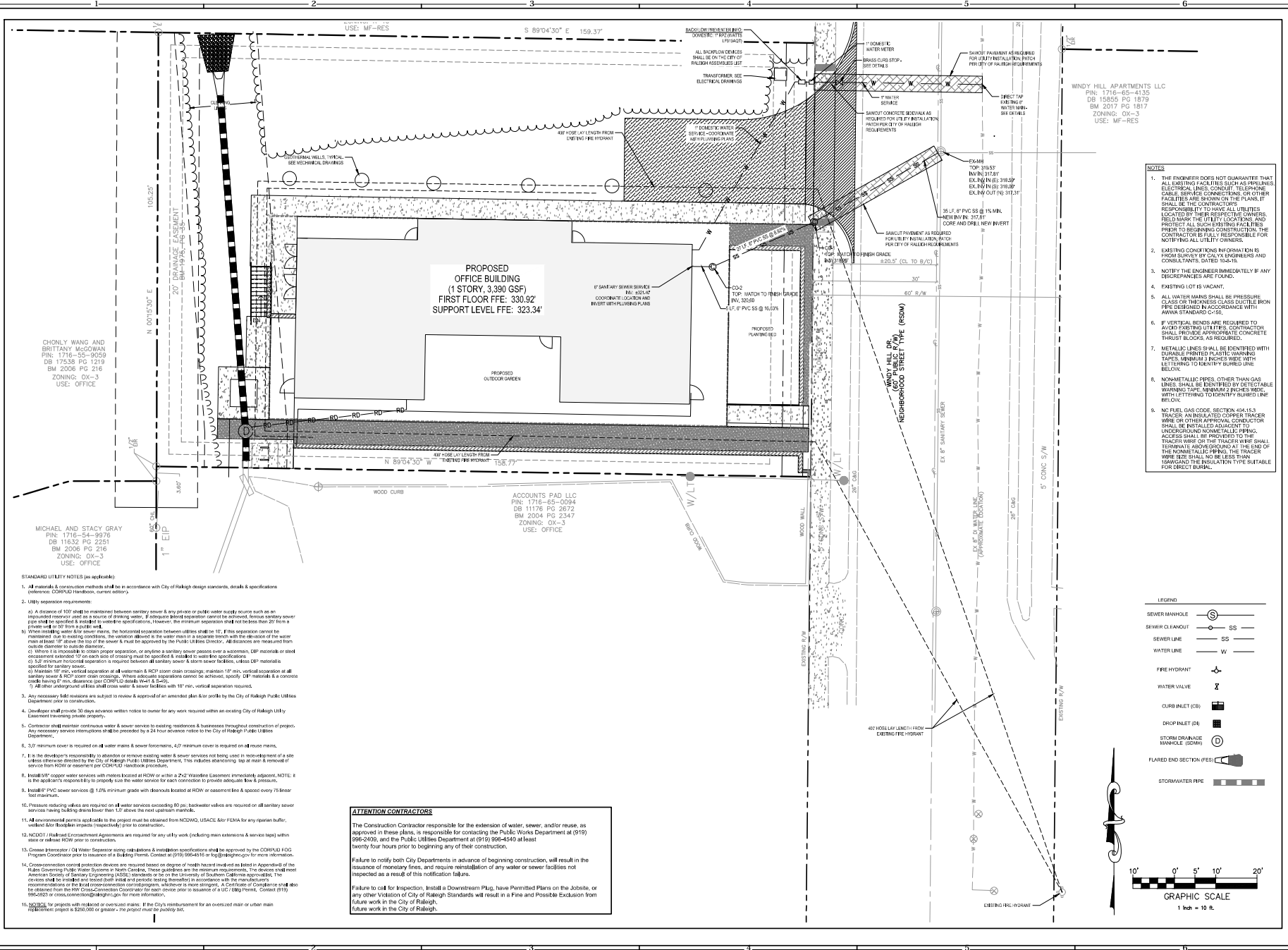
C-300

**PRELIMINARY
DO NOT USE
FOR CONSTRUCTION**

ANDRE JOHNSON ARCHITECT
OFFICE BUILDING
ASR-0040-2023
496 WINDY HILL DRIVE
RALEIGH, NC

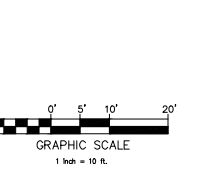
NO.	DATE	REVISIONS	REMARKS
1	12/14/2023	SUB. PLAN	RESUBMITTAL
2	01/20/2024	SUB. PLAN	RESUBMITTAL
3	01/20/2024	SUB. PLAN	RESUBMITTAL
4			
5			
6			
7			
8			

PROJECT NO:	201962.01
DRAWN BY:	ASJ
CHKD BY:	JJA
SCALE:	SEE PLAN
DATE:	06-12-2023



- NOTES**
- THE ENGINEER DOES NOT GUARANTEE THAT ALL EXISTING FACILITIES SUCH AS PIPES, ELECTRICAL LINES, CONDUIT, TELEPHONE CABLES, SERVICES, CONNECTIONS, OR OTHER FACILITIES ARE SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UTILITIES LOCATED BY THEIR RESPECTIVE FIELD PERSONNEL. THE CONTRACTOR SHALL PROTECT ALL SUCH EXISTING FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR NOTIFYING ALL UTILITY OWNERS.
 - EXISTING CONDITIONS INFORMATION IS FROM SURVEY BY CALYX LONGINES AND CONSULTANTS, DATED: 7-26-18.
 - NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
 - EXISTING LOT IS VACANT.
 - ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE RESISTANT TO ANCHORAGE (AWWA STANDARD C-15).
 - IF VERTICAL BENDS ARE REQUIRED TO AVOID EXISTING UTILITIES, CONTRACTOR SHALL PROVIDE APPROPRIATE CONCRETE THRUST BLOCKS AS REQUIRED.
 - METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED OR PLASTIC WARNING TAPES MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE MARKING TAPES MINIMUM 2 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - NO PNEUMATIC GAS COOK SECTION 404-H.3 TRACER. AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO UNDERGROUND NONMETALLIC PIPE. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE ON THE TRACER WIRE SHALL TERMINATE ABOVE GROUND AT THE END OF THE NONMETALLIC PIPE. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 1/8" AND THE INSULATION TYPE SUITABLE FOR DIRECT BURIAL.

- LEGEND**
- SEWER MAIN/LOOSE:
 - SEWER LAYOUT:
 - SEWER LINE:
 - SEWER LINE:
 - SEWER LINE:
 - FIRE HYDRANT:
 - WATER VALVE:
 - CURB INLET (CBI):
 - DROP INLET (DI):
 - STORM DRAINAGE MANHOLE (SDMH):
 - FLARED END SECTION (FES):
 - STORMWATER PIPE:



ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-6409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

CHOLY WANG AND BRITTANY MCGOWAN
P.N.: 1716-55-9629
DB: 17538 PG 1219
BM: 2006 PG 216
ZONING: OX-3
USE: OFFICE

MICHAEL AND STACY GRAY
P.N.: 1716-54-9978
DB: 11632 PG 2251
BM: 2006 PG 216
ZONING: OX-3
USE: OFFICE

**PROPOSED OFFICE BUILDING
(1 STORY, 3,390 GSF)
FIRST FLOOR FFE: 330.32'
SUPPORT LEVEL FFE: 323.34'**

ACCOUNTS PAD LLC
P.N.: 1716-65-0034
DB: 11776 PG 2672
BM: 2004 PG 2347
ZONING: OX-3
USE: OFFICE

- STANDARD UTILITY NOTES (as applicable)**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CDOT/UD handbook, current edition).
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate clearance cannot be achieved, remove sanitary sewer pipe that is specified & replace to meet specifications. However, the minimum separation shall not be less than 20' from a private well or 30' from a public well.
 - When installing water for sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to field conditions, the separation allowed in the water main is a separate main with the diameter of the water main at least 1" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is infeasible to obtain proper separation, or any line or sanitary sewer passes over a watermain, DFP material or steel deck material extended 12" on each side of crossing must be specified & installed to meet specifications.
 - 3/2" minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DFP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation or at least maintain 8" RCH storm drain separation (minimum 18" min. vertical separation at all sanitary sewer & RCH storm drain crossings. Where adequate separations cannot be achieved, specify DFP materials & concrete deck having 18" min. clearance over CDOT/UD standard 18" RCH).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation, specify.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement (including easement diagrams).
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3/2" minimum cover is required on all water mains & sewer forcemains, 4/2" minimum cover is required on all house mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site (see options provided by the City of Raleigh Public Utilities Department). This includes abandoning, top up, main & removal of service from ROW or easement per CDOT/UD handbook procedures.
 - Install 1/2" copper water service with meters located at ROW or within a 2'x2' Vaporfree Easement immediately adjacent. NOTE: It is the developer's responsibility to provide and maintain the water service for each contractor to provide adequate flow & pressure.
 - Install 1/2" PVC sewer services @ 1.2% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi. Backwater valves are required on all sanitary sewer services having building drains lower than 1.5' above the next upstream manhole.
 - All environmental permits are applicable to the project must be obtained from NCDWQ, USACE, and/or FEMA for any riparian buffer, wetland, or floodplain impacts (responsibly prior to construction).
 - NCDOT Right-of-Way Encroachment Agreements are required for any off-plot work (including main extensions & service lines) within street or within ROW prior to construction.
 - Contractor shall obtain all necessary permits and approvals from the City of Raleigh and the State of North Carolina. Failure to obtain all necessary permits and approvals from the City of Raleigh and the State of North Carolina shall result in the issuance of monetary fines and possible exclusion from future work in the City of Raleigh. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Raleigh and the State of North Carolina.
 - NOTICE: For projects with reduced or oversized mains. If the City's requirement for an oversized main or urban main replacement project is \$250,000 or greater - the project must be publicly bid.

BIKE RACK INSTALLATION:
 SURFACE MOUNT: SHALL BE INSTALLED ON CONCRETE OR ASPHALT. THE RACK ASSEMBLY SHALL BE INSTALLED AS MANUFACTURED TO ENSURE VERTICAL PLACEMENT.
 IN-CHASSIS MOUNT: SHALL BE INSTALLED ON PAVED SURFACES. THE RACK ASSEMBLY SHALL BE INSTALLED AS MANUFACTURED TO ENSURE VERTICAL PLACEMENT.

