

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name: Cook Out		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 4112 Lake Boone Trail		
Site P.I.N.(s): 078592203		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Construct an eating establishment with drive-through and associated parking and utilities.		
<b>Current Property Owner(s):</b> TBR LAKE BOONE OWNER LLC /TR MARVIN F POER & COMPANY		
Company: TBR LAKE BOONE OWNER LLC /TR M		Title: <i>owner</i>
Address: 176 Mine Lake Court, Suite 100, Raleigh, NC 27615		
Phone #: 336-215-7025	Email: jreaves@cookout.com	
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder		
Company: <i>Sambatek NO PC</i>	Address: <i>8312 Creedmoor Road, Raleigh NC</i>	

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b> Jeremy Reaves / Cook Out, Inc.	
Company: Jeremy Reaves / Cook Out, Inc.	Title: President
Address: 15 Laura Lane Suite 300, Thomasville, NC 27360	
Phone #: 336-215-7025	Email: jreaves@cookout.com
Applicant Name: Michael Hicks	
Company: Sambatek PC NC	Address: 8312 Creedmoor Road, Raleigh, NC 27613
Phone #: 919-949-6121	Email: mhicks@sambatek.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): CX-5-PL-CU	Existing gross floor area (not to be demolished): 0
Gross site acreage: 0.87	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 19	New gross floor area: 1,830
Max # parking permitted (7.1.2.C): 19	Total sf gross (to remain and new): 1,830
Overlay District (if applicable): NA	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Eating establishment <input checked="" type="checkbox"/>	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>0.36</u> Proposed total (sf) <u>18,495</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>0.36</u> Proposed total (sf) <u>18,495</u>

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.



**APPLICANT SIGNATURE BLOCK**

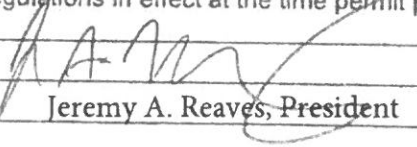
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



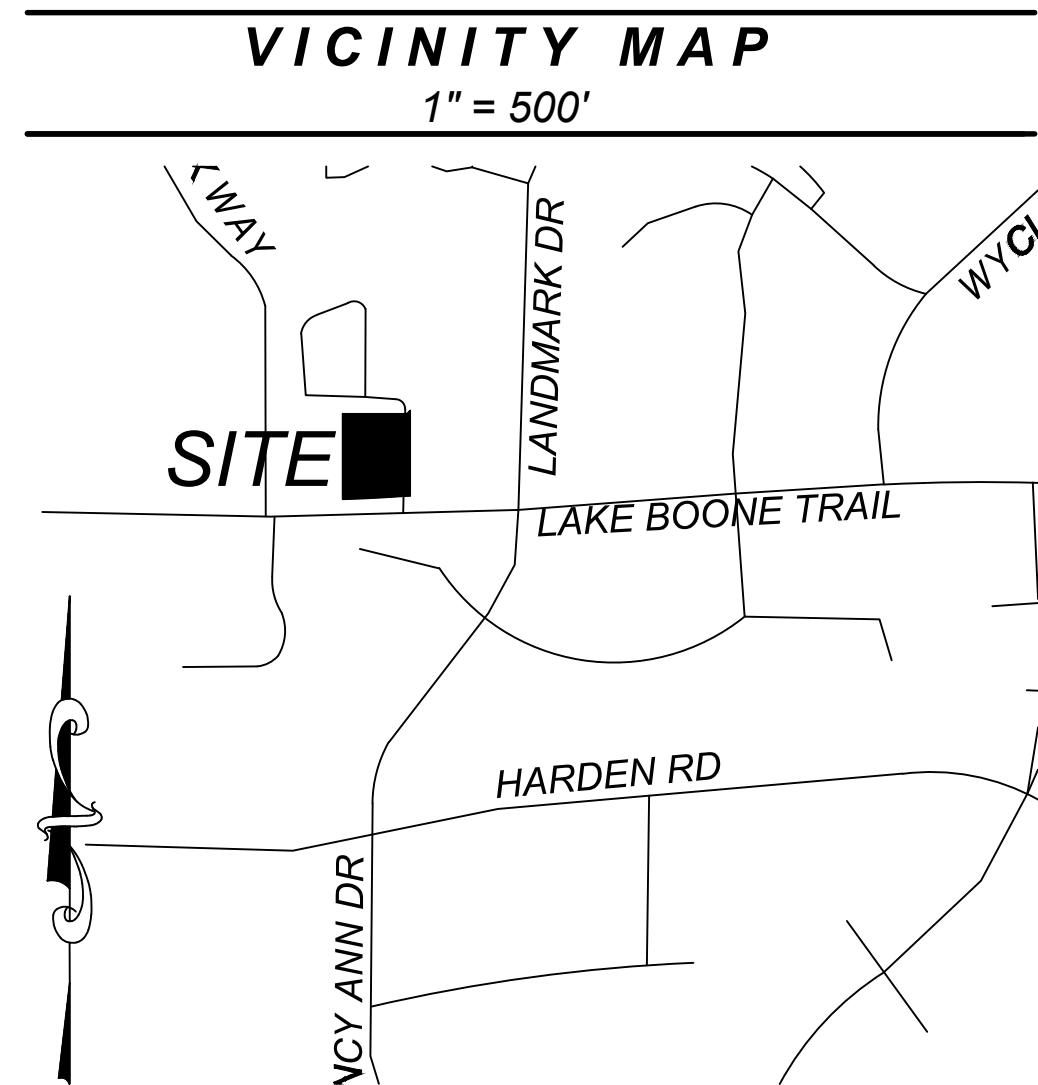
Date:

6/14/23

Printed Name:

Jeremy A. Reaves, President





# COOK OUT

## FRESH HAMBURGERS

**COOK OUT**  
**15 LAURA LANE, SUITE 300**  
**THOMASVILLE, NORTH CAROLINA 27360**  
**TELEPHONE: (336) 215-7025**  
**FAX: (336) 474-1849**

**SITE ADDRESS: 4112 LAKE BOONE TRAIL**  
**4112 LAKE BOONE TRAIL**  
**CSD PROJECT NUMBER: OUT-2304**  
~~**SITE PERMIT REVIEW SPR 2023**~~

### SHEET INDEX

- C-1 EXISTING CONDITIONS / DEMOLITION PLAN
- C-2 RECORD PLAT
- C-3 SITE PLAN
- C-4 SOLID WASTE TRUCK TURN PLAN
- C-5a GRADING & EROSION CONTROL PLAN PHASE 1
- C-5b GRADING & EROSION CONTROL PLAN PHASE 2
- C-6 NPDES STABILIZATION PLAN
- C-7 NPDES DETAILS
- C-8 UTILITY PLAN
- C-9 LANDSCAPE PLAN
- C-10 LIGHTING PLAN
- C-11 DETAILS
- C-12 DETAILS
- C-13 DETAILS
- C-14 DETAILS
- A-2 BUILDING ELEVATIONS
- A-3 BUILDING ELEVATIONS

CONTACT INFORMATION	
WATER:	CITY OF RALEIGH PUBLIC UTILITIES ONE SOUTH EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: BRIAN CASEY PHONE: (919) 996-2207
STORM DRAINAGE:	CITY OF RALEIGH STORM WATER SERVICE ONE SOUTH EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: BRIAN CASEY PHONE: (919) 996-2207
SANITARY SEWER:	CITY OF RALEIGH PUBLIC UTILITIES ONE SOUTH EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: BRIAN CASEY PHONE: (919) 996-2207
GAS:	DOMINION ENERGY CUSTOMER SERVICE PHONE: 866-582-6345
ELECTRIC:	DUKE POWER ENERGY PROGRESS CUSTOMER SERVICE PHONE: 866-582-6345
BUILDING & INSPECTIONS	CITY OF RALEIGH PLANNING & DEVELOPMENT SERVICES ONE SOUTH EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: BRYAN ROBINSON PHONE: (919) 996-2445
PLANNING / ZONING:	CITY OF RALEIGH PLANNING & DEVELOPMENT SERVICES ONE SOUTH EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: MICHAEL LEABARGER PHONE: (919) 996-2479

**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
**CONSTRUCTION MANAGER**  
**TELEPHONE: (336) 279-3242**

SITE INFORMATION	
OWNER:	COOK OUT 15 LAURA LANE, SUITE 300 THOMASVILLE, NC. 27320 TELEPHONE: (336) 215-7025
DESIGNER:	SAMBATEK NC PC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121
ZONING:	CX-5PL-CU
EXISTING USE:	VACANT
PROPOSED USE:	RESTAURANT WITH DRIVE THRU
SITE ADDRESS:	4112 LAKE BOONE TRAIL
PARCEL IDENTIFICATION NUMBER:	0785-92-2003
PARKING REQUIREMENTS:	MAXIMUM: 1 PER 100 SF OR GROSS FLOOR AREA 1,830 SF / 100 = 19 SPACES
PARKING PROVIDED:	12 REGULAR SPACES 1 HANDICAP SPACES 13 TOTAL SPACES
BICYCLE PARKING REQUIRED:	PROVIDED: 4 - TWO U-RACKS 4 - FOUR LOCKERS
BUILDING SETBACKS:	REQUIRED: 5' FEET 0' OR 3' FEET 0' OR 3' FEET PROVIDED: 98 FEET 36.5 FEET / 59 FEET 91 FEET
PARKING SETBACKS:	REQUIRED: 10 FEET 0 OR 3 FEET PROVIDED: N/A N/A
DISTURBED AREA:	23,000 SF OR 0.53 ACRES
EXISTING IMPERVIOUS AREA:	15,495 SF OR 0.36 ACRES
PROPOSED IMPERVIOUS AREA:	31,164 SF OR 0.72 ACRES
PROPOSED BUILDING:	1,830 SF
WATER:	CITY OF RALEIGH PUBLIC UTILITIES
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES
TREE CONSERVATION AREA:	NOT REQUIRED - LESS THAN 2 ACRES

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval \_\_\_\_\_  
 City of Raleigh Review Officer \_\_\_\_\_

REVISIONS:			
NO.	DATE	DESCRIPTION	BY

### Project Data Sheet

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form must be completed and applied to the cover sheet of drawings submitted with a Non-Residential building permit associated with a Site Permit Review, or permits for an apartment, office, and/or commercial uses.

GENERAL INFORMATION			
Development Name: Cook Out	Proposed Use: Eating Establishment with Drive-through		
Property Address(es): 4112 Lake Boone Trail			
Approved Site Plan or Subdivision case #: S-50-14			
Wake County Property Identification Number(s) (PIN) for each parcel to which these guidelines will apply:			
PIN #: 078592203	PIN #: 078592203	PIN #: 078592203	PIN #: 078592203
<input type="checkbox"/> Apartment	<input type="checkbox"/> Bank	<input type="checkbox"/> Congregate care	<input type="checkbox"/> Hospital
<input type="checkbox"/> Hotel/Motel	<input type="checkbox"/> Industrial building	<input type="checkbox"/> Mixed residential	<input type="checkbox"/> Non-residential condo
<input type="checkbox"/> Office	<input type="checkbox"/> Religious institution	<input type="checkbox"/> Residential condo	<input type="checkbox"/> Retail
<input type="checkbox"/> School	<input type="checkbox"/> Shopping center	<input type="checkbox"/> Single-family residential	<input type="checkbox"/> Telecommunication tower
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic use: Park, community center, museum or government facility	<input checked="" type="checkbox"/> Other	
Scope of work: Construct an eating establishment with drive-through and associated parking and utilities.			

FOR APARTMENTS, CONDOS, AND TOWNHOMES ONLY		
1. Total number of townhouse lots:	Number attached:	Number detached:
2. Total number of apartment or condominium units:		
3. Total number of Congregate Care or Life Care Dwelling units:		
4. Overall total number of dwelling units (from 1-3 above):		
5. Number of bedroom units:	1BR:	2BR: 3BR: 4BR or more:
6. Overall unit(s) per acre densities per zoning district(s):		

DEVELOPMENT TYPE AND SITE DATA TABLE (applicable to all developments)	
Zoning Information	Building Information
Zoning district(s): CX-5-PL-CU	Proposed use of building(s): Eating Establishment with drive-through
If more than one district, provide acreage of each:	Proposed sq. ft. of building(s) gross: 1,830
Overlay district(s):	Existing sq. ft. of building(s) gross: 0
Total site acreage: 0.87	Total sq. ft. gross (existing and proposed): 1,830
Off street parking: Required: 19 Provided: 19	Total proposed height of building(s): +/- 26'
COA (Certificate of Appropriateness) case #:	FAR (floor area ratio) %:
BOA (Board of Adjustment) case # A -	Building lot coverage %:
CUD (Conditional Use District) case # Z - 20-13	Inside City Limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

REVISION 11.16.20  
 PAGE 1 OF 2  
 raleighnc.gov

STORMWATER INFORMATION	
Existing impervious surface: 0.36 / 18,495	acres/square feet
Proposed impervious surface: 0.67 / 29,102	acres/square feet
Neuse River buffer: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Flood Hazard Area: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, Alluvial soils:
Flood Study: N/A	FEMA Map Panel #:
Total disturbed area: 0.53	acres/square feet

PUBLIC IMPROVEMENT QUANTITIES	
Phase Number(s)	PHASE 1
Number of Lot (s)	1
Lot Number (s) by Phase	N/A
Number of Units	1
Livable Buildings	1
Open Space	0
Number of Open Space Lots	N/A
Public Water (LF)	0
Public Sewer (LF)	0
Public Street (LF) - Full	0
Public Street (LF) - Partial	0
Public Sidewalk (LF) - Full	0
Public Sidewalk (LF) - Partial	0
Street Signs (EA)	0
Water Service Stubs	1
Sewer Service Stubs	1

**Traffic Control and Pedestrian Plan (TCPED) Notes:**

- Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofwayservices@raleighnc.gov.
- The street, lane, sidewalk, closure permit is required for any closure on city streets and all NCDOT streets within Raleigh's Jurisdiction.
- A permit request with a TCPED Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All TCPED Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to:
  - Manual on Uniform Traffic Control (MUTCD);
  - Public Rights-of-Way Accessibility Guidelines (PROWAG);
  - American Disability Act (ADA) requirements;
  - Raleigh Street Design Manual (RSDM).
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

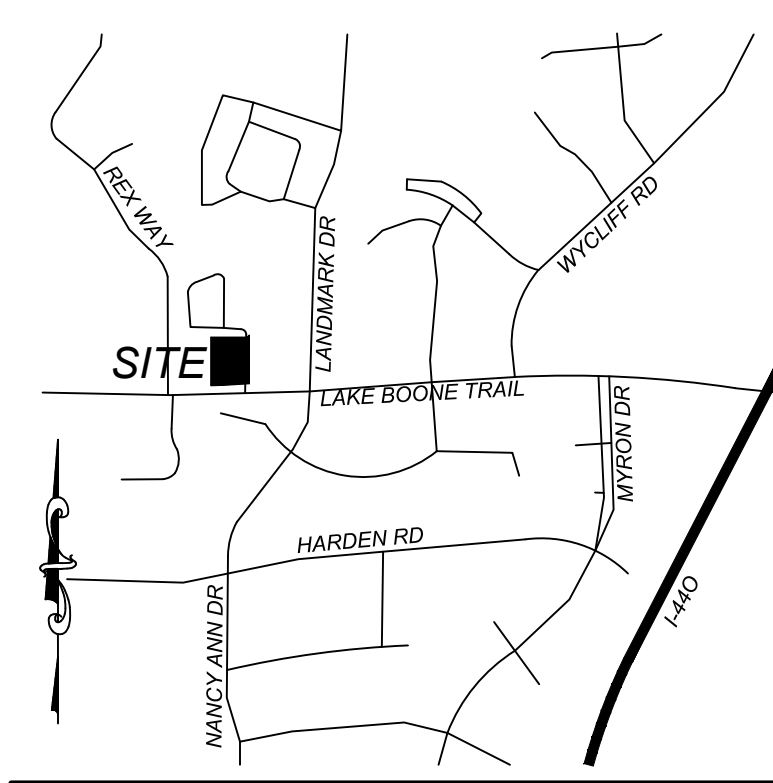
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.











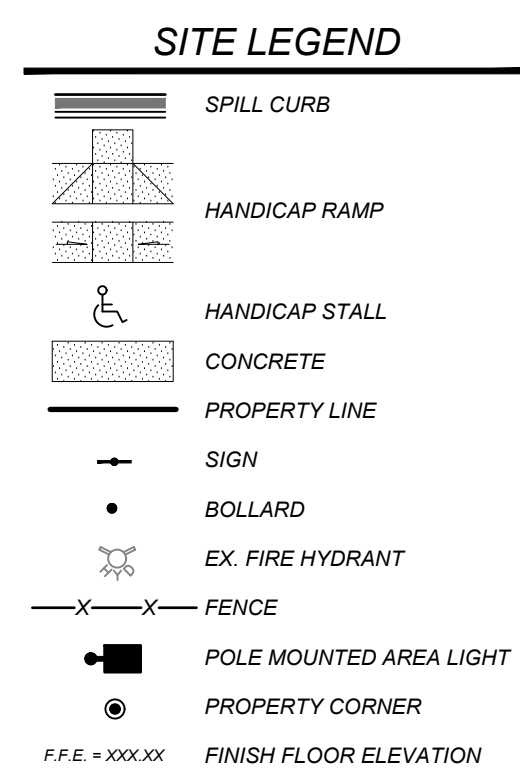
VICINITY MAP  
NTS

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<b>PARKING PROVIDED:</b>	12 REGULAR SPACES 1 HANDICAP SPACES 13 TOTAL SPACES												
<b>BICYCLE PARKING REQUIRED:</b>	PROVIDED: SHORT TERM: 4 SPACES LONG TERM: 4 SPACES												
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<b>SEWER:</b>	CITY OF RALEIGH PUBLIC UTILITIES												
<b>TREE CONSERVATION AREA:</b>	NOT REQUIRED - LESS THAN 2 ACRES												

**CURBING NOTE:**  
STANDARD CURB AND GUTTER SHALL BE INSTALLED AT BUILDING ISLAND DIRECTLY ADJACENT TO BUILDING ONLY, AND AT THE FRONT OF ALL PARKING STALLS. ROLLED CURB AND GUTTER SHALL BE INSTALLED THROUGHOUT REMAINDER OF SITE.

**PAINT NOTE:**  
ALL PAINT STRIPING SHALL BE APPLIED AT A MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)

**SITE LIGHTING NOTE:**  
FOR REMODEL/RETROFIT PROJECTS, ALL EXISTING POLE LIGHTS SHOULD BE RETROFITTED WITH LED LIGHTING FIXTURES WHENEVER POSSIBLE.

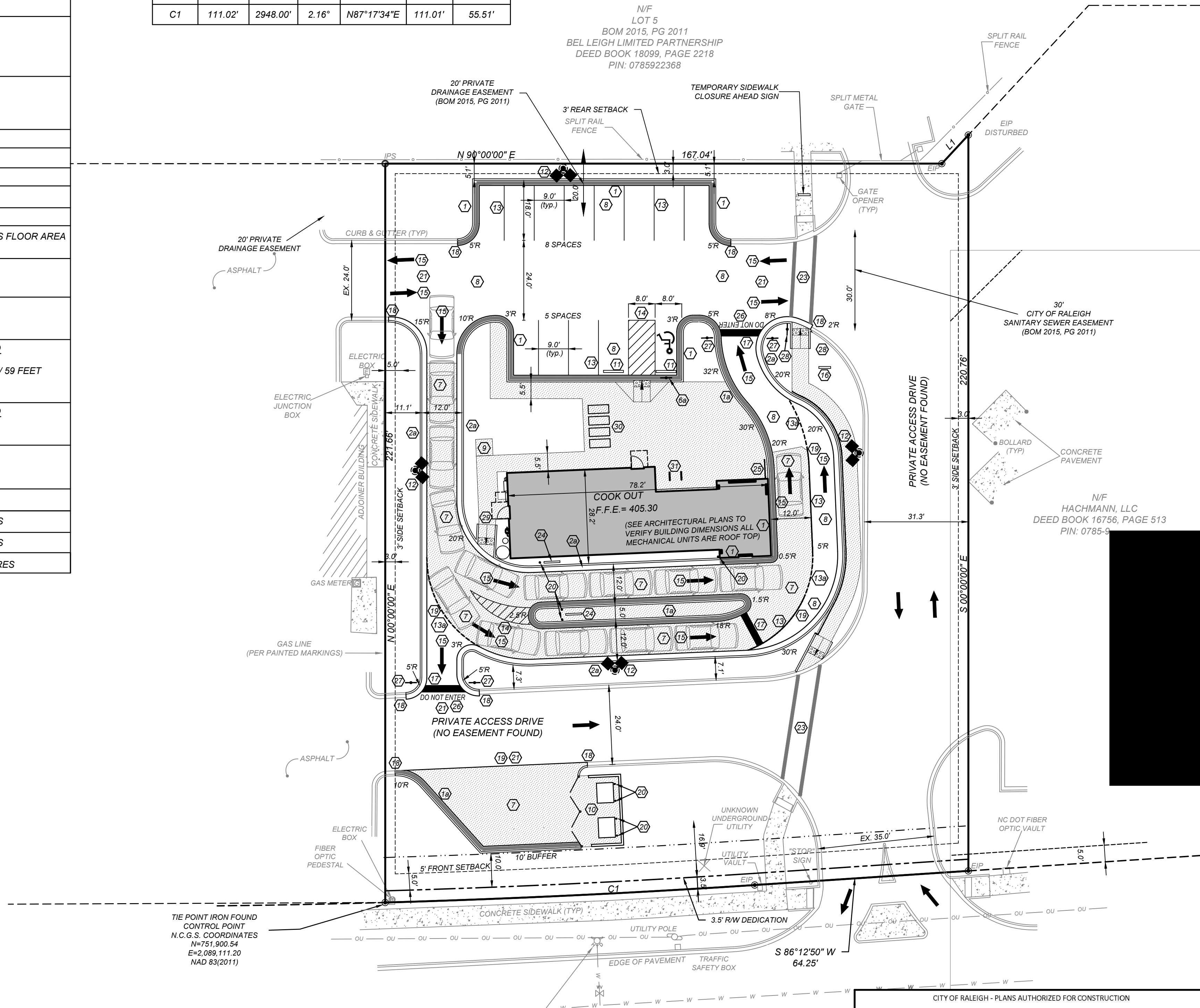


**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
CONSTRUCTION MANAGER  
TELEPHONE: (336) 279-3242

LINE TABLE		
Line #	Direction	Length
L-1	S 42°51'56" W	11.70

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C1	111.02'	2948.00'	2.16°	N87°17'34"E	111.01'	55.51'

- PAINT "DO NOT ENTER" PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS
- 27 INSTALL "STOP" AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS
  - 28 INSTALL "STOP" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS
  - 29 DELIVERY RAMP
  - 30 INSTALL 4 BRICK LOCKERS FOR LONGTERM BICYCLE PARKING, SEE DETAIL.
  - 31 INSTALL BIKE RACK PER DETAIL SHEET



**LAKE BOONE TRAIL**  
SR 1676 (VARIABLE PUBLIC R/W) ASPHALT ROAD

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval

- GENERAL NOTES:**
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PROVIDED BY PROPERTY OWNER.
  - THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
  - ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
  - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
  - THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
  - ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
  - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
  - DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  - THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
  - THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
  - GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE UNLESS NOTED DIFFERENT ON PLAN.
  - FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
  - CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
  - ALL RADI DIMENSIONS ARE TO FACE OF CURB.
  - ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
  - ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
  - ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDING AND MULCHED WITHIN SEVEN (7) DAYS.
  - THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NC "ONE CALL" AT (800) 632-4949 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
  - ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
  - COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
  - THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
  - BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
  - ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
  - ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
  - ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
  - ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
  - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
  - IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
  - CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

NO.	DATE	DESCRIPTION

**COMMERCIAL SITE DESIGN**  
A Sambatek Company  
(919) 848-6121 FAX: (919) 848-6741  
WWW.CSITDESIGN.COM

**CLIENT:**  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360

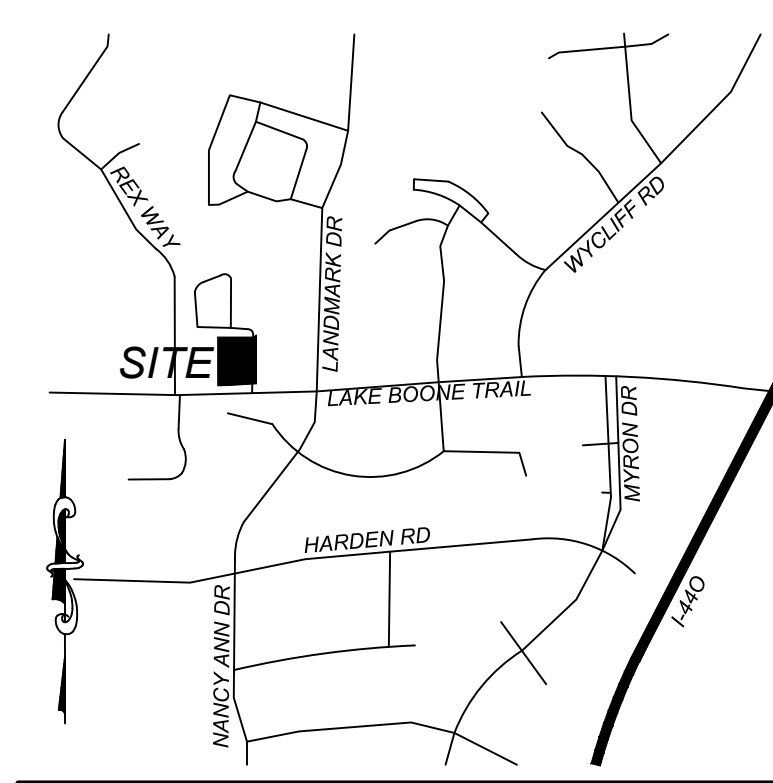
**COOK OUT FRESH HAMBURGERS**  
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

PROJECT NO.	OUT-2304
FILENAME:	OUT-2304-SP
DRAWN BY:	CSD
SCALE:	1" = 20'
DATE:	05-10-2023
SHEET NO.	C-3

**811**  
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nc811.org or 1-800-632-4949

GRAPHIC SCALE  
1 inch = 20 ft.





VICINITY MAP  
NTS

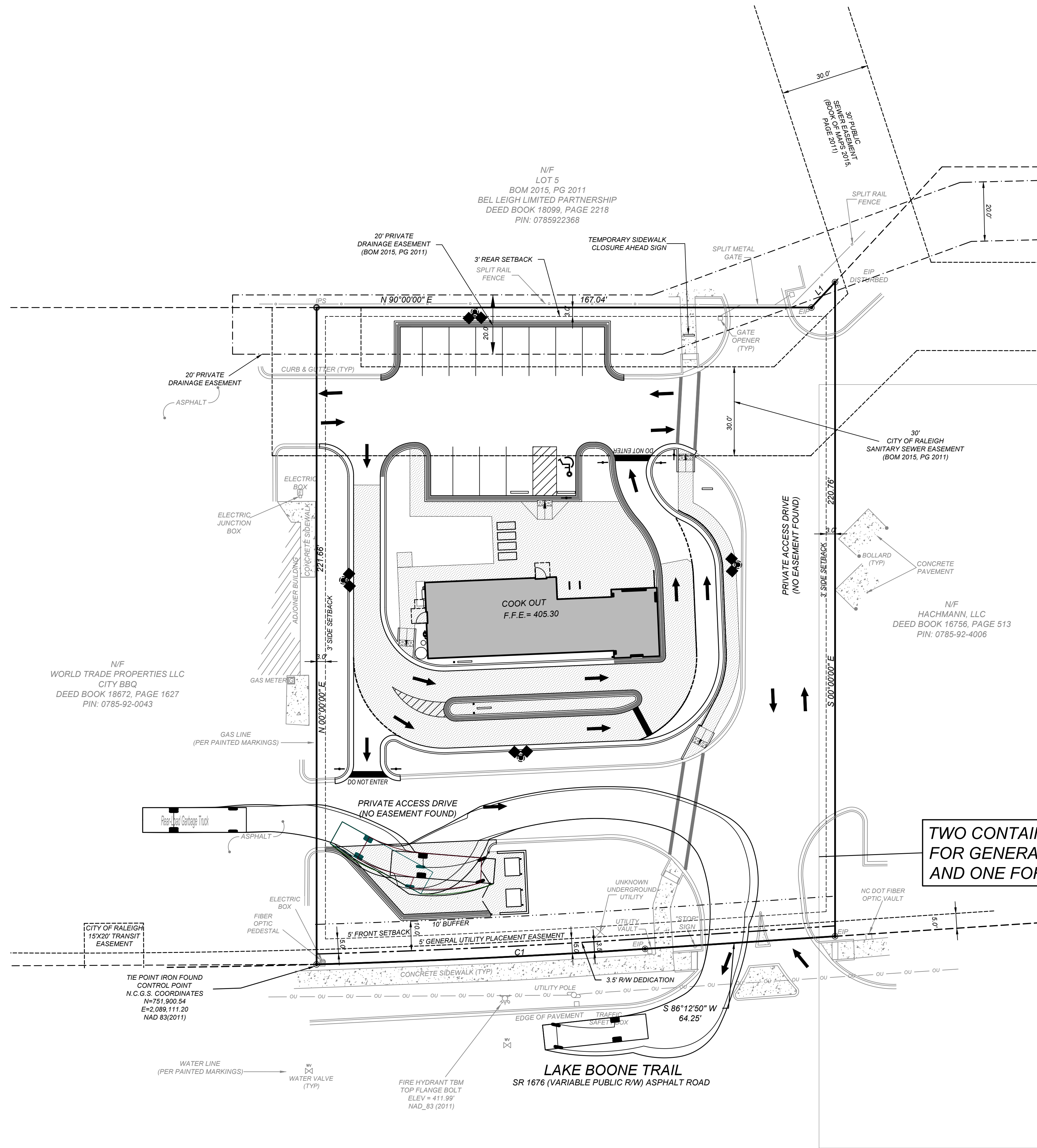
LINE TABLE		
Line #	Direction	Length
L-1	S 42°51'56" W	11.70

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	BEARING	TANGENT
C1	111.02'	2948.00'	2.16°	N87°17'34"E	111.01'

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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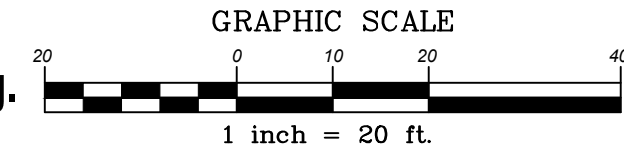
City of Raleigh Development Approval \_\_\_\_\_



TWO CONTAINERS, ONE FOR GENERAL WASTE AND ONE FOR RECYCLING.



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nc811.org or 1-800-632-4949



24 HOUR CONTACT  
JOHN ARMFIELD  
CONSTRUCTION MANAGER  
TELEPHONE: (336) 279-3242

- SITE LEGEND**
- SPILL CURB
  - HANDICAP RAMP
  - HANDICAP STALL
  - CONCRETE
  - PROPERTY LINE
  - SIGN
  - BOLLARD
  - EX. FIRE HYDRANT
  - FENCE
  - POLE MOUNTED AREA LIGHT
  - PROPERTY CORNER
  - F.F.E. = XXXXX FINISH FLOOR ELEVATION

NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**  
A Sambatek Company  
(919) 848-0121 FAX: (919) 848-3741  
WWW.CSITIDESIGN.COM

812 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27615

**CLIENT:**  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360

**PROJECT NO:** OUT-2304  
**FILENAME:** OUT-2304-TT  
**DRAWN BY:** CSD  
**SCALE:** 1" = 20'  
**DATE:** 05-10-2023  
**SHEET NO:** C-4

**COOK OUT FRESH HAMBURGERS**  
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

**SOLID WASTE TRUCK TURN PLAN**

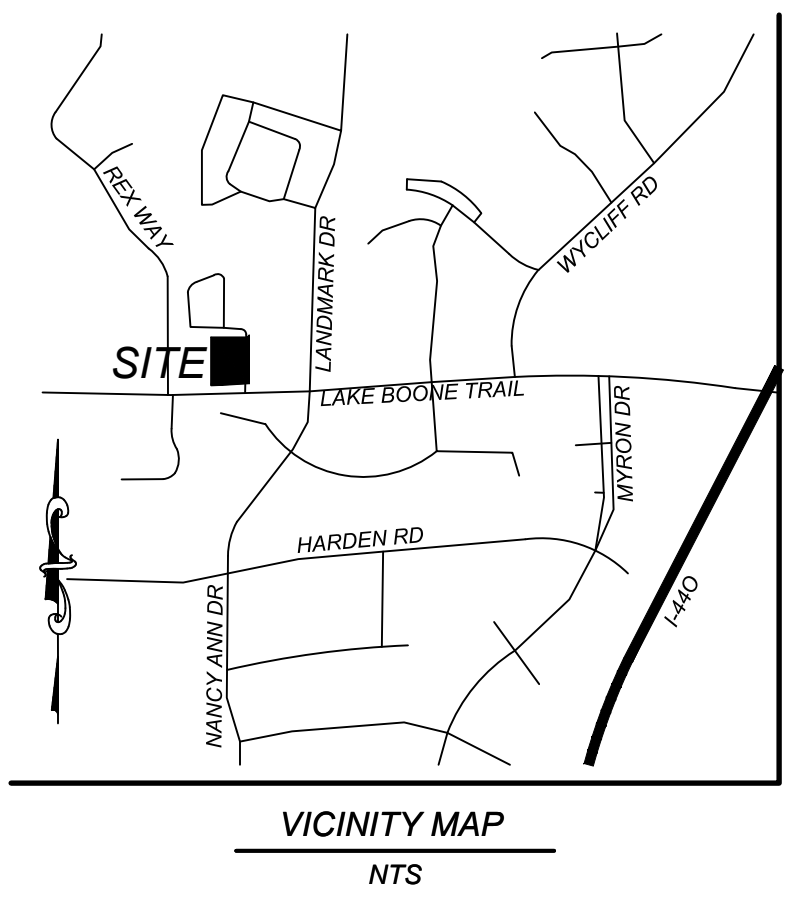
X:\OUT - Cookout\2304 - Raleigh - Lake Boone Trail\CAD\OUT\2304-TT.dwg, 5/22/2023 8:50:50 AM, Long



**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

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City of Raleigh Development Approval \_\_\_\_\_



CONTRACTOR TO INSTALL ROOF DRAINS AROUND BUILDING AND EXTEND TO OUTLET AT 2% MINIMUM. COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT.

