



Administrative Approval Action

Case File / Name: ASR-0041-2020
Quail Commons

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the west side of Falls of Neuse Road north of the intersection of Falls of Neuse Road and E Millbrook Road at the southwest corner of Falls of Neuse Road and Paddock Drive, with a common street address of 5111 Falls of Neuse Road. The development will take place on three parcels: lots 1, 4, and 5 as shown in BM1972 page 184.

REQUEST: Development of an approximately 75,000 square foot office building and associated parking on a site comprising approximately 2.15 acres zoned OX-3-PL. Currently there are four buildings on site which will be demolished.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 28, 2020 by KIMLEY HORN.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

General Condition

2. A lighting plan shall be provided as part of the site permit review demonstrating compliance with UDO Section 7.4.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant Required
<input checked="" type="checkbox"/>	Shared Parking Agreement Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Transit Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

Engineering

2. A cross access agreement among the lots identified as BM 1972 PG 184: Lot 1 and Lot 4, Lot 4 and Lot 5, Lot 1 and Lot 3, Lot 1 and Lot 2 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Transportation



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5. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots as shown on the preliminary plan.
2. A shared parking agreement among lots 1, 4, and 5 of the proposed development shall be approved by the City for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. A demolition permit shall be obtained for the existing buildings on site.

Engineering

4. A fee-in-lieu for 1' width of road section along property frontage shall be paid to the City of Raleigh (UDO 8.1.10).
5. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for City of Raleigh Utility Easement dedications.

Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

11. A public infrastructure surety for 11 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees along Paddock Dr.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

Urban Forestry

3. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 23, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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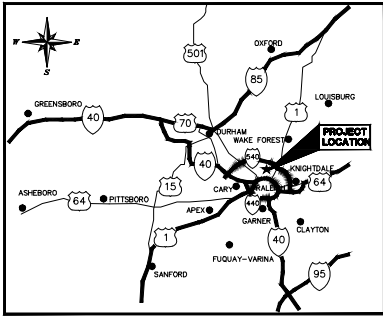
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I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 10/23/2020
Development Services Dir/Designee
Staff Coordinator: Kasey Evans

ADMINISTRATIVE SITE REVIEW QUAIL COMMONS ASR-0041-2020 SKETCH TRANS.# SCOPE-0044-2020



PROJECT LOCATION
NTS

ADMINISTRATIVE SITE REVIEW QUAIL COMMONS

ASR-0041-2020

SKETCH TRANS.# SCOPE-0044-2020

5111 FALLS OF NEUSE RD
RALEIGH, NORTH CAROLINA 27609
A DEVELOPMENT BY: NOVA CAPITAL, LLC
3717 NATIONAL DRIVE, SUITE 104
RALEIGH, NC 27612



VICINITY MAP
SCALE: 1" = 500'

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: (919) 847-2000 FAX: (919) 847-2050
WWW.KH-NC.COM
#P-002

KHA PROJECT
07/15/2020
DATE
06/15/2020
SCALE AS SHOWN
DESIGNED BY TRC
DRAWN BY TRC
CHECKED BY CDB

COVER SHEET

QUAIL COMMONS
PREPARED FOR
NOVA CAPITAL GROUP
RALEIGH
NORTH CAROLINA

SHEET NUMBER
C0.0

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2455



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: SC091-004-200	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: SC091-004-200	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:	
		Zoning Case #:	
		Administrative Alternate #:	

GENERAL INFORMATION

Development name: Quail Commons

Inside City limits? ☒ Yes ☐ No

Property address(es): 5111 Falls of Neuse Rd., Raleigh, NC 27609

Site P.I.N. (s): 1716349879

Please describe the scope of work. Include any additions, expansions, and change of use.

Project includes the demolition of existing multi-use buildings and construction of a medical office/general office building with associated infrastructure.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: Nova Capital Partners, LLC Title: Jason Tuttle, Principal

Address: 1301 E. Millbrook Rd, Ste D106, Raleigh, NC 27609

Phone #: 704-552-6713 Email: jason@novacap.net

Applicant Name: Chris Bostic, P.E.

Company: Kimley-Horn and Associates, LLC Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601

Phone #: 919-847-2000 Email: chris.bostic@kimley-horn.com

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REVISION 05.05.19
raleighnc.gov

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-PL	Existing gross floor area (not to be demolished): 0
Gross site acreage: 2.21	Existing gross floor area to be demolished: 30,000
# of parking spaces proposed: 203	New gross floor area: 75,000
# of parking spaces proposed: 203	Total of gross (to remain and new): 75,000
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Office, Financial, Warehouse, Entertainment	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Medical Office/General Office	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 1.41 Square Feet: 71,581	Proposed Impervious Surface: Acres: 1.48 Square Feet: 73,581
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial site: _____ Flood site: _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Kimley-Horn and Associates, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after 180 days of inactivity.

Signature: _____ Date: June 16, 2020
Printed Name: Jason Tuttle

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn.

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PRELIMINARY
NOT FOR CONSTRUCTION

JUNE 15, 2020

JOB NUMBER:
013634000

Kasey Evans

Digitally signed by Kasey Evans
Reason: I am approving this document
Date: 2020.10.20 16:10:35-0400

PROJECT OWNER AND CONSULTANT

SITE DEVELOPER:
NOVA CAPITAL PARTNERS, LLC
3717 NATIONAL DR., SUITE 104
RALEIGH, NC 27612
PHONE: (704) 552-6713
ATTN: JASON TUTTLE
jason@novacap.net

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 847-2000
ATTN: CHRIS BOSTIC, P.E.
chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., SUITE 600
RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 847-2000
ATTN: MATT GROSS, PLA
matt.gross@kimley-horn.com

SURVEYOR:
NEIWOOMB LAND SURVEYORS, PLLC
7008 HARPS MILL RD., SUITE 105
RALEIGH, NC 27615
PHONE: (919) 847-2800
ATTN: JUSTIN L. LUTHER, PLS
justin@nlb-nc.com