STANDARD BIKE RACK

CITY OF RALEIGH	
DATE:	12-29-23
BY:	12-29-23

SHORT-TERM BICYCLE PARKING

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD CONCRETE PAVEMENT PATCH DETAIL

DATE: 12-29-23
 BY: 12-29-23

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD ASPHALT PAVEMENT PATCH DETAIL

DATE: 12-29-23
 BY: 12-29-23

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD CONCRETE CURB AND GUTTER DETAIL

DATE: 12-29-23
 BY: 12-29-23

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD CONCRETE CURB AND GUTTER DETAIL

DATE: 12-29-23
 BY: 12-29-23

LONG-TERM BICYCLE PARKING

CYCLISAFE PREPARK 3M (MS) LOCKERS (3) UNITS = (6) BIKE CAPACITY

DATE: 12-29-23
 BY: 12-29-23

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD CONCRETE CURB AND GUTTER DETAIL

DATE: 12-29-23
 BY: 12-29-23

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD CONCRETE CURB AND GUTTER DETAIL

DATE: 12-29-23
 BY: 12-29-23

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC WORKS
STANDARD CONCRETE CURB AND GUTTER DETAIL

DATE: 12-29-23
 BY: 12-29-23

OUTDOOR BIKE LOCKERS
 NO SCALE

- NOTES:**
 1. BIKE LOCKER TYPE: PREPARK 3M (MS) + 4 LOCKERS (MS) + 4 LOCKERS (MS) STANDARD LOCKER ASSEMBLY AS MANUFACTURED BY CYCLISAFE OR APPROVED EQUAL.
 2. BIKE LOCKER SHALL BE LOCATED NO MORE THAN 100' FROM MAIN ENTRANCE.

FRENCH DRAIN DETAIL (NTS)

SIDEWALK/AMENITY SPACE DETAIL
 NO SCALE

NVIS
 NVIS ENGINEERING AND CONSULTANTS, INC.
 3300 REGENCY PARKWAY, SUITE 100
 RALEIGH, NC 27608
 P: 919.851.9352
 WWW.NVIS.COM

**PRELIMINARY
 DO NOT USE
 FOR CONSTRUCTION**

ANDRE JOHNSON ARCHITECT
 OFFICE BUILDING
 ASR-0040-2023
 408 WINDY HILL DRIVE
 RALEIGH, NC

NO.	DATE	REVISIONS	REMARKS
1	12/10/2023	SITE PLAN	RESUBMITTAL
2	12/10/2023	SITE PLAN	RESUBMITTAL
3	01/29/2024	SITE PLAN	RESUBMITTAL
4			
5			
6			
7			
8			
9			

PROJECT NO: 201942.00
 DRAWN BY: AS
 DWG. CHECKED BY: JL
 SCALE: SEE PLAN
 DATE: 06-12-2023
SITE DETAILS
C-500

NVIS

NVIS ENGINEERING AND CONSULTANTS, INC.
3300 REGENCY PARKWAY, SUITE 100
DURHAM, NC 27704
P: 919.854.1919 www.nvis.com
REVISED 4/2018

**PRELIMINARY
DO NOT USE
FOR CONSTRUCTION**

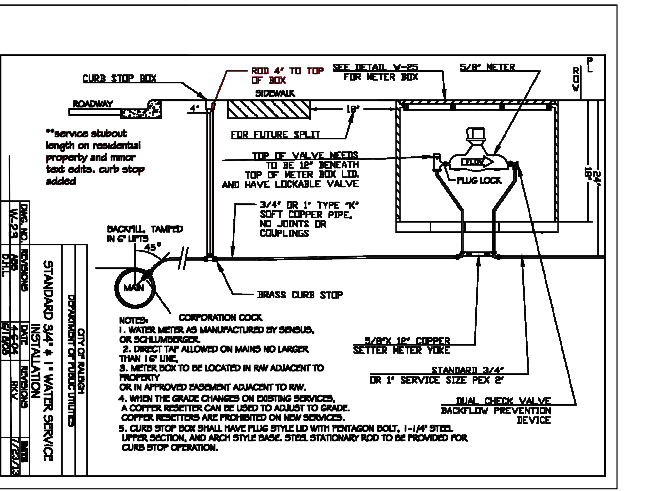
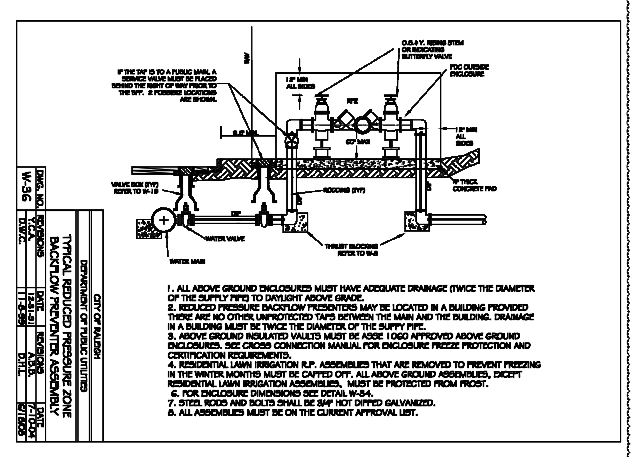
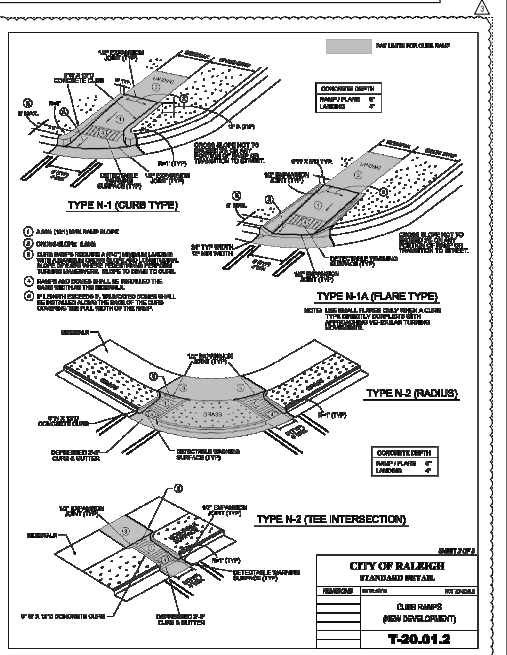
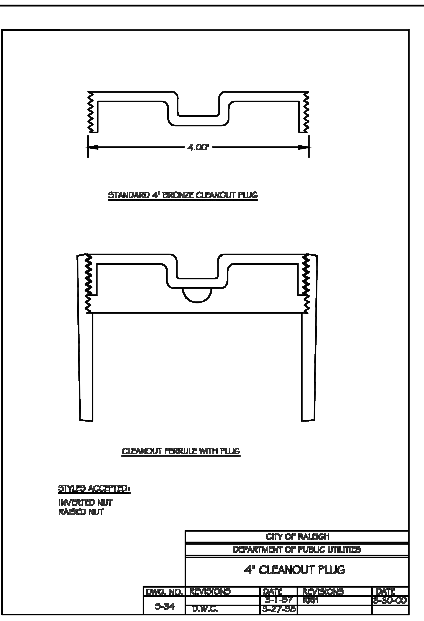
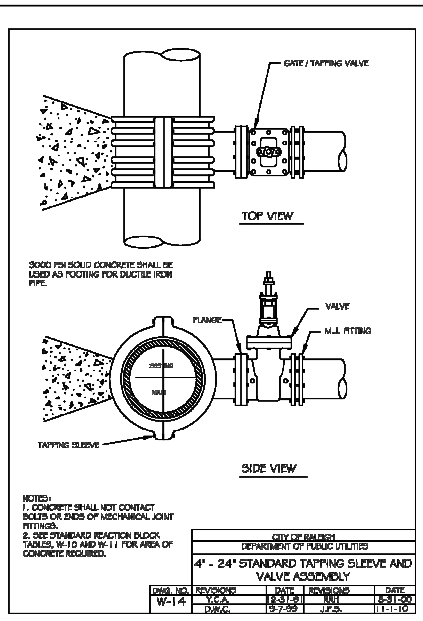
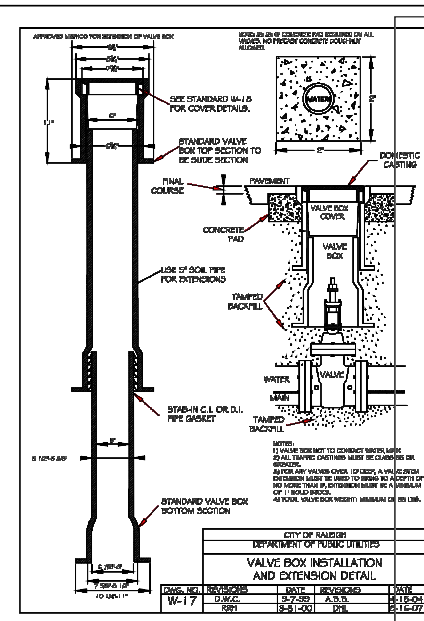
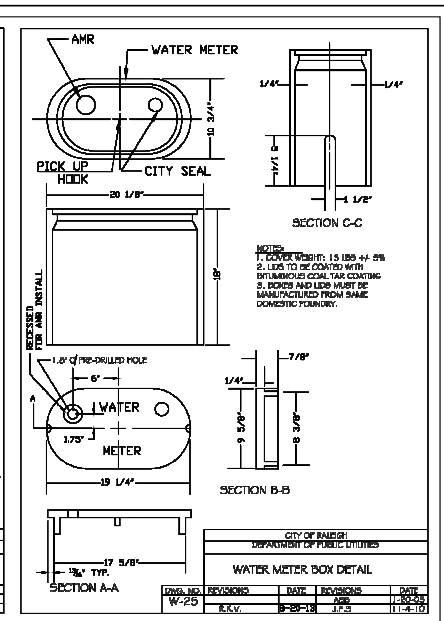
ANDRE JOHNSON ARCHITECT
OFFICE BUILDING
ASR-0040-2023
498 WINDY HILL DRIVE
RALEIGH, NC

REVISIONS

NO.	DATE	REVISIONS
1	12/14/2023	SITE PLAN RESUBMITTAL
2	12/14/2023	SITE PLAN RESUBMITTAL
3	01/29/2024	SITE PLAN RESUBMITTAL
4		
5		
6		
7		
8		
9		

PROJECT NO: 201942.00
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
REVISION: 3
DATE: 06-12-2023

C-501
SITE DETAILS





Raleigh Fire Department
 Office of the Fire Marshal
 3130/4000 Main Street, Suite 100
 Raleigh, NC 27602
 Office (819) 966-6392



Alternate Material, Design or Methods Application

Transaction No. ASR-0040-2023

Design Professional: Theresa Barb, Andre Johnson Architects. Phone #: (304) 768-9231

Signature: *Theresa Barb*

Building Address: 4981 Windy Hill Drive, Raleigh, NC 27609

Alternate Material, Design or Methods Application requires ID Business logos for review in accordance with 2013 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES Section 105 Alternate Material, Design or Methods.