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

**CONSTRUCTION ENTRANCE:**  
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RAINFALL-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

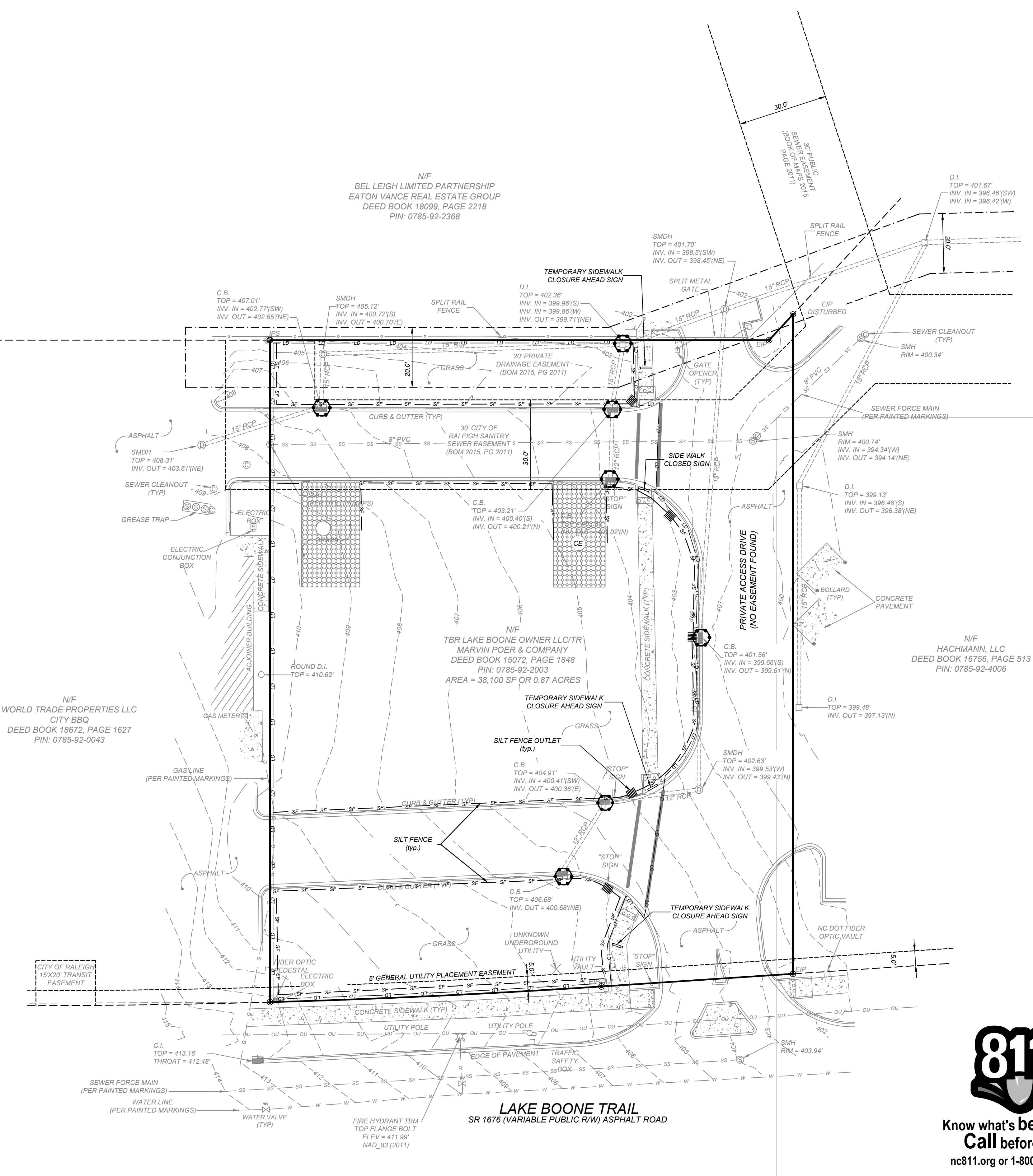
**SILT FENCE:**  
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE. REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

**SILT FENCE GRAVEL OUTLET:**  
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

**OUTLET STABILIZATION STRUCTURE:**  
INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

**BLOCK AND GRAVEL INLET PROTECTION:**  
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

**DIVERSION DITCHES:**  
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.



OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.

INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.

BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION.

NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.

BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS.

STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DEVELOPED AREAS WITHIN FIFTEEN (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.

WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.



**TEMPORARY SEEDING IN NORTH CAROLINA**

	SEEDING MIXTURE SPECIES	RATE (lb/acre)
LATE WINTER & EARLY SPRING	RYE (GRAIN)	120
	ANNUAL LESPEDEZA (KOBE) IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS	50
SUMMER	GERMAN MILLET	40
FALL	RYE (GRAIN) IS NOT TO EXTEND BEYOND JUNE. MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.	120
	SEEDING DATES:	
LATE WINTER & EARLY SPRING	MOUNTAINS - ABOVE 2500 FT. FEB. 15 - MAY 15	
	BELOW 2500 FT. FEB. 1 - MAY 1	
SUMMER	PIEDMONT - JAN. 1 - MAY 1	
	COASTAL PLAIN - DEC. 1 - APR. 15	
FALL	MOUNTAINS - MAY 15 - AUG. 15	
	PIEDMONT - MAY 1 - AUG. 15	
	COASTAL PLAIN - APR. 15 - AUG. 15	
	MOUNTAINS - AUG. 15 - DEC. 15	
	COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 30	

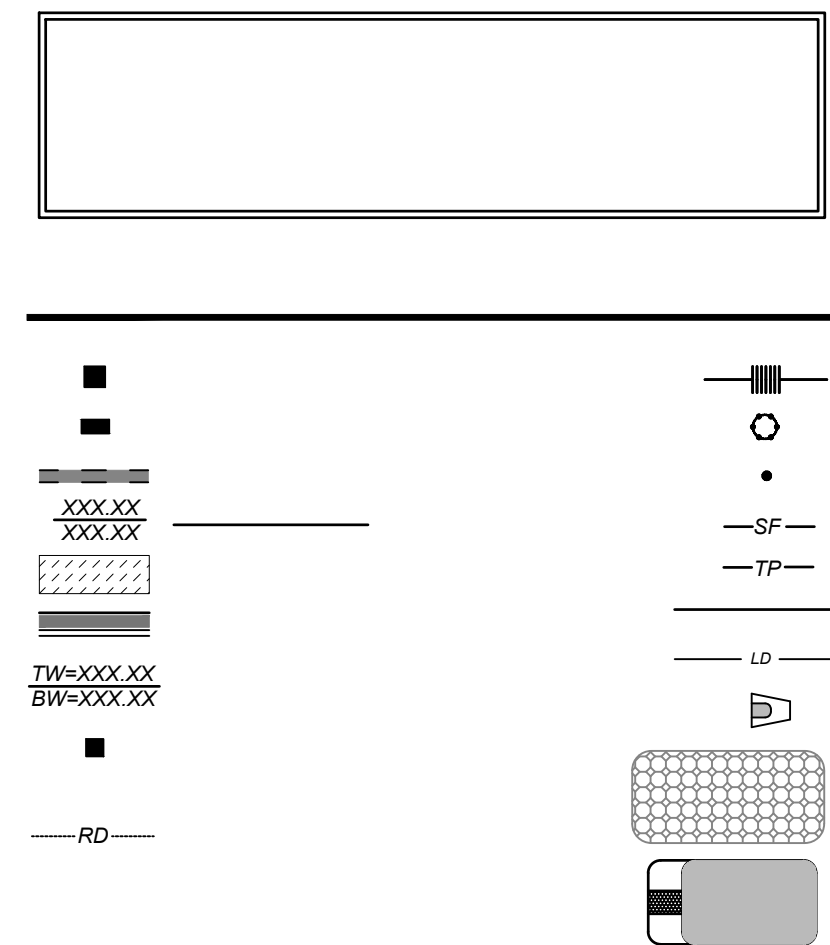
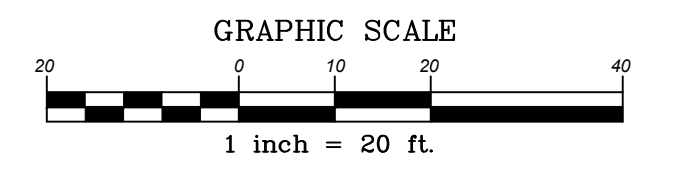
**SOIL AMENDMENTS**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LBS/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LBS/ACRE 10-10-10 FERTILIZER

**MULCH**  
APPLY 4,000 LBS/ACRE STRAW. ANCHOR STRAW BY TACKLING WITH ASPHALT. NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.



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**REVISIONS**

NO.	DATE	DESCRIPTION

**COMMERCIAL SITE DESIGN**

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(919) 848-6021 FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

8912 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27619

**CLIENT:**  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27380

**COOKOUT FRESH HAMBURGERS**

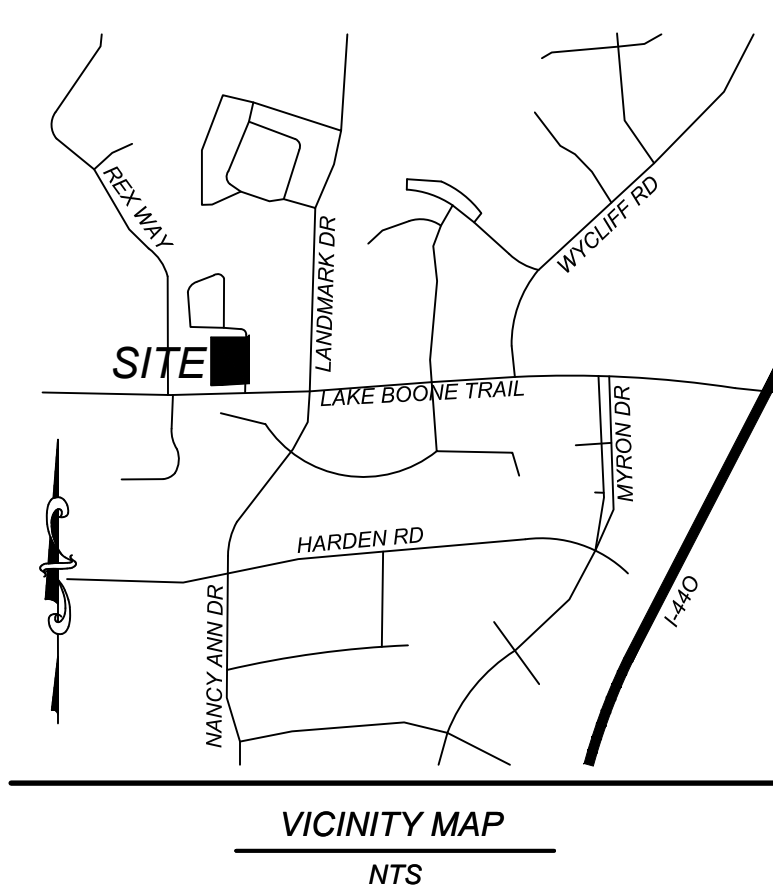
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

**EROSION CONTROL PLAN (PHASE 1)**

PROJECT NO.	OUT-2304
FILENAME	OUT-2304-EC1
DRAWN BY:	CSD
SCALE:	1" = 20'
DATE:	05-10-2023
SHEET NO.	C-5a

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CONTRACTOR TO INSTALL ROOF DRAINS AROUND BUILDING AND EXTEND TO OUTLET AT 2% MINIMUM. COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval \_\_\_\_\_

**MAINTENANCE NOTES:**

**IN GENERAL ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:**

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INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RAINFALL-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

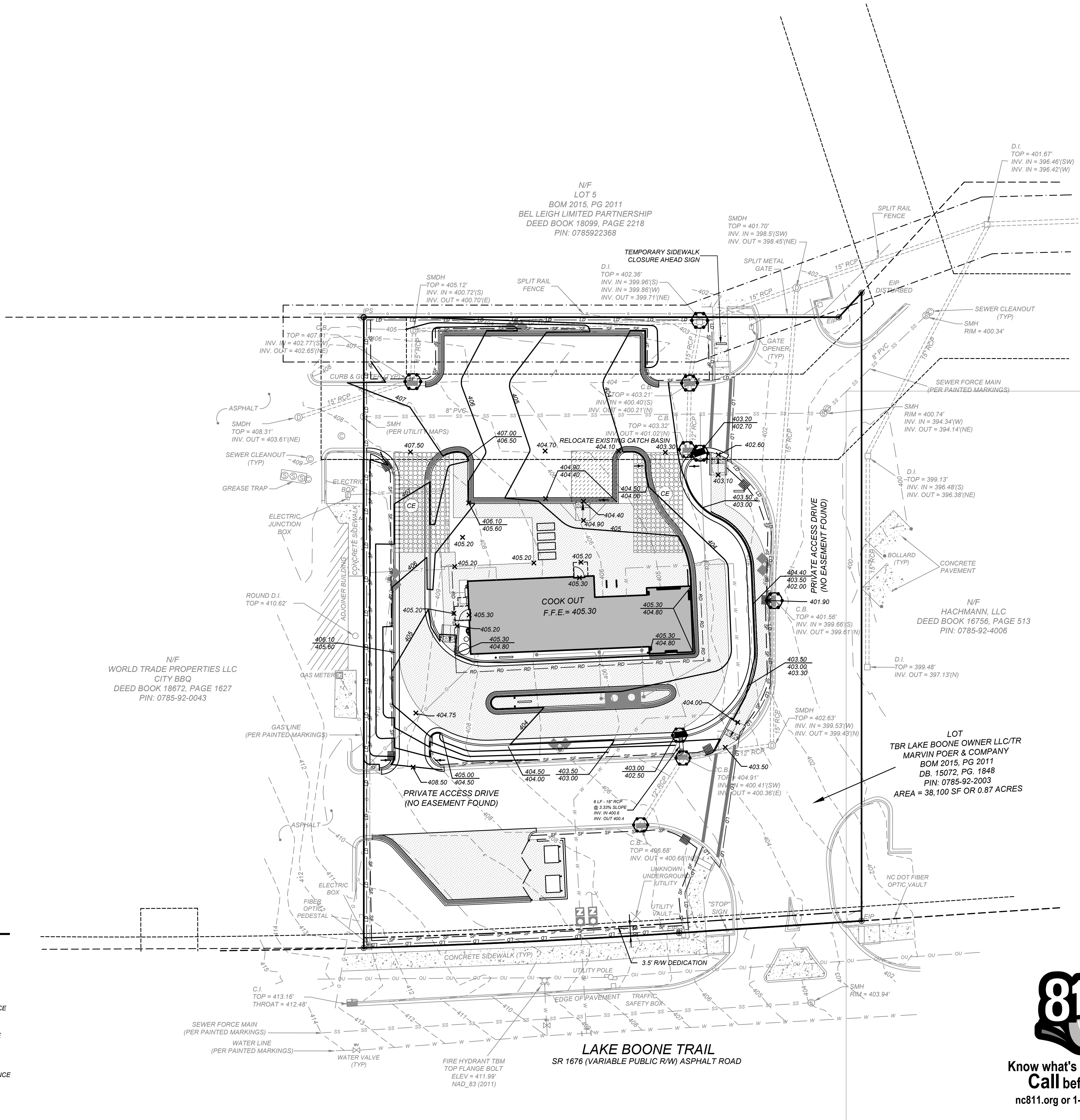
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POST DEVELOPMENT GRADE TABLE

SIDE	HIGH POST DEVELOPMENT GRADE	LOW POST DEVELOPMENT GRADE	AVERAGE
PRIMARY STREET (SOUTH)	405.30'	405.30'	405.30'

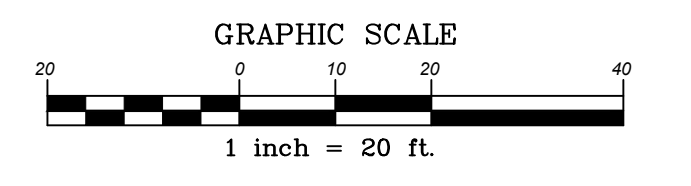
TEMPORARY SEEDING IN NORTH CAROLINA

SEASON	SEEDING MIXTURE SPECIES	RATE (lb/acre)
LATE WINTER & EARLY SPRING	RYE (GRAIN) ANNUAL LESPEDEZA (KOBE) IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS	120 50
SUMMER	GERMAN MILLET OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUNDAGRASS	40
FALL	RYE (GRAIN) IS NOT TO EXTEND BEYOND JUNE. MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.	120
LATE WINTER & EARLY SPRING	SEEDING DATES: MOUNTAINS - ABOVE 2500 FT. FEB. 15 - MAY 15 BELOW 2500 FT. FEB. 1 - MAY 1 PIEDMONT - JAN. 1 - MAY 1 COASTAL PLAIN - DEC. 1 - APR. 15	
SUMMER	MOUNTAINS - MAY 15 - AUG. 15 PIEDMONT - MAY 1 - AUG. 15 COASTAL PLAIN - APR. 15 - AUG. 15	
FALL	MOUNTAINS - AUG. 15 - DEC. 15 COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 30	

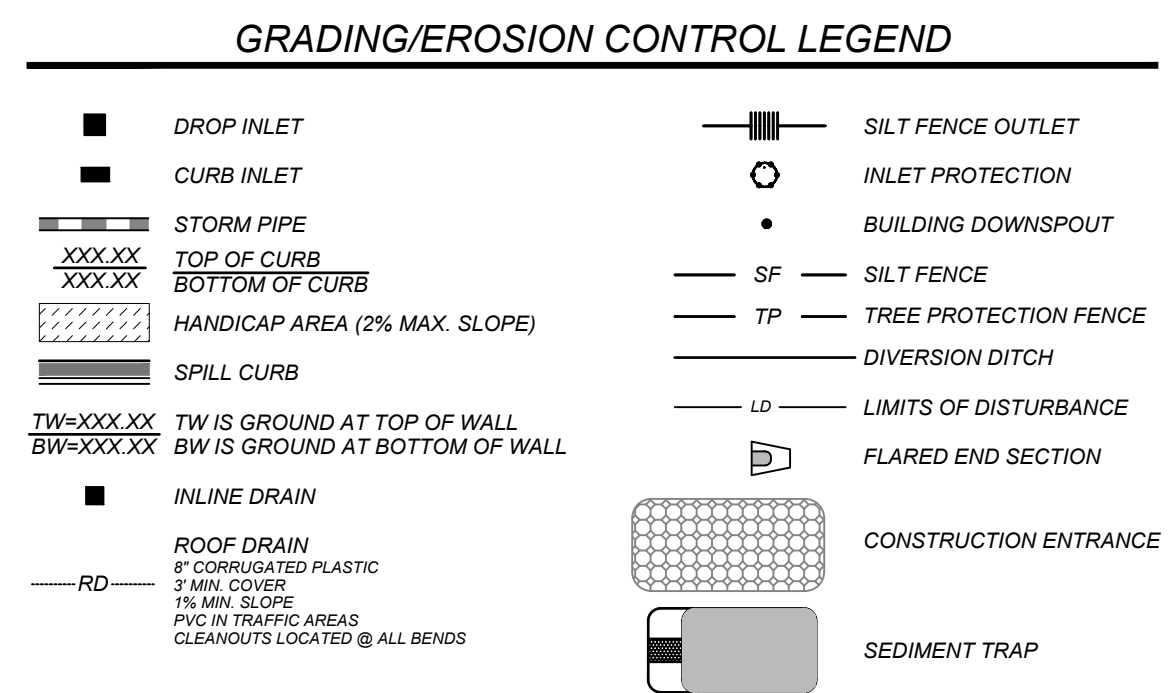
**SOIL AMENDMENTS**  
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**24 HOUR CONTACT**  
JOHN ARMFIELD  
CONSTRUCTION MANAGER  
TELEPHONE: (336) 279-3242



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nc811.org or 1-800-632-4949

REVISIONS

NO.	DATE	DESCRIPTION

**COMMERCIAL SITE DESIGN**  
A SambaTek Company  
(919) 848-6211 FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

812 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27603

**CLIENT:**  
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15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27380

**COOK OUT FRESH HAMBURGERS**  
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

**GRADING/EROSION CONTROL PLAN (PHASE 2)**

PROJECT NO: OUT-2304  
FILENAME: OUT-2304-GP/EC2  
DRAWN BY: CSD  
SCALE: 1"= 20'  
DATE: 05-10-2023  
SHEET NO: C-5b

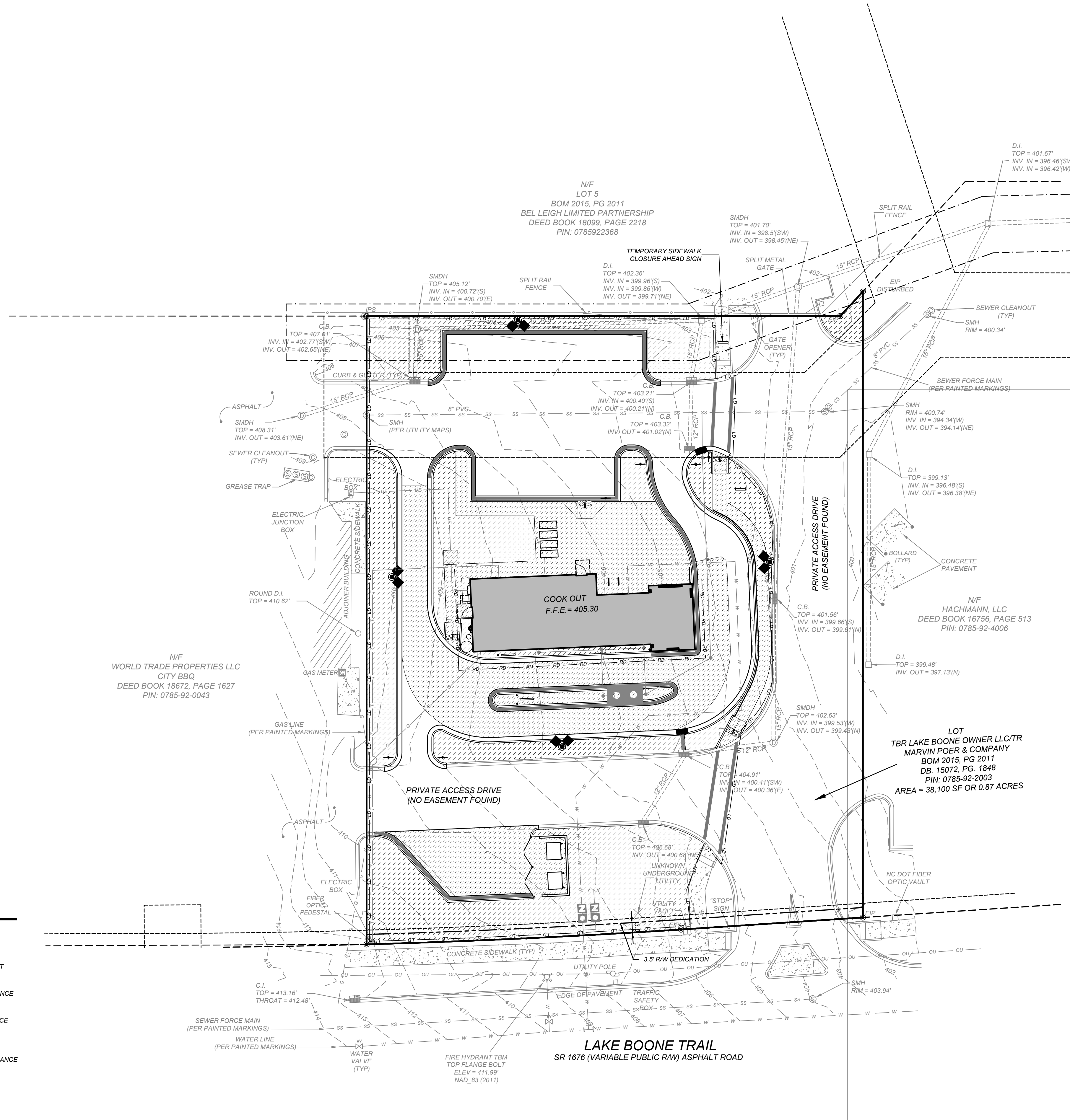
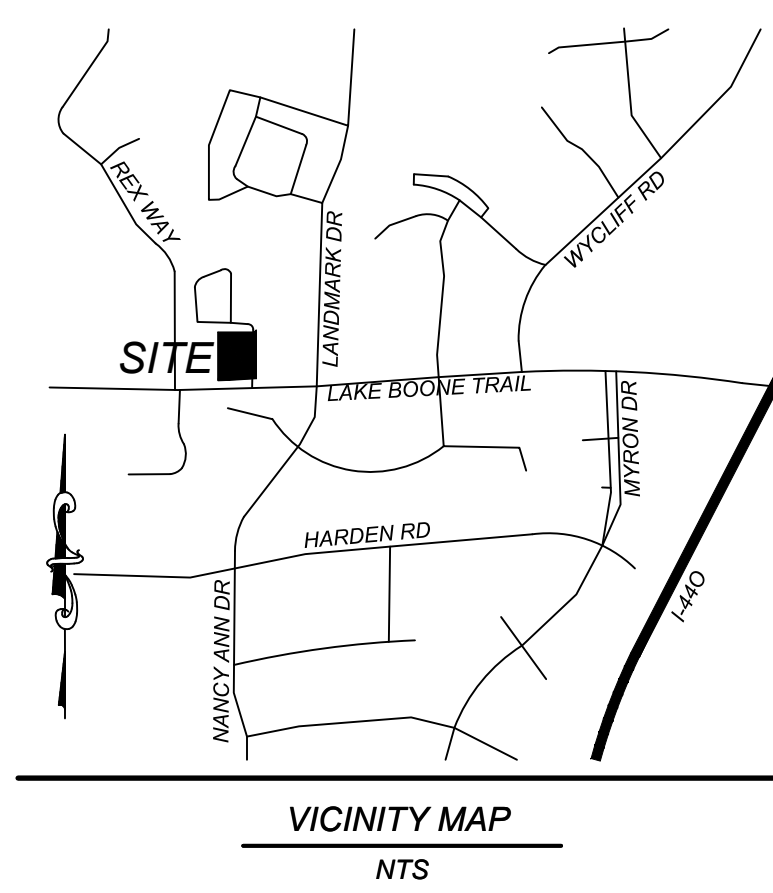
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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval \_\_\_\_\_



LABEL	1) GROUND STABILIZATION		
[Hatched Pattern]	SITE AREA DESCRIPTION	STABILIZE WITHIN THIS MANY CALENDAR DAYS AFTER CEASING LAND DISTURBANCE	TIME FRAME VARIATIONS
	PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
	HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
[Dotted Pattern]	SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
	SLOPES 3:1 TO 4:1	14 DAYS	- 7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH AND WITH SLOPES STEEPER THAN 4:1 - 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HQW ZONES - 10 DAYS FOR FALLS LAKE WATERSHED
[Cross-hatched Pattern]	ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	- 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HQW ZONES - 10 DAYS FOR FALLS LAKE WATERSHED UNLESS THERE IS ZERO SLOPE.

SEE SHEET C-7 FOR STANDARD NPDES STABILIZATION DETAILS SHEET

TOTAL DISTURBED AREA = 0.58 ACRES

LATITUDE: 35°48'57" N  
LONGITUDE: 78°41'56" W

GRADING/EROSION CONTROL LEGEND

- [Symbol] DROP INLET
- [Symbol] CURB INLET
- [Symbol] STORM PIPE
- [Symbol] TOP OF CURB
- [Symbol] BOTTOM OF CURB
- [Symbol] HANDICAP AREA (2% MAX. SLOPE)
- [Symbol] SPILL CURB
- [Symbol] INLINE DRAIN
- [Symbol] ROOF DRAIN
- [Symbol] SILT FENCE OUTLET
- [Symbol] INLET PROTECTION
- [Symbol] BUILDING DOWNSPOUT
- [Symbol] SILT FENCE
- [Symbol] TREE PROTECTION FENCE
- [Symbol] DIVERSION DITCH
- [Symbol] LIMITS OF DISTURBANCE
- [Symbol] FLARED END SECTION
- [Symbol] CONSTRUCTION ENTRANCE
- [Symbol] SEDIMENT TRAP

REVISIONS

NO.	DATE	DESCRIPTION

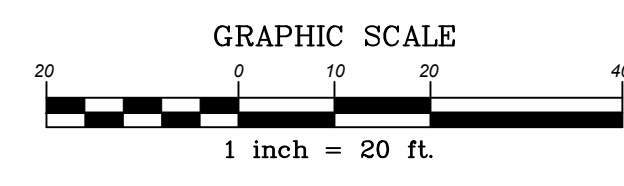
**COMMERCIAL SITE DESIGN**  
A Sambaatek Company  
(919) 848-0121 FAX: (919) 848-3741  
WWW.CSDESIGN.COM

CLIENT:  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360

**COOK OUT FRESH HAMBURGERS**  
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA  
NPDES STABILIZATION PLAN

PROJECT NO: OUT-2304  
FILENAME: OUT-2304-NPDES1  
DRAWN BY: CSD  
SCALE: 1"= 20'  
DATE: 05-10-2023  
SHEET NO: C-6

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**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
 Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION		
Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**  
 Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Roller erosion control products with or without temporary grass seed</li> <li>Hydroseeding</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Roller erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**  
 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWV List of Approved PAMS/Flocculants*.  
 2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.  
 3. Apply flocculants at the concentrations specified in the *NC DWV List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.  
 4. Provide ponding area for containment of treated stormwater before discharging off-site.  
 5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**  
 1. Maintain vehicles and equipment to prevent discharge of fluids.  
 2. Provide drip pans under any stored equipment.  
 3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.  
 4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).  
 5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.  
 6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**  
 1. Never bury or burn waste. Place litter and debris in approved waste containers.  
 2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.  
 3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.  
 4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.  
 5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.  
 6. Anchor all lightweight items in waste containers during times of high winds.  
 7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.  
 8. Dispose waste off-site at an approved disposal facility.  
 9. On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**  
 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.  
 2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.  
 3. Contain liquid wastes in a controlled area.  
 4. Containment must be labeled, sized and placed appropriately for the needs of site.  
 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

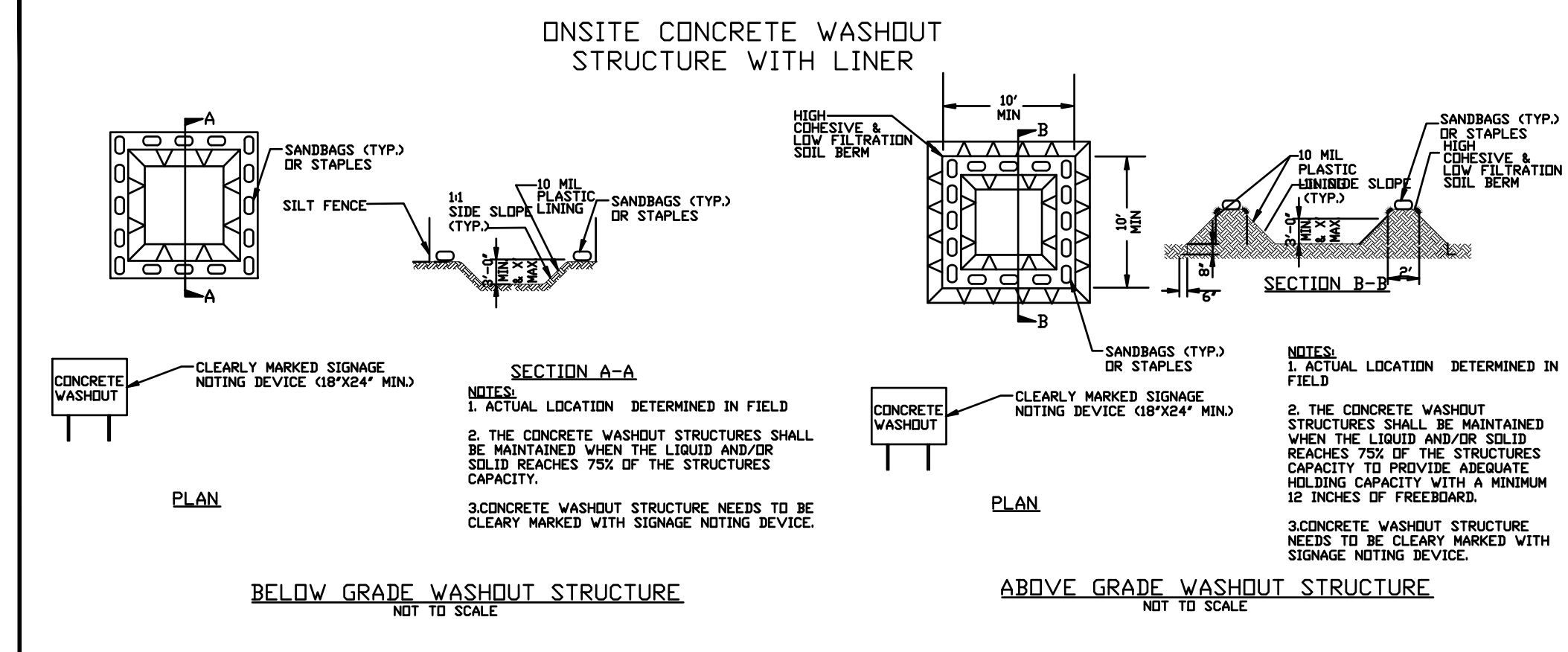
**PORTABLE TOILETS**  
 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.  
 2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.  
 3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**  
 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.  
 2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.  
 3. Provide stable stone access point when feasible.  
 4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**CONCRETE WASHOUTS**  
 1. Do not discharge concrete or cement slurry from the site.  
 2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.  
 3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.  
 4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.  
 5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.  
 6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.  
 7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.  
 8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.  
 9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.  
 10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**  
 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.  
 2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.  
 3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.  
 4. Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**  
 1. Create designated hazardous waste collection areas on-site.  
 2. Place hazardous waste containers under cover or in secondary containment.  
 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING** EFFECTIVE: 04/01/19

**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**  
**SECTION A: SELF-INSPECTION**  
 Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as sludge, debris, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sediment is found outside the limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading/ installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

**NOTE:** The rain inspection resets the required 7 calendar day inspection requirement.

**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**  
**SECTION B: RECORDKEEPING**  
**1. E&SC Plan Documentation**  
 The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be kept on Site**  
 In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:  
 (a) This General Permit as well as the Certificate of Coverage, after it is received.  
 (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**  
 All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

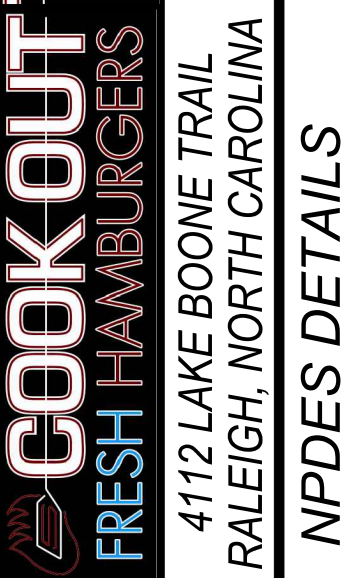
**PART III**  
**SELF-INSPECTION, RECORDKEEPING AND REPORTING**  
**SECTION C: REPORTING**  
**1. Occurrences that Must be Reported**  
 Permittees shall report the following occurrences:  
 (a) Visible sediment deposition in a stream or wetland.  
 (b) Oil spills if:  
 • They are 25 gallons or more,  
 • They are less than 25 gallons but cannot be cleaned up within 24 hours,  
 • They cause sheen on surface waters (regardless of volume), or  
 • They are within 100 feet of surface waters (regardless of volume).  
 (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.  
 (d) Anticipated bypasses and unanticipated bypasses.  
 (e) Noncompliance with the conditions of this permit that may endanger health or the environment.  
**2. Reporting Timeframes and Other Requirements**  
 After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the <a href="#">NC 303(d) list</a> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1)(b)-(c) above	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> <li><b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)].</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)].</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**PART II, SECTION G, ITEM (4)**  
**DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**  
 Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:  
 (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.  
 (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit.  
 (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.  
 (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.  
 (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and  
 (f) Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.