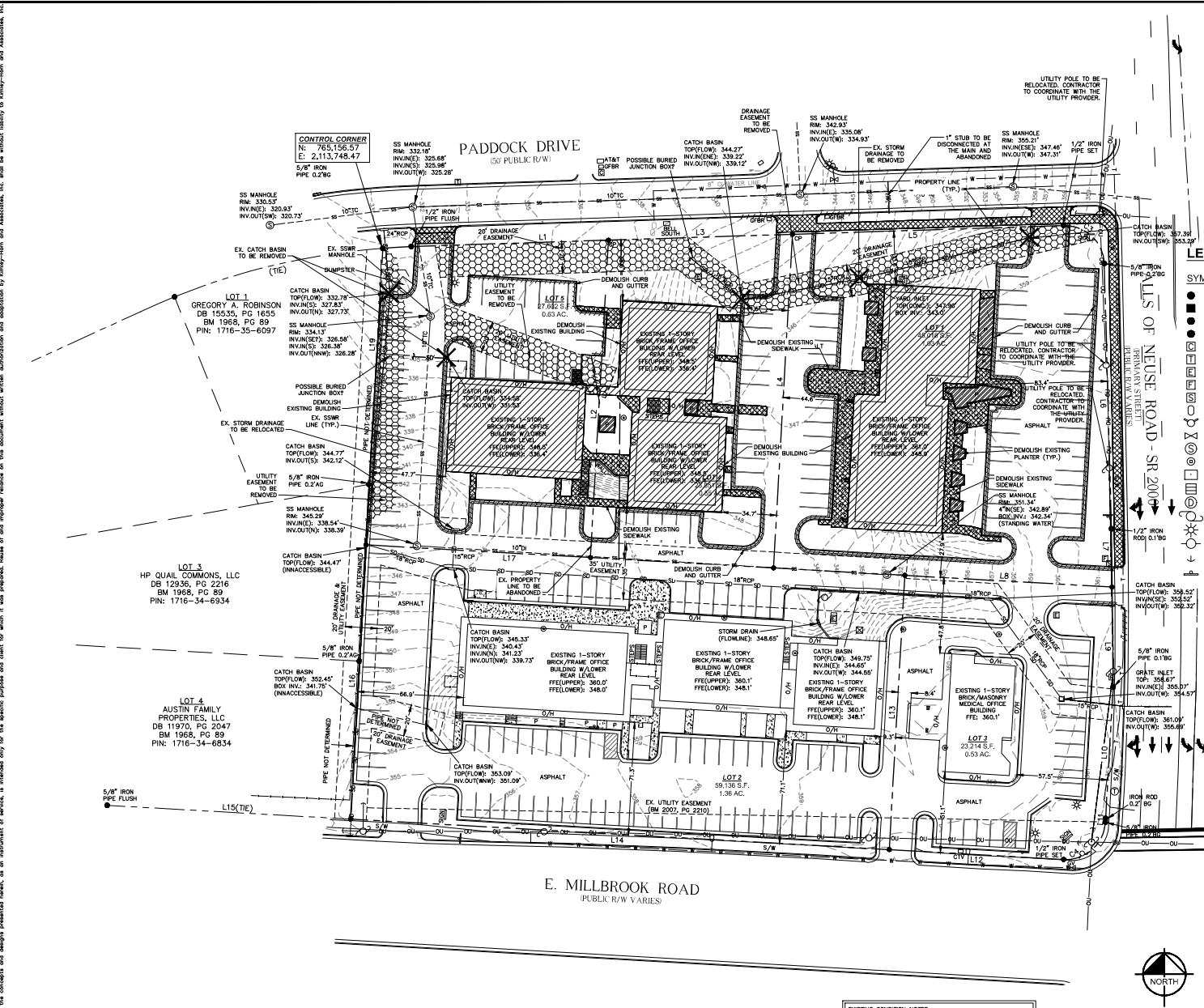
PREPARED IN THE OFFICE OF:

NC CERTIFICATE OF AUTHORIZATION: F-0102

Kimley»Horn

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421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

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DEMOLITION LEGEND

---	PROPERTY LINE
---	CLEARING LIMITS
-----	REMOVE CURB & GUTTER
-----	REMOVE/ABANDON IN PLACE UNDERGROUND UTILITY
X	DEMOLISH SITE ITEM/ TREE TO BE REMOVED
[Pattern]	SEWAGE/OVERHANG TO BE REMOVED
[Pattern]	SIDEWALK/PAVEMENT/PAVERS/STEPS TO BE REMOVED
[Pattern]	PLANTER TO BE REMOVED
[Pattern]	EASEMENT TO BE REMOVED

LEGEND and NOMENCLATURE

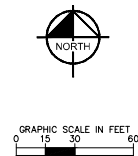
SYMBOLS	LINE TYPES
●	Ex. iron pipe/rod or nail
○	Ex. concrete monument
—	New iron pipe
—	Calculated point
—	Cable pedestal
—	Telephone pedestal
—	Electric pedestal
—	Fiber-optic marker
—	Traffic signal box
—	Water meter
—	Fire hydrant
—	Valve (water or gas)
—	Sanitary sewer manhole
—	Sanitary sewer cleanout
—	Storm curb inlet
—	Drainage inlet (w/ grate)
—	Storm drain manhole
—	Utility pole
—	Lamp post
—	Signal pole
—	Guy wire
—	Sign post

ABBREVIATIONS	
DB	Deed Book
Plat Book / Book of Maps	
N/F	Now or formerly
Pg.	Page
SF	Square feet
Ac.	Acres
R/W	Right-of-way
NCSR	North Carolina State Route
NCDOT	North Carolina Dept. of Transportation
R/W	Right-of-way
Ex.	Existing
RCP	Reinforced concrete pipe
PVC	Polyvinyl chloride pipe
(M)	Measured
AG	Above ground
BG	Below ground

- ### DEMOLITION NOTES
1. CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
 2. SAW CUT AND REMOVE CONCRETE CURB TO LIMITS REQUIRED FOR NEW WORK.
 3. REMOVE VEGETATION AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
 4. SAW CUT AND REMOVE ASPHALT PAVEMENT TO LIMITS INDICATED ON PLAN.
 5. DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE PER STATE REGULATIONS.
 6. ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
 7. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNFORESEEN OR ADVERSE CONDITIONS INCLUDING UNHARDED UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS.
 8. SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
 9. EXISTING STORM DRAINAGE CONNECTION CANNOT BE DISCONNECTED UNTIL NEW STORM DRAINAGE IS IN PLACE.