I am requesting review of an alternate or modification to the provisions of Section 503.2.3 of the North Carolina Fire Prevention Code:

This code section requires: Fire apparatus access roads shall be designed and constructed to support the proposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.

Proposed Alternate: Include drawings to clearly illustrate request, before and after if appropriate.

We propose using a porous grass paver (Grasspave2) that is capable of supporting a fire truck that weighs 30,000-55,000 lbs. We will minimize the area between the fire lane and concrete surfaces using a transition between materials from the grass pavers to full concrete surfaces. Traffic Houston grasses over mulch. The grass pavers will be maintained year-round as required per the Grasspave2 Maintenance Guide. A soils engineer will be on site during installation to ensure the grass paver is installed per the manufacturer's instructions and meets the required compaction requirements. Signs will be installed on either side of the fire lane to clearly identify the access lane - please refer to the

paying for locations included in this request is a drawing of the proposed landscape plan and edge transition detail, the Grasspave2 Maintenance guide, and the Grasspave2 loading calculations/diagrams.

Reason for Request:

Occupant for this office project is to be as sustainable conscious as possible and adding a large swath of impervious surface under the fire lane would be counter to this goal. Changing the fire lane to our proposed grass paver would be effective both in supporting the load of apparatus, as well as preserving as much of the site's natural drainage as possible.

Request For Alternate Material, Design or Methods
Staff Use Only
 Page 2 of 2

Date Received: 12/11/2023

Evaluation of Proposal by: RFD Office of the Fire Marshal

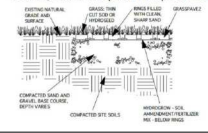
- Suitability: _____
- Strength: _____
- Effectiveness: _____
- Fire Resistance: _____
- Durability: _____
- Safety: _____
- Sanitation: _____
- Recommended Action: APPROVE, DENY, or BY Kevin T. Bailey
- Conditions: Approved as outlined in the Alternate Means form.

Additional Information on Proposed Alternate:

Submit this form and associated submittals and supporting documentation.

Approved by: Kevin T. Bailey Date: 12/22/2023
Kevin T. Bailey
 Assistant Fire Marshal

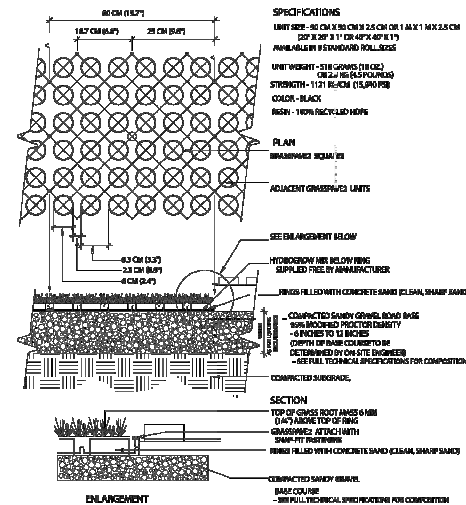
FLUSH, NATURAL (EXISTING) EDGING



GRASSPAVE EDGING DETAIL
 NO SCALE

TYPICAL GRASSPAVE2 DETAIL

CHOOSE THIS PRODUCT FOR REINFORCING GRAVE WEARING SURFACES



TYPICAL GRASSPAVE2 DETAIL

CHOOSE THIS PRODUCT FOR REINFORCING GRAVE WEARING SURFACES



UNIT 1: 40 CM X 40 CM X 2.5 CM (1.6 IN X 1.6 IN X 2.5 CM)
 UNIT WEIGHT: 11.2 KG (24.6 LBS)
 STRENGTH: 1121 N (253.0 LBS)
 COLOR: BLACK
 FINISH: TYPICAL LID MARK

NO. 10 REBAR
 1.25 M (50 IN) ON CENTER
 1.25 M (50 IN) ON CENTER
 1.25 M (50 IN) ON CENTER

NIVIS
 NIVIS CONSULTING AND CONSULTANTS, INC.
 3300 REGENCY PARKWAY, SUITE 100
 RALEIGH, NC 27609
 P: 919.854.1952 www.nivis.com
 F: 919.854.1952

**PRELIMINARY
 DO NOT USE
 FOR CONSTRUCTION**

ANDRE JOHNSON ARCHITECT
 OFFICE BUILDING
 ASR-0040-2023
 498 WINDY HILL DRIVE
 RALEIGH, NC

NO.	DATE	REVISIONS	REMARKS
1	12/11/2023	SUBMITTAL	FOR REVIEW
2	12/19/2023	SITE PLAN RESUBMITTAL	FOR REVIEW
3	01/29/2024	SITE PLAN RESUBMITTAL	FOR REVIEW
4			
5			
6			
7			
8			

PROJECT NO: 2019462.00
 DRAWN BY: AS
 DWG. CHECKED BY: AS
 SCALE: SEE PLAN
 DATE: 06-12-2023

**SITE
 DETAILS**
C-502

Grasspave² Maintenance Guide

for
Owners and Maintenance Staff



Invisible Structures, Inc.
P.O. Box 233-8383
www.invisiblestructures.com

Grasspave² - Maintenance Guide

Regular maintenance is required to maintain traffic on grass paved areas with minimum wear and tear problems. The following maintenance and repair information, compiled from more than a decade of direct experience with Grasspave² and Grasspave³, will enable staff to keep your grass paved areas healthy and beautiful all year long.

For more information about best maintenance, or for questions in general about a particular site, visit Invisible Structures, Inc. web page at 2-800-233-1030.

Normal Maintenance

Grasspave² paved areas require basically the same care as other turf areas. Mow, irrigate, and fertilize as necessary for selected grass species for a healthy turf. An aeration and frequency of traffic increases, greater stress is placed on the turf, which means careful observation and response by maintenance staff. Recommended fertilizers and insecticides:

- NPK fertilizers - for other fertilizer applications, use fertilizers less for grass species used. As traffic frequency increases, the need for additional nitrogen increases to make the grass GRASSY (faster and replace damaged turf quickly). Take care in use fertilizers that do not have poor materials such as clay or "fillers." The best fertilizers use:
- slow release (nutrients retained)
- liquid concentrates (through irrigation system)
- Micro nutrients - apply fertilizers supplemented with micronutrients such as Humate, once a year. Or apply the micronutrient in a separate application.
- Other Chemicals - apply water, herbicide, and insecticide as needed in response to site specific needs/problems.

Grasspave² Maintenance - Page 1

Grasspave² - Maintenance Guide

Normal Maintenance Checklist:

- Remove that sandy gravel base in porous.
 - Run hose so time to make sure water flows into base.
 - If water has a low spot which collects water, possible reduction in drainage in porous areas.
- Apply Hydroglove Ball Polymer to base.
 - Apply Hydroglove Ball Polymer over the area by hand, or using fertilizer spreader, at a rate of 10 lbs per 1000 sq ft per wet soil, or, spraying.
 - Warning - do not place any form of liquid between sandy gravel base and Grasspave² units!
- Place Grasspave² under base, use grade and slope to drainage. Cut with grading chain or knife if needed.
 - Place Grasspave² units (with rings) up directly over the sandy gravel base. Use the points and rings provided to connect the units.
 - Pre-wet, wet paving chains or slope high to the soil and between rings to reduce noise. "If" shaped units are not provided, but can be used to secure units to base if there is a slope or rapid speed and stopping involved.
- Fill Grasspave² under base with grass -
 - Use 1/2" - 3/4" and use with clean sharp sand (natural concrete sand) to top of rings, to form a fairly even top layer. Use the "topsoil" to fill rings. Apply soil and sand to the top surface, or alternate. Topsoil with concrete sand is slightly better. Use 1/2" - 3/4" and use with clean sharp sand (natural concrete sand) to top of rings (1/2" or 3/4" sand, then pour into and cover with light fabric per normal installation. Do not use "topsoil" to fill rings.
 - If installing with this soil, fill rings with 1/2" - 3/4" sand and use with clean sharp sand (natural concrete sand) to top of rings by 1/2" - 1/4" (5 - 12 mm).
- Topsoil, fertilizer and maintain turf per normal lawn. Protect from traffic until turf root system is well established.

Grasspave² Installation Procedure

Grasspave² - Maintenance Guide

Normal Maintenance Checklist:

- Remove that sandy gravel base in porous.
 - Run hose so time to make sure water flows into base.
 - If water has a low spot which collects water, possible reduction in drainage in porous areas.
- Apply Hydroglove Ball Polymer to base.
 - Apply Hydroglove Ball Polymer over the area by hand, or using fertilizer spreader, at a rate of 10 lbs per 1000 sq ft per wet soil, or, spraying.
 - Warning - do not place any form of liquid between sandy gravel base and Grasspave² units!
- Place Grasspave² under base, use grade and slope to drainage. Cut with grading chain or knife if needed.
 - Place Grasspave² units (with rings) up directly over the sandy gravel base. Use the points and rings provided to connect the units.
 - Pre-wet, wet paving chains or slope high to the soil and between rings to reduce noise. "If" shaped units are not provided, but can be used to secure units to base if there is a slope or rapid speed and stopping involved.
- Fill Grasspave² under base with grass -
 - Use 1/2" - 3/4" and use with clean sharp sand (natural concrete sand) to top of rings, to form a fairly even top layer. Use the "topsoil" to fill rings. Apply soil and sand to the top surface, or alternate. Topsoil with concrete sand is slightly better. Use 1/2" - 3/4" and use with clean sharp sand (natural concrete sand) to top of rings (1/2" or 3/4" sand, then pour into and cover with light fabric per normal installation. Do not use "topsoil" to fill rings.
 - If installing with this soil, fill rings with 1/2" - 3/4" sand and use with clean sharp sand (natural concrete sand) to top of rings by 1/2" - 1/4" (5 - 12 mm).
- Topsoil, fertilizer and maintain turf per normal lawn. Protect from traffic until turf root system is well established.