**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING** EFFECTIVE: 04/01/19

NO.	DATE	DESCRIPTION	BY



**COOKOUT FRESH HAMBURGERS**  
 4112 LAKE BOONE TRAIL  
 RALEIGH, NORTH CAROLINA  
**NPDES DETAILS**

PROJECT NO.	OUT-2304
FILENAME:	OUT-NPDES2
DRAWN BY:	CSD
SCALE:	N.T.S.
DATE:	05-10-2023
SHEET NO.	C-7



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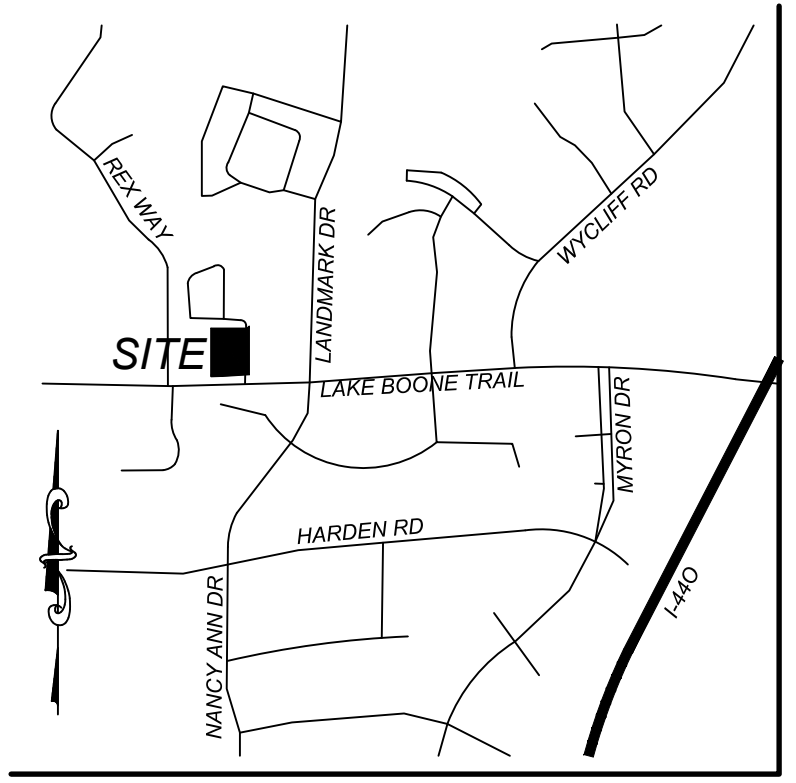
CLIENT:  
 COOK OUT RESTAURANTS  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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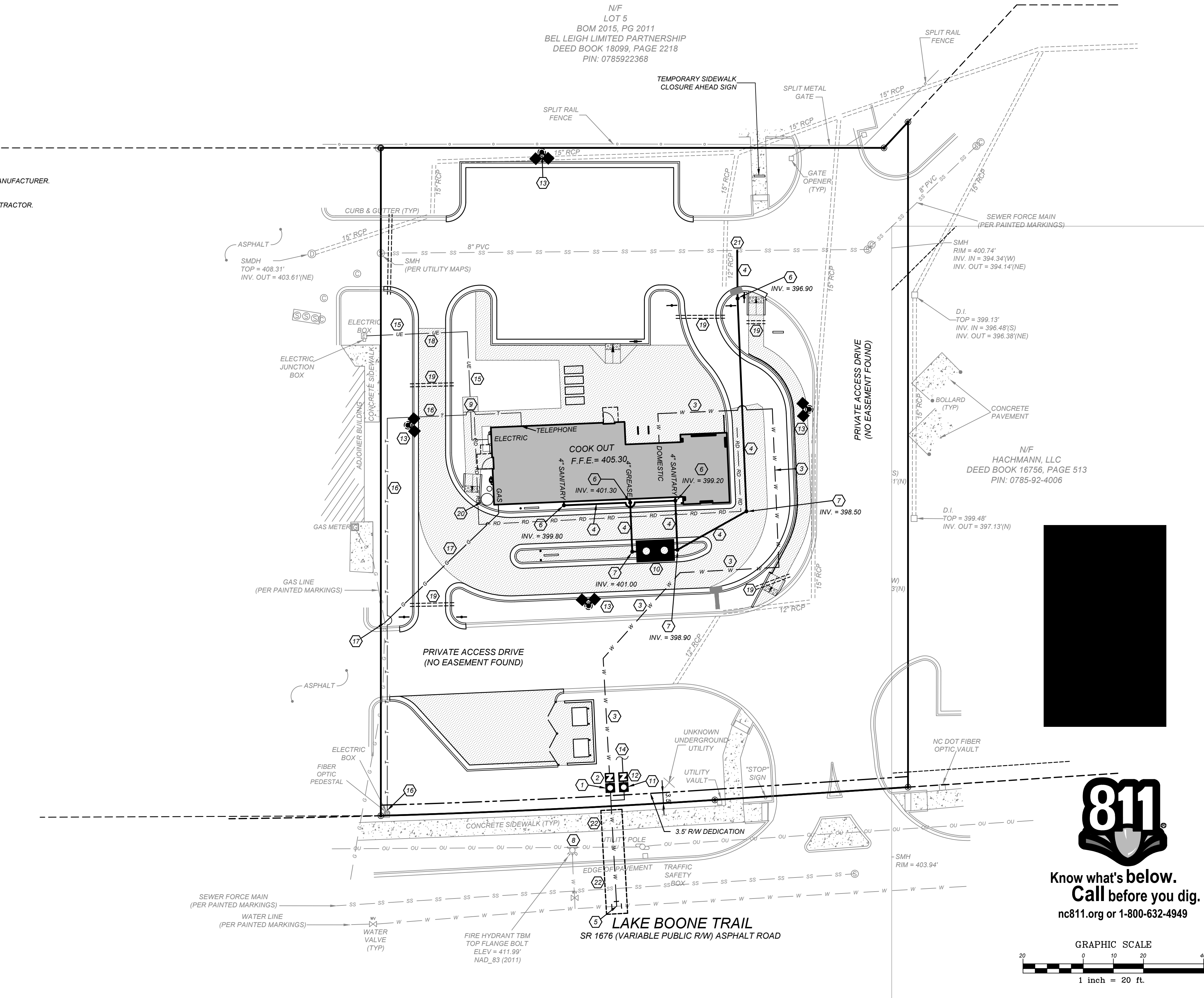
City of Raleigh Development Approval \_\_\_\_\_



VICINITY MAP  
NTS

UTILITY KEYNOTES:

- 1 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2
- 3 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 4
- 5
- 6 SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 7 TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 8 EXISTING FIRE HYDRANT.
- 9
- 10 1500 GALLON TRAFFIC RATED GREASE TRAP, CONTRACTOR SHALL COORDINATE WITH CITY AND MANUFACTURER.
- 11 1" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY AND IRRIGATION CONTRACTOR.
- 12
- 13 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
- 14 COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
- 15
- 16
- 17 GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- 18
- 19
- 20
- 21
- 22 OPEN CUT AND REPAIR ASPHALT, SIDEWALK AND CONCRETE CURB AND GUTTER PER CITY STANDARDS.



- 23 OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29CFR PART 1926, SUBPART P APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
- 24 EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- 25 EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 26 CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 27 ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
- 28 ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE WELDED JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4" FT., 6" - 1/8" FT.
- 29 BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
- 30 WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
- 31 WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
- 32 CONTRACTOR SHALL NOTIFY NC ONE CALL AT 800-632-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
- 33 ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- 34 SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- 35 SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
- 36 CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE CITY OF RALEIGH STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT; IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT; 3" x 2, 8" ABC OR BETTER.
- 37 RELATION OF WATER MAINS TO SEWERS:
  - A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
    - 1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
    - 2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
  - B. CROSSING A WATER MAIN OVER A SEWER MAIN:
    - WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
  - C. CROSSING A WATER MAIN UNDER A SEWER MAIN:
    - WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
  - D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN:
    - WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINE SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
- 38 UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC. SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
- 39 SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
- 40 TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD, REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

UTILITY LEGEND

—ou—	OVERHEAD UTILITIES	●	SEWER CLEAN OUT
—SS—	SANITARY SEWER	⊕	FIRE HYDRANT ASSEMBLY
—UE—	UNDERGROUND ELECTRIC	⊙	SANITARY SEWER MANHOLE
—T—	TELEPHONE LINE	⊠	POLE MOUNTED AREA LIGHT
—G—	GAS LINE	⊞	WATER METER
—W—	WATER LINE	⊞	BACKFLOW PREVENTER
—IR—	IRRIGATION SLEEVE	⊞	SIAMSESE CONNECTION
—(2) 4" PVC COORDINATE WITH IRRIGATION CONTRACTOR		⊞	WATER VALVE
●	UTILITY POLE	⊞	GREASE TRAP

GRAPHIC SCALE  
1 inch = 20 ft.

REVISIONS

NO.	DATE	DESCRIPTION

COMMERCIAL SITE DESIGN  
A Sambaetek Company  
(919) 848-6211 FAX: (919) 848-6741  
WWW.CSITIDESIGN.COM

CLIENT:  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360

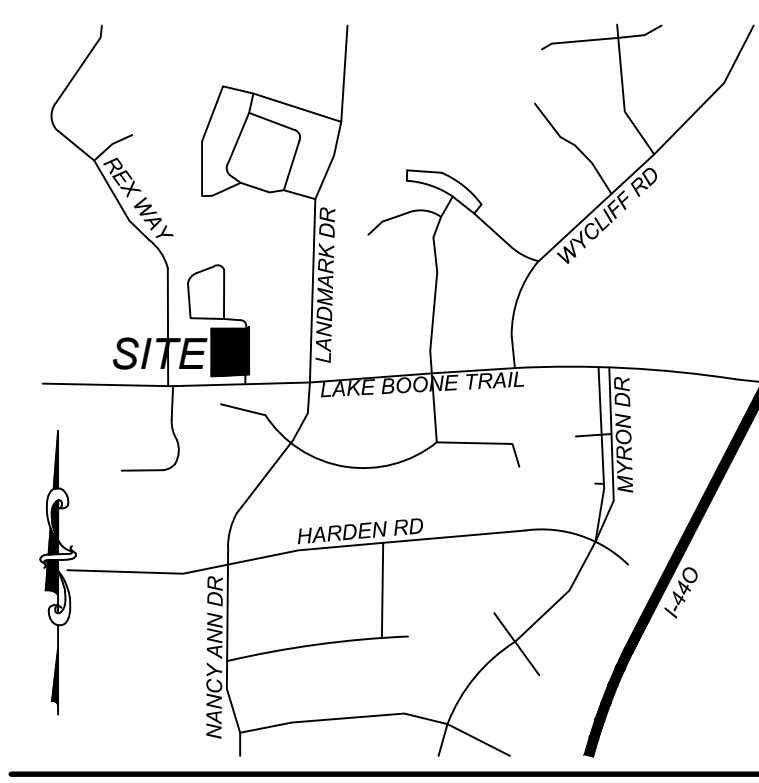
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

UTILITY PLAN

PROJECT NO.	OUT-2304
FILENAME	OUT-2304-UP
DRAWN BY:	CSD
SCALE:	1" = 20'
DATE:	05-10-2023
SHEET NO.	C-8

X:\OUT - Cookout\2304 - Raleigh @ Lake Boone Trail\CADD\OUT 2304\_UP.dwg, 5/22/2023 11:51:01 AM, Long





**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
**CONSTRUCTION MANAGER**  
**TELEPHONE: (336) 279-3242**

**LANDSCAPE ISLAND NOTE:**  
 CONTRACTOR TO ENSURE THAT THE GROUND SURFACE AROUND TREE AND SHRUB LOCATIONS SLOPES DOWNWARD AWAY FROM TREE/SHRUB INSTALLATION LOCATIONS TO ALLOW FOR POSITIVE DRAINAGE. CONTRACTOR SHOULD ALSO ENSURE THAT THE GROUND SURFACE AT THE BACK OF CURB BE GRADED TO BE EVEN WITH THE CURB ELEVATION SUCH THAT PONDING OF WATER DOES NOT OCCUR BEHIND THE CURB.  
 CONTRACTOR TO INSTALL 2 TO 3 INCH TENNESSEE RIVER ROCK WITH WEED FABRIC/BARRIER IN ALL SHRUB AND TREE PLANTING AREAS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:  
 City of Raleigh Development Approval \_\_\_\_\_

**TURF NOTES:**

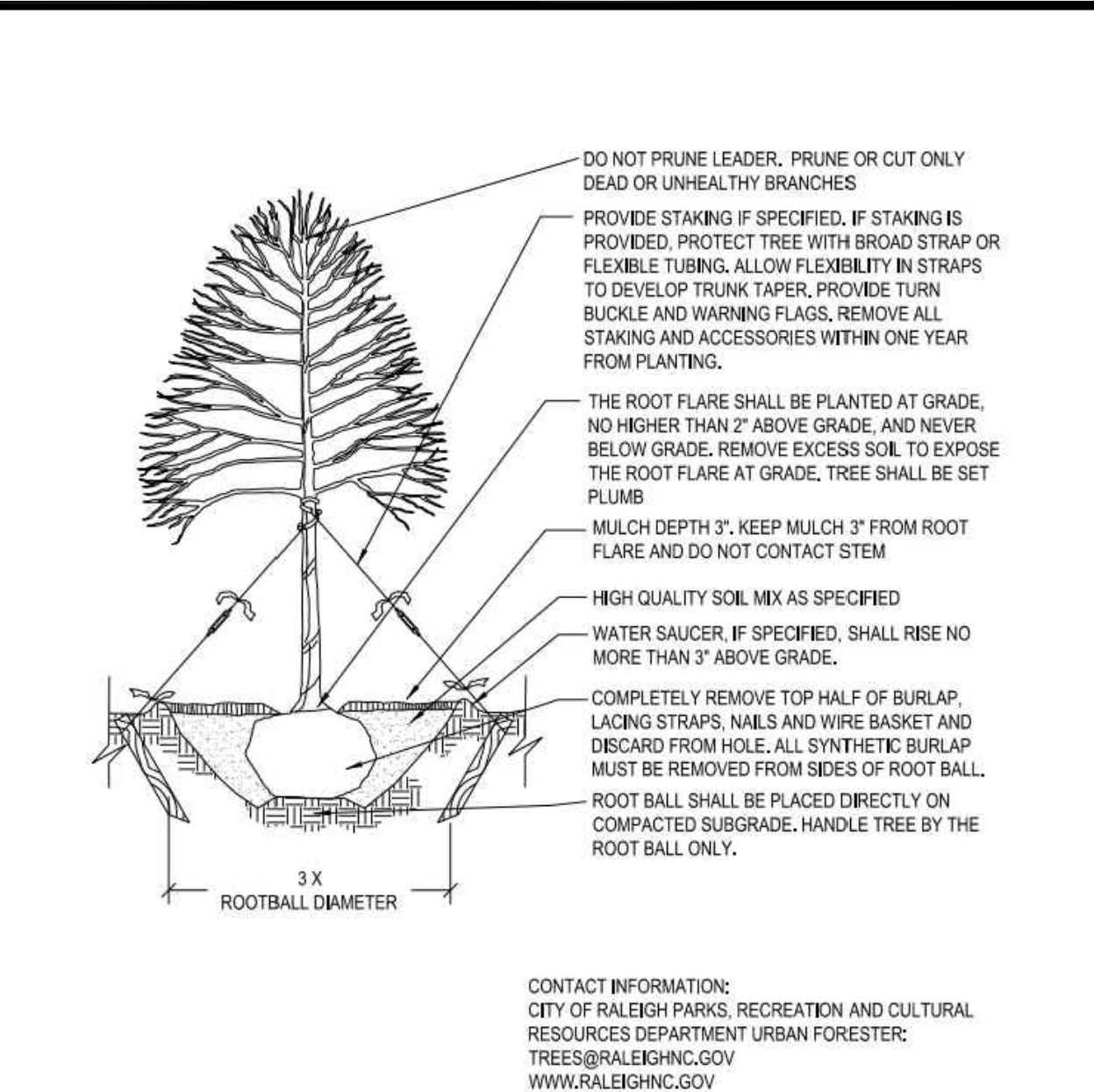
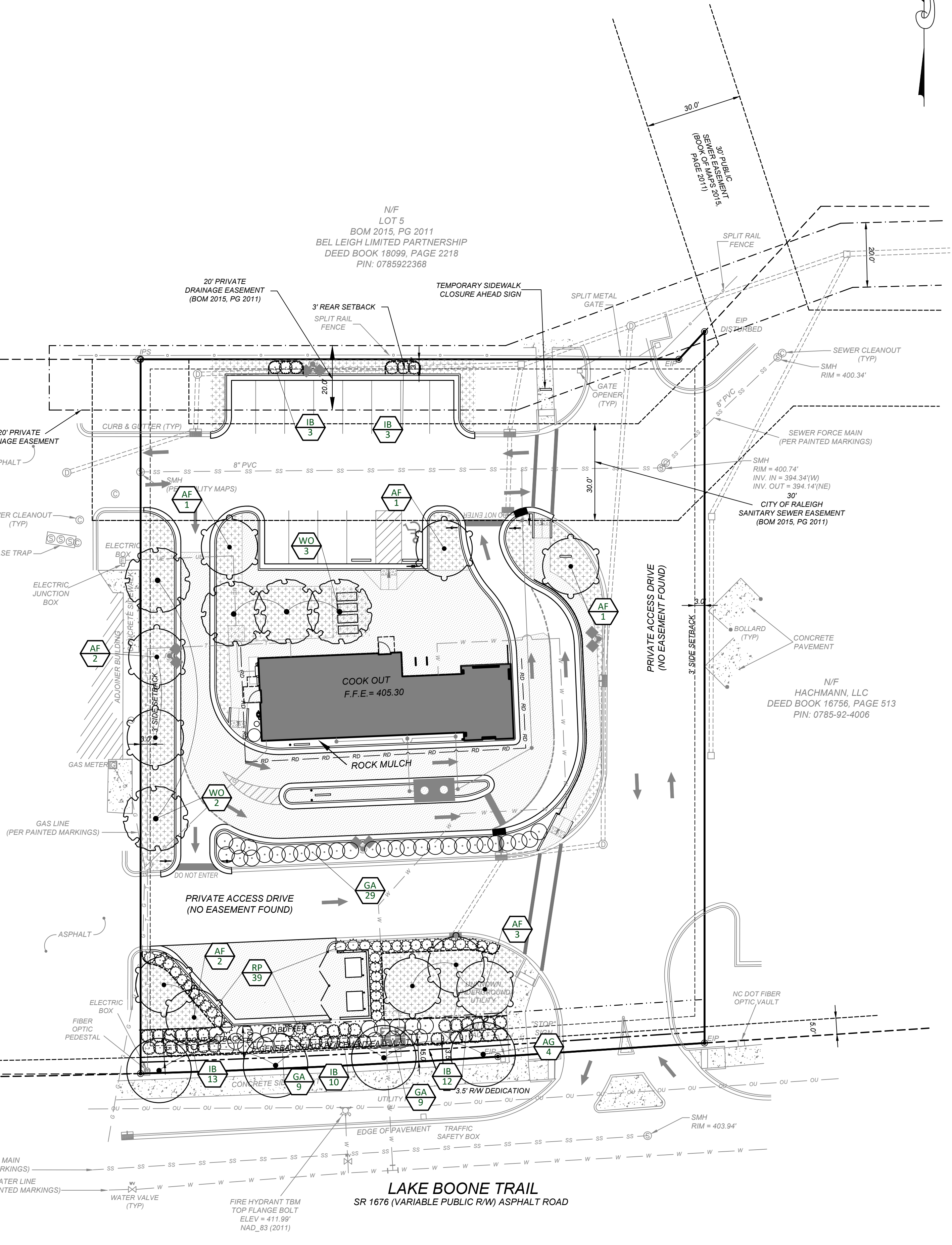
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP ENTIRE AREA TO 6 INCHES IN DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL, (SEE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- INSTALL RIVER ROCK AND WEED FABRIC/BARRIER IMMEDIATELY AFTER SEEDING.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.  
 \*APPLY: FERTILIZER - 1,000 LBS/ACRE - 10-10-10  
 SUPERPHOSPHATE - 500 LBS/ACRE 20% ANALYSIS  
 ANCHOR - ASPHALT EMULSION @ 300 GAL/ACRE
- SOD PREPARATION:  
 FOLLOW PREPARATION AS DIRECTED FOR STEPS 1-5 ABOVE. IMMEDIATELY WATER SOD UPON INSTALLATION AND CONTINUE UNTIL ROOTS ARE ESTABLISHED.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS UNTIL AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED.
- ONCE AN ACCEPTABLE STAND OF GRASS HAS BEEN ESTABLISHED, THE CONTRACTOR SHALL REPAIR ALL DAMAGED AREAS AND MONITOR THE LAWN AREAS UNTIL THE GRASS REACHES A HEIGHT OF 4 INCHES TALL.
- AT THE TIME THE GRASS REACHES A HEIGHT OF 4 INCHES TALL, THE CONTRACTOR SHALL MOW THE GRASS TO THE HEIGHT OF 3 INCHES AND TURN OVER THE LAWN MAINTENANCE TO THE OWNER.
- AN ACCEPTABLE STAND OF GRASS SHALL BE 92% COVERAGE OR BETTER.

**LANDSCAPE NOTES:**

- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A RIVER ROCK PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS WITHOUT RIVER ROCK SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE AREA SPECIFIED ON PLANS WITH "REBEL II" HYBRID TALL FESCUE OR EQUIVALENT AS PRESCRIBED IN THE SEEDING SCHEDULE AS SHOWN ON THIS SHEET. IN COASTAL AREAS OR AREAS WITH MORE TEMPERATE CLIMATES, BERMUODA SOD SHOULD BE UTILIZED. IF THERE ARE QUESTIONS BY THE LANDSCAPE CONTRACTOR AS TO WHICH SEED/ SOD TO USE, THE LANDSCAPE ARCHITECT OR ENGINEER SHOULD BE CONTACTED PRIOR TO INSTALLATION.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
- INSTALL 2" TO 3" TENNESSEE RIVER ROCK WITH WEED FABRIC/BARRIER TO ALL AREAS, THAT ARE NOT SEEDED OR SODDED.
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT.
- PLANTING SOIL TO BE USED SHALL HAVE THE FOLLOWING CHARACTERISTICS: FERTILE, FRABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES 1 INCH AND LARGER, PLANTS, GRASS, WEEDS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS. TOPSOIL SHALL CONFORM TO ASTM D5268 WITH A PH RANGE OF 5.5 TO 7, AND A MIN. 4 PERCENT ORGANIC MATERIAL.

N/F  
 WORLD TRADE PROPERTIES LLC  
 CITY BBO  
 DEED BOOK 19872, PAGE 1627  
 PIN: 0785-92-0043

CITY OF RALEIGH  
 15'X20' TRANSIT  
 EASEMENT



- NOTES:  
 1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)  
 2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.  
 3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.  
 4. PLANTING SEASON OCTOBER - APRIL.  
 5. A TREE IMPACT PERMIT IS REQUIRED.  
 6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
 TRES@RALEIGHNC.GOV  
 WWW.RALEIGHNC.GOV

CITY OF RALEIGH  
 STANDARD DETAIL  
 TREE PLANTING DETAIL  
**TPP-03**

**LANDSCAPE CALCULATIONS:**

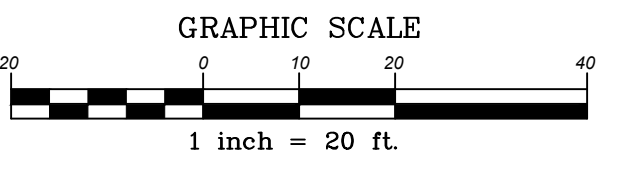
- SECTION 7.2.5A SCREENING (DRIVE THRU)  
 REQUIRED: CONTINUOUS EVERGREEN HEDGE MIN. 36" @ PLANTING & 48" WITHIN 3 YEARS  
 PROVIDED: 29 GA'S
- SECTION 7.1.7C PERIMETER PARKING LOT LANDSCAPING:  
 REQUIRED: 30 SHRUBS PER 100 LF  
 130 LF / 100 X 30 = 39 SHRUBS  
 PROVIDED: 39 RP'S
- SECTION 7.1.7 F VEHICULAR SURFACE AREA (VSA) TREES:  
 REQUIRED: 1 SHADE TREE PER 2,000 SF OF VSA  
 30,780 / 2,000 SF = 15 TREES  
 PROVIDED: 10 AF'S  
 5 WO'S
- SECTION 8.5.2.C STREETSCAPE TYPES:  
 REQUIRED: 1 SHADE TREE PER 40 LF OF FRONTAGE  
 175LF / 40 LF = 4 TREES  
 PROVIDED: 4 AG'S
- SECTION 7.2.4.8 TYPE C3 STREET PROTECTIVE YARD (175 LF FRONTAGE - LAKE BOONE ROAD):  
 REQUIRED: 30 SHRUBS PER 100 LF  
 175 / 100 = 1.05 X 30 = 53 SHRUBS  
 PROVIDED: 35 RP'S  
 18 GA'S

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
AF	AF	Acer floridanum / Southern Sugar Maple	8.8.8	3" Cal.	10' 10"	10
AG	AG	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	8.8.8	3" Cal.	10' 10"	4
WO	WO	Quercus alba / White Oak	8.8.8	3" Cal.	10' 10"	5
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE		
GA	GA	Abelia x grandiflora / Glossy Abelia	3 gal.	36"		47
IB	IB	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal.	36"		41
RP	RP	Rhaphiophyllum indica 'Pinkie' / Pinkie Indian Hawthorn	3 gal.	42"		39
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT			
TUR SOD	TUR SOD	Turf Sod / Bermuda Grass	sod			



Know what's below.  
 Call before you dig.  
 nc811.org or 1-800-632-4949



REVISIONS

NO.	DATE	DESCRIPTION

**COMMERCIAL SITE DESIGN**  
 A Sambaetek Company  
 (919) 848-4021 FAX: (919) 848-3741  
 WWW.CSITDESIGN.COM

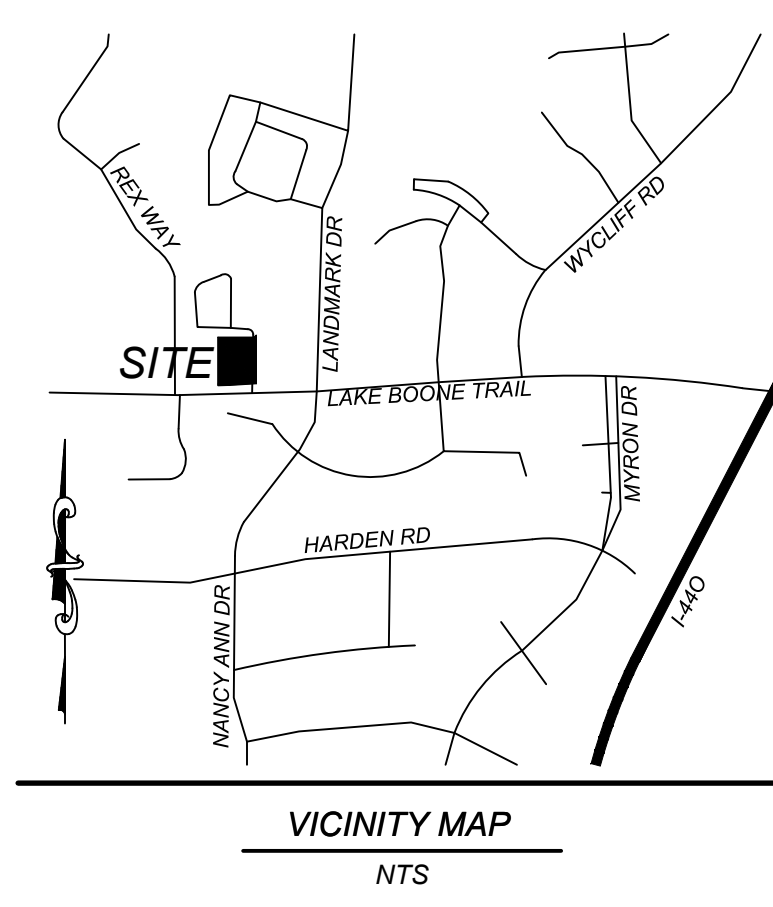
8912 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27619

CLIENT:  
**COOK OUT RESTAURANTS**  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380

**COOK OUT FRESH HAMBURGERS**  
 4112 LAKE BOONE TRAIL  
 RALEIGH, NORTH CAROLINA  
**LANDSCAPE PLAN**

PROJECT NO: OUT-2304  
 FILENAME: OUT-2304-L5  
 DRAWN BY: CSD  
 SCALE: 1" = 20'  
 DATE: 05-10-2023  
 SHEET NO: **C-9**



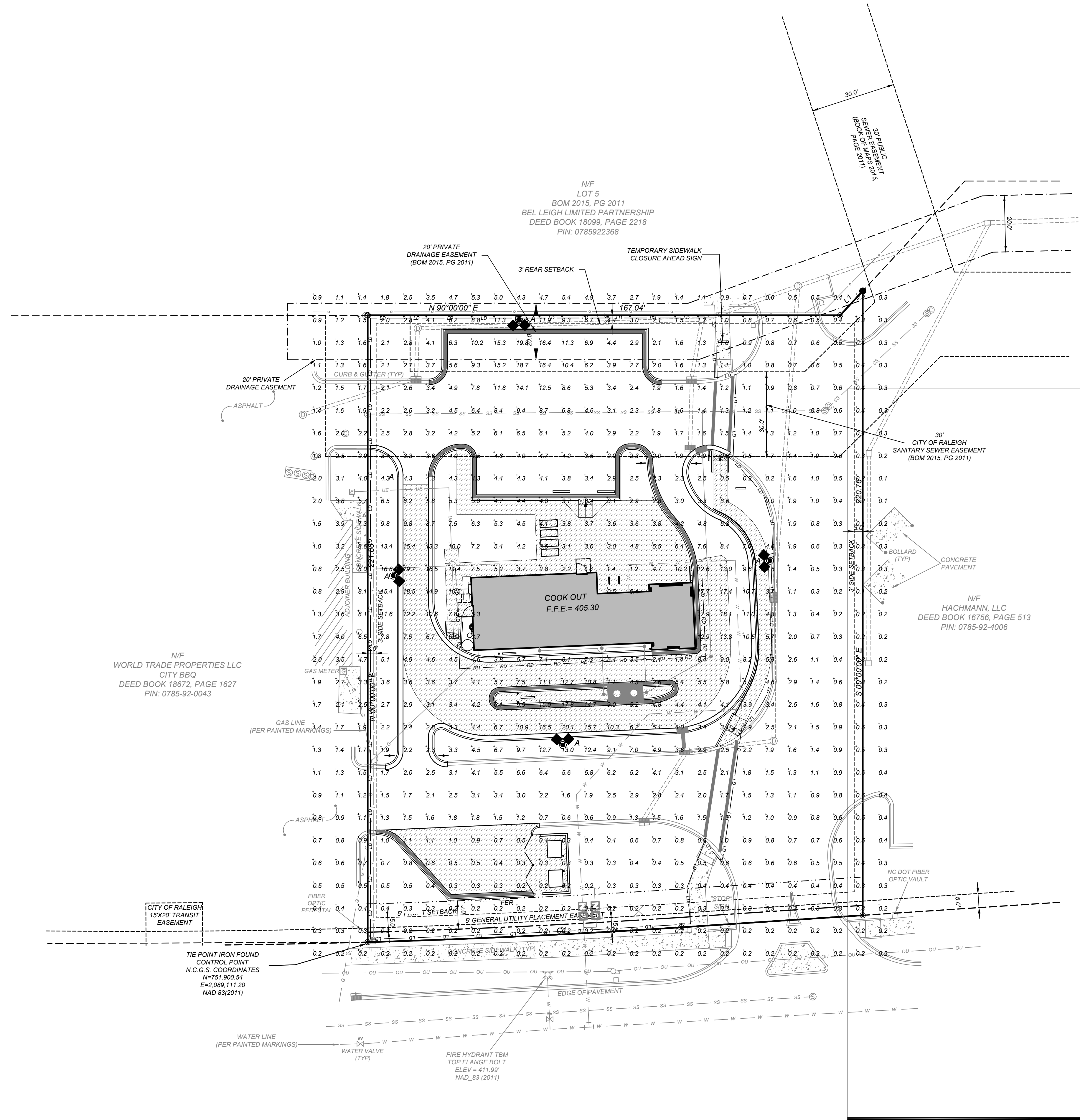


24 HOUR CONTACT  
JOHN ARMFIELD  
CONSTRUCTION MANAGER  
TELEPHONE: (336) 279-3242

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval \_\_\_\_\_



NO.	DATE	DESCRIPTION

COMMERCIAL  
SITE DESIGN

A Sambaatek Company  
(919) 848-0121 FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

812 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27615

CLIENT:  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360

4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

LIGHTING PLAN

PROJECT NO. OUT-2304  
FILENAME: OUT-2304-LI  
DRAWN BY: CSD  
SCALE: 1" = 20'  
DATE: 05-10-2023  
SHEET NO. C-10

Know what's below.  
Call before you dig.  
nc811.org or 1-800-632-4949

GRAPHIC SCALE  
1 inch = 20 ft.