- ### EXISTING CONDITION NOTES
1. EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM (LAND TITLE SURVEY PROVIDED BY HENSON AND SURVEYORS, 7008 HARPS MILL RD., SUITE 105, RALEIGH, NC 27615. PHONE: 919-847-1800 AND DATED MARCH 6, 2020.
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720176000 DATED MAY 2, 2006.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



KHA PROJECT 07/15/2020 DATE 06/15/2020 SCALE AS SHOWN DESIGNED BY TRC DRAWN BY TRC CHECKED BY COB	EXISTING CONDITION PLAN AND DEMOLITION PLAN	QUAIL COMMONS PREPARED FOR NOVA CAPITAL GROUP RALEIGH	NORTH CAROLINA	SHEET NUMBER C1.0
				CITY COMMENTS 09/09/20 TRC 09/07/20 TRC REVISIONS DATE BY

NOVA CAPITAL GROUP PREPARED FOR QUAIL COMMONS PRELIMINARY SITE PLAN

- NOTE:
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
 2. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/2011).
 3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

CONTROL CORNER
N: 765,156.57
E: 2,113,748.47
5/8" IRON
PIPE 0.2" Ø

PADDOCK DRIVE
(50' PUBLIC R/W)

FAUST OF NEUSE ROAD
SR 2000
PUBLIC R/W VARIES

E. MILLBROOK ROAD
(PUBLIC R/W VARIES)

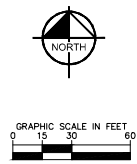
SITE LEGEND

	PROPERTY LINE
	EASEMENT LINE
	STANDARD CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK

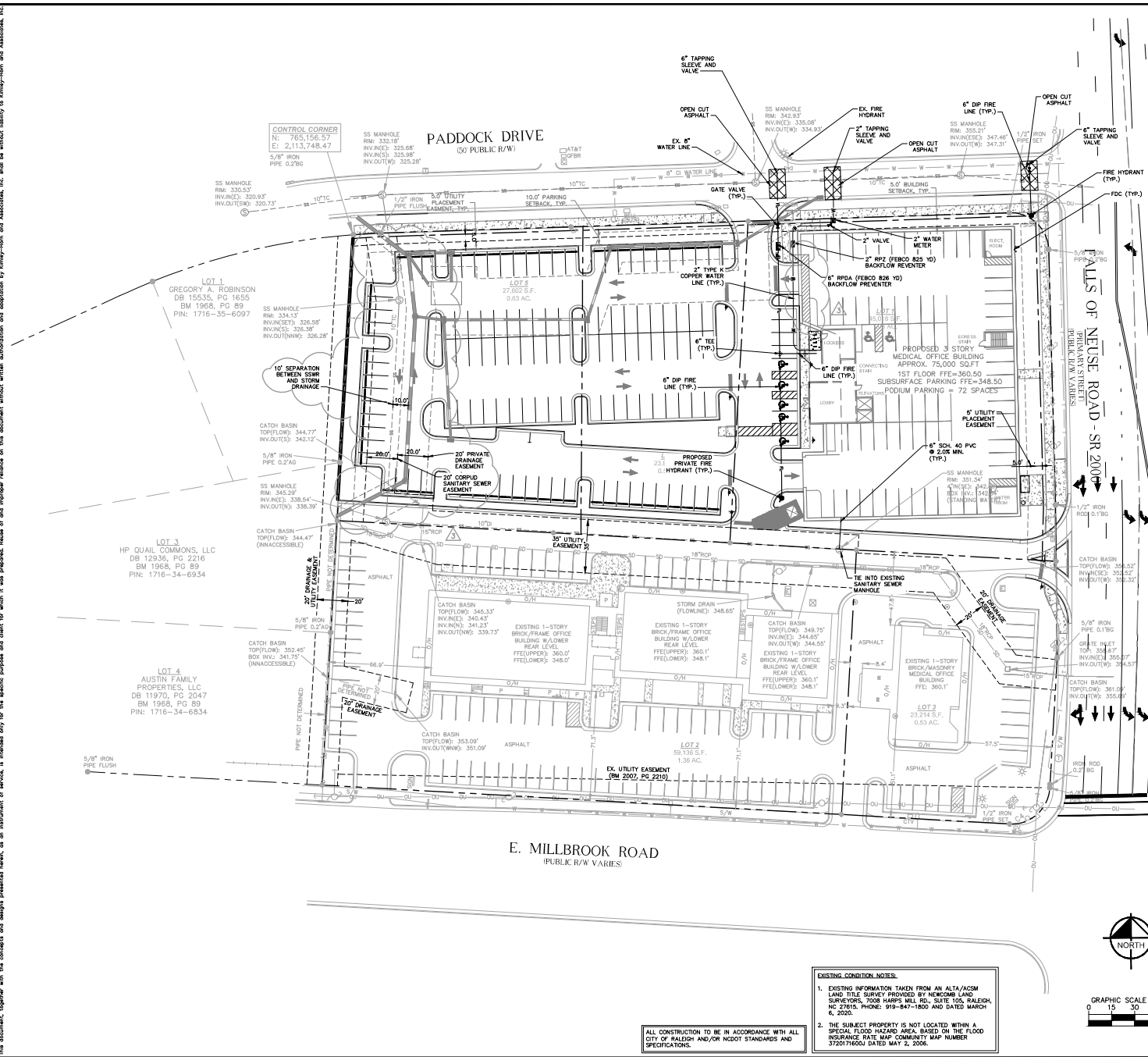
SITE DATA	
PROPERTY INFORMATION	
EXISTING ZONING:	OX-3-PL
EXISTING USE:	OFFICE, FINANCIAL, WAREHOUSE, ENTERTAINMENT
GROSS SITE AREA:	2.21 AC (96,471 SF)
NET SITE AREA:	2.15 AC (94,944 SF)
BUILDING SETBACKS:	PRIMARY STREET = 5' SIDE STREET = 5' REAR LOT LINE = 0' OR 6' SIDE LOT LINE = 0' OR 6'
PARKING SETBACKS:	PRIMARY STREET = 10' SIDE STREET = 10' SIDE LOT LINE = 0' OR 3' REAR LOT LINE = 0' OR 3'
PROJECT DATA	
PROPOSED USE:	MEDICAL OFFICE, GENERAL OFFICE
PROPOSED # OF BUILDINGS:	1
BUILDING GROSS FLOOR AREA:	BUILDING 1: 75,000 SF
PARKING:	REQUIRED PER 1000 SF GFA: MEDICAL OFFICE: 1 SPACE PER 300 SF GENERAL OFFICE: 1 SPACE PER 400 SF 14,800/300 + 94,400/400 = 203 SPACES REQUIRED PARKING PROVIDED: 203 SPACES (72 WITHIN BUILDING)
HANDICAP PARKING:	REQUIRED: 7 SPACES PROVIDED: 7 SPACES TOTAL (2 VAN ACCESSIBLE)
SHORT TERM BIKE PARKING:	REQUIRED: 1 SPACE PER 10,000 SF GFA 75,000/10,000 = 8 SPACES PROVIDED: 8 SPACES
LONG TERM BIKE PARKING:	REQUIRED: MEDICAL OFFICE: 1 SPACE PER 10,000 SF GFA OFFICE: 1 SPACE PER 5,000 SF GFA 94,400/5,000 = 19 SPACES TOTAL REQUIRED = 14 SPACES PROVIDED: 14 SPACES
AMENITY AREA:	SEE LANDSCAPE PLAN FOR DETAILS REQUIRED: 0.125 AC (5,400 SF) PROVIDED: 0.125 AC (5,400 SF)
PROPOSED BUILDING HEIGHT:	10' MAX - SEE ELEVATIONS SHEETS
SITE IMPROVEMENT AREA:	EXISTING (PRE-DEV.): = 71,581 SF (74,200) PROPOSED (POST-DEV.): = 78,561 SF (81,480)