Grasspave² Installation Procedure

Grasspave³ - Maintenance Guide

required by topsoiling as described in "Turf Spots-Repairs" on Page 3.

Avoid long-term plowing of snow on grass paved surfaces to minimize possible damage from snow melt and other related diseases. Snow melt from grass areas at about the same rate as that of asphalt.

Thatch Removal

Over time, most grass installations, including Grasspave³ areas, will develop layers of thatch-usually defined as old leafless stems of grass, or layers of grass clipping in various state of decomposition. Thatch is a problem because it can prevent penetration and, if allowed to build layers over 1/2" in depth above the Grasspave³ structure, this layer of thatch must be removed for the long-term health of turf.

Different grasses require different techniques for thatch removal. The two most common methods are:

- Use of raking that on rotary mowers
- Mow (best for hollow from cylinders)
- Use of soil scarifier, set to shallow depth to add topsoil or fill (best for air/waterzone soil deposits over long term)

Depending on the depth of thatch removed and the condition of grass covers remaining, it may be necessary to irrigate and reseed. (See "Turf Spots-Repairs," page 3)

Drill-Holes-Reinforce Areas

Subsurface utilities can be installed or repaired by cutting the Grasspave³ sections and turf with a soil cutter (set to depth below the Grasspave³ padding) making up the section, and replacing it with a reinforced Grasspave³ section (the base as in a new installation, (see Grasspave³ Installation Guide) and replace the Grasspave³ and turf. Be sure to compact the base course material to 95% Proctor (5 to 4 points with vibrating roller).

Grasspave³ Maintenance - Page 4

Grasspave³ - Maintenance Guide

regular maintenance is required to maintain traffic on grass paved areas with minimum wear and tear problems. The following maintenance and repair information, compiled from more than a decade of direct experience with Grasspave² and Grasspave³, will enable staff to keep your grass paved areas healthy and beautiful all year long.

For more information about best maintenance, or for questions in general about a particular site, visit Invisible Structures, Inc. web page at 2-800-233-1030.

Normal Maintenance

Grasspave³ paved areas require basically the same care as other turf areas. Mow, irrigate, and fertilize as necessary for selected grass species for a healthy turf. An aeration and frequency of traffic increases, greater stress is placed on the turf, which means careful observation and response by maintenance staff. Recommended fertilizers and insecticides:

- NPK fertilizers - for other fertilizer applications, use fertilizers less for grass species used. As traffic frequency increases, the need for additional nitrogen increases to make the grass GRASSY (faster and replace damaged turf quickly). Take care in use fertilizers that do not have poor materials such as clay or "fillers." The best fertilizers use:
- slow release (nutrients retained)
- liquid concentrates (through irrigation system)
- Micro nutrients - apply fertilizers supplemented with micronutrients such as Humate, once a year. Or apply the micronutrient in a separate application.
- Other Chemicals - apply water, herbicide, and insecticide as needed in response to site specific needs/problems.

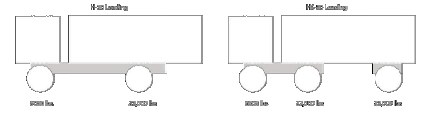
Grasspave³ Maintenance - Page 1

Normal Maintenance Checklist:

- Remove that sandy gravel base in porous.
 - Run hose so time to make sure water flows into base.
 - If water has a low spot which collects water, possible reduction in drainage in porous areas.
- Apply Hydroglove Ball Polymer to base.
 - Apply Hydroglove Ball Polymer over the area by hand, or using fertilizer spreader, at a rate of 10 lbs per 1000 sq ft per wet soil, or, spraying.
 - Warning - do not place any form of liquid between sandy gravel base and Grasspave³ units!
- Place Grasspave³ under base, use grade and slope to drainage. Cut with grading chain or knife if needed.
 - Place Grasspave³ units (with rings) up directly over the sandy gravel base. Use the points and rings provided to connect the units.
 - Pre-wet, wet paving chains or slope high to the soil and between rings to reduce noise. "If" shaped units are not provided, but can be used to secure units to base if there is a slope or rapid speed and stopping involved.
- Fill Grasspave³ under base with grass -
 - Use 1/2" - 3/4" and use with clean sharp sand (natural concrete sand) to top of rings, to form a fairly even top layer. Use the "topsoil" to fill rings. Apply soil and sand to the top surface, or alternate. Topsoil with concrete sand is slightly better. Use 1/2" - 3/4" and use with clean sharp sand (natural concrete sand) to top of rings (1/2" or 3/4" sand, then pour into and cover with light fabric per normal installation. Do not use "topsoil" to fill rings.
 - If installing with this soil, fill rings with 1/2" - 3/4" sand and use with clean sharp sand (natural concrete sand) to top of rings by 1/2" - 1/4" (5 - 12 mm).
- Topsoil, fertilizer and maintain turf per normal lawn. Protect from traffic until turf root system is well established.

Grasspave³ Installation Procedure

H-20 and HS-20 loading

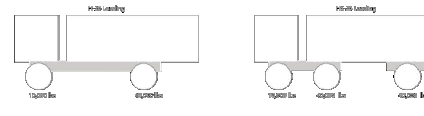


Dynamic Load Sample Calculation	Surface Pressure
Wheel load = W ₁ = 8000 lbs (32,000 lb axle / 4)	32,000 lb load for single rear axle
Dynamic Force = F _d = 1.2 (20% greater than static force)	32,000 / 0.7 = 45,714 lbs per axle
Spread Area = A = 26.1 (112' cover with degree angle)	rear axle = 6000 lbs per tire
Weight of base = C ₁ = 0.97 psi (112' road base @ 140 lbs/cf)	100 sq in = contact area = (10" x 10")
o _{va} = (W ₁ x F _d / A) - c ₁	8000 lbs / 100 sq in = 80 psi
o _{va} = 18,000 lbs x 1.2 / 255 sq in + 0.97 lb	
o _{va} = 38.5 psi load results at top of 853 Chamber	
38.5 psi (266 kPa) on Rainstore ² Chamber with H-20/HS-20 Loads	80 psi (552 kPa) Static at Top of Cover
147.8 psi (330 kPa) with HS-25 Loads	

Additional note: base has independent field and laboratory tested to meet H-20 design loading.

Let's determine average Rainstore² load capacity to be 80 psi at 2x safety factor.

Grasspave², Grasspave³, and Stonepave² can withstand 154.9 psi wet 1/2" rainwater (100% wet or 25 wet loading).



NVIS

NVIS OVERLAYS AND CONCRETE, INC.
3300 REGENCY PARKWAY, SUITE 100
DURHAM, NC 27704
P: 919.854.1952 www.nvis.com
NVIS019-1952

PRELIMINARY
DO NOT USE
FOR CONSTRUCTION

ANDRE JOHNSON ARCHITECT
OFFICE BUILDING
ASR-0040-2023
408 WINDY HILL DRIVE
RALEIGH, NC

NO.	DATE	REVISIONS	REMARKS
1	12/10/2023	1	SITE PLAN, RESUBMITTAL
2	01/29/2024	2	SITE PLAN, RESUBMITTAL
3	01/29/2024	3	SITE PLAN, RESUBMITTAL
4		4	
5		5	
6		6	
7		7	
8		8	

PROJECT NO: 201942.02
DRAWN BY: ASJ
DWG. CHECKED BY: JH
SCALE: SEE PLAN
DATE: 06-12-2023

SITE DETAILS
C-503

LANDSCAPE NOTES AND REQUIREMENTS

SEEDING / SODDING NOTES AND REQUIREMENTS

- ALL SEEDED / SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SO.
- NO SEEDED / SODDED AREAS SHALL BE SEEDED / SODDED UNTIL ALL OTHER LANDSCAPE AND CIVIL CONSTRUCTION ACTIVITIES, INCLUDING FINAL GRADING, PLANTINGS, MULCHING AND SODGING ARE COMPLETED AND APPROVED BY THE ARCHITECT AND THE OWNER.
- SODDED AREAS SHALL ONLY BE ACCEPTED WHEN ALL OF THE CONDITIONS IDENTIFIED BELOW ARE MET:
 - ROOTS ARE THOROUGHLY KNIT TO THE SOIL.
 - ABSENCE OF VISIBLE JOINTS.
 - ALL AREAS SHOW A UNIFORM STAND OF SPECIES GRASS IN HEALTHY CONDITION.
 - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUALITY GUARANTEE SHALL BE AS FOLLOWS:
 - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY AND FREE FROM WEED, FOREIGN PLANT MATERIAL, DISEASE AND OTHER VISIBLE IMPERFECTIONS AT THE TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SO IS PROPERLY IRRIGATED DURING THE GROW IN PERIOD AND SHALL BE RESPONSIBLE IF THE SO SUFFERS IRREPARABLE HARM.
 - THE ARCHITECT OR OWNER RESERVES THE RIGHT TO REJECT ANY AND ALL SOD INSTALLED OR DELIVERED THAT DOES NOT MEET THE SPECIFICATION REQUIREMENTS. THIS INCLUDES BOTH THE SOD MATERIAL AND WORKMANSHIP OF THE SO.
 - THE MINIMUM SOD STANDARDS SHALL BE AS FOLLOWS:
 - HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL, FREE OF WEEDS AND FOREIGN MATERIAL, UNIFORM GREEN COLOR, SINGULAR SPECIES, LEAF TEXTURE AND DENSITY, HEALTHY AND VIGOROUS ROOT SYSTEM, INSPECTED AND FOUND TO BE FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
 - EACH SOD PIECE SHALL HAVE A DURABLE AND APPROPRIATE BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING TRANSPORT, HANDLING OR INSTALLATION. DEFECTIVE SOD UNITS WILL NOT BE USED.
 - THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
 - THATCH SHALL NOT EXCEED 1/2" UNCOMPRESSED.
 - MINIMUM SIZE OF SOD SHALL BE 18" WIDE THAT IS CUT NOT MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES AND REQUIREMENTS:
 - SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES BASED ON THE FEDERAL SEED ACT.
 - SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE SHALL BE REJECTED BY THE ARCHITECT OR OWNER.
 - CONTRACTOR SHALL PROTECT THE SOD FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP SOD STORED SUCH THAT THE SOD REMAINS MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
 - DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
 - DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED PROPERLY WITHIN 36 HOURS OF SOD ARRIVING ON SITE.
 - DO NOT STACK SOD MORE THAN 2 FEET DEEP.
- SOD BED PREPARATION REQUIREMENTS:
 - ALL DIBBLE AND ROCKS LARGER THAN 1/2" DIA. SHALL BE REMOVED PRIOR TO THE INSTALLATION OF THE SO.
 - ALL AREAS TO RECEIVE SOD SHALL HAVE A MINIMUM OF 2" APPROVED TOPSOIL TILLED INTO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.