10000 ALLIANCE RD. CINCINNATI, OHIO 45242 USA  
937.765.8200 FAX: 937.765.8203

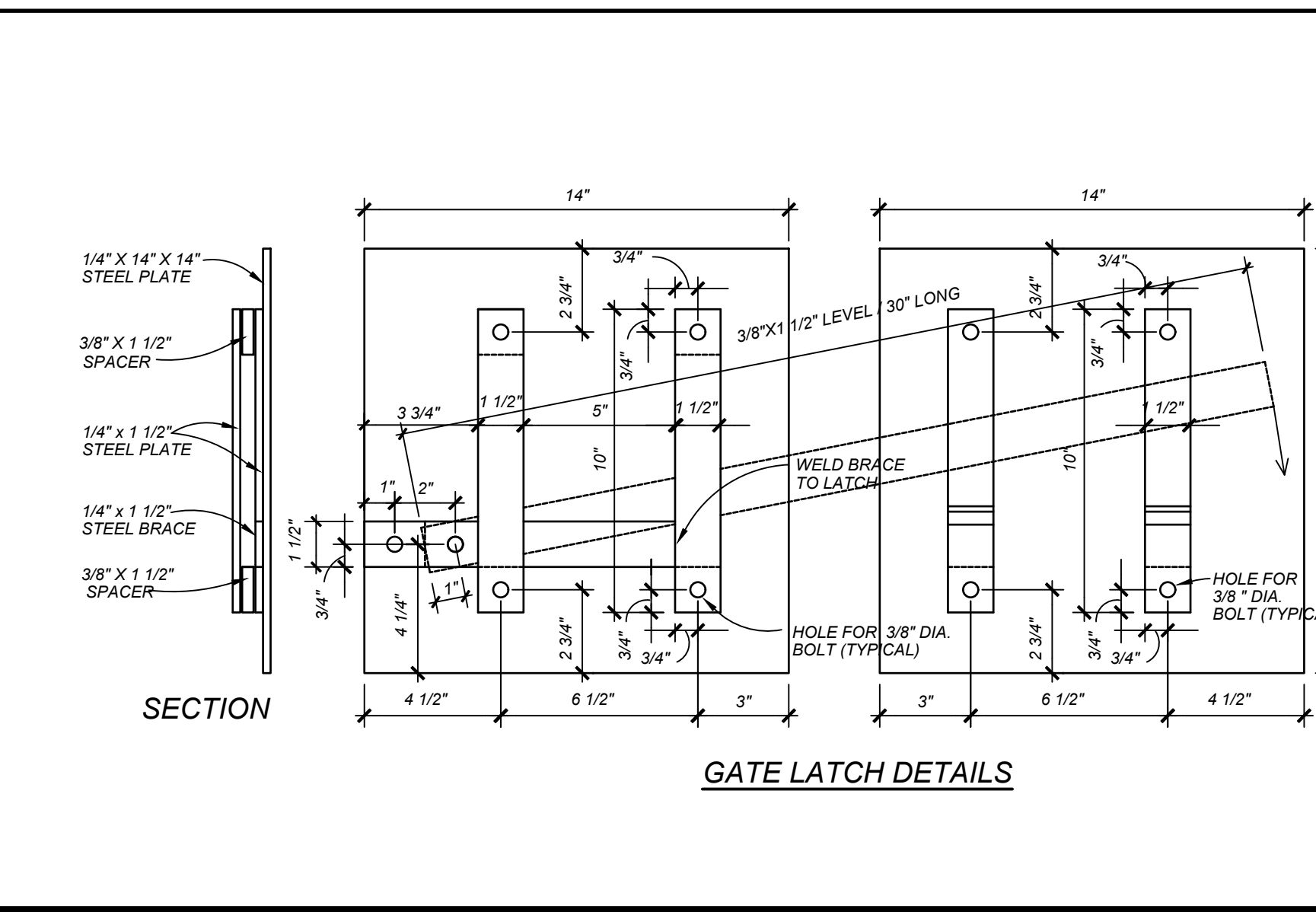
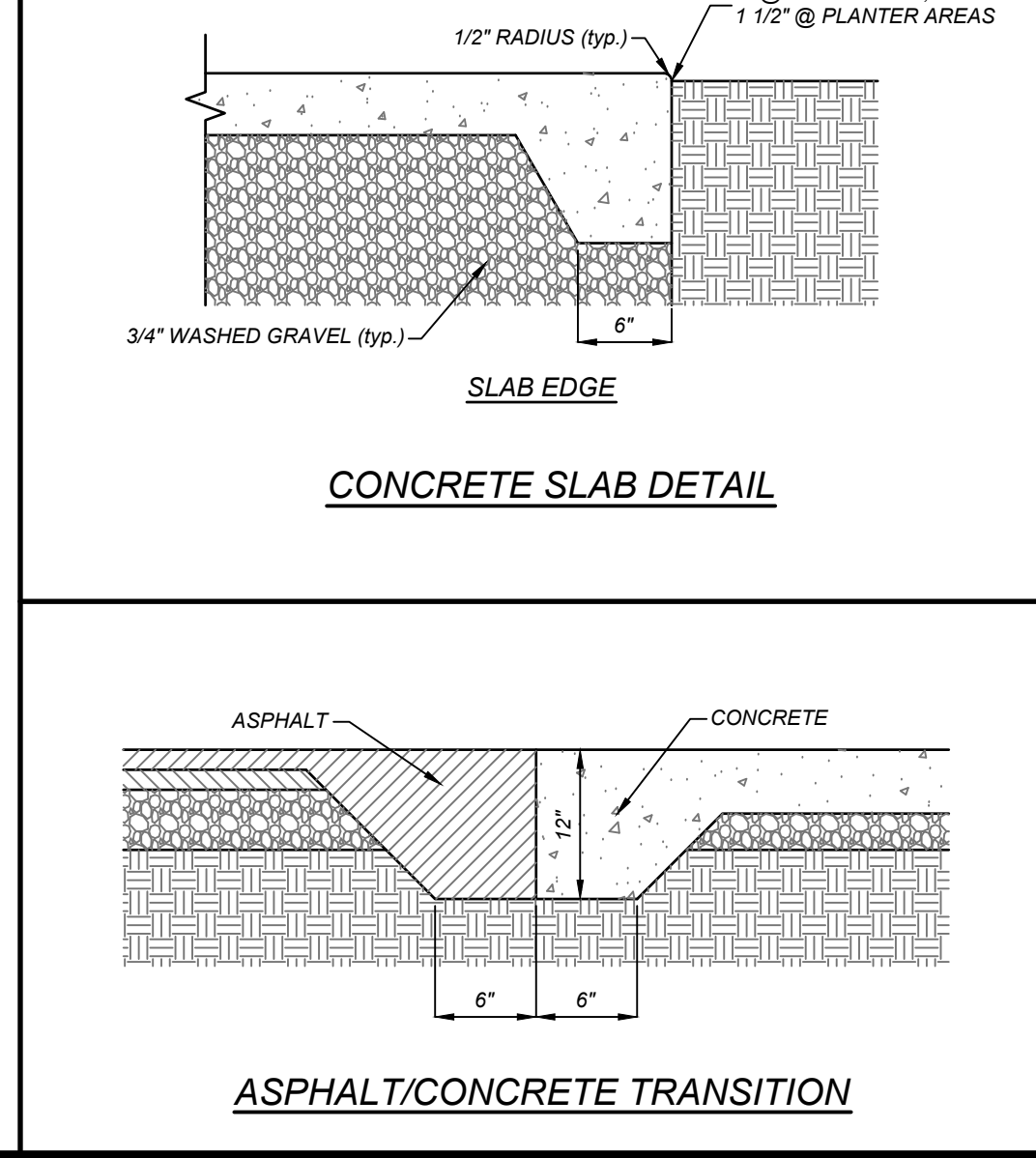
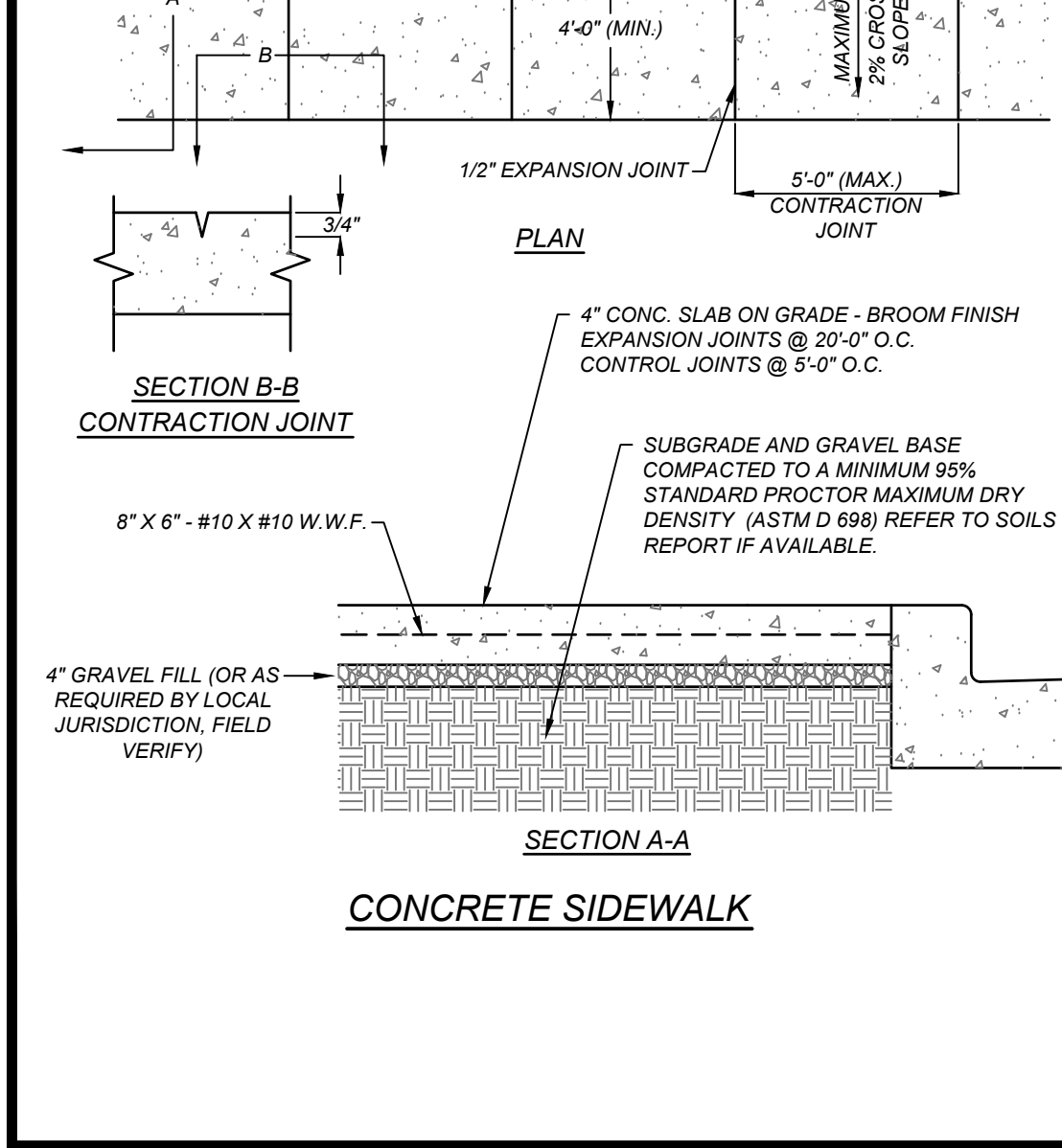
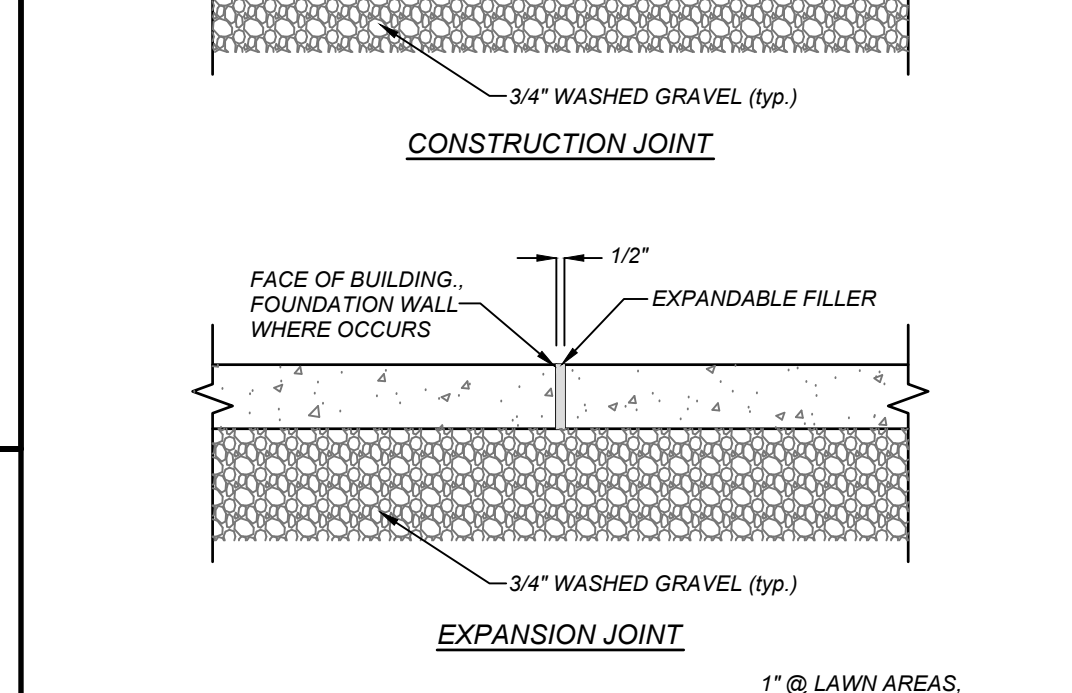
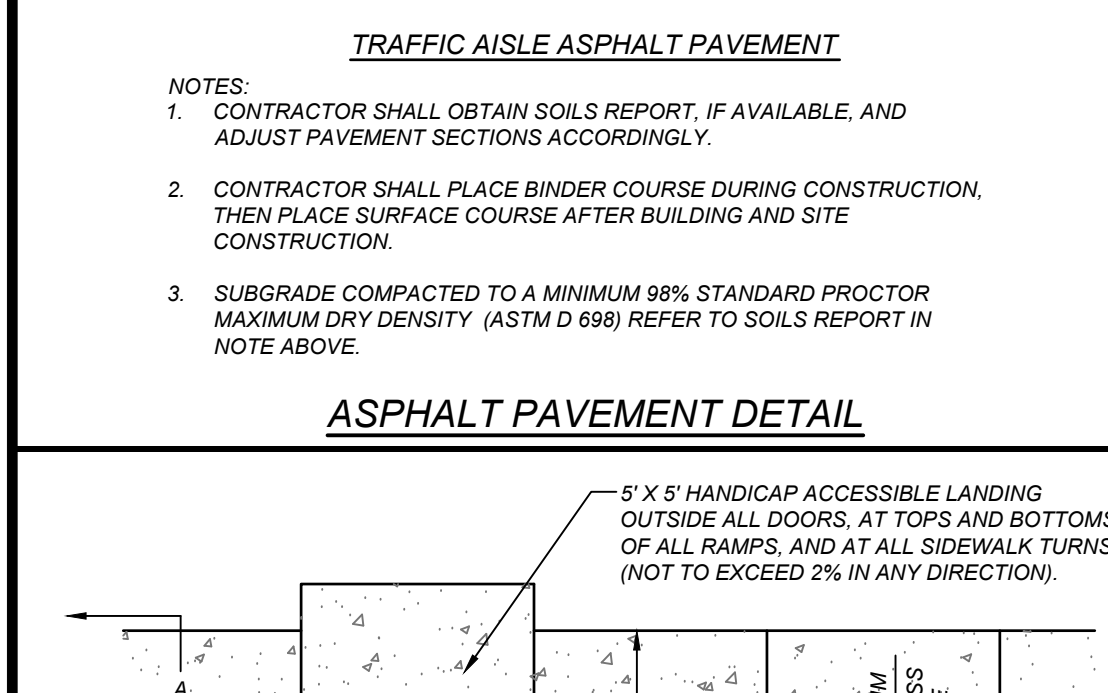
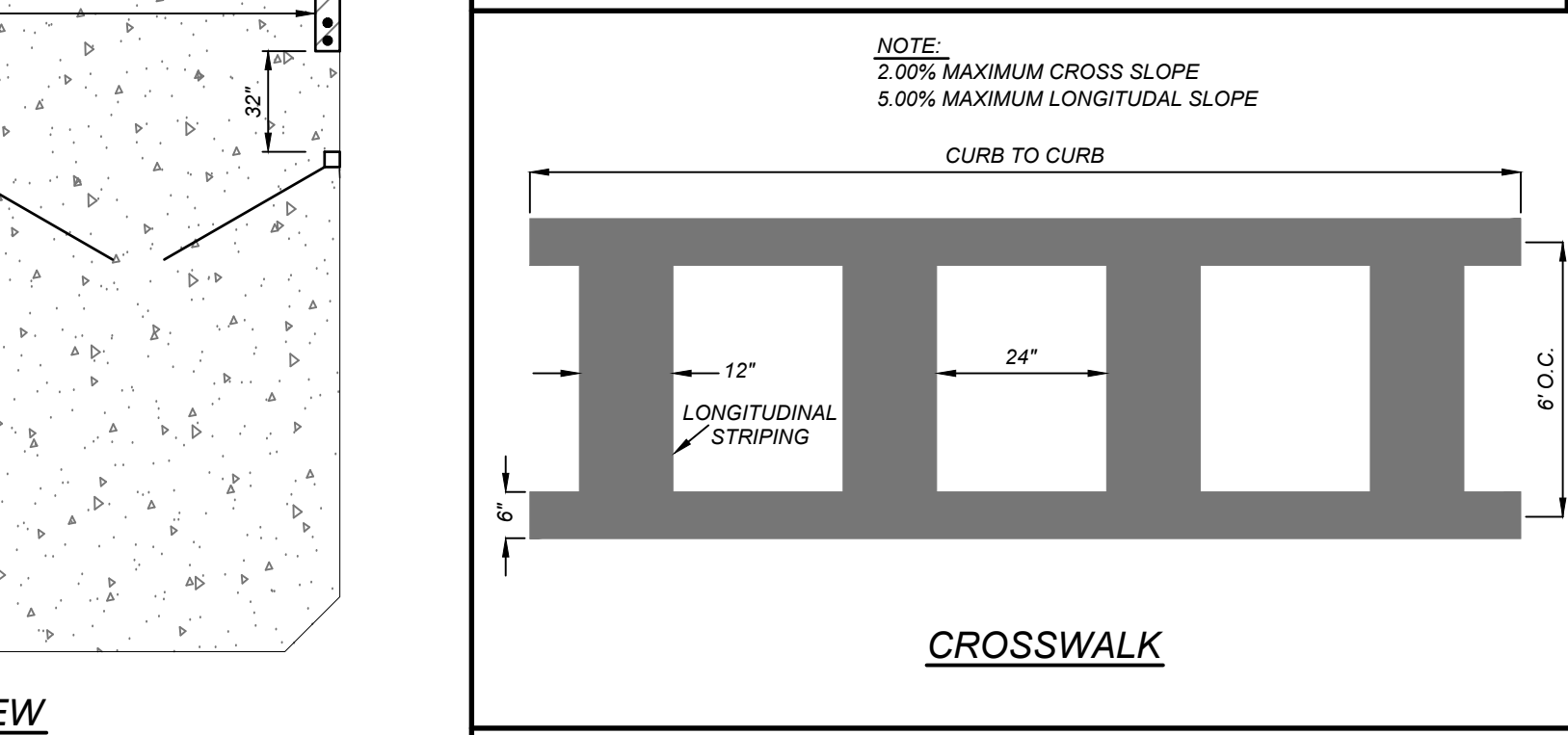
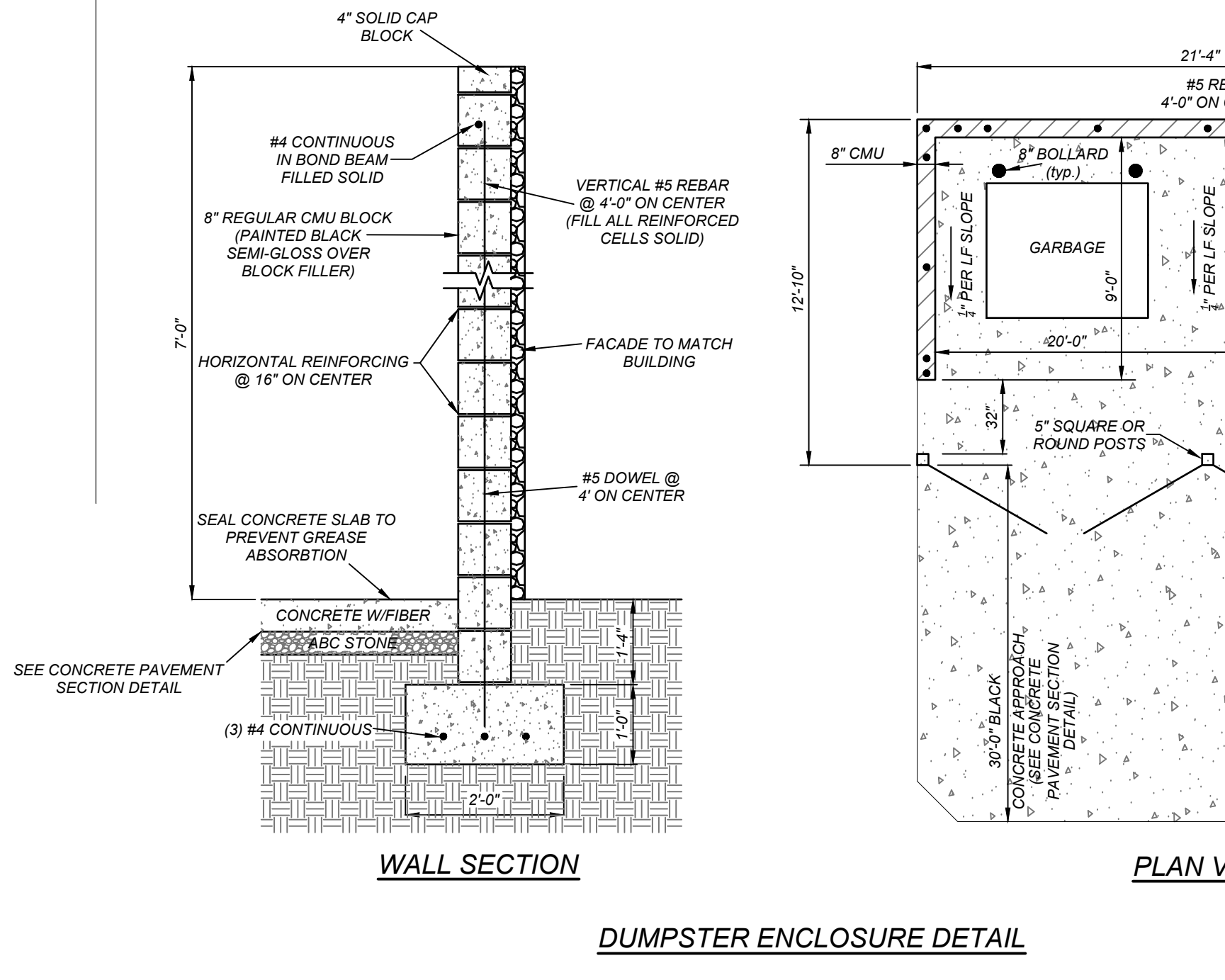
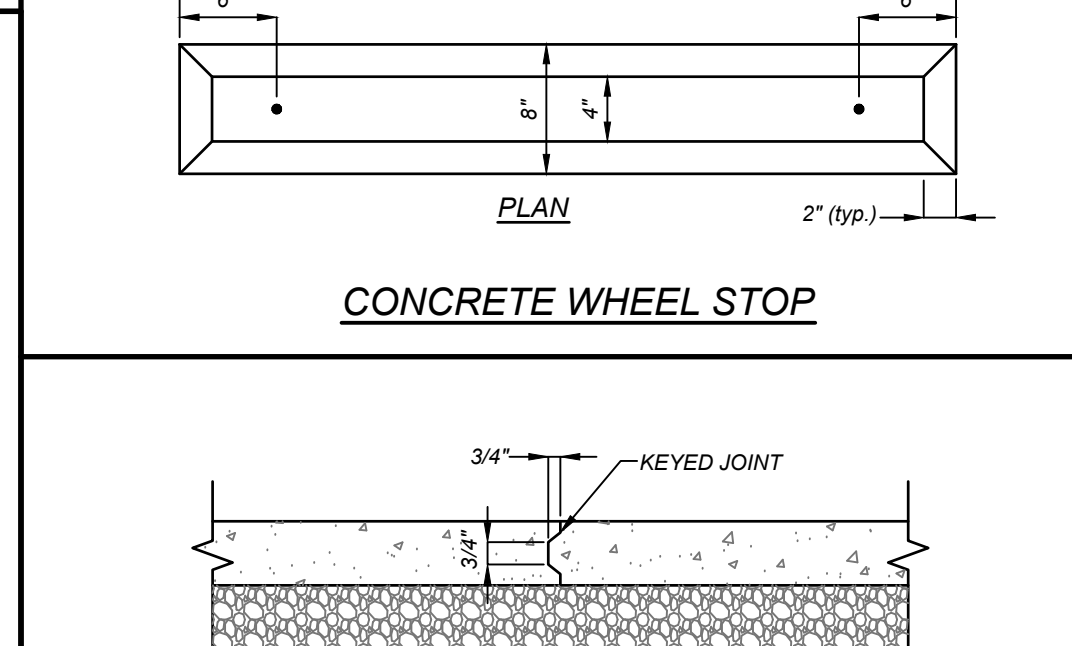
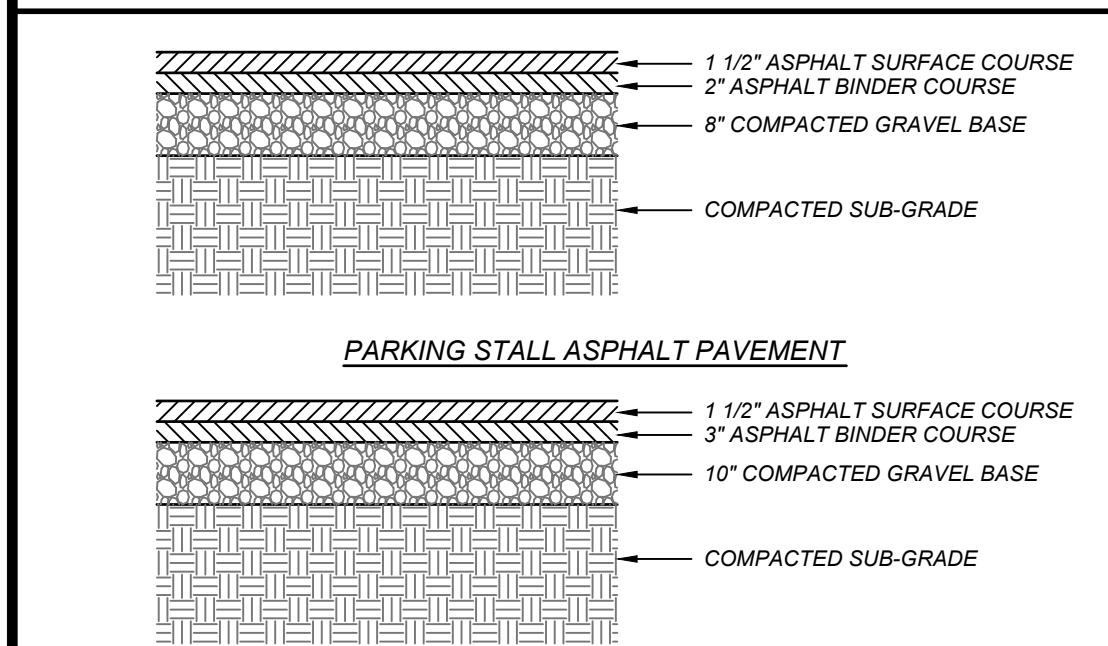
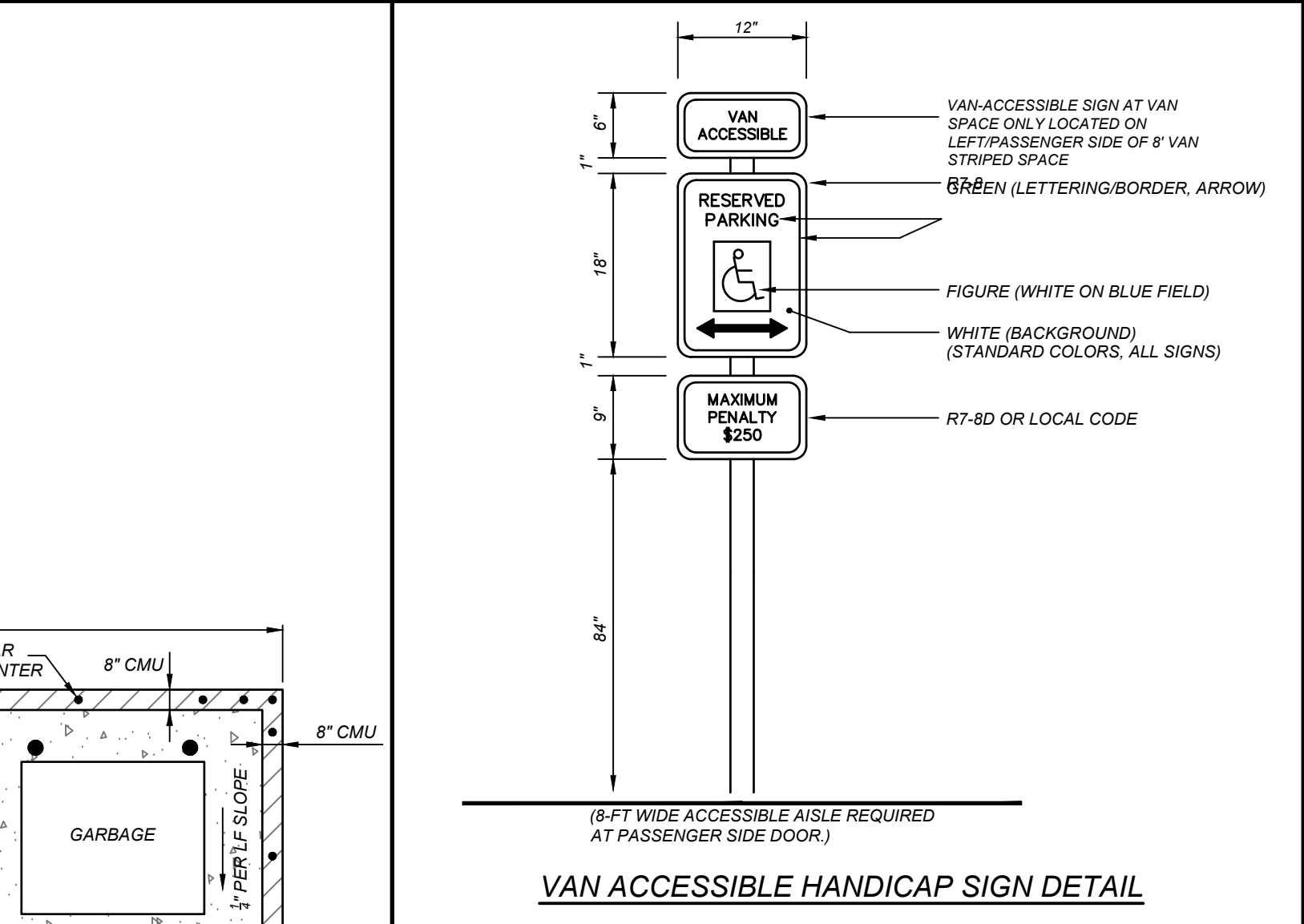
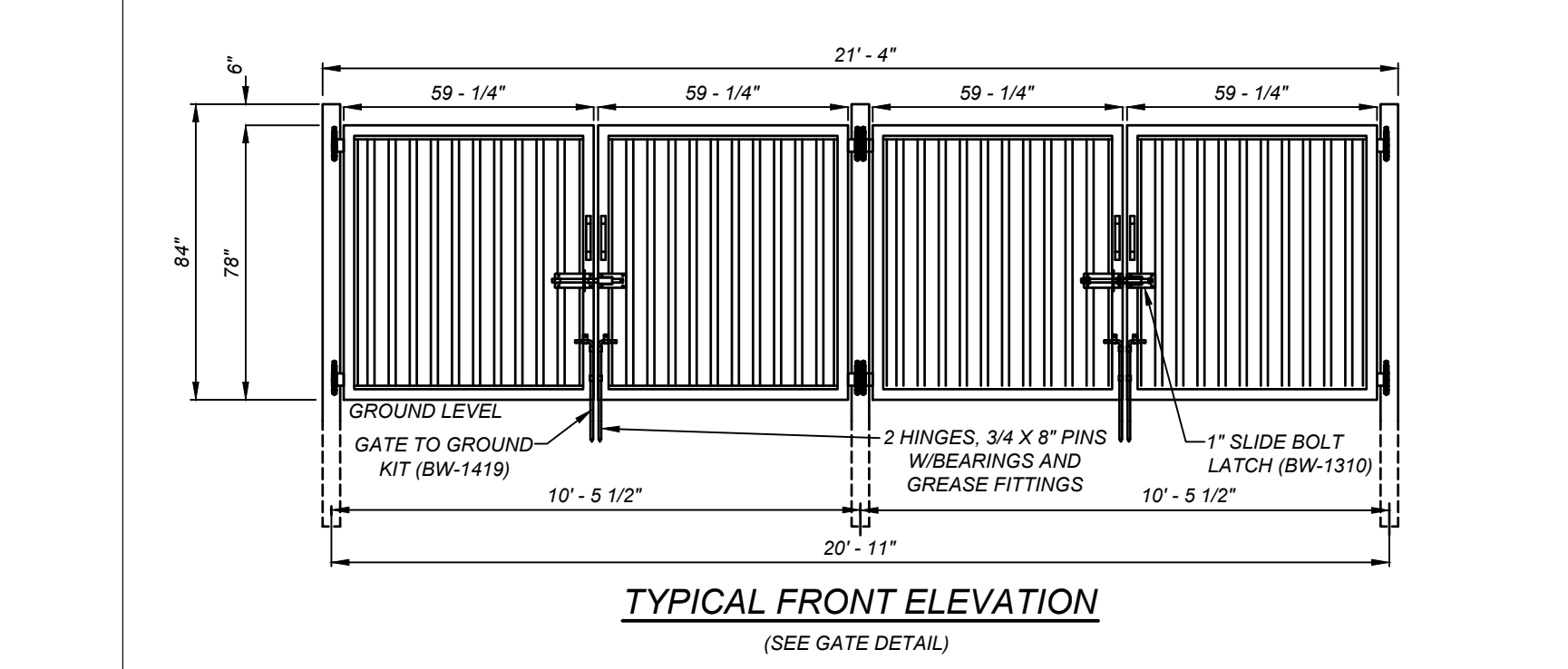
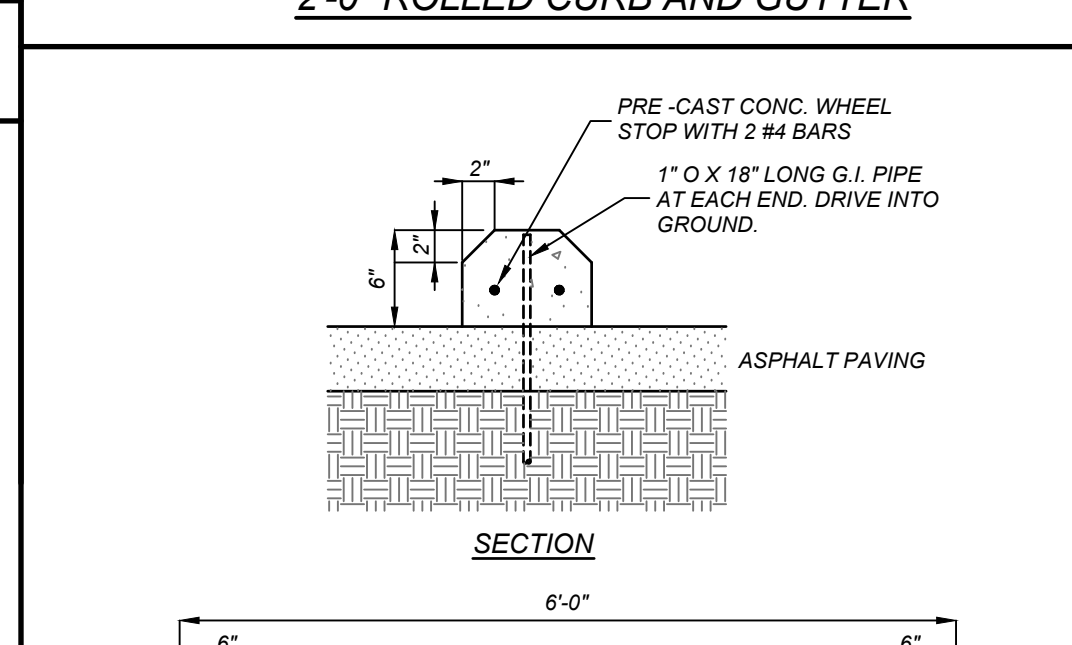
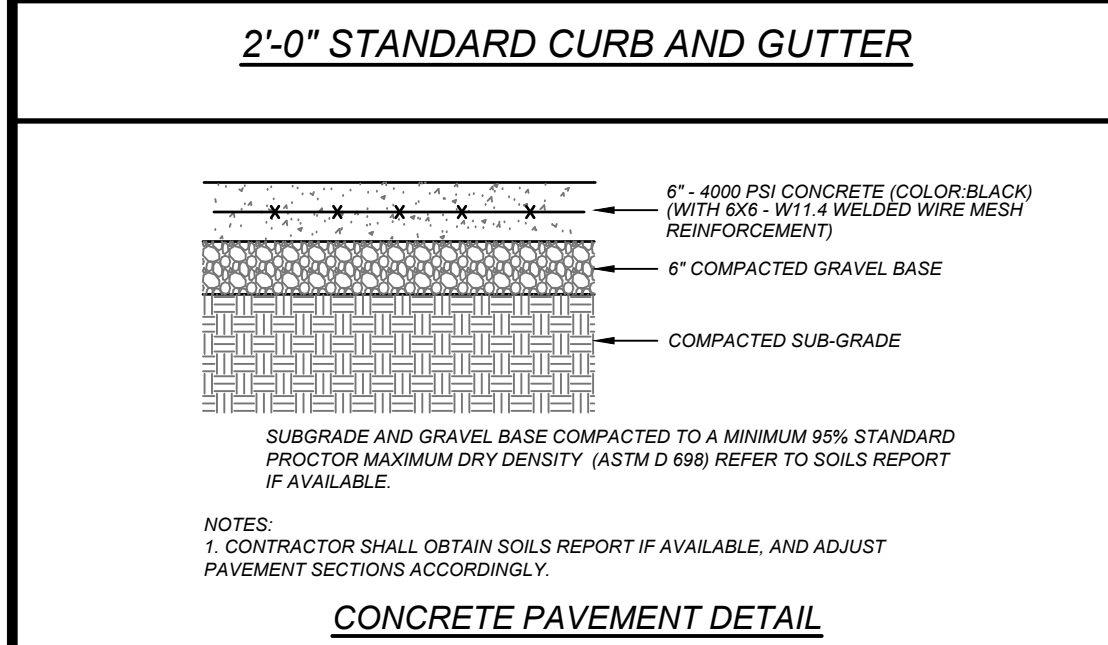
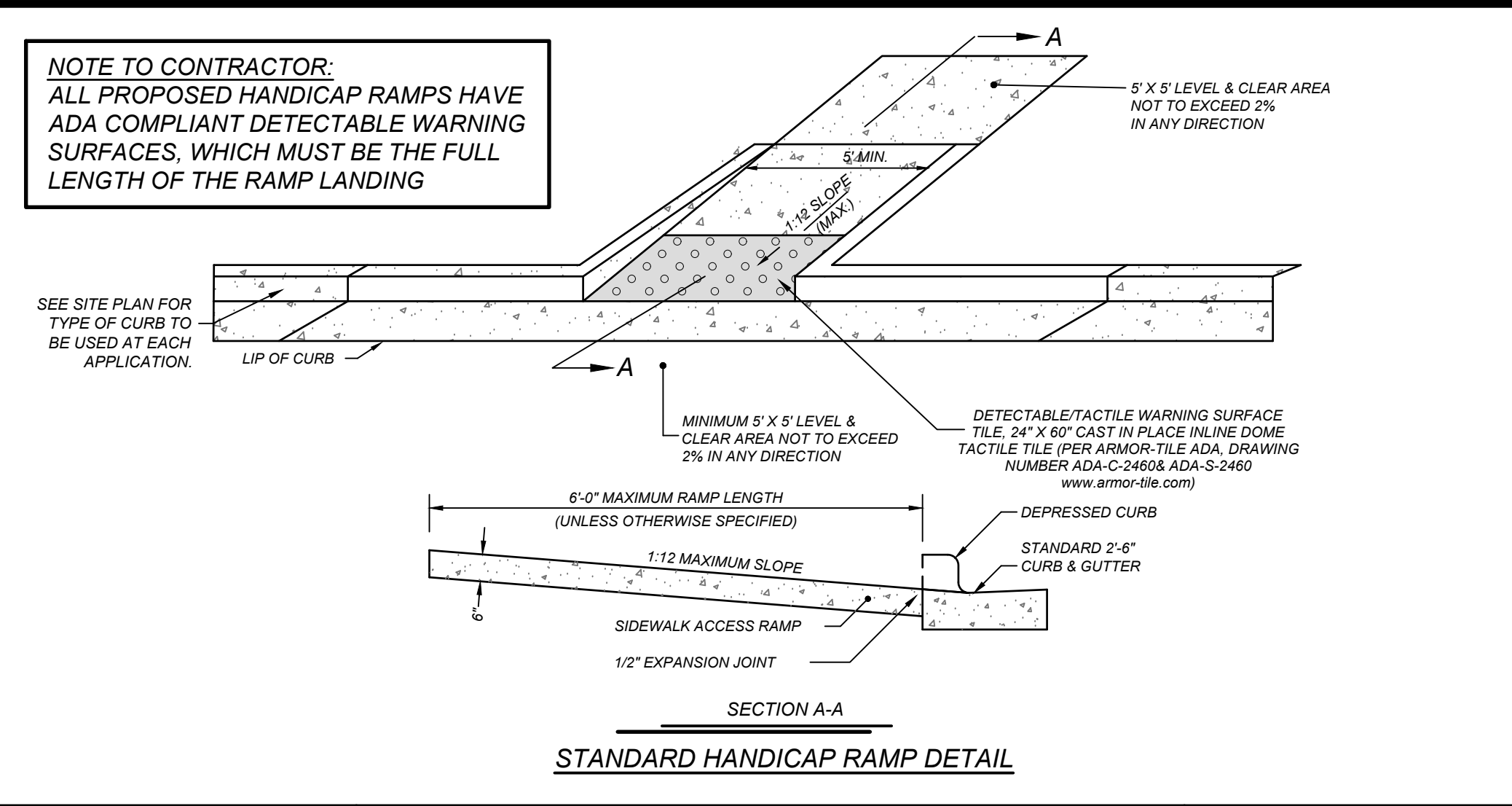
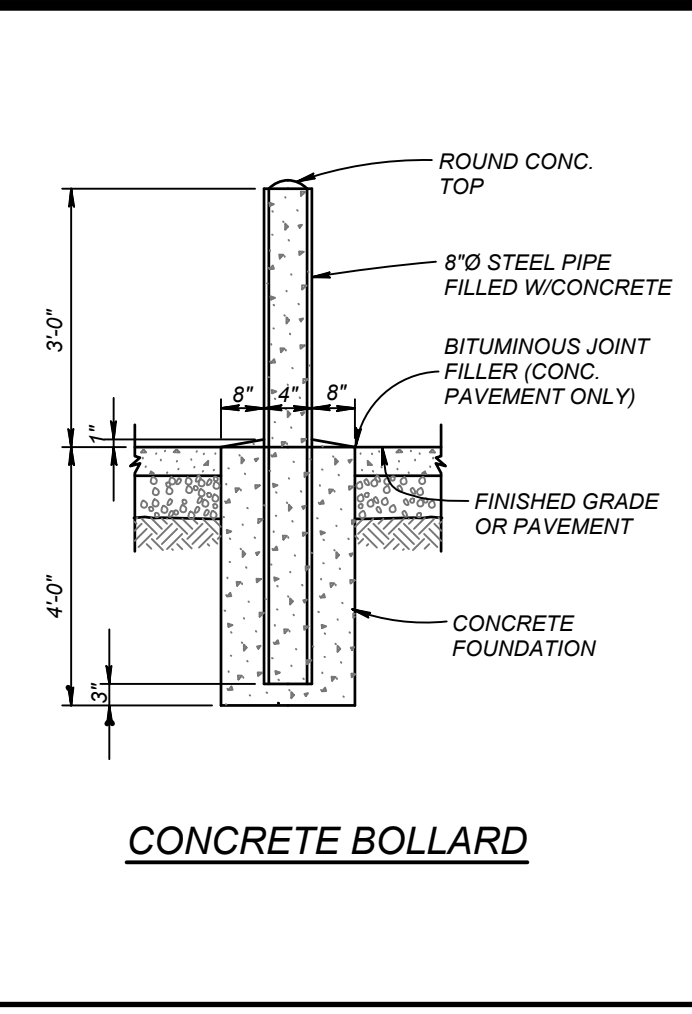
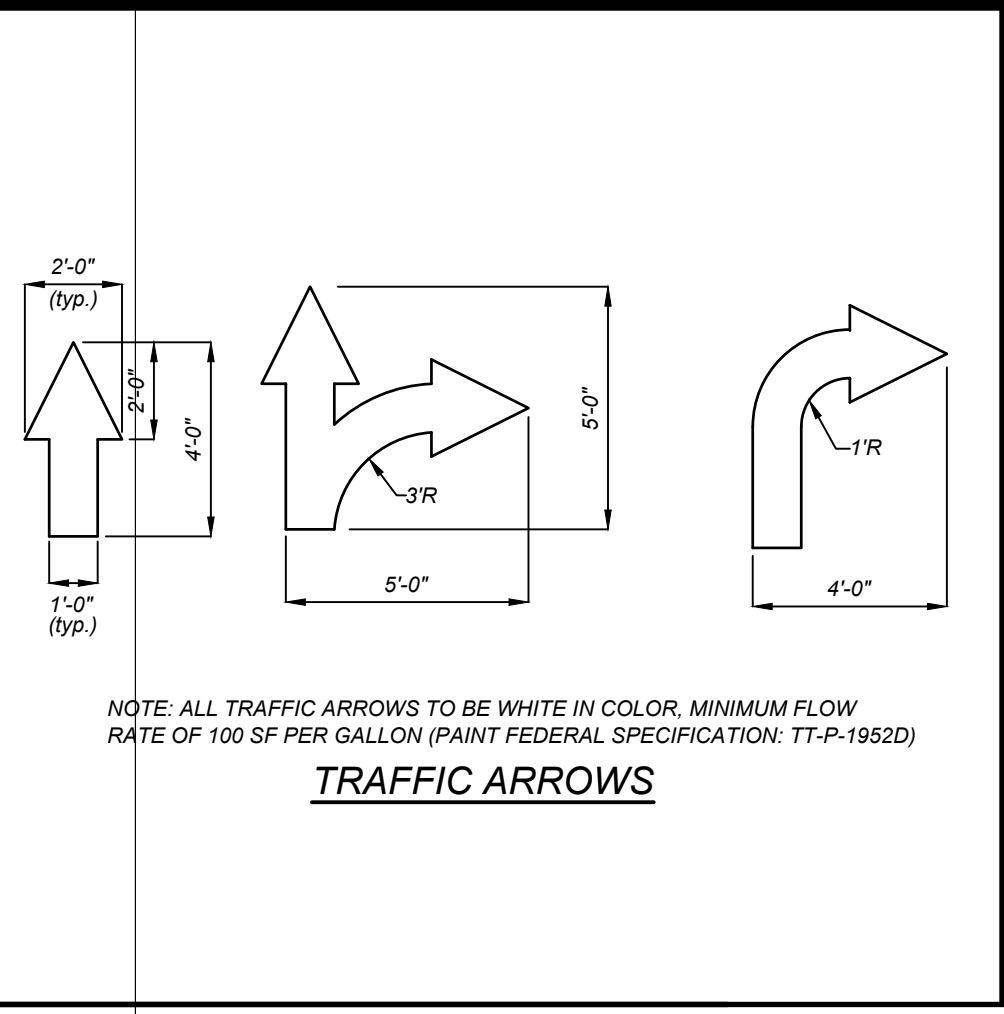
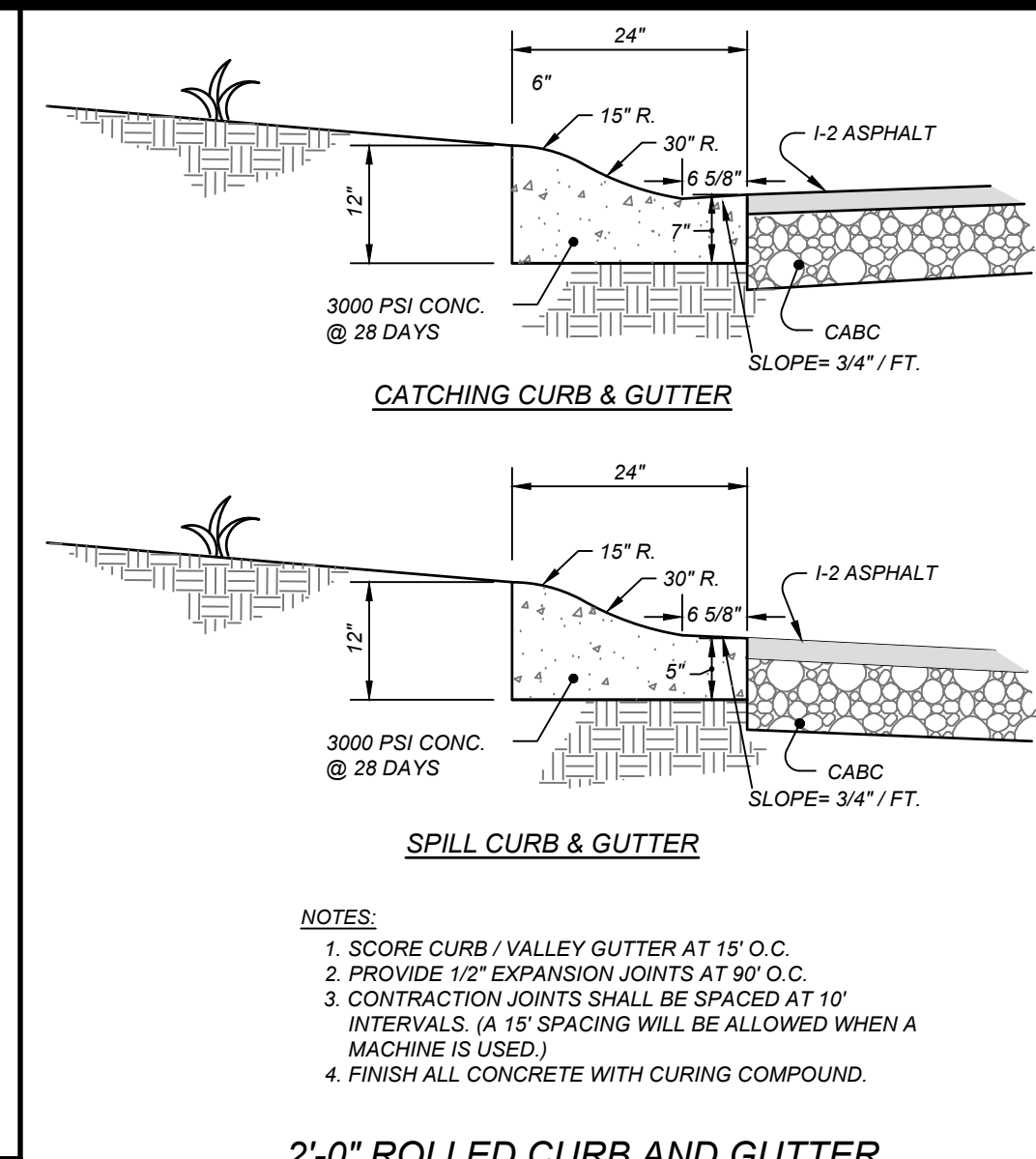
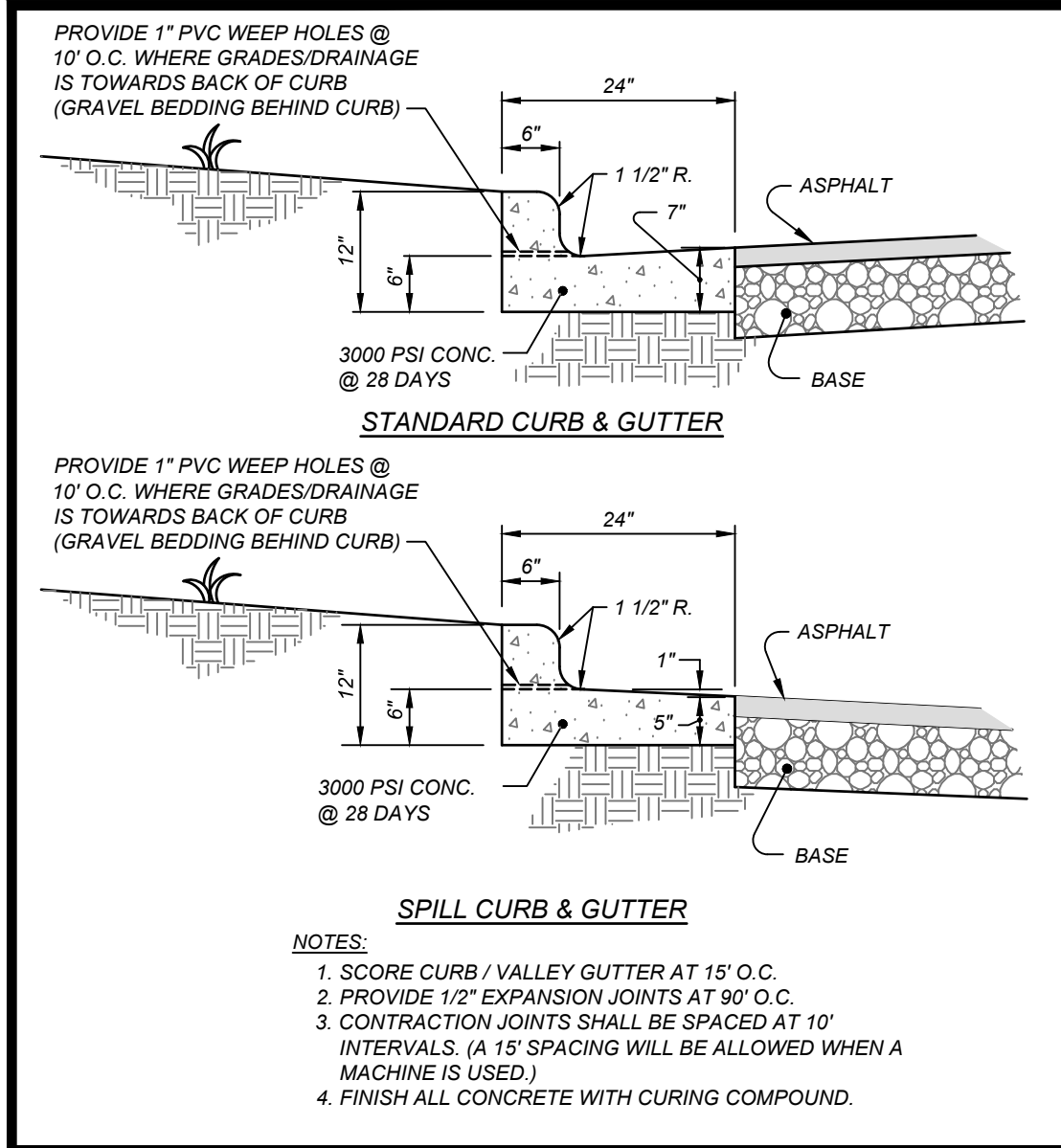
LIGHTING PROPOSAL LO-158061