- EXISTING CONDITION NOTES:
1. EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY NICHOLAS LAND SURVEYORS, 7008 HARPS MILL RD., SUITE 105, RALEIGH, NC 27615. PHONE: 919-847-1800 AND DATED MARCH 6, 2020.
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720176000 DATED MAY 2, 2006.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



KHA PROJECT 07/15/2020 DATE 06/15/2020 SCALE AS SHOWN DESIGNED BY TRC DRAWN BY TRC CHECKED BY COB		PRELIMINARY SITE PLAN		QUAIL COMMONS PREPARED FOR NOVA CAPITAL GROUP		SHEET NUMBER C2.0	
KIMLEY-HORN & ASSOCIATES, INC. 421 FAIRVIEW STREET, SUITE 400, RALEIGH, NC 27601 PHONE: 919-847-1800 FAX: 919-847-1801 WWW.KIMLEY-HORN.COM		CITY COMMENTS 09/28/20 TRC 09/28/20 TRC		CITY COMMENTS 09/28/20 TRC 09/28/20 TRC		CITY COMMENTS 09/28/20 TRC 09/28/20 TRC	
DATE		DATE		DATE		DATE	




















STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS (AS APPLICABLE) AND THE CURRENT EDITIONS OF THE STANDARD HANDBOOK, CURRENT EDITION.
2. UTILITY SEPARATION REQUIREMENTS:
 - A. ALL UTILITY TRENCHES MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNIMPOVED RESERVOIR OR A SOURCE OF POTENTIAL CONTAMINATION SHALL BE MAINTAINED TO THE FOLLOWING MINIMUM SEPARATION. SEWER SERVICE PIPE SHALL BE SPECIFIED & INSTALLED TO MEET THE FOLLOWING SPECIFICATIONS:
 - 1. MINIMUM SEPARATION SHALL BE 10'.
 - 2. SEWER SERVICE PIPE SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
 - B. ALL UTILITY TRENCHES MAINTAINED BETWEEN SANITARY SEWER AND ANY OTHER UTILITY TRENCH SHALL BE 10'. THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS.
 - 1. MINIMUM SEPARATION SHALL BE 10'.
 - 2. SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE ELEVATION OF THE SEWER.
 - 3. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - 4. IF THE SEWER IS UNIMPOVED, THE MINIMUM SEPARATION SHALL BE 10' TO THE PROTECTIVE PIPE PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED THE FULL LENGTH OF THE SEWER.
 - C. ALL UTILITY TRENCHES MAINTAINED BETWEEN SANITARY SEWER AND ANY OTHER UTILITY TRENCH SHALL CROSS WATER MAINS & SEWER FACILITIES WITH THE FOLLOWING SPECIFICATIONS:
 - 1. ALL SANITARY SEWER HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & A STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER & STORM SEWER. MINIMUM 18" HORIZONTAL SEPARATION SHALL BE MAINTAINED FOR ALL CROSSINGS. MINIMUM 24" VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP FACILITIES. MINIMUM CROSSING SHALL BE 18" VERTICAL SEPARATION.
 - 2. SEWER DIP MATERIALS & A CONCRETE CULVERT HAVING 6" MIN. CLEARANCE PER SIDE SHALL BE REQUIRED.
 - 3. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER MAINS & SEWER FACILITIES WITH THE FOLLOWING SPECIFICATIONS:
 - a. ALL UTILITY TRENCHES SHALL CROSS WATER MAINS & SEWER FACILITIES WITH THE FOLLOWING SPECIFICATIONS:
 - 1. ALL UTILITY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AUTHORIZED PLAN &/OR PEOPLE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT prior to construction.
 - b. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE DISRUPTIONS SHALL BE MAINTAINED TO A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3. MINIMUM COVER ON IS REQUIRED ON ALL WATER MAINS & SEWER FORMATIONS. 4.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS.
 - 4. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE SPECIFIED BY THE CITY OF RALEIGH. CONTRACTOR SHALL BE RESPONSIBLE FOR ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER PERMITS AND/OR PROCEEDURE.
 3. INSTALL 2" TYPE-C CUMMER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' UTILITY EASEMENT IMMEDIATELY ADJACENT NOTED. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE A 10' MIN. WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 4. INSTALL 6" PVC SEWER SERVICES OR 10" MIN. WATER SERVICE WITH CLEANOUTS LOCATED AT ROW OR WITHIN A 2'X2' UTILITY EASEMENT IMMEDIATELY ADJACENT NOTED.
 5. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0 ABOVE THE NEXT UPSTREAM MANHOLE.
 6. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCING, ASIDE &/OR FEMA FOR ANY RIPARIAN BARRIER, WETLAND &/OR FLOODPLAIN IMPACTS (PERMITS/NOI'S).
 7. NDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STRIP OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 8. GROUND INTERFERENCE / OIL WATER SEPARATION SINK CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO CONSTRUCTION OF A RAILROAD OR HIGHWAY. CONTACT THE CORPUS FOG PROGRAM COORDINATOR AT (919) 996-2334 OR TMOH2EE@WELLSFARGO.COM FOR MORE INFORMATION.
 9. CORROSION-CONTROL CONNECTION PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF CORROSION INVOLVED. THE FOLLOWING ARE THE MINIMUM REQUIREMENTS FOR WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CORROSION PROTECTION STANDARDS OR CODE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA AQUIFOLIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CORROSION PROTECTION STANDARDS THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CORROSION-CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT THE CORPUS FOG PROGRAM COORDINATOR AT (919) 996-2334 FOR MORE INFORMATION.