PLANTING NOTES AND REQUIREMENTS

- PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. PLANTINGS SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL CONDITIONS OF THE SPECIFICATIONS AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING AND EXCEEDING 200. THE OWNER AND /OR ARCHITECT MAINTAINS ALL RIGHTS TO REJECT ANY PLANT DUE TO AESTHETIC OR STRUCTURAL DEFICIENCY AT ANY TIME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS IDENTIFIED. QUANTITIES PROVIDED IN THE PLANS FOR GROUND COVER AND ORNAMENTAL GRASSES ARE FOR THE CONTRACTORS CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- ALL PLANT MATERIAL IDENTIFIED SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- IF ANY PLANT MATERIAL SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR, THEN WRITTEN NOTICE SHALL BE PROVIDED TO THE ARCHITECT NOT LESS THAN 72 HOURS PRIOR TO COMPLETION OF CONTRACTORS FINAL BID. CONTRACTOR SHALL PROVIDE ARCHITECT IMAGES OF MATURE PLANTS SUGGESTED FOR SUBSTITUTION ALONG SIDE THE PLANT MATERIAL SPECIFIED IN THE CONTRACT DOCUMENTS.
- BALLED AND BURLAPPED PLANTS AND /OR TREES SHALL BE PLANTED PRIOR TO BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBEROUS ROOTS AS POSSIBLE IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSII Z60.1.
 - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL ON THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING AND WIRE BASKET FROM AT LEAST THE TOP HALF OF THE ROOTBALL AND DISCARD FROM PLANTING HOLES.
 - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBEROUS ROOTS AS POSSIBLE IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSII Z60.1.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL ON THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED SHALL BE DESIGNATED BY THE OWNER OR ARCHITECT. TREE STAKING FOR SHADE AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - ALL PLANT BEDS SHALL RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL.
 - APPROVED TOPSOIL IS TO BE FROM ON SITE STOCKPILE CREATED BY STRIPPING OPERATIONS. REFER TO THE SEDIMENT AND EROSION CONTROL PLANS.
- ALL MULCH IDENTIFIED IN THE CONTRACT DOCUMENTS SHALL BE CERTIFIED TO BE FREE OF WEEDS, NON-INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SHALL BE PROVIDED TO THE ARCHITECT BEFORE SITE DELIVERY.

GENERAL NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDER GROUND UTILITIES PRIOR TO THE BEGINNING OF PLANTING.
- ALL WEEDS AND NON NATIVE SPECIES PLANTING AND GROUND COVER EXISTING ON SITE SHALL BE REMOVED PRIOR TO SOIL PREPARATION AND PLANTING.
- PRIOR TO PLANTING, THE SOIL SHALL BE PREPARED FOR PLANTING.
- PLANTS SHALL BE PURCHASED ACCORDING TO THEIR SCIENTIFIC NAMES AND IN THE QUANTITY AND SIZES INDICATED WITHOUT EXCEPTION.
- PLANTINGS SHALL BE LOCATED AWAY FROM ALL PERMANENT FEATURES SUCH THAT THE PLANTINGS AND THE PERMANENT FEATURES ARE NOT DAMAGED BY THE PROPOSED PLANTING.
- ALL PLANTING MATERIAL SHALL BE FREE OF ALL INSECTS, PESTS, DISEASES AND CANERS AND BE HEALTHY AND SUSTAINABLE CONDITION AND FREE FROM PHYSICAL AND MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER ESTABLISHMENT OF ALL PLANTINGS AND TO ENSURE VIABILITY UNTIL OWNER, ARCHITECT AND CONTRACTOR AGREE ON PLANT HEALTH AND VIABILITY. CONTRACTOR SHALL WARRANT PLANTINGS FOR 1 YEAR.
- ALL GRAVEL GROUND COVER SHALL BE ADA ACCESSIBLE AND HELD IN PLACE WITH SPOKY ANCHORS TO ENSURE GRAVEL IS NOT DISTRIBUTED WITH FOOT TRAFFIC OR OTHER LIGHT NON-VEHICLE TRAFFIC.
- ALL LEDGING BETWEEN TURF AND GRAVEL, GRAVEL AND MULCH AREAS AND OTHER TRANSITIONS SHALL BE METAL EDGE WITH HEMED TOP EDGE TO AVOID SHARP CORNERS AND EDGES.
- NO PARKING LOT LIGHT FEATURE MAY BE WITHIN 20'-0" OF ANY TREE TRUNK PER IUD SECTION 7.1.7.C.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- TRASH AND RECYCLING CONTAINERS WILL BE STORED IN THE TRASH ROOM AT THE SUPPORT LEVEL AND BROUGHT OUT TO THE POINT OF COLLECTION BY DESIGNATED STAFF OR JANITORIAL SERVICES. AFTER TRASH IS COLLECTED, THE BINS WILL BE REMOVED FROM THE POINT OF COLLECTION AND RETURNED TO THE TRASH ROOM.

CLIENT AND PROJECT



ANDRE JOHNSON
ARCHITECTS

JMM
DEVELOPMENT
SPECULATIVE
OFFICE
BUILDING
4981 WINDY HILL DRIVE
RALEIGH, NC

DESIGNER



PO BOX 14627
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.881.6266
MAIL: aja@ajadesign.com

© 2019 Andre Johnson Architect, PLLC
No duplication or reproduction by any means without the express written consent of Andre L. Johnson. Andre Johnson is a member of the North Carolina Bar. The information contained on this document is the intellectual property of Andre L. Johnson. All rights reserved. No part may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Andre L. Johnson.

CONSULTANT

LANDSCAPE PLANTING REQUIREMENTS

STREET TREES REQUIREMENT PER IUD SECTION 6.5

SHADE TREES REQUIRED: TREES PLANTED EVERY 40'-0" O.C.
SHADE TREES PROVIDED: 1 (SEE SHEET 05-002'S)

UNDERSTORY TREES REQUIRED: NONE PER SECTION 7.2.1 AND SECTION 6.5
UNDERSTORY TREES PROVIDED: NONE

SHRUBS REQUIRED (PER 100'-0"): NONE
SHRUBS PROVIDED (PER 100'-0"): NONE

PERIMETER B&B AND PROTECTIVE YARD REQUIREMENTS

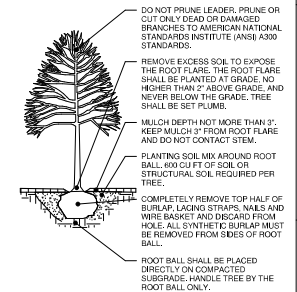
SHADE TREES REQUIRED: NONE PER SECTION 7.1.7.2.C
SHADE TREES PROVIDED: NONE

UNDERSTORY TREES REQUIRED: NONE PER SECTION 7.1.7.2.C
UNDERSTORY TREES PROVIDED: NONE

SHRUBS REQUIRED (PER 100'-0"): NONE - NO PARKING PROHIBITED - SECTION 7.1.7.2.C NOT APPLICABLE
SHRUBS PROVIDED (PER 100'-0"): NONE - NO PARKING PROHIBITED - SECTION 7.1.7.2.C NOT APPLICABLE

STANDARD TREE DETAIL

ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP03, BELOW.



NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DAMAGE OF ALL PLANTING PTS. POSITIVE DRAINAGE AWAY FROM PIT.
- TREES SHALL BE PLANTED BETWEEN COST. 1ST AND APRIL 30TH. A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

PLANT SCHEDULE

QTY	SPACING	COMMON NAME	ABBREVIATION	CALLER AT PLANTING	Ht. AT PLANTING	MATURE H-HEIGHT	CROWN SPREAD	NOTES
SHADE TREES - MEDIUM MATURING								
5		CARPINUS CAROLINIANA	AHB	3"	10'-0"	20'-0" - 40'-0"	20'-0" - 30'-0"	SLOW GROWING SHADE TREE SPACED MIN. 25' APART
ORNAMENTAL PLANTS / GRASSES								
60		SCHLAGHAMM SCOPARIUM	LITTLERUESTEM	LSB	NA	7'-0"	1'-0"	VARED PLANTING LAYOUT. MAXIMUM DENSITY REQUIRED AT ALL LOCATIONS

REGISTRATION

09.15.21

ISSUE

No.	Date	Description
2	10/27/23	Site Review Round 2
3	12/08/23	Site Review Round 3