COOK OUT  
4112 LAKE BOONE TRAIL  
RALEIGH, NC

DATE: 05-10-2023  
SHEET 1 OF 1

X:\OUT - Cookout\2304 - Raleigh @ Lake Boone Trail\CAD\OUT\2304-LI.dwg, 5/19/2023, 3:40:56 PM, Long





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**24 HOUR CONTACT**  
 JOHN ARMFIELD  
 CONSTRUCTION MANAGER  
 TELEPHONE: (336) 279-3242

NO.	DATE	DESCRIPTION	BY

**REVISIONS**

**COMMERCIAL SITE DESIGN**  
 A Sambatek Company  
 (919) 848-6121, FAX: (919) 848-7411  
 WWW.CSTDDESIGN.COM

**CLIENT:**  
 COOK OUT RESTAURANTS  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27360

**PROJECT NO.:** OUT-2304  
**FILENAME:** OUT-2304-DTL1  
**DRAWN BY:** CSD  
**SCALE:** N.T.S.  
**DATE:** 05-10-2023  
**SHEET NO.:** C-11

**COOKOUT FRESH HAMBURGERS**  
 4112 LAKE BOONE TRAIL  
 RALEIGH, NORTH CAROLINA

**DETAILS**





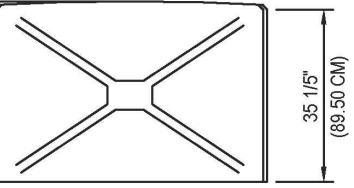
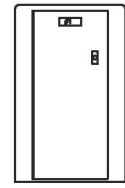
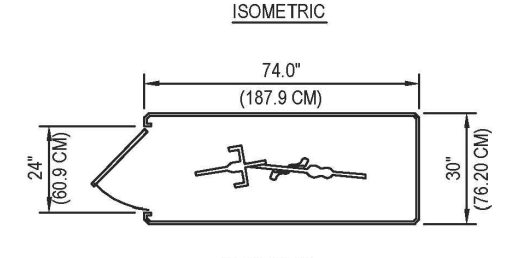
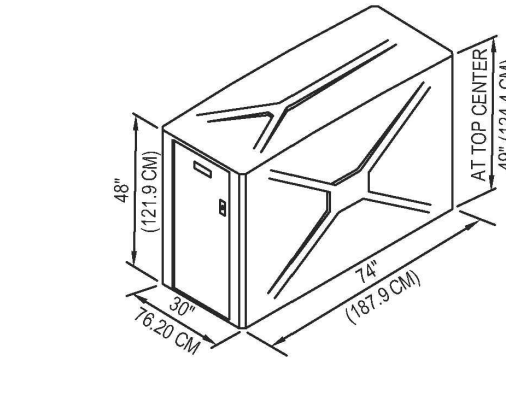
VELODOME SHELTERS  
32 ANN ST  
CLIFTON, NJ 07013  
TOLL FREE: 1-888-955-8090  
PHONE: (973) 264-9100  
www.velodomeshelters.com

SELECT DESIRED COLOR:

- TAN
- MEDIUM GREY

SELECT DESIRED LOCK:

- FORT LOCK 7 PIN TUMBLER POP OUT 1" HANDLE LOCKS WITH THREE KEYS AND REMOVABLE LOCK CYLINDERS. INTERNAL LOCKING HARDWARE CONSISTS OF THREE PLATED HARDENED STEEL CAMS CONTROLLING AN EXTRUDED ALUMINUM LOCKING BAR WHICH ENGAGES THE DOOR FRAME OVER THREE FOOT SPAN.
- HEAVY DUTY STAINLESS STEEL PADLOCK HANDLE WILL ACCOMMODATE HIGH SECURITY PADLOCKS. PADLOCK NOT INCLUDED.



**SPECIFICATIONS**  
CAPACITY: 1 DOOR/1 BIKE  
DOOR WIDTH: 24" (61.0 CM)  
SETRACK: PLEASE ALLOW 5FT CLEARANCE FOR DOOR.

- NOTES:**
- SEE MANUFACTURER FOR COLOR AND SECURITY OPTIONS.
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - DO NOT SCALE DRAWING.
  - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER 5001-035.

**300 SERIES BICYCLE LOCKERS**

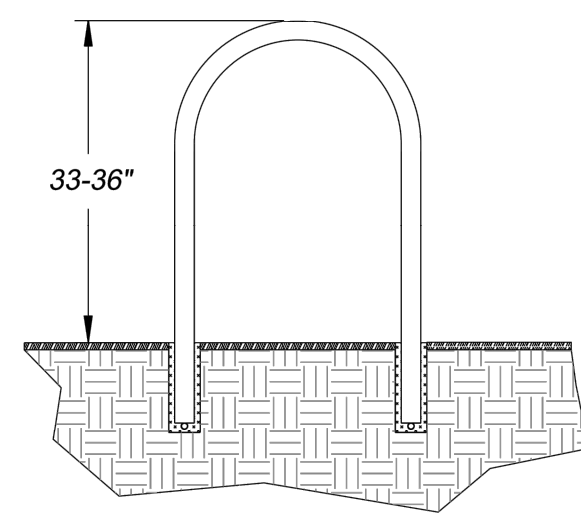
MODEL 301, 1 DOOR, 1 BIKE CAPACITY, NO ASSEMBLY ONE PIECE DESIGN

5001-036

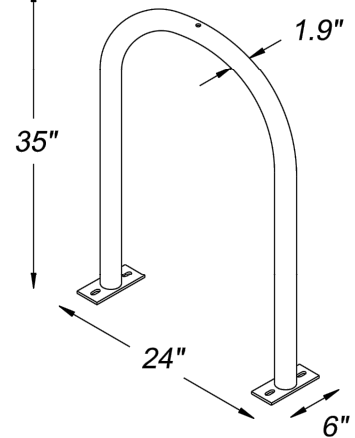
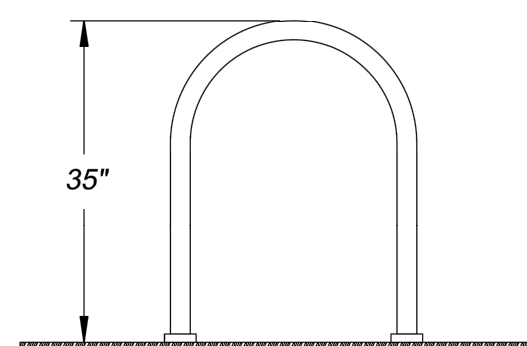
PROTECTED BY COPYRIGHT © 2018 CADDETAILS.COM LTD.

REVISION DATE 05/09/2018  
CADdetails.com

**IN-GROUND MOUNT**



**SURFACE MOUNT**



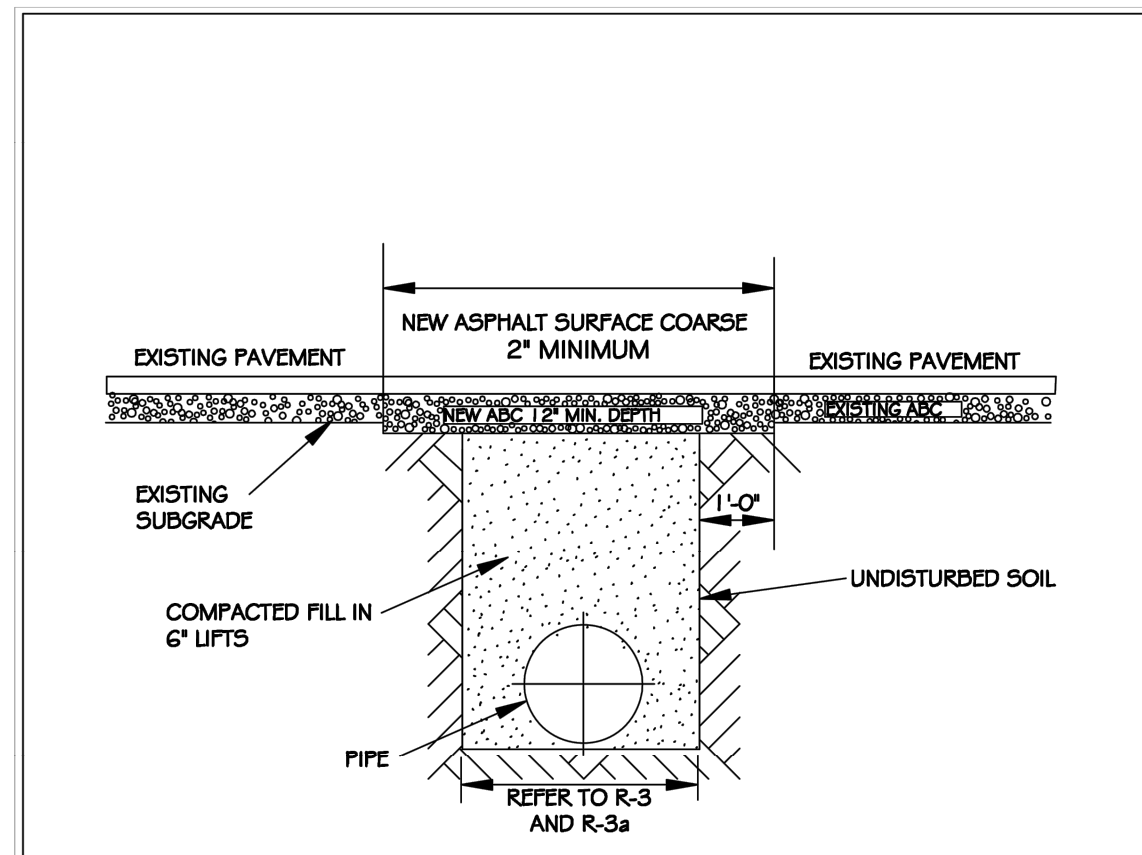
STANDARD BIKE RACK

**BIKE RACK INSTALLATION:**  
SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.  
IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.