UTILITY LEGEND

---	PROPERTY LINE
—W—	WATER LINE
—FW—	FIRE LINE
—SS—	SANITARY SEWER LINE
—E—	ELECTRIC
—G—	GAS
—T—	TELECOMMUNICATION
	LIGHT POLE
	WATER METER
	GATE VALVE
C S	POINT OF CONNECTION
	BACKFLOW PREVENTOR
	PIPE TEE/BENDS
	REDUCER
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER MANHOLE (SSMH)

SHEET C4.0	QUAIL COMMONS PREPARED FOR NOVA CAPITAL GROUP RALEIGH NORTH CAROLINA	PRELIMINARY UTILITY PLAN	KHA PROJECT 06/15/2020 DATE 06/15/2020 SCALE AS SHOWN DESIGNED BY TRC DRAWN BY TRC CHECKED BY COB	 <p>© 2020 KIMLEY-HORN, ASSOCIATES, INC. 421 PANTTAVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE 919-487-2500 FAX 919-487-2550 WWW.KIMLEY-HORN.COM #-002</p>	<table border="1"> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>3</td> <td>CITY COMMENTS</td> <td>06/28/20</td> <td>TRC</td> </tr> <tr> <td>2</td> <td>CITY COMMENTS</td> <td>06/09/20</td> <td>TRC</td> </tr> <tr> <td>1</td> <td>CITY COMMENTS</td> <td>06/07/20</td> <td>TRC</td> </tr> </table>	NO.	REVISIONS	DATE	BY	3	CITY COMMENTS	06/28/20	TRC	2	CITY COMMENTS	06/09/20	TRC	1	CITY COMMENTS	06/07/20	TRC
						NO.	REVISIONS	DATE	BY												
3	CITY COMMENTS	06/28/20	TRC																		
2	CITY COMMENTS	06/09/20	TRC																		
1	CITY COMMENTS	06/07/20	TRC																		

PLANT SCHEDULE							
THINGS	CODE	QTY	POTENTIAL / COMMON NAME	COUNT	CAL	HEIGHT	REMARKS
	CC	3	CERISE CANADENSE EASTERN REDBUD	8.8 B	3"	12'-14' HT	
	EG	3	ELK OPAKA TINGA TINGA-AMERICAN HOLLY	8.8 B	3"	12'-14' HT	
	LS	10	LAGESTEREINUS X SARAH'S FAVORITE SARAH'S FAVORITE DWARF WHITE	8.8 B	3"	12'-14' HT	SINGLE ITEM SPECIMENS ONLY
	MB	4	MAGNOLIA GRACILE ORA "BRACKEN'S BROWN BEAUTY" BRACKEN'S SOUTHERN MAGNOLIA	8.8 B	3"	14'-16' HT	
	NW	11	NYSSA SYLVATICA "WILDBIRD" WILDBIRD BLACK GUM	8.8 B	3"	14'-16' HT	
	OS	3	QUERCUS SHUMARDII SHUMARD RED OAK	8.8 B	3"	14'-16' HT	
	UA	12	ULMUS AMERICANA AMERICAN ELM	8.8 B	3"	14'-16' HT	
	UA2	15	ULMUS PARVIFLORA ALLEE ALLEE LACEDARK ELM	8.8 B	3"	14'-16' HT	
SHRUB			POTENTIAL / COMMON NAME	COUNT		HEIGHT	
	AG	53	ABELIA X GRANIFLORA GLOSSY ABELIA	3 GAL	24" HT MIN		
	CG	70	CHAMAEDORIS PERIFERA "GOLDEN MOP" GOLDEN MOP CHAMAEDORIS	3 GAL	24" HT MIN		
	DE	84	DIPTEROCARPUS X "ENTRÉE JADE" ENTRÉE JADE DIPTEROCARPUS	3 GAL	24" HT MIN		
	ED	103	ELIX CORNUTA DWARF BURFORD DWARF BURFORD HOLLY	3 GAL	24" HT MIN		
	PO	55	PRUNUS LAUROCESTRUS "OTTO LUYKEN" OTTO LUYKEN LAUREL	3 GAL	24" HT MIN		
GROUND COVER			POTENTIAL / COMMON NAME			SPACING	
	CD	6,214 SF	CYNODON DACTYLON BERMUDA GRASS				
	LL	1,138	LIQWORT MUSCARI "NO BLUE" NO BLUE LILY TURF			12" x 6"	
	PH	261	PERNETTIA ALPESTRIS "HAMELI" HAMELI TOWN HILL GRASS			18" x 6"	

LANDSCAPE REQUIREMENTS & CALCULATIONS						
City of Raleigh UDC						
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SITE LOCATION	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
STREET TREES	1 SHADE TREE PER 40 LF	FALLS OF MEUSE ROAD	226 LF	226 / 40 = 5 TREES	18 PROPOSED UNDERSTORY TREES (DUE TO OVERHEAD POWERLINES)	8.4.5
		PADDOCK DRIVE	412 LF	412 / 40 = 11 TREES	11 PROPOSED SHADE TREES	8.4.5
SURFACE PARKING AREA	PERMISTED LANDSCAPE ISLAND 30 S+RUBS PER 100 LF	SOUTH PERIMETER	241 LF	541 / 100 = 36 = 73 SHRUBS	73 SHRUBS	7.1.7.C
	1 SHADE TREE PER 2,000 SF	SITE	43,669 SF	43,669 / 2,000 = 22 SHADE TREES	22 PROPOSED SHADE TREES	7.1.7.F
STREET PROTECTIVE YARD - TYPE C3	1' MIN. WIDTH 30 S+RUBS PER 100 LF	PADDOCK DRIVE	256 LF	256 / 100 = 36 = 77 SHRUBS	80 PROPOSED SHRUBS	7.1.7.4.1 & 7.2.4.B
NEIGHBORHOOD TRANSITIONAL PROTECTIVE YARD - ZONE A - TYPE 1	1' MIN. WIDTH 6.5 FT. MIN. WALL 4 SHADE TREES PER 100 LF 3 UNDERSTORY TREES PER 100 LF 40 S+RUBS PER 100 LF	WEST PERIMETER	161 LF	65 / 100 = 4 = 7 SHADE TREES 165 / 100 = 3 = 5 UNDERSTORY TREES 165 / 100 = 4 = 66 SHRUBS	7 PROPOSED SHADE TREES 4 PROPOSED UNDERSTORY TREES 66 PROPOSED SHRUBS	3.5.3.A

AMENITY AREA CALCULATION		
CALCULATION	AMENITY AREAS PROVIDED	TOTAL AMENITY AREA PROVIDED
93,585 SF * 10% = 9,356 SF	AMENITY AREA "A" = 2,356 SF	9,401 SF
	AMENITY AREA "B" = 2,037 SF	
	AMENITY AREA "C" = 411 SF	
	AMENITY AREA "D" = 466 SF	
	AMENITY AREA "E" = 260 SF	
	AMENITY AREA "F" = 3,863 SF	