SHEET #10

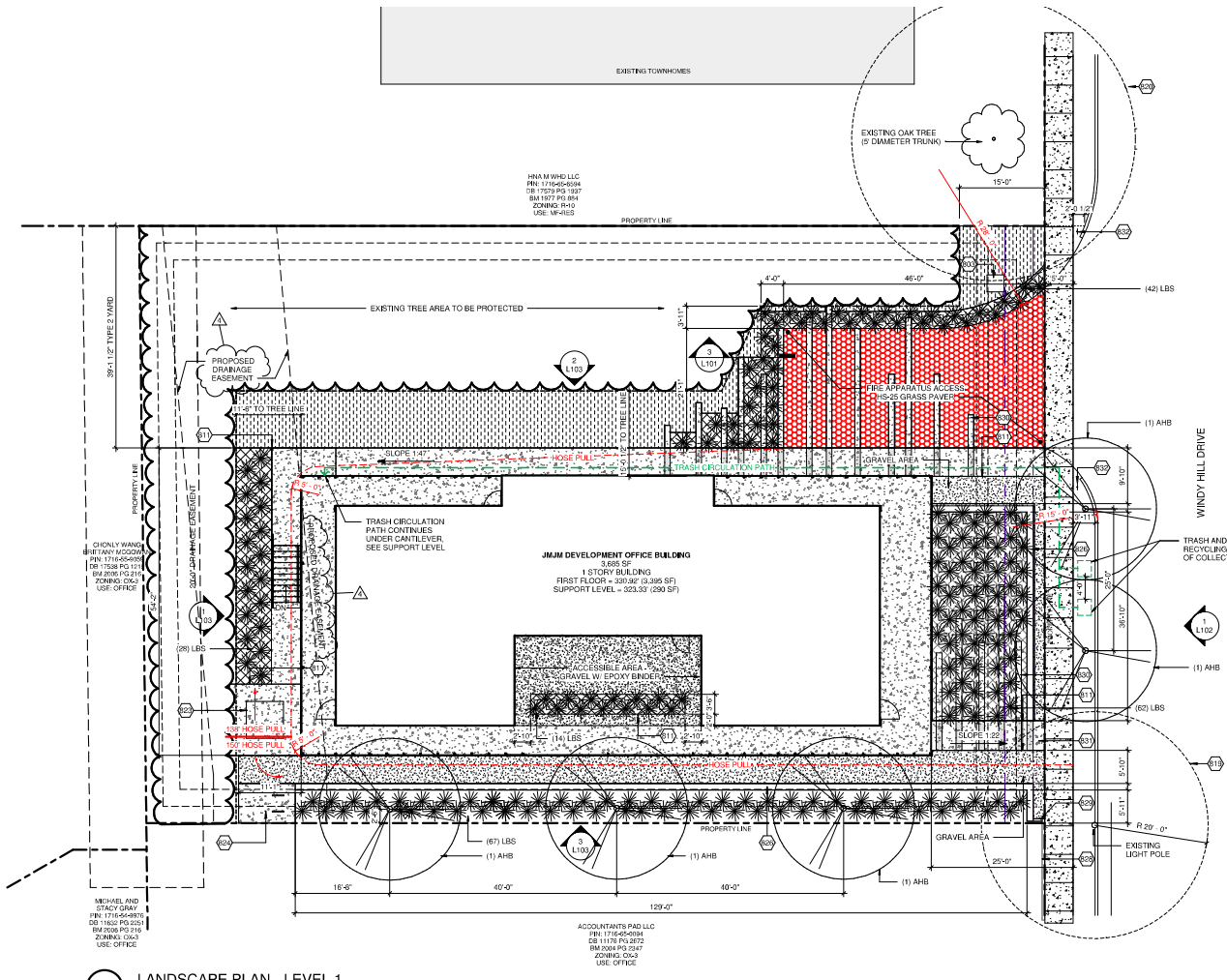
LANDSCAPE
NOTES AND
REQUIREMENTS

L100

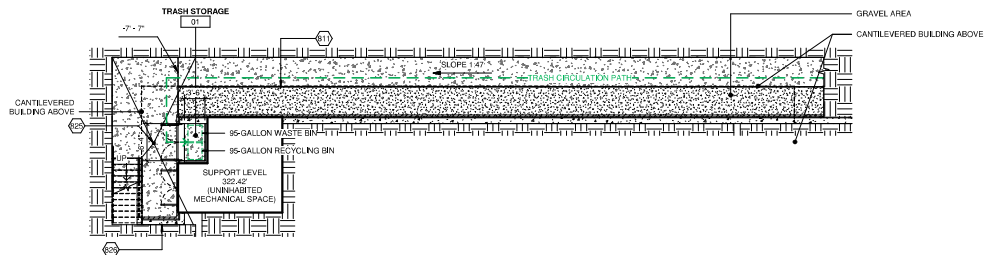
PROJECT NO.: M1819.00

DATE: 02/22/2024

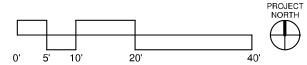
ASR REVIEW



1 LANDSCAPE PLAN - LEVEL 1
1" = 10'-0"



2 LANDSCAPE PLAN - SUPPORT LEVEL AND AREA BELOW CANTILEVER
1" = 10'-0"

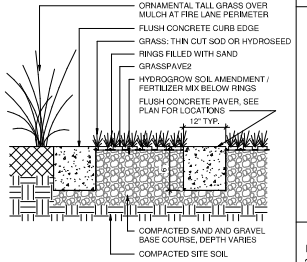


GENERAL NOTES

- A. ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF PLANTING.
- C. ALL WEEDS AND NON-NATIVE SPECIES PLANTING AND GROUND COVER EXISTING ON SITE SHALL BE REMOVED PRIOR TO SOIL PREPARATION AND PLANTING. PRIOR TO PLANTING, THE SOIL SHALL BE PREPARED FOR PLANTING.
- D. PLANTS SHALL BE PURCHASED ACCORDING TO THEIR SCIENTIFIC NAMES AND IN THE QUANTITY AND SIZES INDICATED WITHOUT EXCEPTION.
- E. PLANTINGS SHALL BE LOCATED AWAY FROM ALL PERMANENT FEATURES SUCH THAT THE PLANTINGS AND THE PERMANENT FEATURES ARE NOT DAMAGED BY THE PROPOSED PLANTING.
- F. ALL PLANTING MATERIAL SHALL BE FREE OF ALL INSECTS, PESTS, DISEASE AND CANCERS AND BE HEALTHY AND SUSTAINABLE CONDITION AND FREE FROM PHYSICAL AND MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- G. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER ESTABLISHMENT OF ALL PLANTINGS AND TO ENSURE VIABILITY UNTIL OWNER, ARCHITECT AND CONTRACTOR AGREE ON PLANT HEALTH AND VIABILITY. CONTRACTOR SHALL WARRANT PLANTINGS FOR 1 YEAR.
- H. ALL GRAVEL GORUND COVER SHALL BE ADA ACCESSIBLE AND HELD IN PLACE WITH EPOXY AMBITURE TO ENSURE GRAVEL IS NOT DISTRIBUTED WITH FOOT TRAFFIC OR OTHER TYPICAL NON-VEHICLE TRAFFIC.
- I. ALL EDGING BETWEEN TURF AND GRAVEL, GRAVEL AND MULCH AREAS AND OTHER TRANSITIONS SHALL BE METAL EDGE WITH HEMLOCK EDGE TO AVOID SHARP CORNERS AND EDGES.
- J. NO PARKING LOT LIGHT FEATURE MAY BE WITHIN 20'-0" OF ANY TREE TRUNK PER UDO SECTION 7.1.7.C.
- K. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- L. TRASH AND RECYCLING CONTAINERS WILL BE STORED IN THE TRASH ROOM AT THE SUPPORT LEVEL AND BROUGHT OUT TO THE POINT OF COLLECTION BY DESIGNATED STAFF OR JANITORIAL SERVICES. AFTER TRASH IS COLLECTED, THE BINS WILL BE REMOVED FROM THE POINT OF COLLECTION AND RETURNED TO THE TRASH ROOM.

SHEET KEYNOTES

- 800. ELECTRICAL TRANSFORMER, INSTALLED BY POWER COMPANY.
- 811. CONTINUOUS STEEL EDGING BETWEEN DIFFERENT PLANTING AND LANDSCAPING MATERIALS, TYP.
- 819. EXISTING LIGHT POLE MINIMUM DISTANCE SEPARATION FROM ANY SHADE TREE IS 20'-0". THIS RESTRICTS ANY PLANTING OF SHADE TREES IN THIS AREA. THERE SHALL BE A TREE LBU FOR ONE STREET TREE AT THIS LOCATION.
- 820. EXISTING OAK TREE WITH 6'-0" DIAMETER TRUNK AND MINIMUM DISTANCE SEPARATION FROM ANY ADJACENT TREE.
- 823. LONG TERM BICYCLE PARKING
- 824. SHORT TERM BICYCLE PARKING
- 825. AREA DRAIN
- 826. RETAINING WALL
- 828. EXISTING WOOD SITE WALL
- 829. CUT AND SALVAGE EXISTING WOOD WALL, USE RECLAIMED WOOD TO CONNECT TO NEW RETAINING WALL
- 830. 12" CONCRETE PAVERS
- 831. STAMPED TWO-TONED COLORED CONCRETE
- 832. FIRE LANE SIGN AS REQUIRED BY NCFPC D103.6



3 GRASS PAVER DETAIL
1 1/2" = 1'-0"

PLANTING LEGEND

	ORNAMENTAL GRASS AT SITE WALLS: LITTLE BLUESTEM (SCHEUCHZERIA SCOPARIUM)
	UNDERGORY SITE TREE: AMERICAN HORSEREEB (CARRANIS CAROLINIANA) WHERE PLANTED, BRUSHING IN TO THE CENTER OF THE TREE TRUNK WHEN PLANTED
	ALL GRASS AREAS INDICATED: TUFFET BEEMUS GRASS, SOIL INSTALLATION
	GRASS PAVER: GRASSPAVE2
	PLANTING AREA BASE MATERIAL: TRIPLE SHREDDED WINDWOOD MULCH

CLIENT AND PROJECT

JMJM DEVELOPMENT

ANDRE JOHNSON ARCHITECTS

JMJM DEVELOPMENT SPECULATIVE OFFICE BUILDING
4981 WINDY HILL DRIVE RALEIGH, NC

DESIGNER

AJA+

PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.861.2265
MAIL: aja@ajaarchitects.com

© 2019 Andre Johnson Architects, PLLC
Distribution or modification by any means without the express written consent of Andre L. Johnson Architects is a violation of copyright and intellectual property. The information contained on this document is the confidential property of Andre L. Johnson Architects and all rights thereon are reserved. For questions, refer to the Client/Architect Agreement.