**CITY OF RALEIGH  
STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

BIKE RACK DETAILS  
**B-20.03**



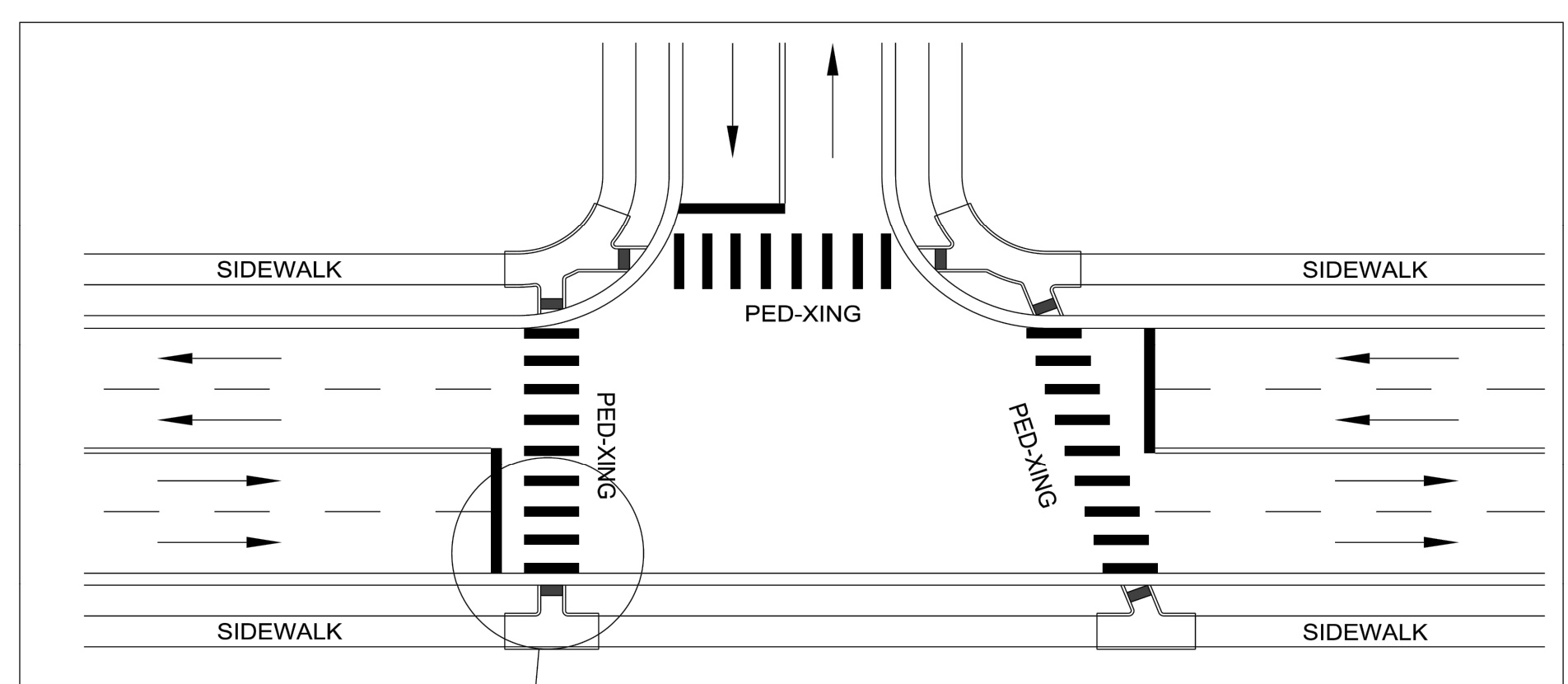
**NOTES:**

- THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROVED SAW CUT MACHINE.
- THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY MCDOT.
- THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY MCDOT.
- THE ENTIRE THICKNESS VERTICAL EDGE OF CUT SHALL BE TACKED.
- THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
- THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
- REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, R-3 AND R-3A, FOR ADDITIONAL DETAILS.
- NO HAND PATCHING ALLOWED.
- PAVEMENT CUTS WITHIN MCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

**CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES**

**STANDARD ASPHALT  
PAVEMENT PATCH DETAIL**

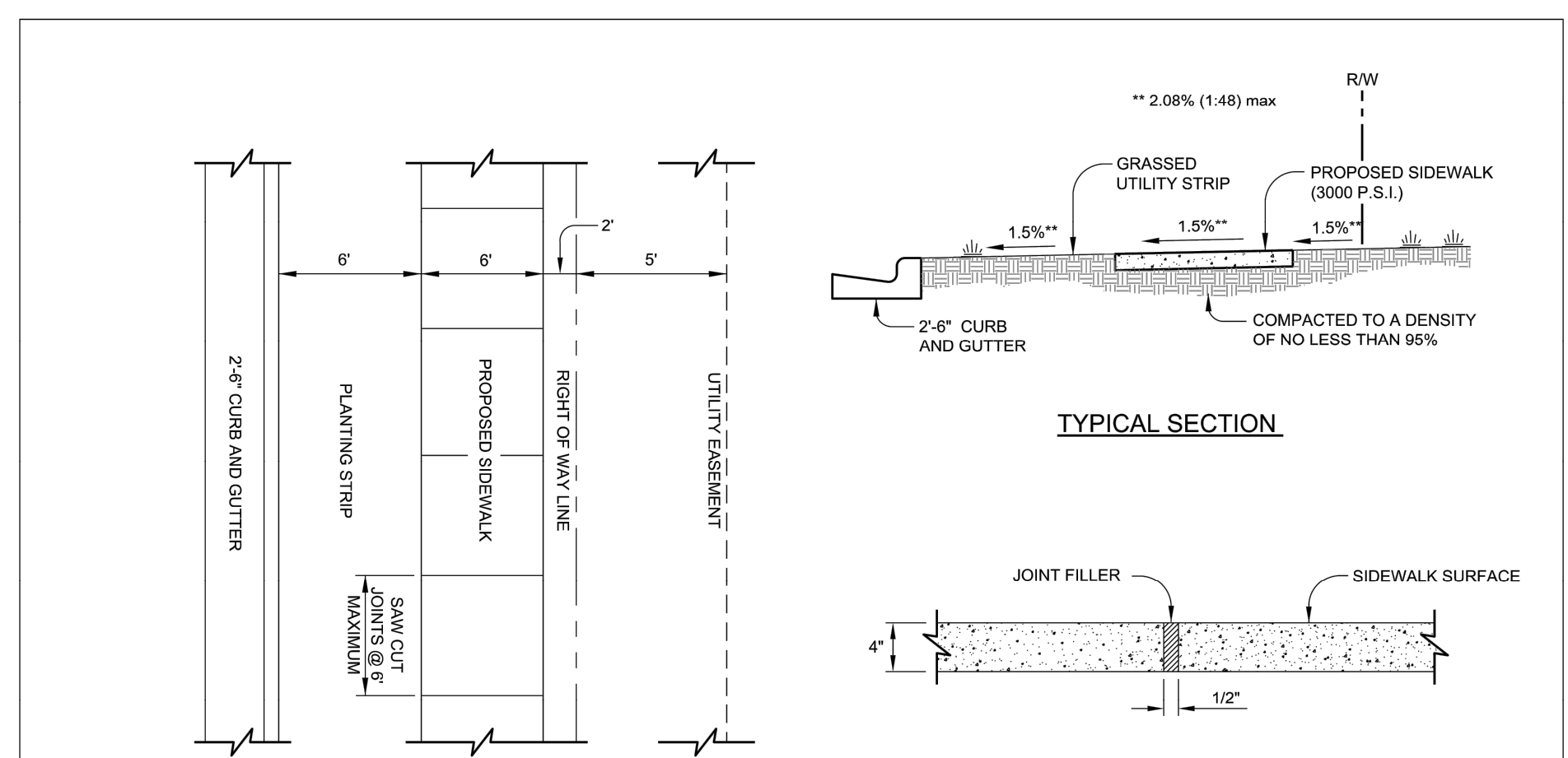
DWG. NO.	REVISIONS	DATE	BY	DATE
R-2	DWC	11-1-99	J.P.S.	10-1-00



REVISIONS	DATE	BY	NOT TO SCALE

CITY OF RALEIGH  
STANDARD DETAIL  
PAVEMENT MARKINGS  
PEDESTRIAN CROSSWALK  
**T-20.05**

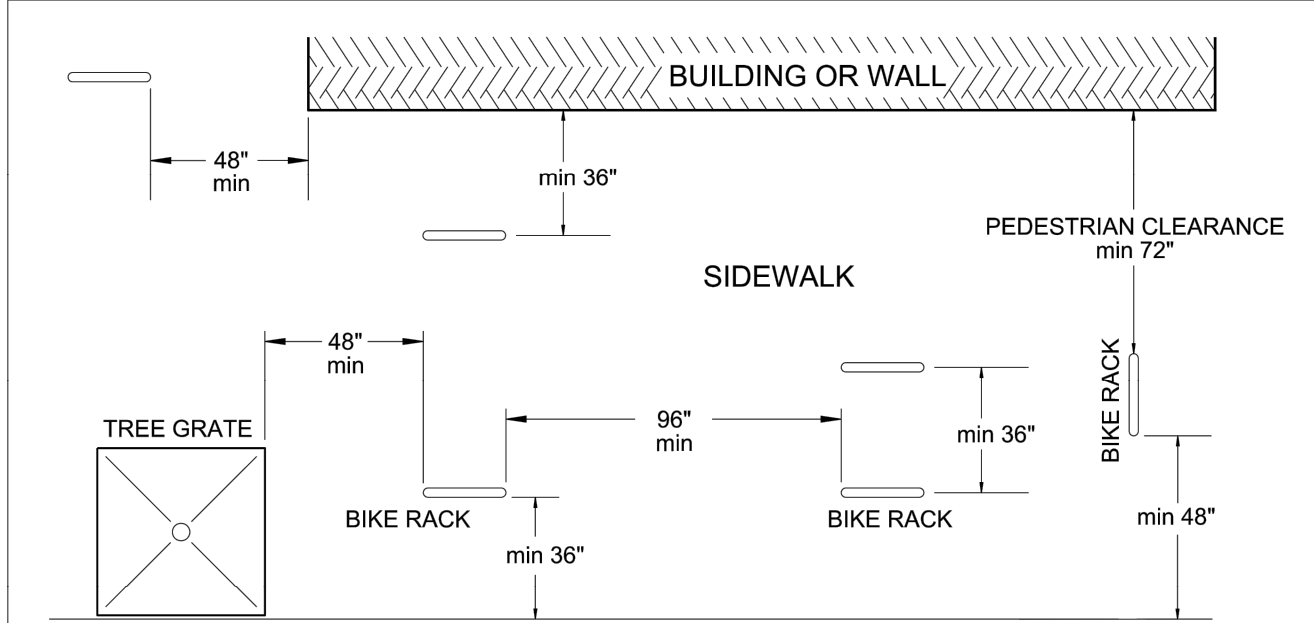
- NOTES:**
- H-VISIBILITY CROSSWALKS SHOULD ONLY BE USED AT CROSSINGS WHERE THE INTERSECTION IS SIGNALIZED OR UN-CONTROLLED BY ANY TRAFFIC CONTROL DEVICE (e.g. STOP SIGN).
  - THE CROSSWALK LINE SHOULD BE PLACED AT THE ANGLE OF THE TRAVEL LANES AND TRAVERSE THE PEDESTRIAN CROSSING.
  - A CROSSWALK LINE SHOULD BE PLACED TO AVOID WHEEL PATHS. THIS IS IDEALLY DONE BY CENTERING THE LINES AT THE EDGE OF EACH TRAVEL LANE AND IN THE CENTER OF EACH TRAVEL LANE. DUE TO VARYING LANE WIDTHS THIS IS SOMETIMES NOT POSSIBLE.
  - PLACE STOP BARS A MINIMUM OF 4 FEET FROM NEAREST CROSSWALK LINE. STOP BARS AT SIGNALIZED INTERSECTIONS SHOULD BE COORDINATED WITH THE CITY OF RALEIGH TRANSPORTATION OPERATIONS DIVISION OR AS DIRECTED BY THE ENGINEER.
  - CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST CITY OF RALEIGH STANDARD DRAWINGS.



REVISIONS	DATE	BY	NOT TO SCALE

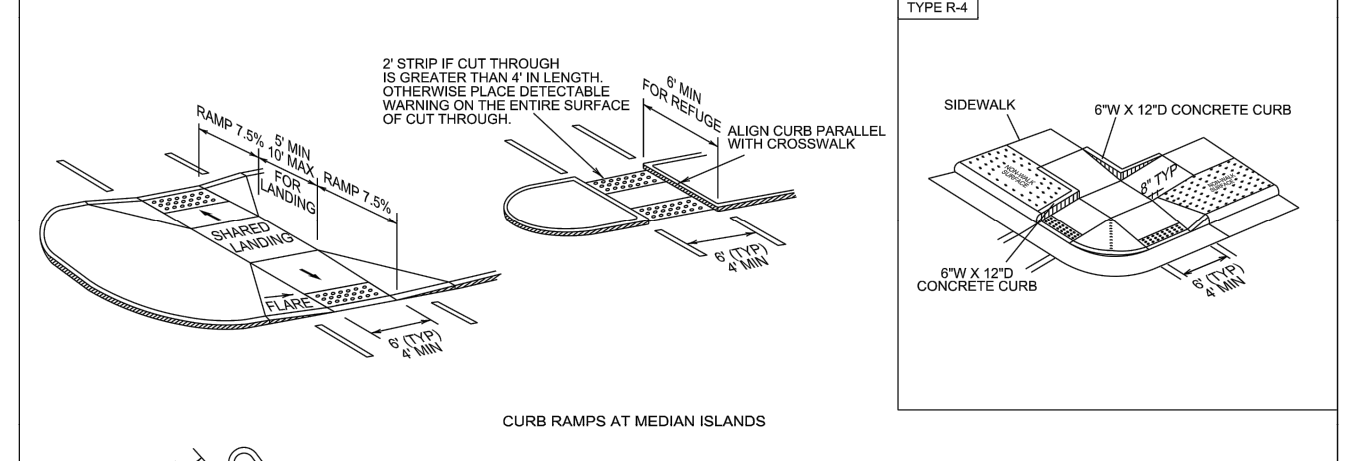
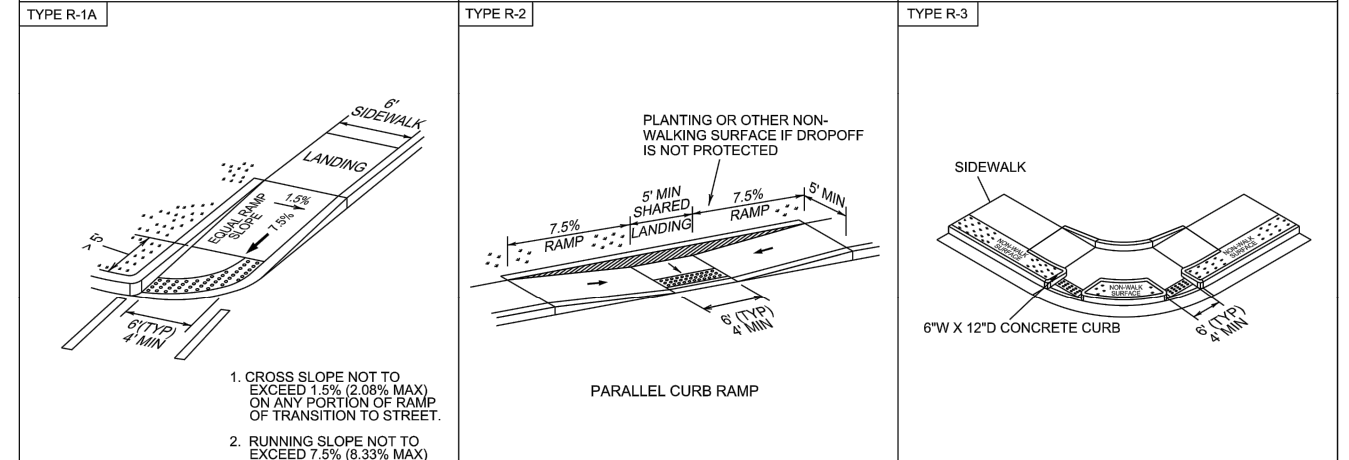
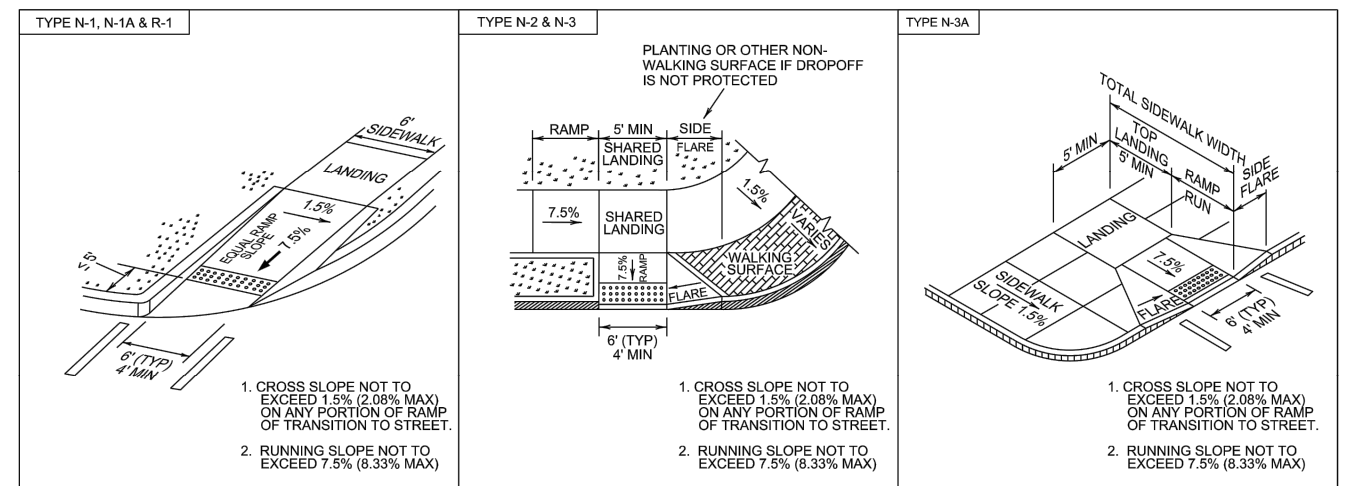
CITY OF RALEIGH  
STANDARD DETAIL  
CONCRETE SIDEWALK  
**T-30.01.1**

- NOTES:**
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
  - ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
  - A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.



REVISIONS	DATE	BY	NOT TO SCALE

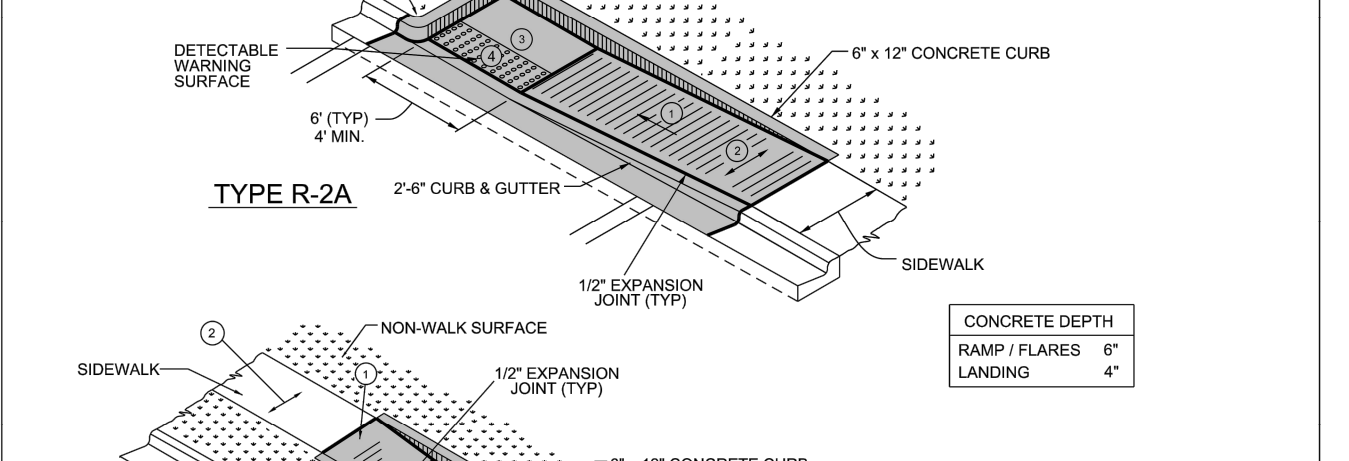
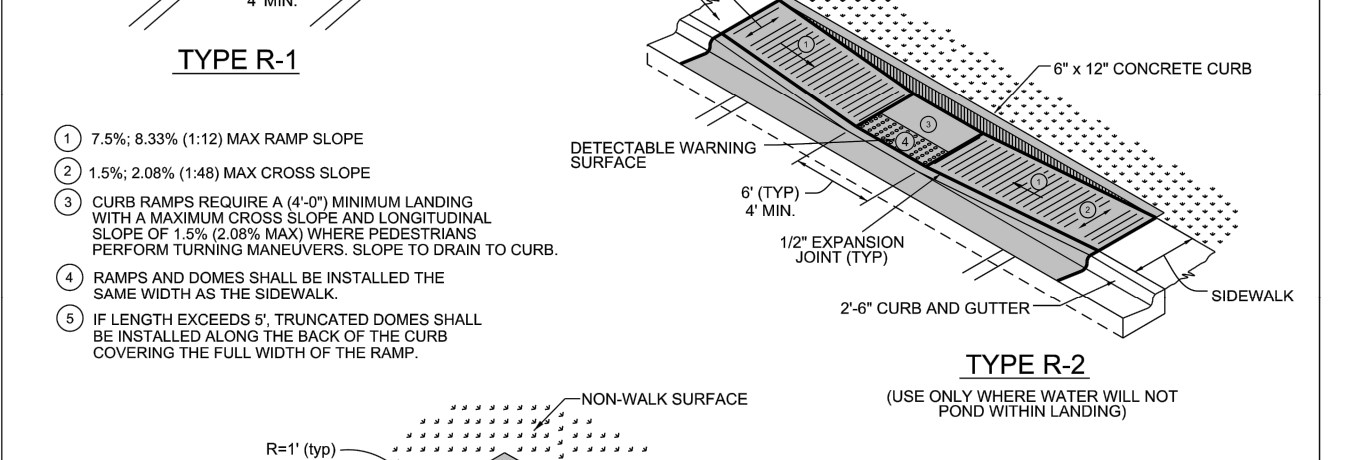
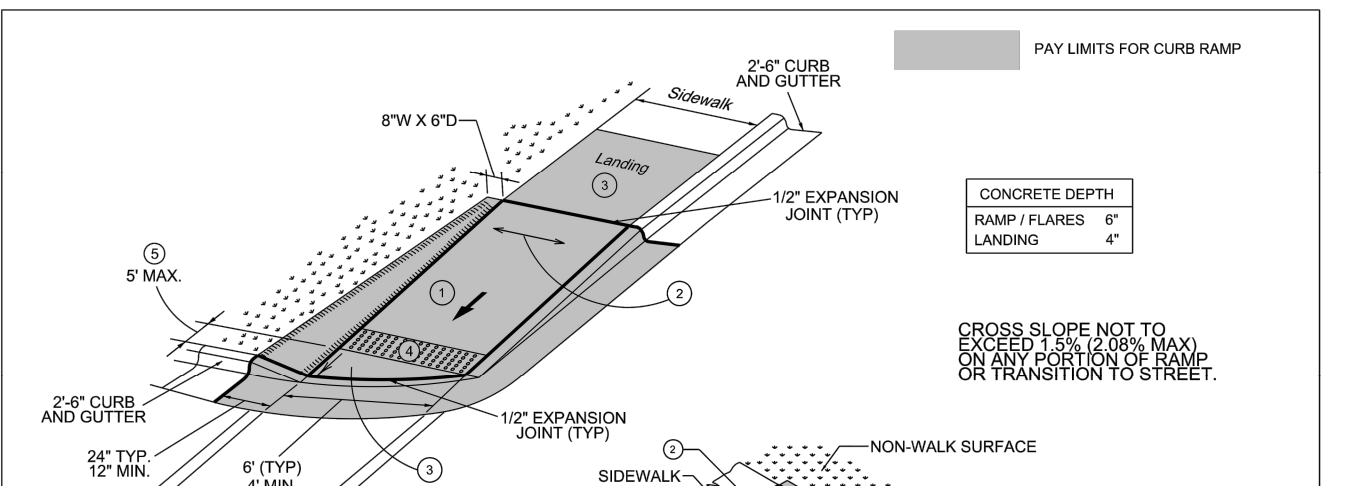
CITY OF RALEIGH  
STANDARD DETAIL  
BIKE RACK PLACEMENT  
**B-20.01**



**CITY OF RALEIGH  
STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

DETECTABLE WARNING SURFACE PLACEMENT  
**T-20.04.1**



**CITY OF RALEIGH  
STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

CURB RAMPS (RETROFIT)  
**T-20.01.5**



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24 HOUR CONTACT  
JOHN ARMFIELD  
CONSTRUCTION MANAGER  
TELEPHONE: (336) 279-3242

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SITE DESIGN**  
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(919) 848-0121 FAX: (919) 848-3741  
WWW.CSITDESIGN.COM

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RALEIGH, NORTH CAROLINA 27613