[illegible]

RICHARD T. HARDAWAY ARCHITECT

47 River Street, Suite 200
Wellesley, Massachusetts 02481

781 235 5339
Fax 781 235 5329

Seal:

BUILDING HEIGHTS / AVERAGE GRADES:

	EXISTING	PROPOSED
NORTH	353.11'	354.0'
SOUTH	348.55'	354.0'
EAST	355.76'	360.0'
WEST	360.32'	348.0'

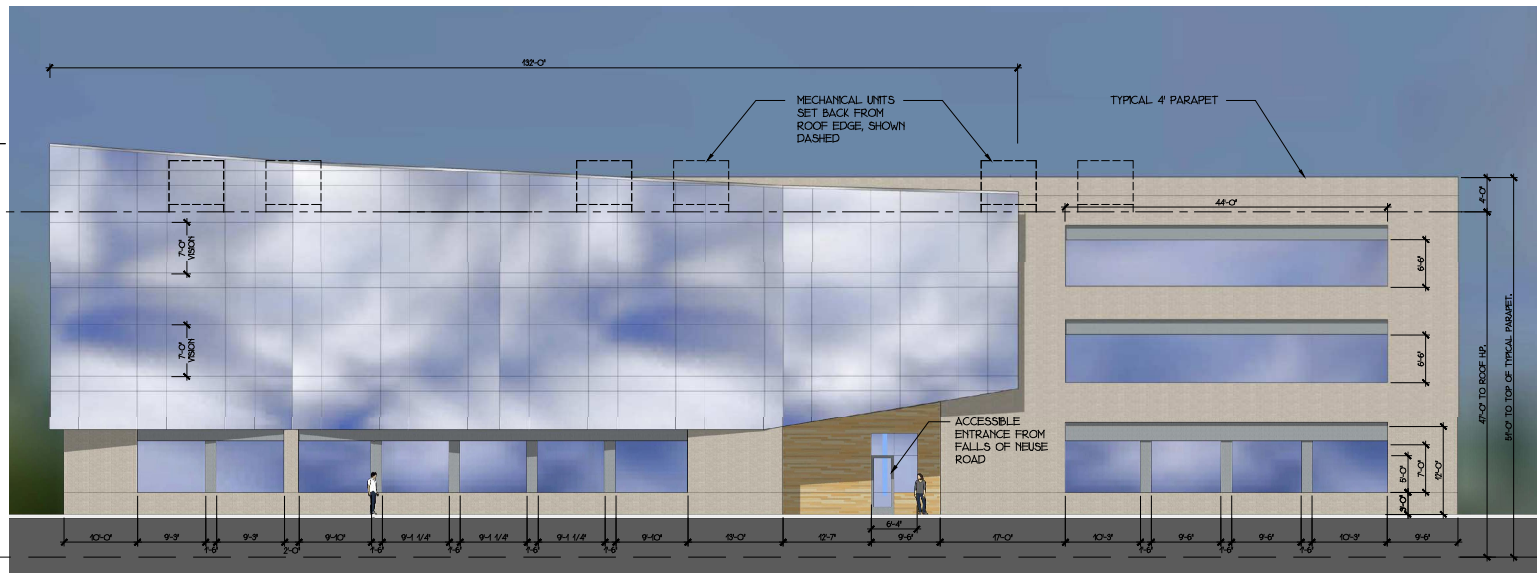
AVG. GRADE: 354.44' 354.0'

ROOF HP: 401.0'
ROOF LP: 400.0'

TYPICAL PARAPET ELEV: 405.0'
ROOF SCREEN HP: 408.0'
ROOF SCREEN LP: 405.0'

TYP. ROOF HP: 47.0' ABOVE AVG. GRADE
TYP. PARAPET: 51.0' ABOVE AVG. GRADE

ROOF SCREEN HP: 55.0' ABOVE AVG. GRADE



EAST ELEVATION - FALLS OF NEUSE ROAD

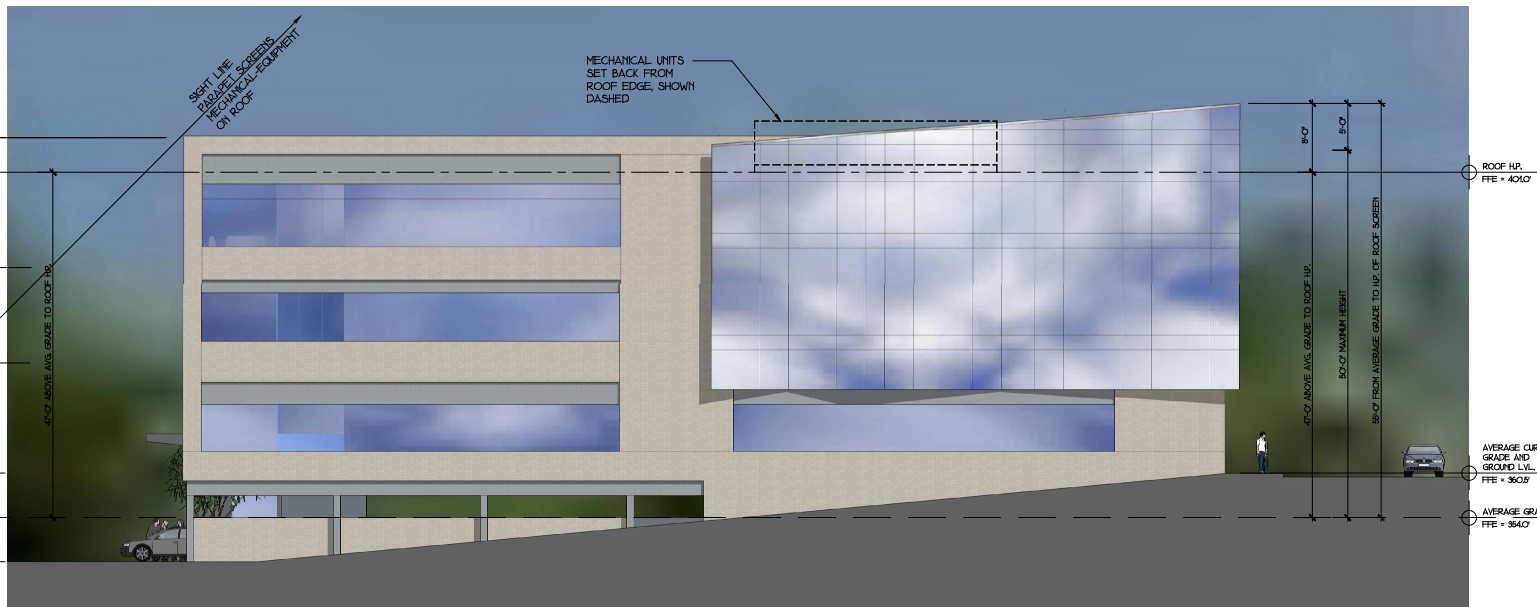
FALLS OF NEUSE RD. TRANSPARENCY CALCULATIONS:

GROUND FL FACADE AREA BTW 0'-12":	2280 SF
REQUIRED (33%):	752.4 SF
PROVIDED:	786 SF
REQUIRED BTW 3'-8" (50%):	376.2 SF
PROVIDED BTW 3'-8":	552.5 SF

UPPER FL FACADE AREA	4940 SF
REQUIRED (20%):	988 SF
PROVIDED:	2422 SF

BLANK WALL AREA DOES NOT EXCEED 20'

NOTE: GLASS AT GROUND AND UPPER LEVELS WILL CONFORM WITH REQUIREMENTS OF RALEIGH UDD 15.9.B.4
BUILDING AND SITE COMPLY WITH UDD 15.7.A.3 FOR ADDITIONAL STORY



SOUTH ELEVATION

Project Name:
QUAIL COMMONS
MEDICAL OFFICE BLDG

RALEIGH, NC

No.	Date	Description
2	9/8/20	CITY COMMENTS

Project No.: 20.05
Date: 6/15/20
Scale: 1/8"=1'-0"
Drawn: JR. JJS
Checked: JJS

Drawing Title:
BUILDING ELEVATIONS

Drawing No.:

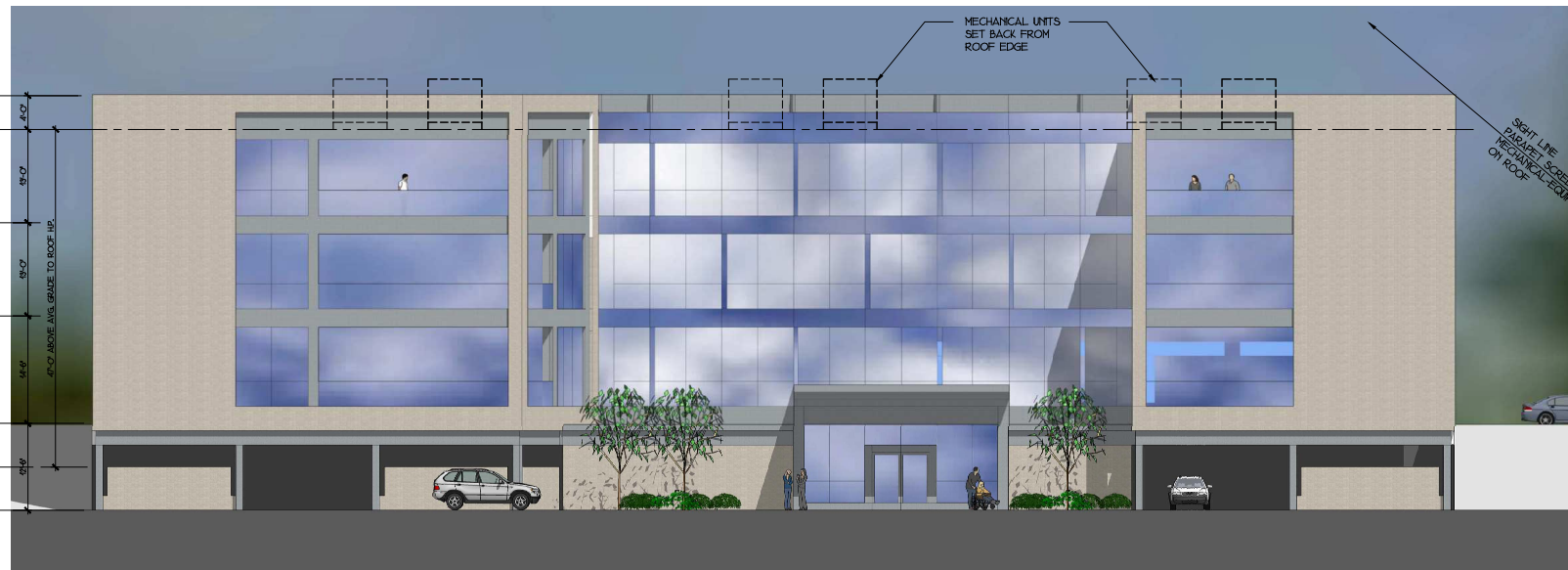
A-1

RICHARD T. HARDAWAY ARCHITECT

47 River Street, Suite 200
Wellesley, Massachusetts
02481

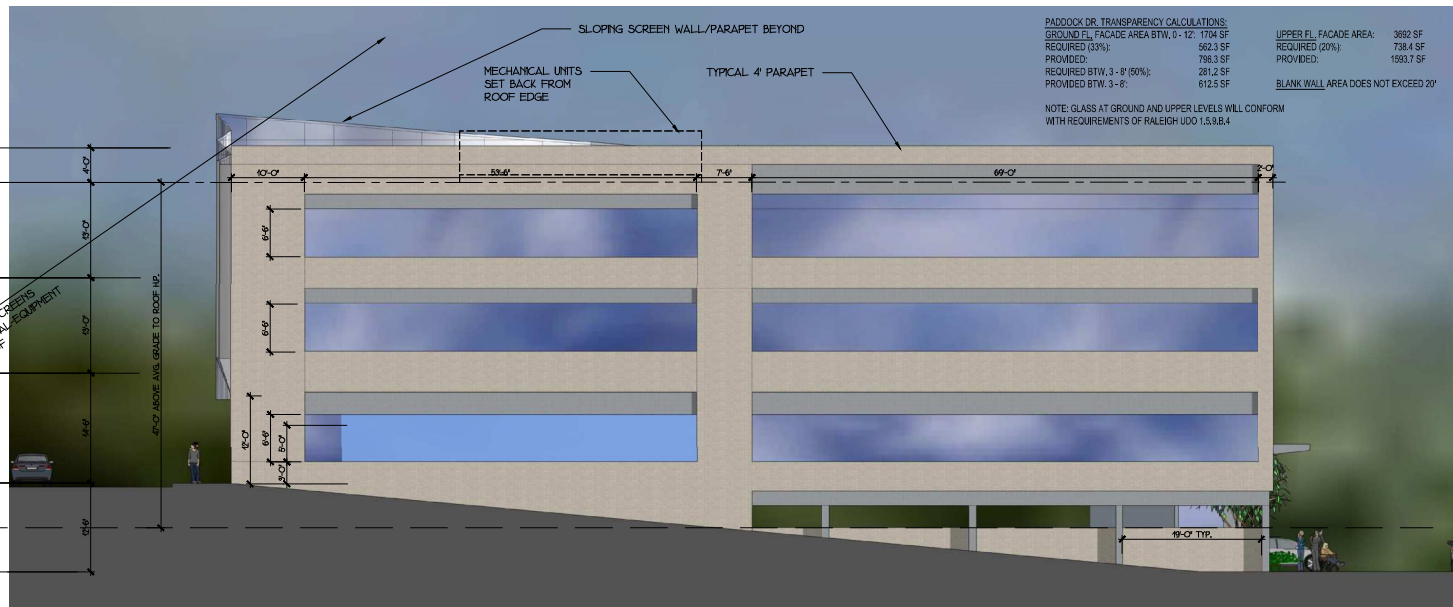
781 235 5339
Fax 781 235 5329

Seal:



WEST ELEVATION - TENANT ENTRY FROM ON GRADE PARKING

NOTE: BUILDING AND SITE COMPLY WITH UDO 1.5,7A.3 FOR ADDITIONAL STORY



NORTH ELEVATION - PADDOCK DRIVE

Project Name:
QUAIL COMMONS
MEDICAL OFFICE BLDG

RALEIGH, NC

No.	Date	Description
2	9/8/20	CITY COMMENTS

Project No.: 20.05
Date: 6/15/20
Scale: 1/8"=1'-0"
Drawn: JR. JJS
Checked: JJS

Drawing Title:
BUILDING ELEVATIONS

Drawing No.:

A-2

RICHARD T. HARDAWAY ARCHITECT

47 River Street, Suite 200
Wellesley, Massachusetts
02481

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Seal:

Project Name:
QUAIL COMMONS
MEDICAL OFFICE BLDG

RALEIGH, NC

No.	Date	Description
2	9/8/20	CITY COMMENTS

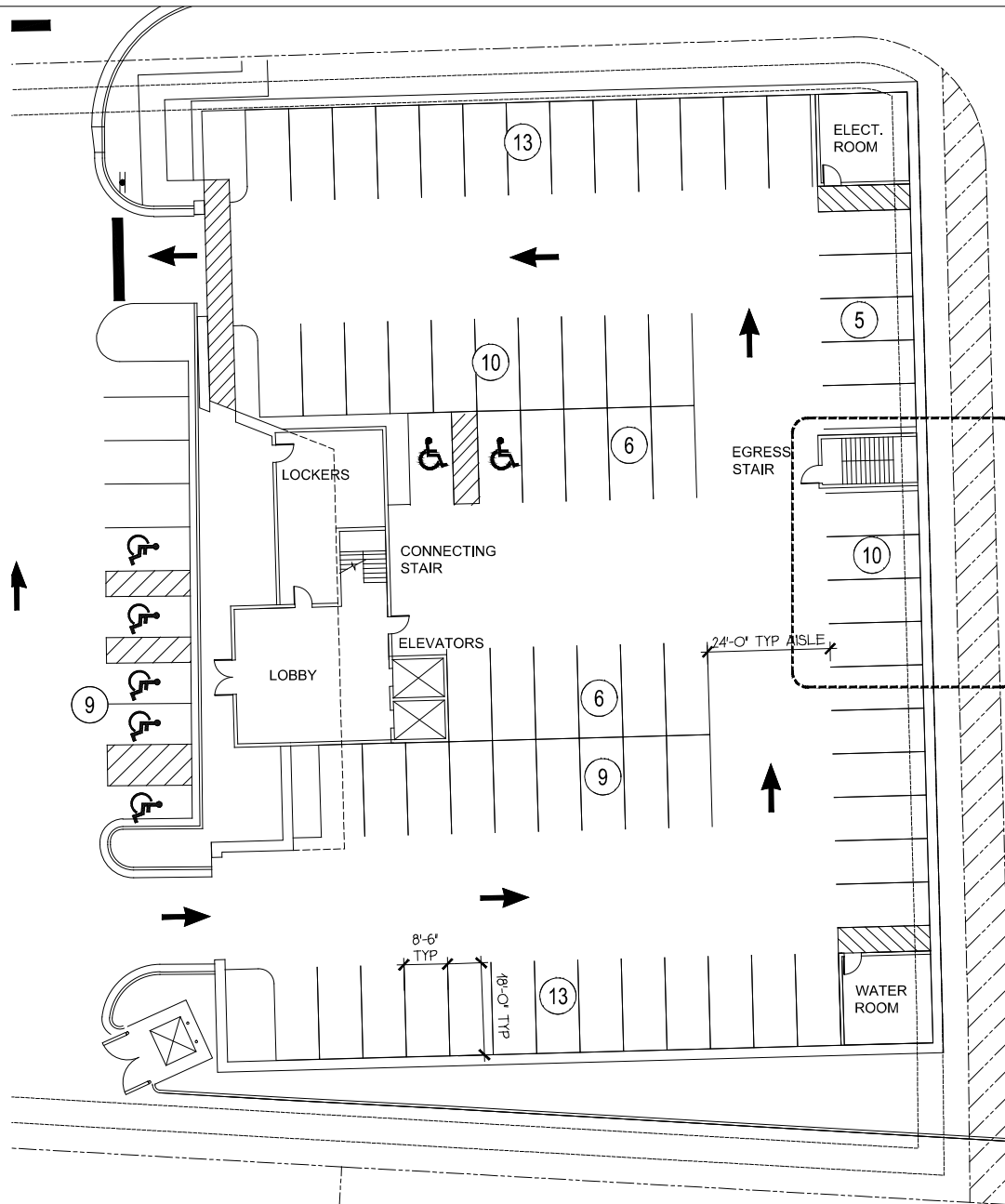
Project No.: 20.05
Date: 9/25/20
Scale: 3/32"=1'-0"
Drawn: JR, MP
Checked: JJS

Drawing Title:
PARKING LEVEL PLAN

Drawing No.:

A-3

PROJECT
NORTH



SEE
ENLARGED
PLAN OF 1ST
FLOOR ON
THIS PAGE

ELECT.
ROOM

EGRESS
STAIR

WATER
ROOM

LOCKERS

CONNECTING
STAIR

ELEVATORS

LOBBY

FALLS OF NEUSE RD

ACCESSIBLE ENTRANCE
FROM FALLS OF NEUSE
ROAD

EGRESS
STAIR

BUILDING INTERIOR

02 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

01 PARKING LEVEL PLAN
SCALE: 3/32" = 1'-0"

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