CONSULTANT

REGISTRATION

ISSUE

No.	Date	Description
1	10/27/23	Site Review Round 2
2	12/08/23	Site Review Round 3
3	01/29/24	Site Review Round 4

SHEET #10

LANDSCAPE AND PLANTING PLAN

L101

PROJECT NO.: M1819.00
DATE: 02/22/2024
ASR REVIEW



ANDRE JOHNSON ARCHITECTS

JMM DEVELOPMENT SPECULATIVE OFFICE BUILDING
4981 WINDY HILL DRIVE RALEIGH, NC

DESIGNER



PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.861.2255
MAIL: aja@ajadesign.com
© 2019 Andre Johnson Architects, PLLC
Installation or modification to any system without the express written consent of Andre L. Johnson Architects is a violation of federal and state laws. The information contained on this document is the intellectual property of Andre L. Johnson Architects and all rights thereon are reserved. For exceptions, refer to the Client/Architect Agreement.

CONSULTANT

REGISTRATION

09/15/21

ISSUE

No.	Date	Description
2	10/27/23	Site Review Round 2
3	12/08/23	Site Review Round 3

SHEET #10

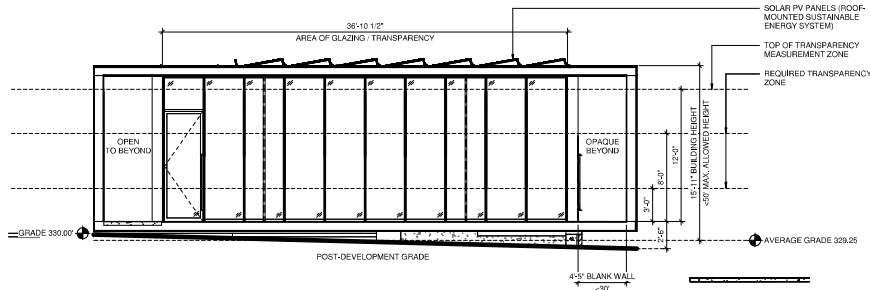
SITE LIGHTING AND BUILDING ELEVATION

L102

PROJECT NO.: M1819.00

DATE: 02/22/2024

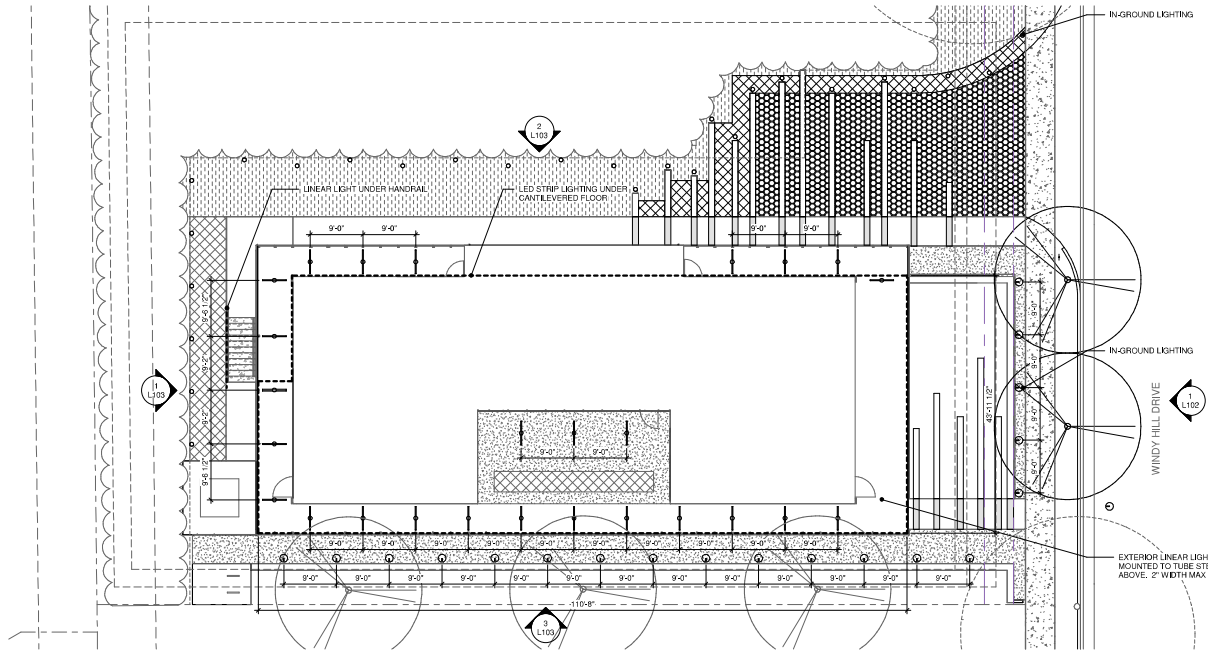
ASR REVIEW



EAST ELEVATION SINGLE BUILDING HEIGHT METHOD (UDO 1.6.7.A(2))	
	PROPOSED GRADE
HIGHEST GRADE	330.00'
LOWEST GRADE	328.50'
AVERAGE GRADE	329.25'

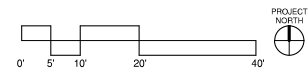
GLAZING REQUIREMENTS (UDO 1.6.8 AND 3.2.5.F)	
FLOOR PLAN AREA:	3,635 SQUARE FEET
TOTAL WALL AREA OF EAST ELEVATION:	621 SQUARE FEET
REQUIRED TRANSPARENCY (32% X 621 SF):	205 SQUARE FEET
PROVIDED TRANSPARENCY:	442 SQUARE FEET > 205
TOTAL AREA OF REQUIRED TRANSPARENCY ZONE:	225 SQUARE FEET
REQUIRED TRANSPARENCY IN ZONE (50% X 205 SF):	103 SQUARE FEET
PROVIDED TRANSPARENCY IN ZONE:	185 SQUARE FEET > 103

1 EAST ELEVATION - BUILDING HEIGHT
3/16" = 1'-0"



2 LANDSCAPE PLAN - SITE LIGHTING
1" = 10'-0"

SYMBOL	IMAGE	NAME	DESCRIPTION	LUMEN OUTPUT	SIZE
		MEDLEY EXTERIOR REMOTE	EXTERIOR-RATED LINEAR DOWNLIGHT MOUNTED TO TUBE STEEL CANOPY	3375 LM	48" LENGTH
		IP66 PPR 120 OUTDOOR RATED LED STRIP LIGHTS	LED STRIP LIGHTING TO PROVIDE A CONTINUOUS GLOW UNDER BUILDING CANTILEVER	750 LM	1/2" WIDTH
		KICHLER 22" TALL 12V SIDE MOUNT PATH LIGHT	DECORATIVE LANDSCAPE LIGHTING	130 LM	22" HEIGHT
		BL IN-GROUND LIGHTING	DECORATIVE LANDSCAPE LIGHTING	376 LM	IN GROUND





ANDRE JOHNSON ARCHITECTS

JMJM DEVELOPMENT SPECULATIVE OFFICE BUILDING
4981 WINDY HILL DRIVE RALEIGH, NC

DESIGNER



PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.881.2555
MAIL: aja@ajainc.com
© 2019 Andre Johnson Architect, PLLC
This document is the property of Andre Johnson Architect, PLLC. It is to be used only for the project and location specified herein. The information contained on this document is the intellectual property of Andre Johnson Architect and all rights therein are reserved. For reproduction, refer to the Client/Architect Agreement.