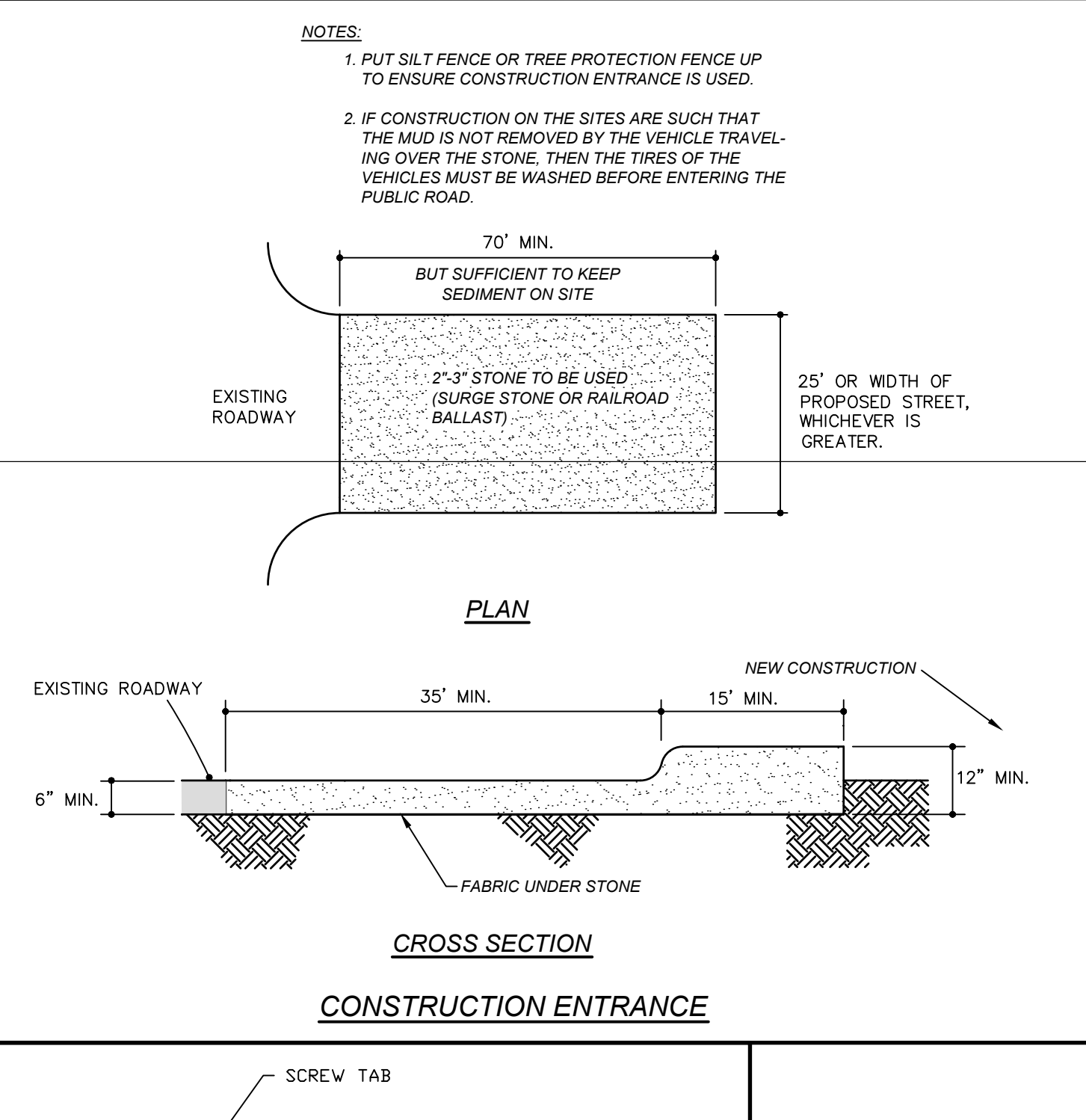
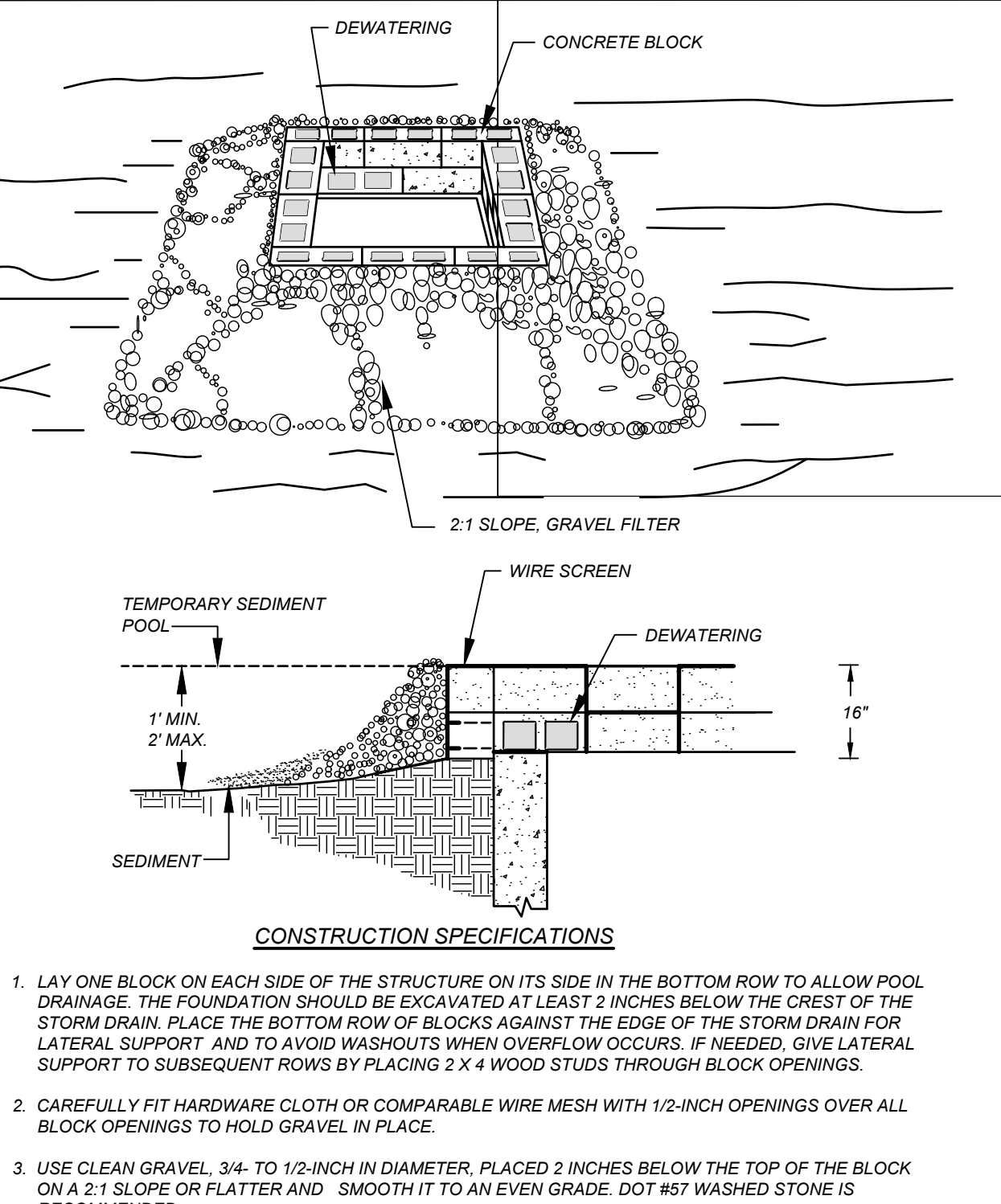
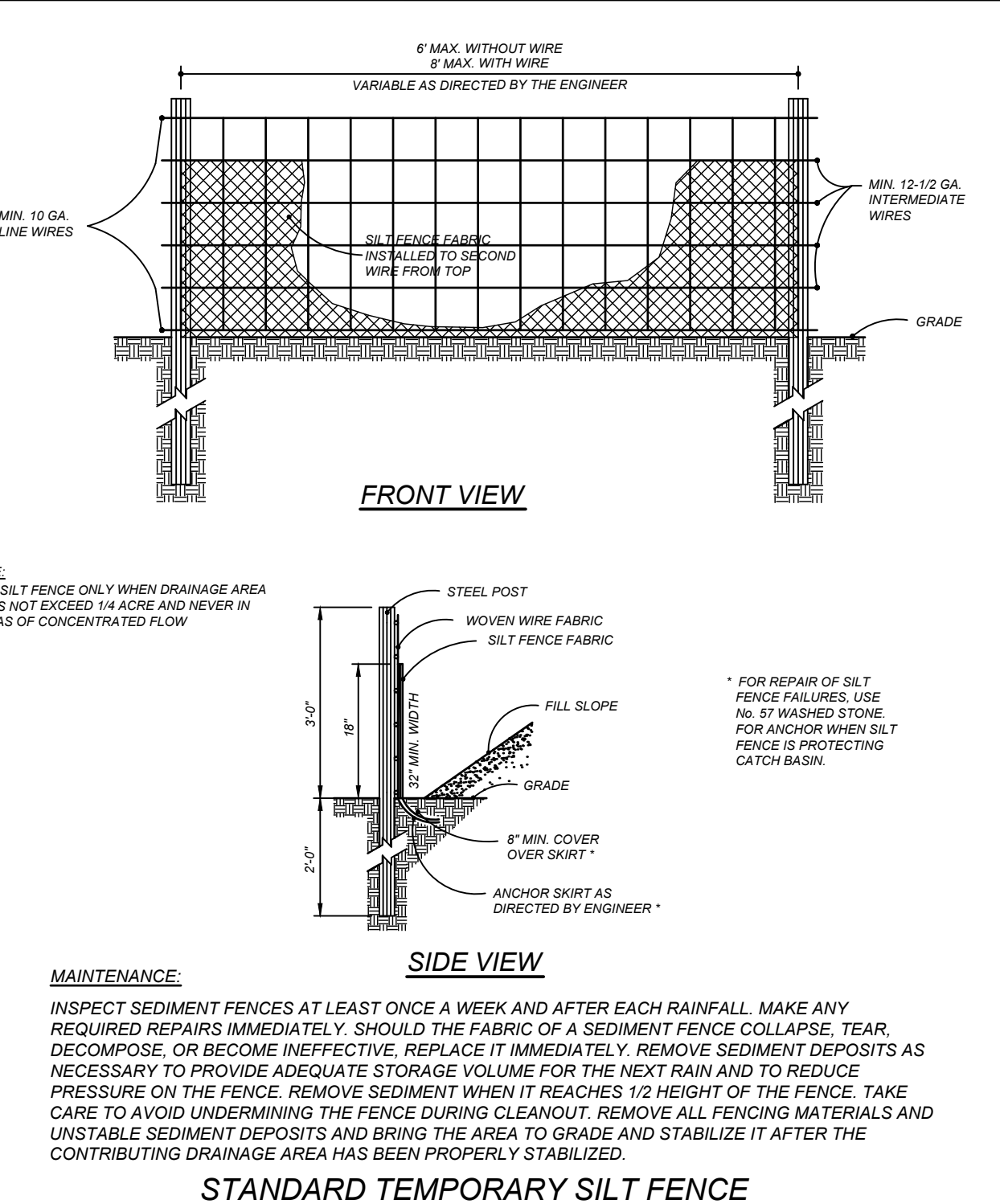
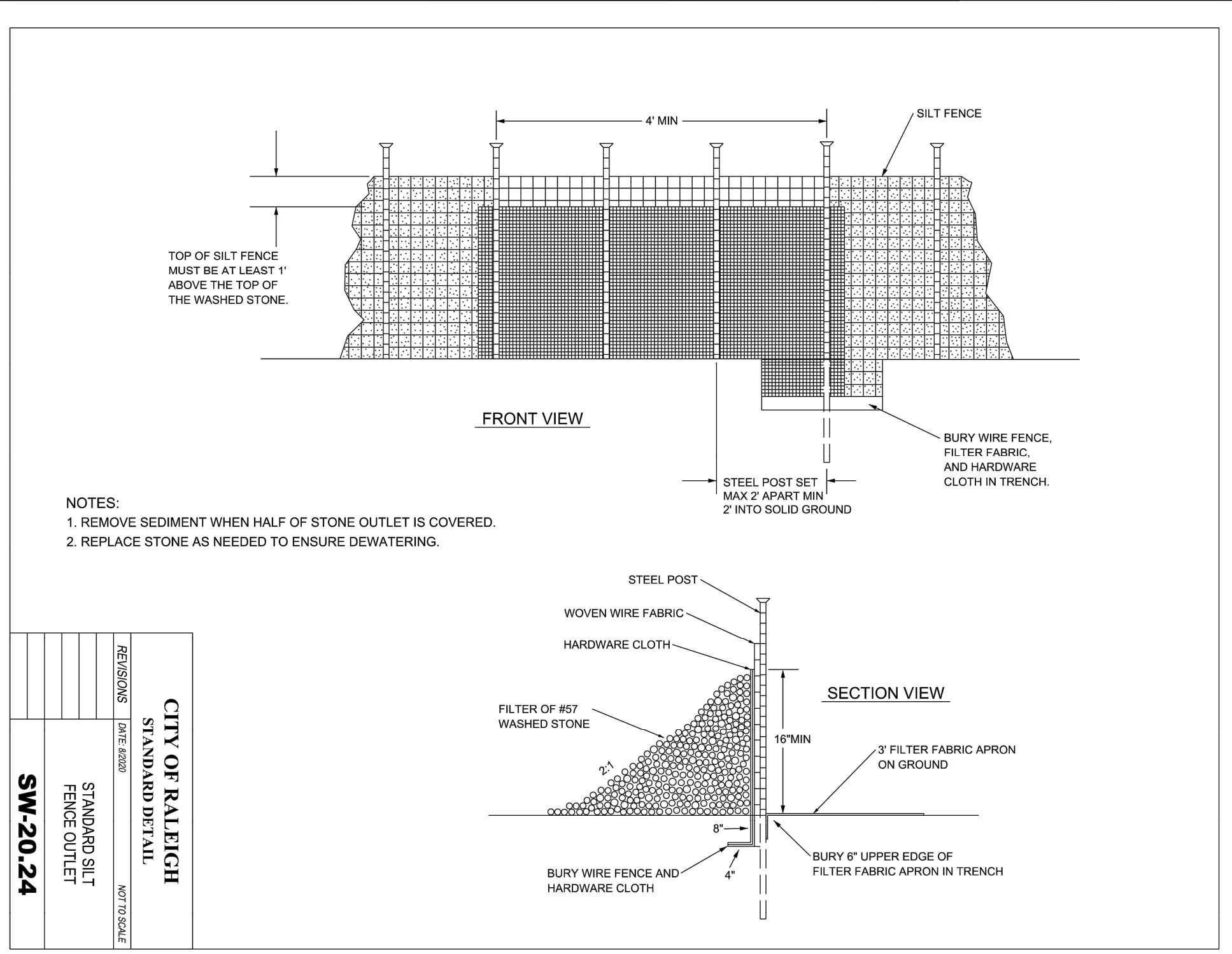
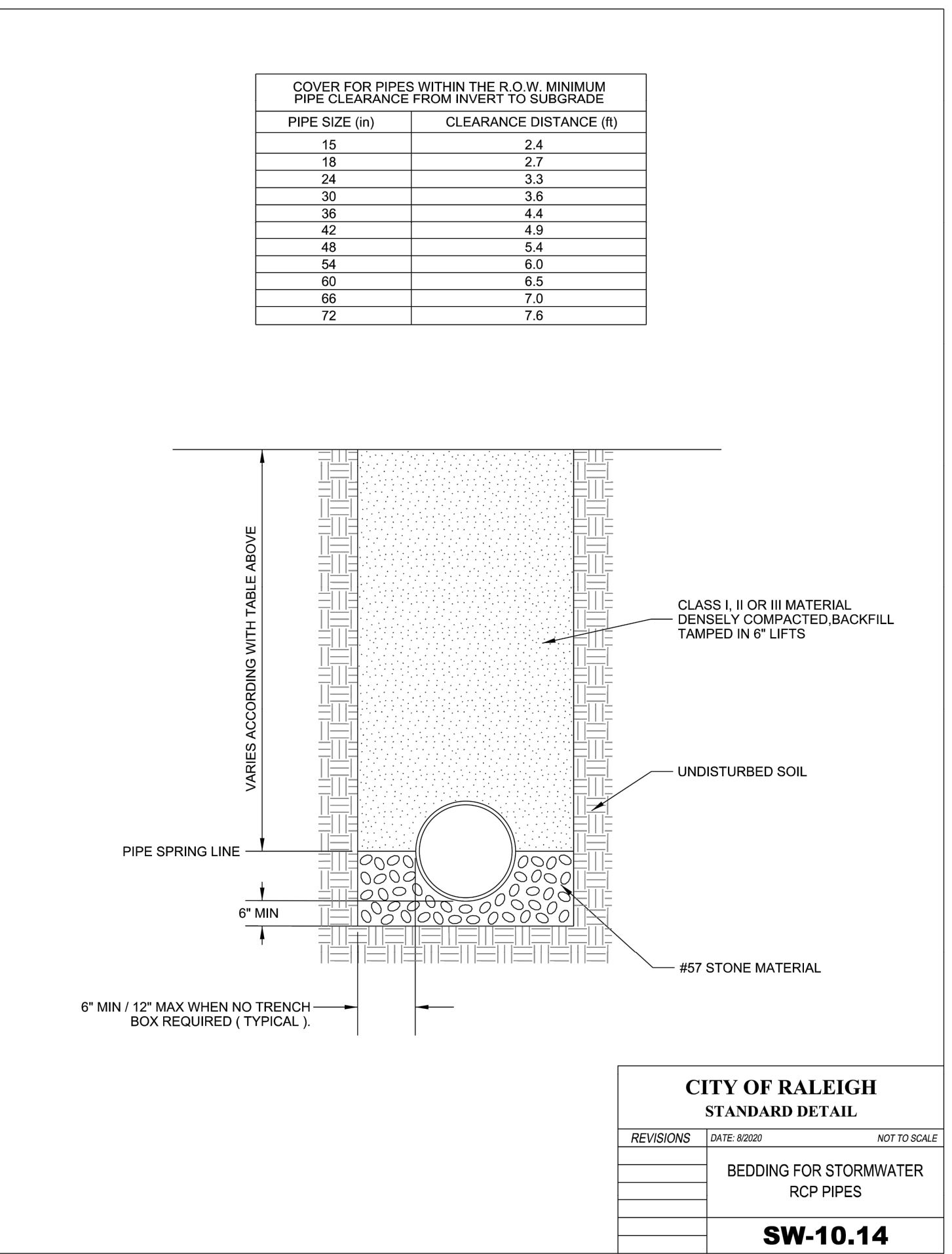
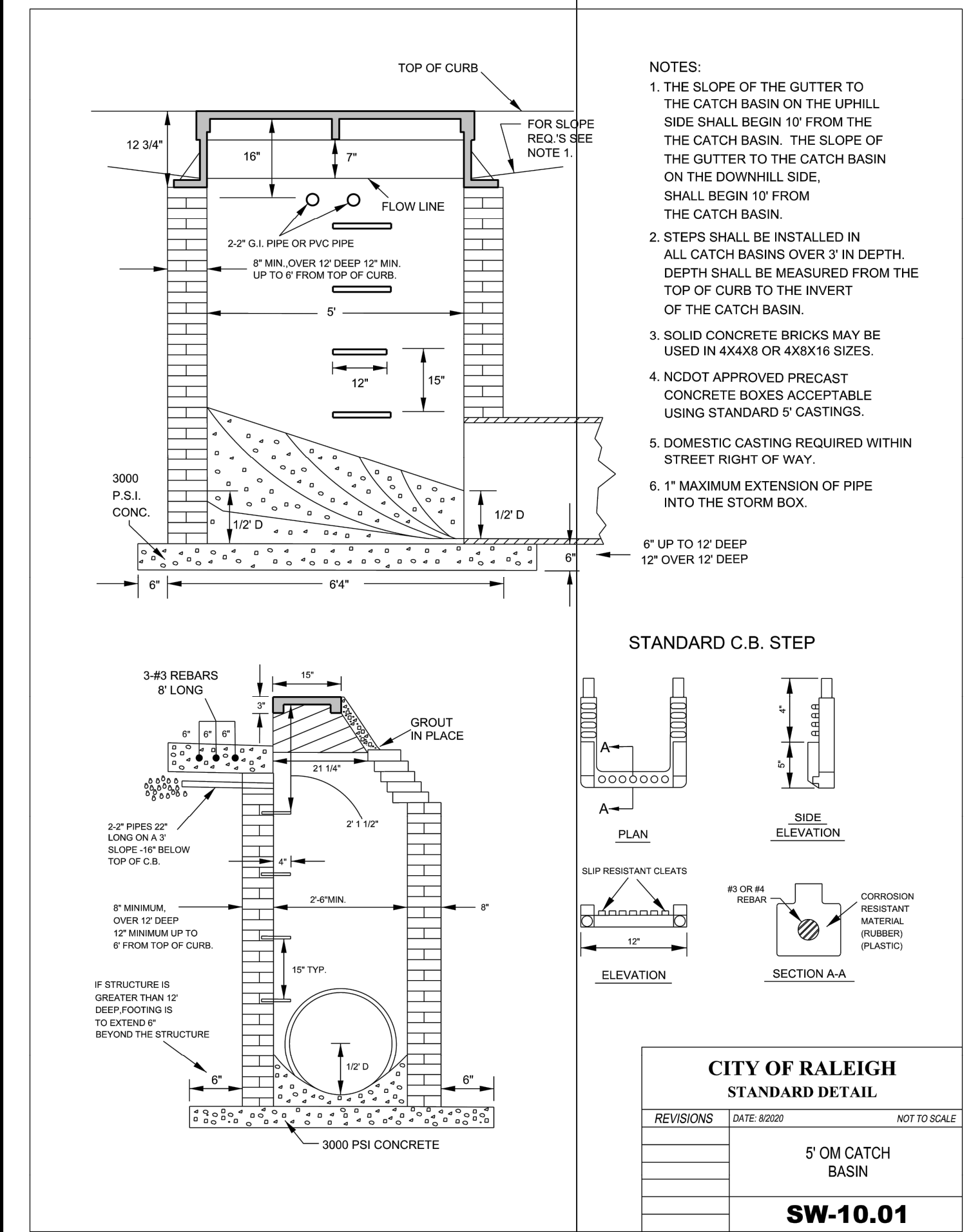
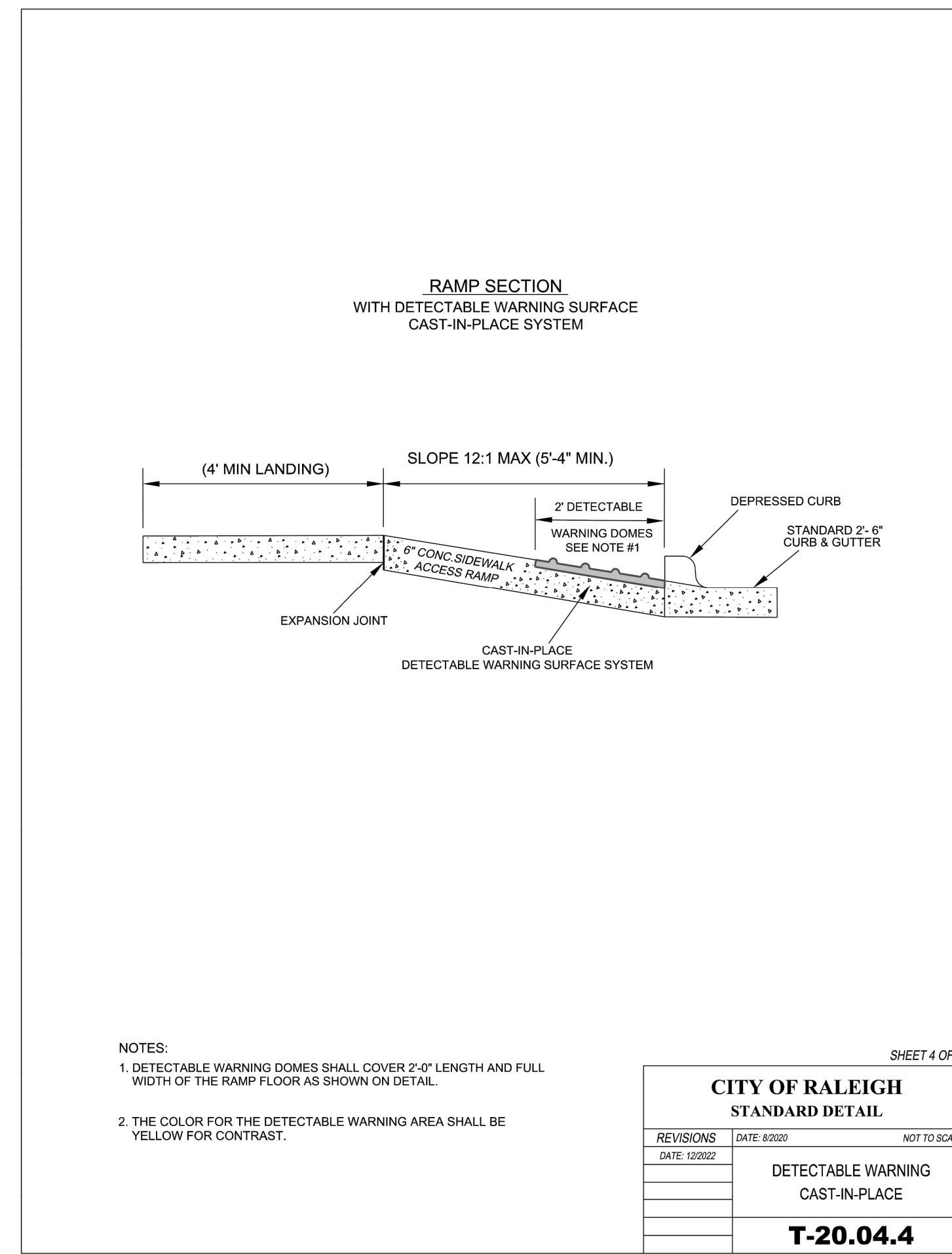
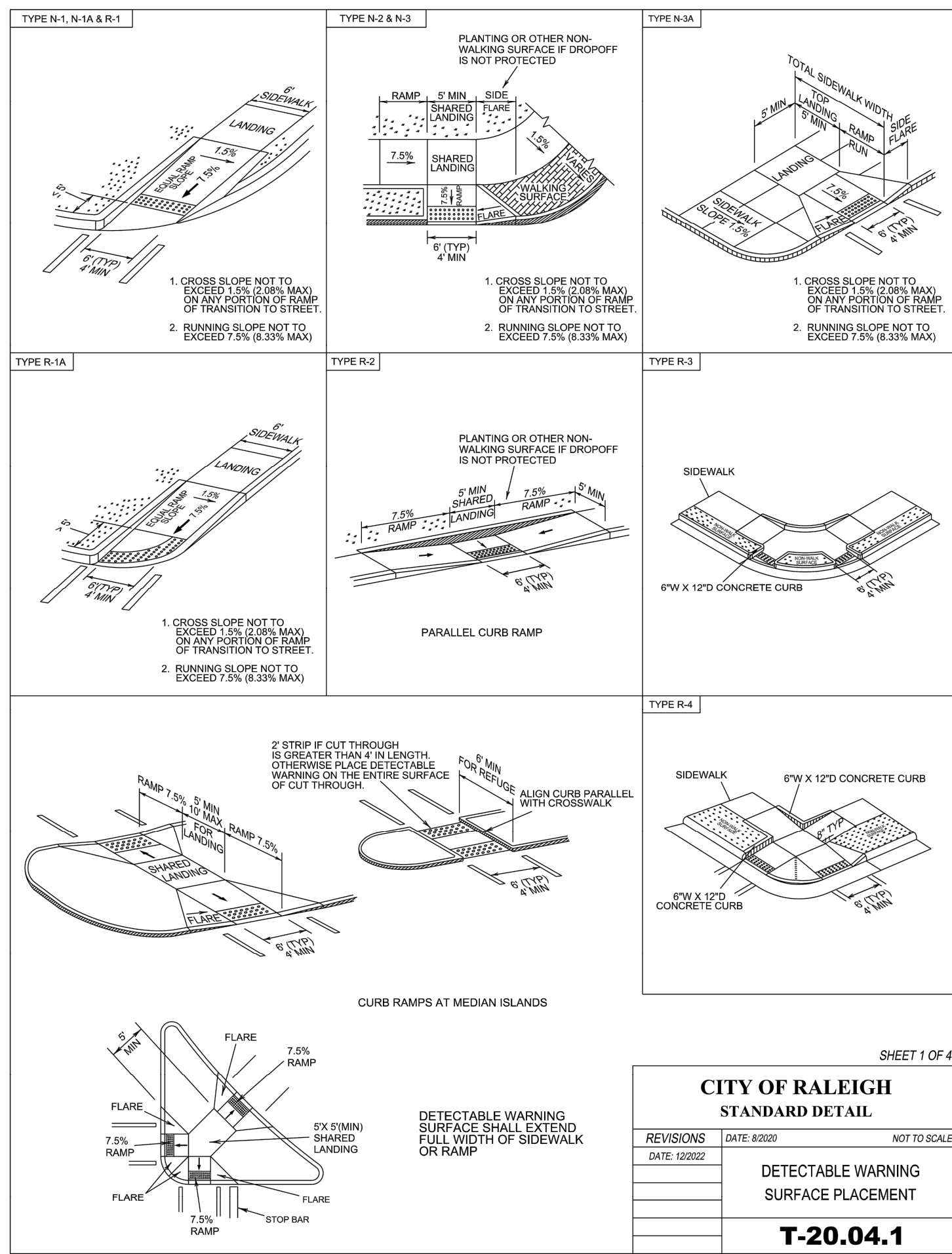
CLIENT:  
COOK OUT RESTAURANTS  
15 LAURA LANE, SUITE 300  
THOMASVILLE, NC 27360

**COOK OUT**  
FRESH HAMBURGERS  
4112 LAKE BOONE TRAIL  
RALEIGH, NORTH CAROLINA

PROJECT NO.	OUT-2304
FILENAME:	OUT2304-DTL2
DRAWN BY:	CSD
SCALE:	N.T.S.
DATE:	05-10-2023
SHEET NO.	C-12

DETAILS





**DRAINAGE STRUCTURE NOTES**

- BOXES SHALL COMPLY WITH LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- ANY NONSTANDARD BOX IS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.
- THE MAXIMUM HEIGHT OF AN UN-REINFORCED MASONRY DRAINAGE STRUCTURE WITH 8" WALLS SHALL BE LIMITED TO 8'-0" FROM INVERT OF THE OUTLET PIPE TO THE TOP OF THE CASTING. DEPTHS GREATER THAN 8'-0" SHALL HAVE WALLS 12" THICK. BASINS OVER 12" IN TOTAL DEPTH SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER. FOUR INCH WALLS ARE NOT ALLOWED ON DRAINAGE STRUCTURES. BOTTOM SLAB ON STRUCTURES SHALL BE REINFORCED WHEN BOX DEPTHS EXCEEDS 8 FT.
- STEPS ARE TO BE PROVIDED ON ALL BASINS DEEPER THAN 42".
- STEPS ARE TO BE PS1-PF AS MANUFACTURED BY M.A. INDUSTRIES OR AN APPROVED EQUAL. LOCATE ON NON-PIPE WALLS.
- MORTAR IN MASONRY BOXES IS TO BE TYPE M.
- CLAY BRICK STRUCTURES ARE NOT ALLOWED.
- CONCRETE PIPE IS TO BE MINIMUM CLASS III.
- CONCRETE BUILDING BRICK IS TO MEET ASTM C-55, GRADE N, TYPE 1.
- BASINS LOCATED IN WET AREAS, OR AS OTHERWISE REQUIRED BY THE TOWN ENGINEER, SHALL HAVE WEEP HOLES AS SHOWN ON DETAILS.
- ALL CAST-IN-PLACE PRECAST CONCRETE DRAINAGE STRUCTURES LOCATED IN PAVED AREAS ACCESSIBLE TO TRUCK LOADINGS TO BE DESIGNED TO MEET AASHTO HS 20-44 LOADING. SEE MANUFACTURERS DETAILS FOR WALL, TOP AND BOTTOM THICKNESS.

**PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.11s)**

**SEEDING MIXTURE SPECIES**

CENTPEDE GRASS	10-20 LB/ACRE (SEED) OR 33 BU/ACRE (SPRIGS)
----------------	---------------------------------------------

**SEEDING DATES:** MAR - JUNE (SPRIGGING CAN BE DONE THROUGH JULY WHERE WATER IS AVAILABLE FOR IRRIGATION.)

**SOIL AMENDMENTS:** ALF LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 300 LB/ACRE 10-10-10.

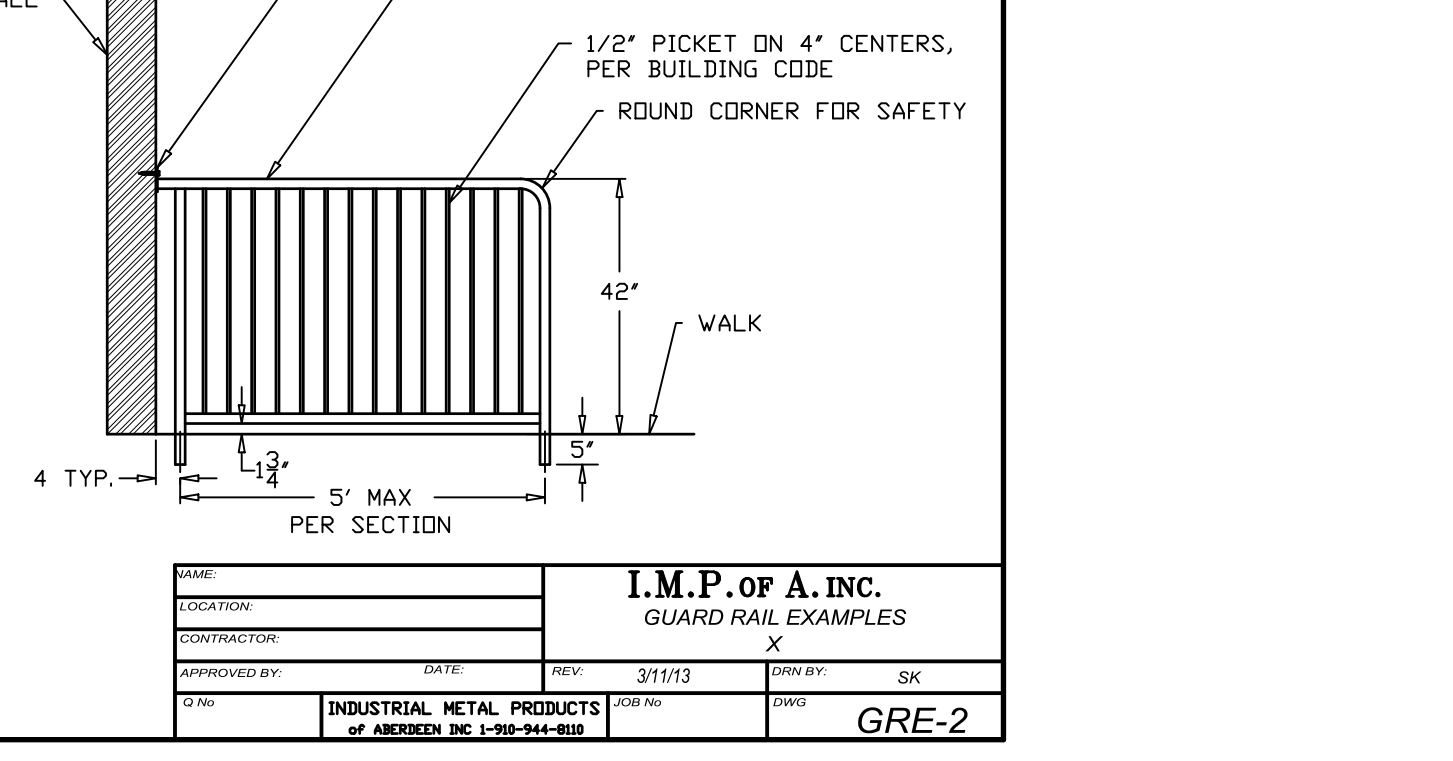
**SPRIGGING:** PLANT SPRIGS IN FURROWS WITH A TRACTOR-DRAWN TRANSPLANTER OR BROADCAST BY HAND. FURROWS SHOULD BE 4-6 INCHES DEEP AND 2 FT APART. PLACE SPRIGS ABOUT 2 FT APART IN THE ROW WITH ONE END AT OR ABOVE GROUND LEVEL. BROADCAST AT RATES SHOWN ABOVE, AND PRESS SPRIGS INTO THE TOP 1/2 - 2 INCHES OF SOIL WITH A DISK SET STRAIGHT SO THAT SPRIGS ARE NOT BROUGHT BACK TOWARD THE SURFACE.

**MULCH:** DO NOT MULCH.

**MAINTENANCE:** FERTILIZE VERY SPARINGLY - 20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTPEDEGRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER.

**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
 CONSTRUCTION MANAGER  
 TELEPHONE: (336) 279-3242

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**REVISIONS**

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 WWW.CSITDESIGN.COM

892 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27603

**CLIENT:**  
 COOK OUT RESTAURANTS  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27386

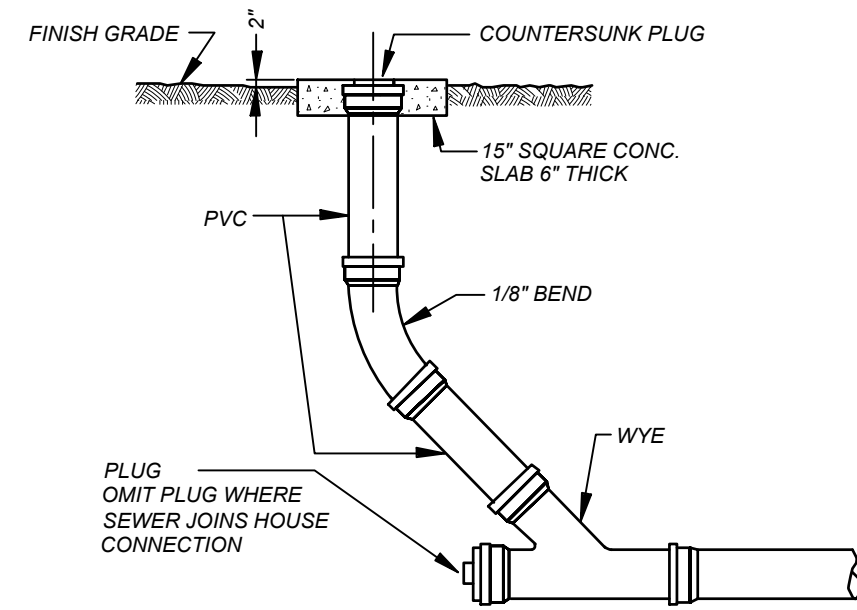
**COOKOUT FRESH HAMBURGERS**

4112 LAKE BOONE TRAIL  
 RALEIGH, NORTH CAROLINA

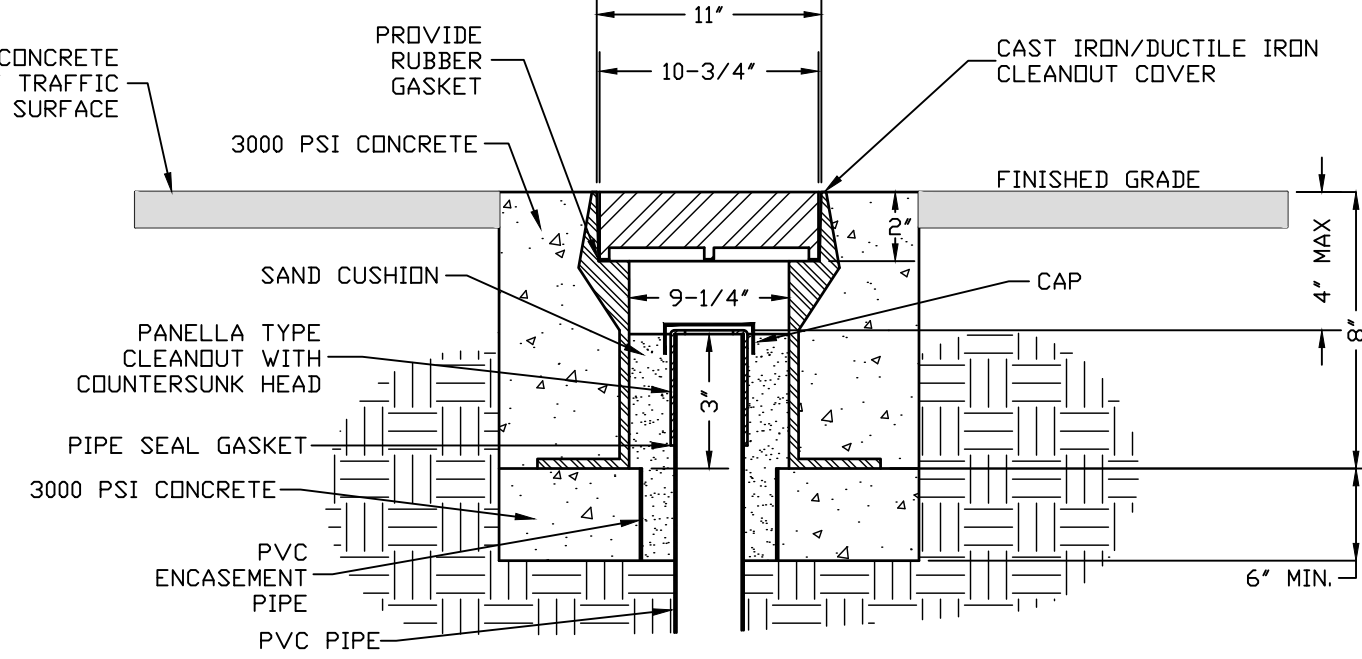
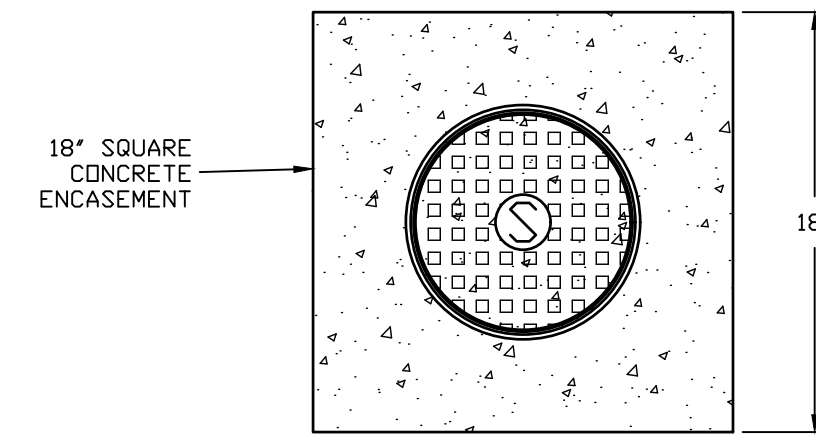
**DETAILS**

PROJECT NO. OUT-2304  
 FILENAME: OUT-2304-DTL3  
 DRAWN BY: CSD  
 SCALE: N.T.S.  
 DATE: 05-10-2023  
 SHEET NO. C-13

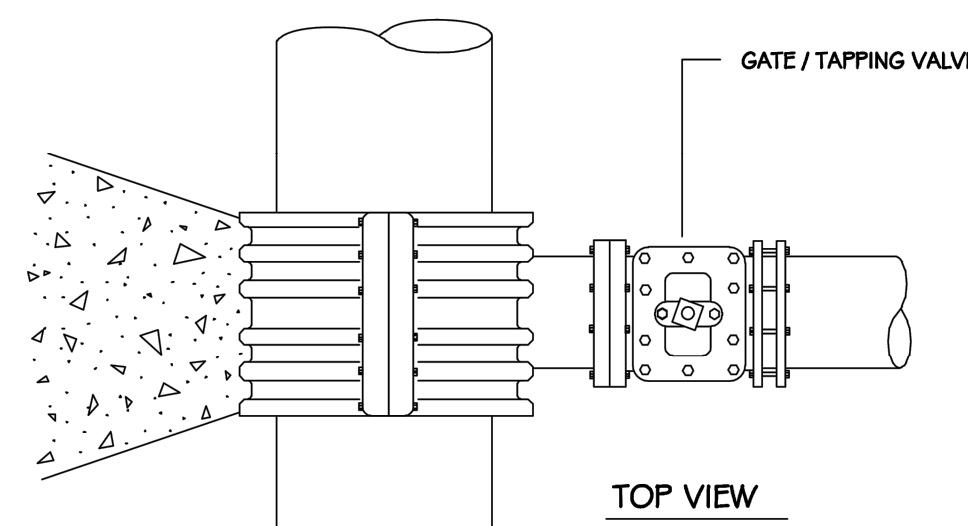




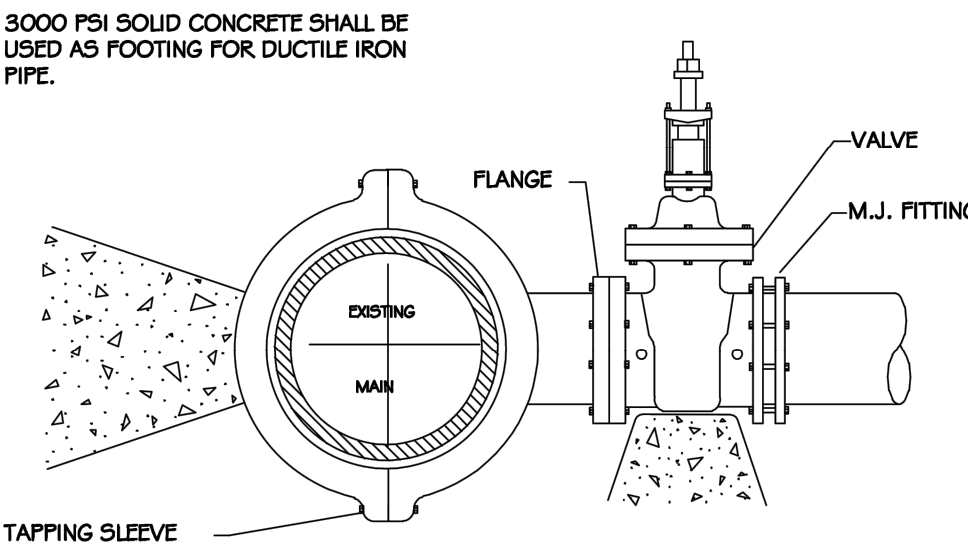
**SANITARY SEWER CLEANOUT**



**CLEANOUT COVER ASSEMBLY TRAFFIC AREA**



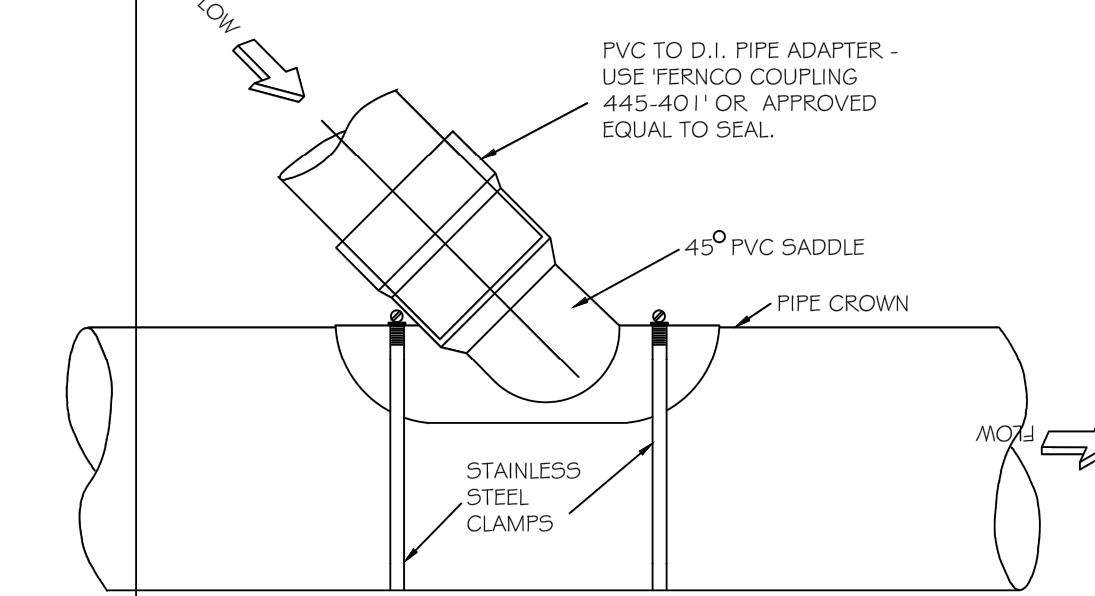
**TOP VIEW**



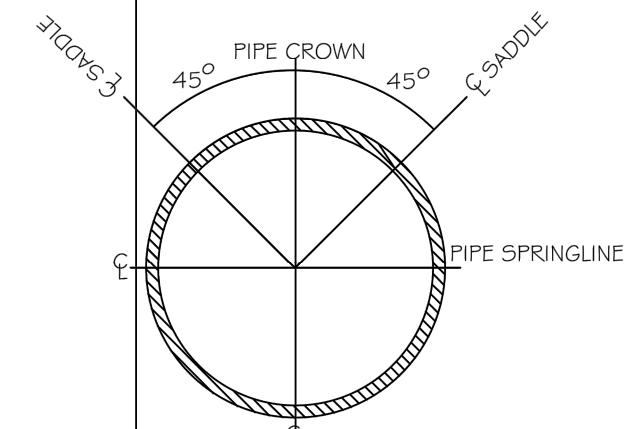
**SIDE VIEW**

**NOTES:**  
 1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.  
 2. SEE STANDARD REACTION BLOCK TABLES, R-7 AND R-8 FOR AREA OF CONCRETE REQUIRED.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
R-11	Y.C.A.	2-31-91	RRH	3-31-00
	D.W.C.	9-7-99	J.P.S.	10-19-10

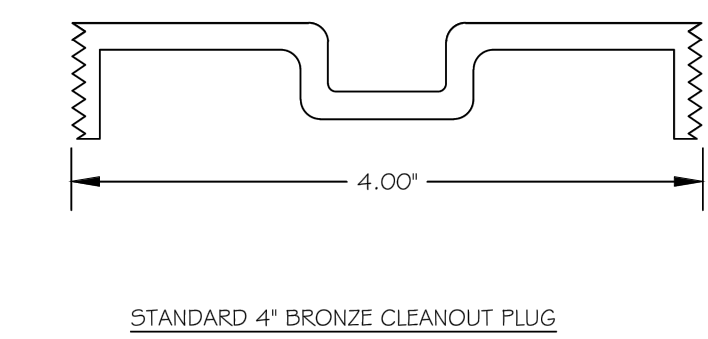


BACKFILL UNDER PVC SADDLE, ADAPTOR, AND CAST IRON BEND WITH #67 STONE AS SHOWN ON S-4.