CONSULTANT

REGISTRATION

09/15/21

ISSUE

No. Date Description
2 10/27/23 Site Review Round 2

SHEET #/FO

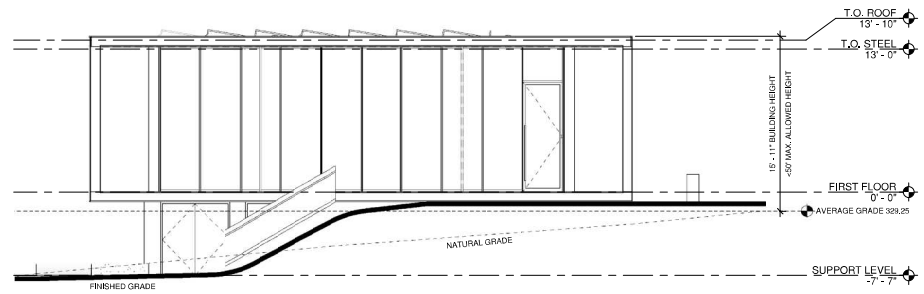
ELEVATIONS

L103

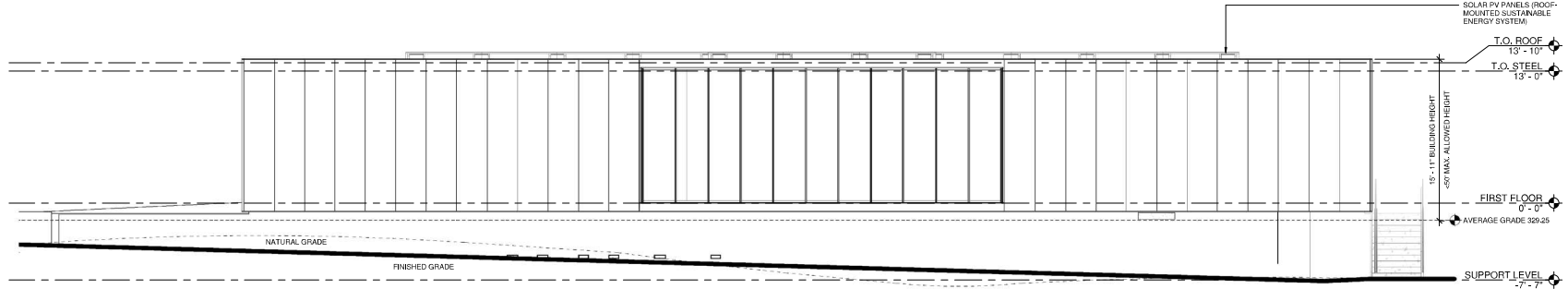
PROJECT NO.: M1819.00

DATE: 02/22/2024

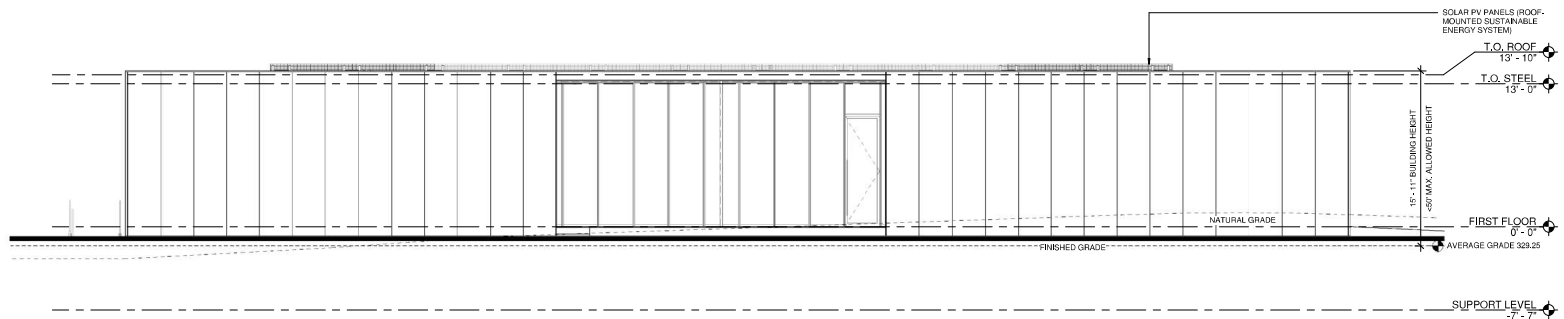
ASR REVIEW



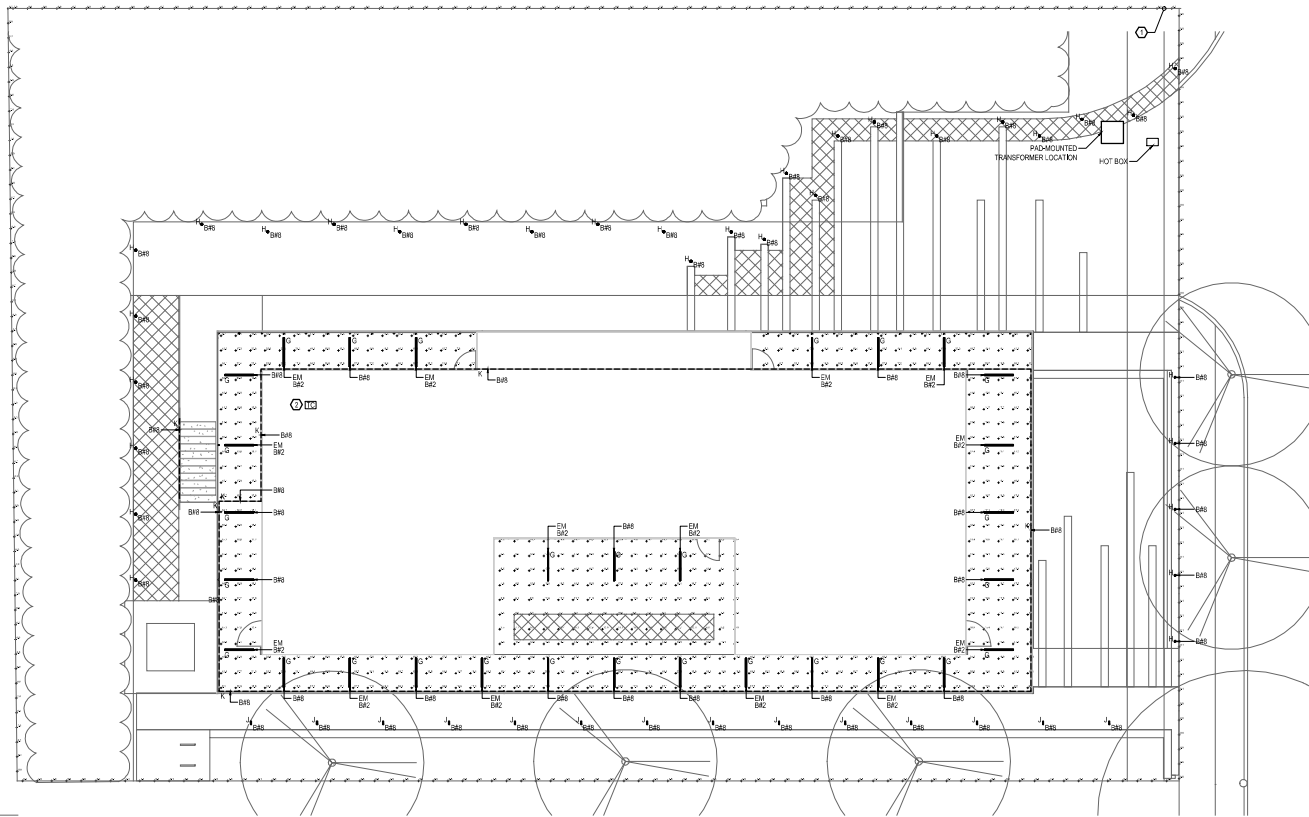
1 WEST ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"



ELECTRICAL LIGHTING SITE PLAN
SCALE: 1/8"=1'-0"

LIGHTING FIXTURE SCHEDULE

FIXTURE TYPE	DESCRIPTION	MANUFACTURER	BALLAST / DRIVER	VOLTAGE	POWER	LAMPS			REMARKS
						QUANTITY	TYPE	WATTAGE	
— G	SURFACE MOUNTED LINEAR FIXTURE	FIGURE BY: IN-SIGHT LIGHTING CAT. NOS.: FIGURE: MER-0-40X-60-02-FM-48-DM-FINISH DRIVER: CONSULT MANUFACTURER	REMOTE 0-5V DIMMING POWER SUPPLY	UNIVERSAL 120/277V	14' W	1	LED	14	PROVIDE FIXTURE FINISH AS SELECTED BY ARCHITECT. COORDINATE QUANTITY AND RATING OF POWER SUPPLIES WITH MANUFACTURER PRIOR TO ORDERING. CONNECT TO LIGHTING INVERTER CIRCUIT WHERE INDICATED.
+ H	IN-GROUND ACCENT UPLIGHT	FIGURE BY: BL LIGHTING CAT. NOS.: LUMINAIRE: BL HGR-IND-05X114-3000W-BEAM POWER SUPPLY: BL CDSR-12V	REMOTE 0-5V DIMMING 120/277V TO 24V POWER SUPPLY	24V	5.5' W	1	LED	5.5	PROVIDE BEAM ANGLE AS SELECTED BY ARCHITECT. COORDINATE QUANTITY AND RATING OF POWER SUPPLIES WITH MANUFACTURER PRIOR TO ORDERING.
# J	22" TALL PATH LIGHT	FIGURE BY: NICHIER CAT. NO.: 15480232	REMOTE 0-5V DIMMING 120V TO 120V POWER SUPPLY	12V	11.6' W	1	WEDGE BASE TUBED	11.6	PROVIDE FINISH (000) AS SELECTED BY ARCHITECT. COORDINATE QUANTITY AND RATING OF POWER SUPPLIES WITH MANUFACTURER PRIOR TO ORDERING.
----- K	LED TAPE LIGHT	FIGURE BY: NOVIA FLEX CAT. NOS.: TAPE: MF-PRO-16-50-24V-13229K CHANNEL: CONSULT MANUFACTURER POWER SUPPLY: MF-78-UNV-24VTS-24V	REMOTE 0-5V DIMMING 120/277V TO 24V POWER SUPPLY	24V	VARIABLE BASED ON LENGTH	-	LED	1.5' / LF	PROVIDE CHANNEL AS RECOMMENDED BY MANUFACTURER AND COORDINATE WITH ARCHITECT. PROVIDE QUANTITY AND WATTAGE OF POWER SUPPLIES REQUIRED FOR LENGTH OF FIXTURES. PROVIDE ALL COMPONENTS, CONNECTORS, AND ACCESSORIES FOR A COMPLETE AND FUNCTIONING SYSTEM.

NOTES:
1. COORDINATE QUANTITY, COLOR, AND FINISH OF LIGHT FIXTURES WITH ARCHITECT.
2. COORDINATE QUANTITY AND RATING OF POWER SUPPLIES WITH MANUFACTURER.



GENERAL NOTES

- SITE LIGHTING DESIGN COMPLIES WITH PROVISIONS OF RALEIGH UDC SECTION 7.4.
- LIGHT TRESPASS SHALL BE TESTED AND A SUMMARY OF RESULTS WILL BE SUBMITTED AS REQUIRED TO CONFIRM COMPLIANCE WITH RALEIGH UDC SECTION 7.4.4.A.
- LIGHTING FIXTURES CONNECTED TO THE EMERGENCY LIGHTING INVERTER SHALL BE PROVIDED WITH UL 824 RELAYS TO OVERRIDE SWITCHING UPON LOSS OF POWER.

CLIENT AND PROJECT



JMM
DEVELOPMENT AND
HOLDING COMPANY

**NEW
SPECULATIVE
OFFICE
BUILDING**
0 WINDY HILL DRIVE
RALEIGH, NC 27615

DESIGNER

PO BOX 14637
RALEIGH, NORTH CAROLINA 27620
TELEPHONE: 919.863.1825
MAIL: info@jmmdevelopment.com
© 2019 AECOM, JMM DEVELOPMENT AND HOLDING COMPANY, LLC
This document is the property of AECOM, JMM DEVELOPMENT AND HOLDING COMPANY, LLC. It is to be used only for the project and location specified herein. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of AECOM, JMM DEVELOPMENT AND HOLDING COMPANY, LLC. The information contained in this document is the property of AECOM, JMM DEVELOPMENT AND HOLDING COMPANY, LLC. All rights reserved. For more information, please contact the Designer/Architect.

CONSULTANT

SHEET KEYNOTES

- POINT-BY-POINT FOOTCANDLE ARRAY AT PROPERTY LINE. TRESPASS COMPLIES WITH MINIMUM LIGHT LEVEL AT THE PROPERTY LINE PER RALEIGH UDC SECTION 7.4.4.A.
- PROVIDE ASTRONOMICAL TIME SWITCH IN ELECTRICAL ROOM TO CONTROL ALL EXTERIOR LIGHTS.



REGISTRATION

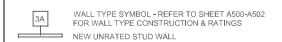


NC LICENSE: C-3202

ISSUE

No. Date Description
1 11.02.23 REVIEW

WALL TYPE LEGEND



SHEET INFO
**ELECTRICAL
SITE PLAN**

ES101

PROJECT NO: P1919.00/11614
DATE: OCTOBER 23, 2019

PERMIT AND BID
DRAWINGS