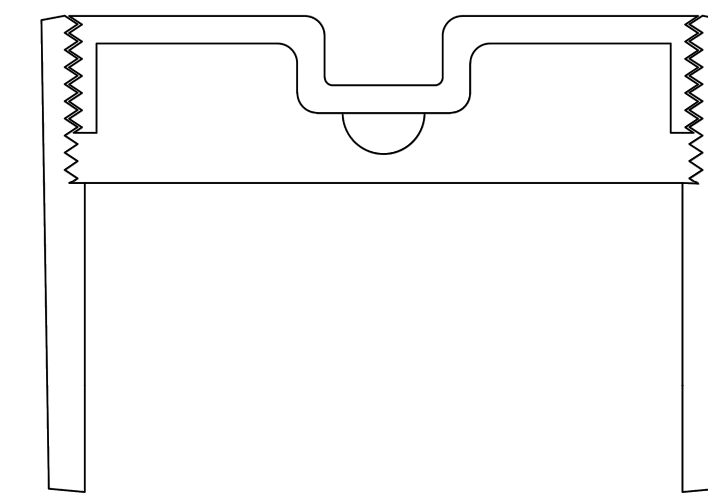


**SADDLE INSTALLATION LIMITS**

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-31	RRH	3-1-97		
		3-30-00		



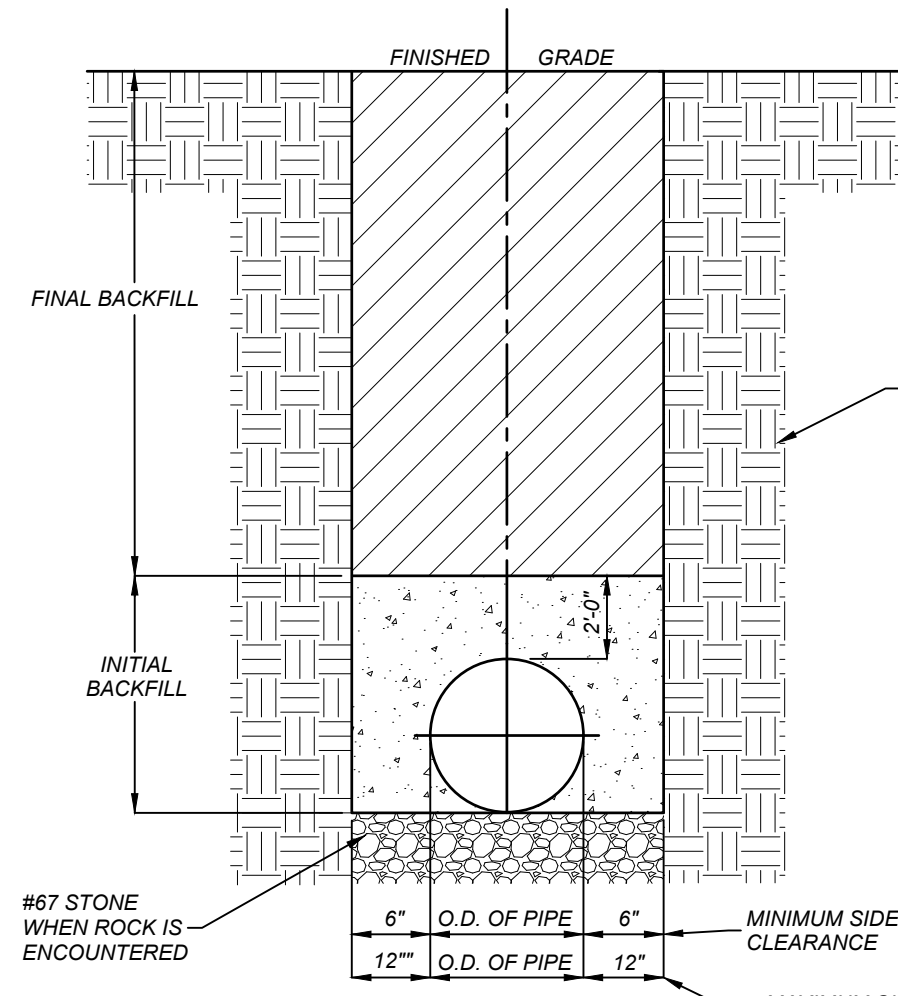
**STANDARD 4" BRONZE CLEANOUT PLUG**



**CLEANOUT FERRULE WITH PLUG**

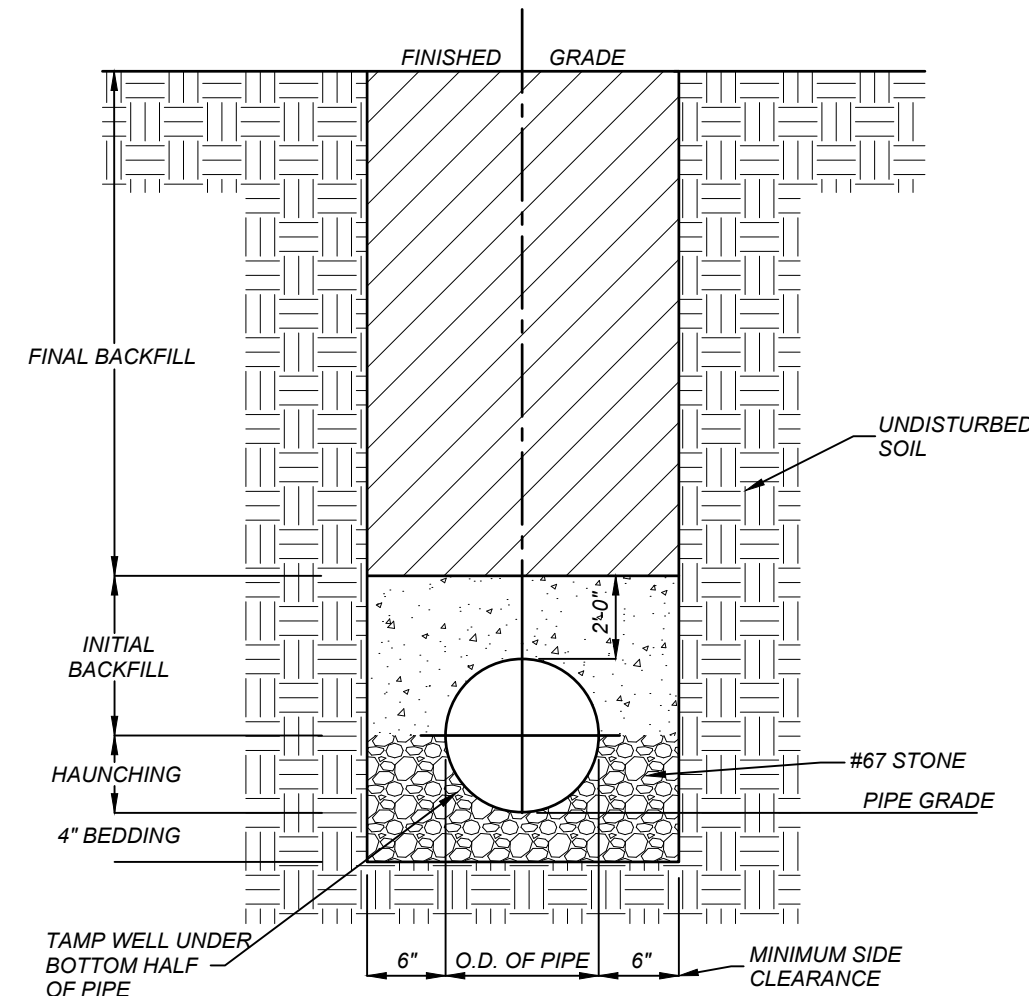
**STYLES ACCEPTED:**  
 INVERTED NUT  
 RAISED NUT

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-1-97	RRH	3-30-00
		3-27-99		



**NOTES:**  
 1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.  
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.  
 3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.  
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8"-10" IN NON-TRAFFIC AREAS.  
 5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.  
 6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL IS REQUIRED.  
 7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED.

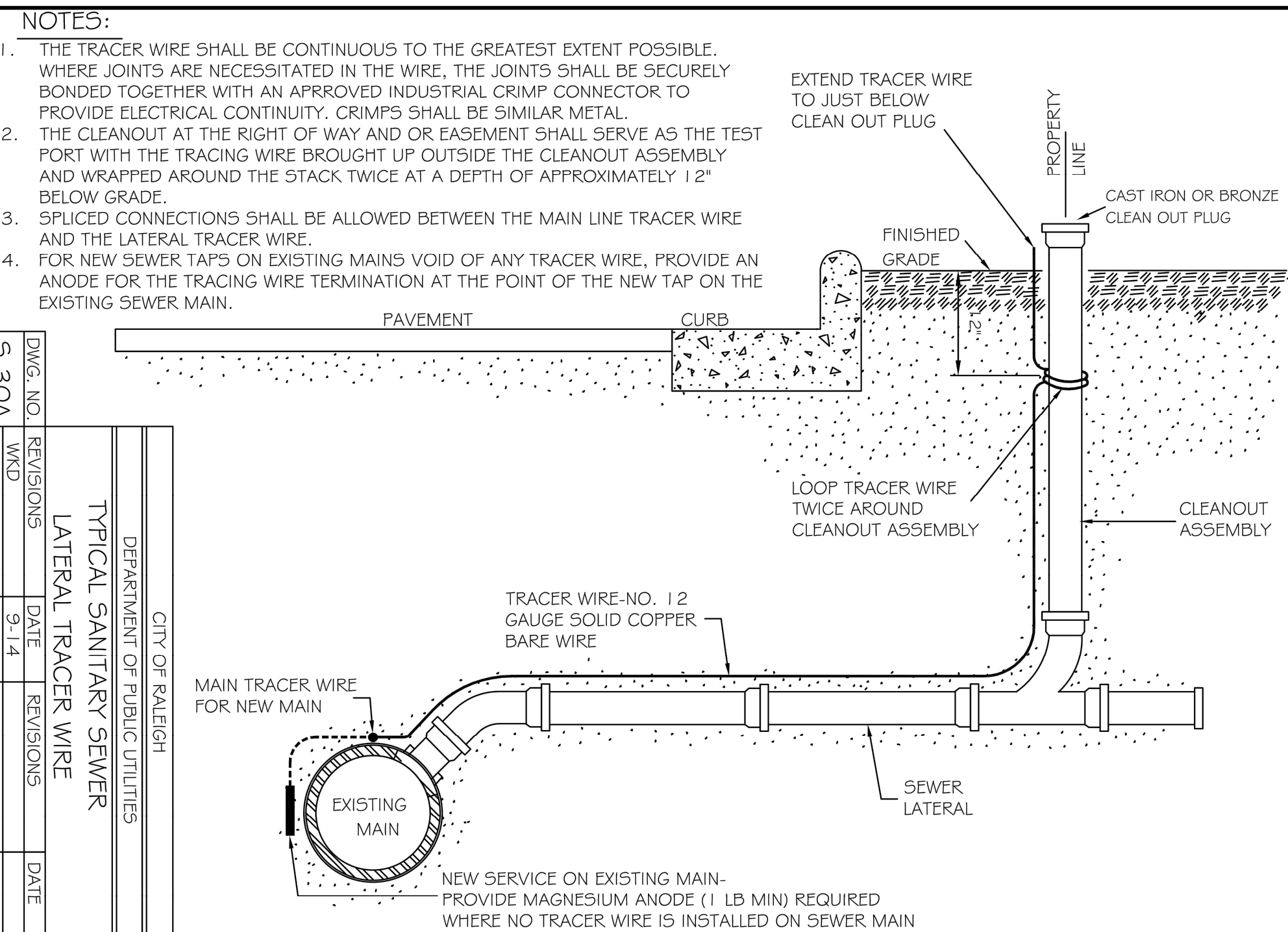
**TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE**



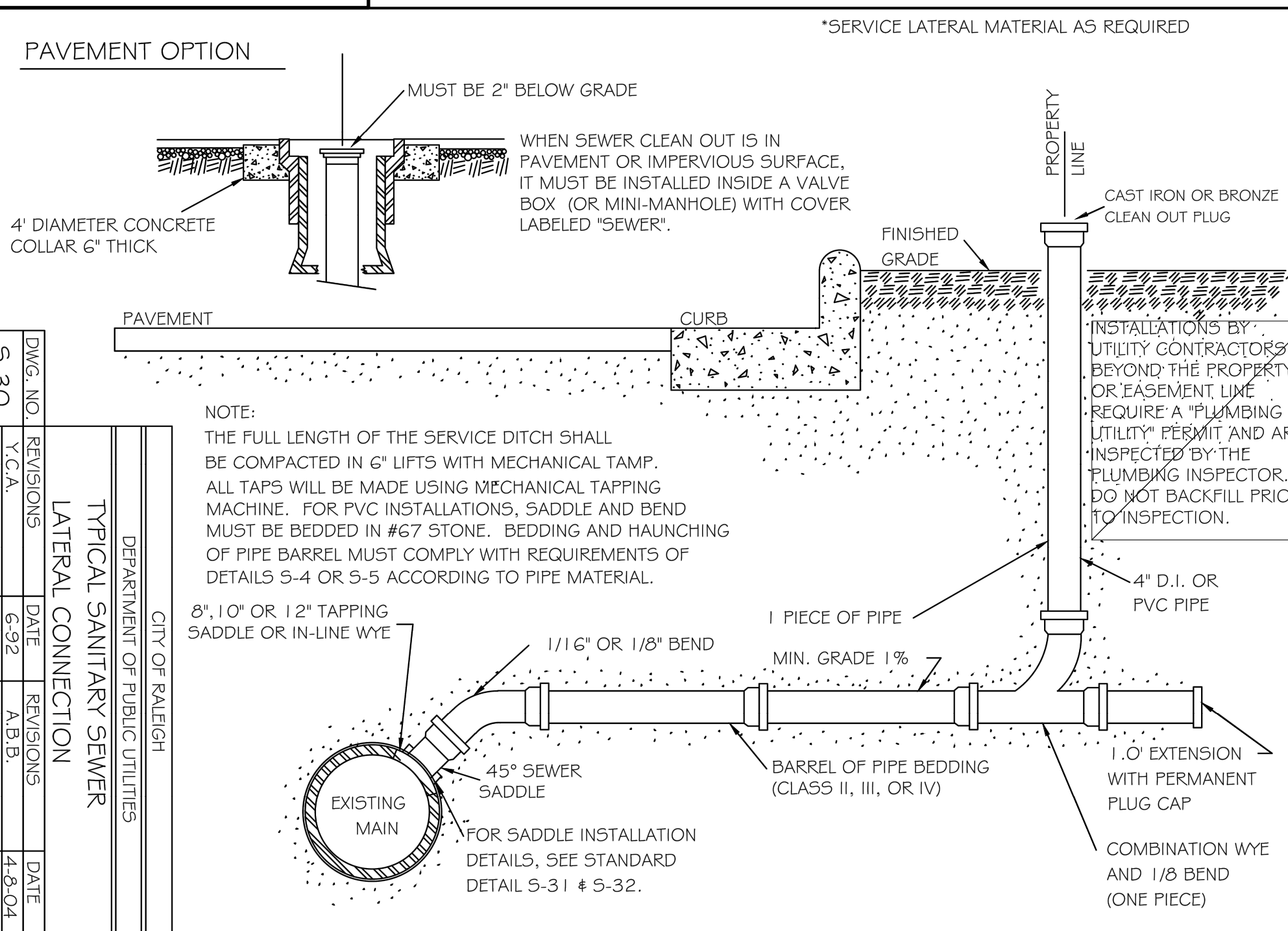
**NOTES:**  
 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE FACE OF THE SHORING AND BRACING.  
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.  
 3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.  
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8"-10" IN NON-TRAFFIC AREAS.

**TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN**

**TRENCH DETAILS**

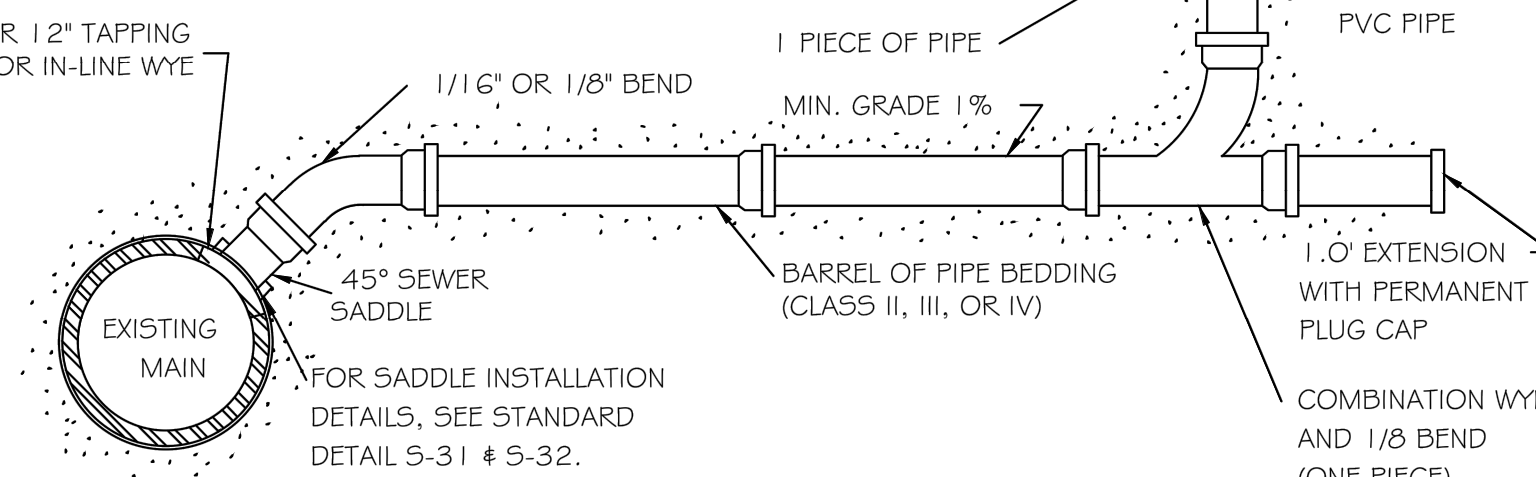


CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL TRACER WIRE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30A	Y.C.A.	9-14		
	RRH	3-30-00		



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A.	6-29-97	RRH	4-8-04
	D.W.C.	3-30-00	D.H.L.	6-16-06

**NOTE:**  
 THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6" LIFTS WITH MECHANICAL TAMP. ALL TAPS WILL BE MADE USING MECHANICAL TAPPING MACHINE. FOR PVC INSTALLATIONS, SADDLE AND BEND MUST BE BEDDED IN #67 STONE. BEDDING AND HAUNCHING OF PIPE BARREL MUST COMPLY WITH REQUIREMENTS OF DETAILS S-4 OR S-5 ACCORDING TO PIPE MATERIAL.



NO.	DATE	DESCRIPTION	BY

**COMMERCIAL SITE DESIGN**  
 A Sambatek Company  
 (919) 848-6741 FAX: (919) 848-5741  
 WWW.CSITDESIGN.COM

8912 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27613

**CLIENT:**  
 COOK OUT RESTAURANTS  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27380

**PROJECT NO:** OUT-2304  
**FILENAME:** OUT-2304-DTL4  
**DRAWN BY:** CSD  
**SCALE:** N.T.S.  
**DATE:** 05-10-2023  
**SHEET NO.:** C-14

**COOKOUT FRESH HAMBURGERS**  
 4112 LAKE BOONE TRAIL  
 RALEIGH, NORTH CAROLINA

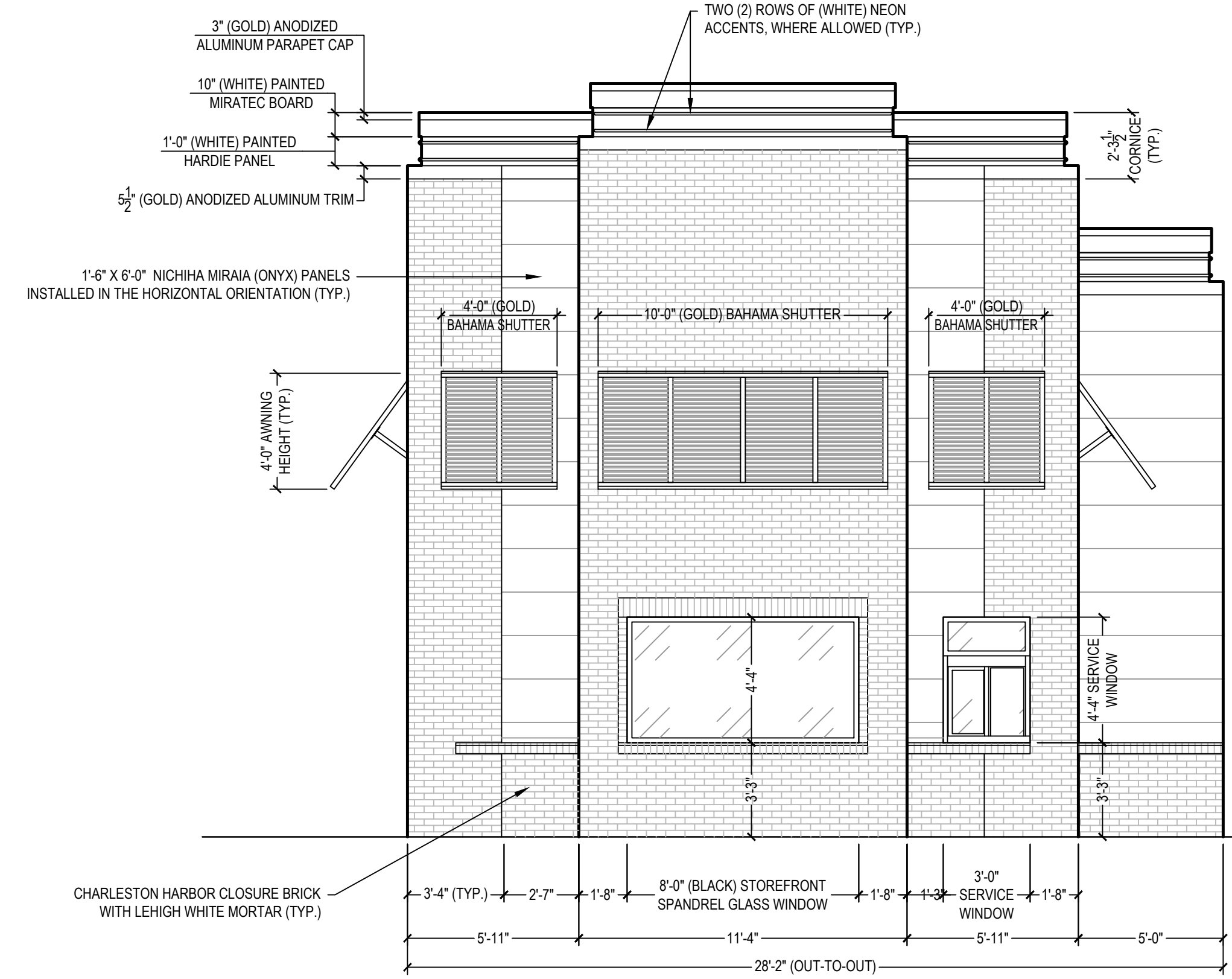
**DETAILS**

**Know what's below.  
 Call before you dig.**  
 nc811.org or 1-800-632-4949

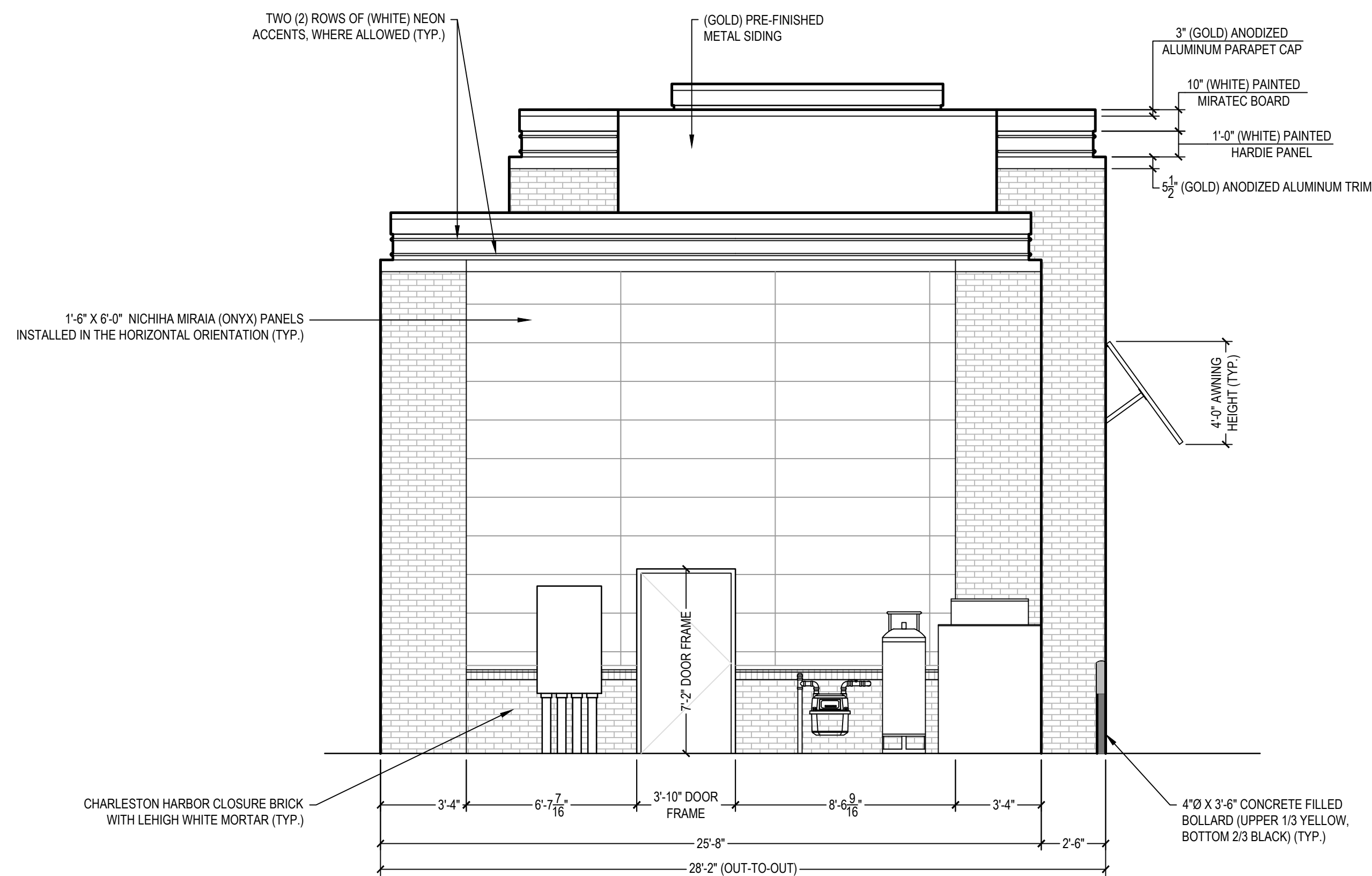
**24 HOUR CONTACT  
 JOHN ARMFIELD  
 CONSTRUCTION MANAGER  
 TELEPHONE: (336) 279-3242**

X:\OUT - Cookout\2304 - Raleigh @ Lake Boone Trail\CAD\OUT\2304-DTL4.dwg 5/19/2023 3:22:41 PM Long





**1 FRONT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 REAR EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH DESIGNATIONS**

**STONE VENEER SPECIFICATION:**  
 MANUFACTURER: SCOTT STONE, INC.  
 STONE SERIES: FDL CAMBRIAN BLEND (80/20) NTV  
 MORTAR COLOR: BRIXMENT (TYPE S)  
 WATERTABLE / SILL: TN BLUE/GRAY

**BRICK VENEER SPECIFICATION:**  
 MANUFACTURER: STATESVILLE BRICK CO.  
 BRICK SERIES: CHARLESTON HARBOR CLOSURE  
 BRICK AUTHENTIC TUMBLED SERIES  
 MORTAR COLOR: LEHIGH WHITE (TYPE S)

**NICHIHA ARCHITECTURAL WALL PANEL SPECIFICATION:**  
 PANEL SERIES: MIRIA  
 FINISH / COLOR: HIGH-GLOSS / ONYX  
 PANEL ORIENTATION: HORIZONTAL  
 MATERIAL TYPE: FIBER CEMENT

**PAINT COLOR DESIGNATIONS**

PLAN COLOR: BLACK  
 MANUFACTURER: SHERWIN-WILLIAMS  
 PRODUCT NUMBER: SW 6990  
 PRODUCT NAME: CAVIAR  
 PAINT FINISH: FLAT

PLAN COLOR: WHITE  
 MANUFACTURER: SHERWIN-WILLIAMS  
 PRODUCT NUMBER: SW 7070  
 PRODUCT NAME: SITE WHITE  
 PAINT FINISH: FLAT

PLAN COLOR: GOLD  
 MANUFACTURER: OWNER TO SPECIFY  
 COLOR MATCH W/ FOLIO GOLD  
 PRODUCT NAME: WAKE FOREST OLD GOLD  
 PAINT FINISH: FLAT

**PRODUCT CONTACT INFORMATION**

**NICHIHA:**  
 CONTACT NAME: MATT STEPHENSON  
 EMAIL ADDRESS: MSTEPHENSON@NICHIHA.COM  
 PHONE NUMBER: 770.789.8228  
 WEBSITE: WWW.NICHIHA.COM

**SCOTT STONE, INC.:**  
 CONTACT NAME: RANDY CLAYTON  
 EMAIL ADDRESS: RANDY.CLAYTON@SCOTTSTONE.COM  
 PHONE NUMBER: 919.563.3469  
 WEBSITE: WWW.SCOTTSTONE.COM

**STATESVILLE BRICK CO.:**  
 CONTACT NAME: SCOTT RANKIN  
 EMAIL ADDRESS: BRICKSALES@STATESVILLEBRICK.COM  
 PHONE NUMBER: 704.872.4123  
 WEBSITE: WWW.STATESVILLEBRICK.COM

**GENERAL NOTES**

- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
- GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DAILY DURING PROJECT DURATION.
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**PRELIMINARY FOR REVIEW ONLY**

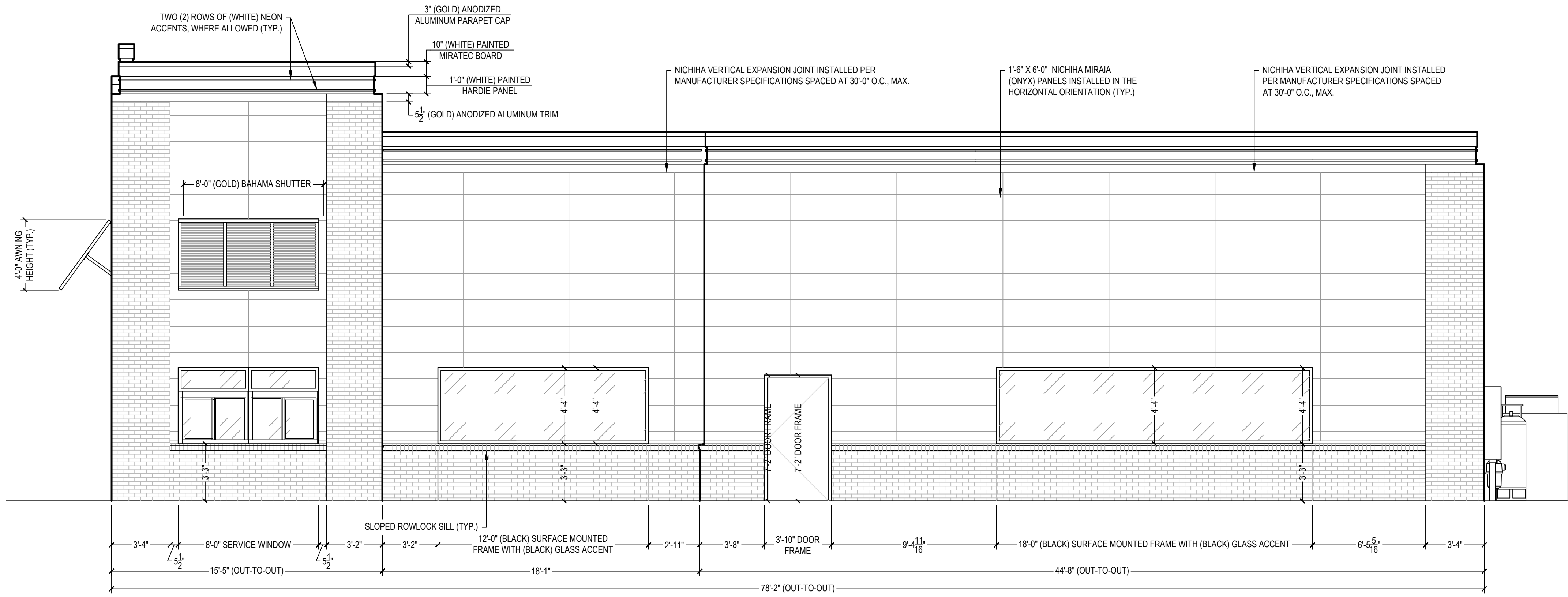
**BRIAN LATHROP, ARCHITECT**  
 Healthcare Architecture Planning Project Analysis Interiors  
 2 Flower Hill Ln Palm Coast, FL 32137 (770) 993-7300  
 This drawing and all prints of it are the property of Brian Lathrop, Architect. Prints are to be returned upon completion of use for which they were issued. Reproductions of this drawing without written consent is not permitted and Brian Lathrop, Architect retains all common law, statutory and other reserved rights including its copyright therein.

REV. NO.	DATE	DESCRIPTION
0	05.18.2023	PLANS FOR REVIEW

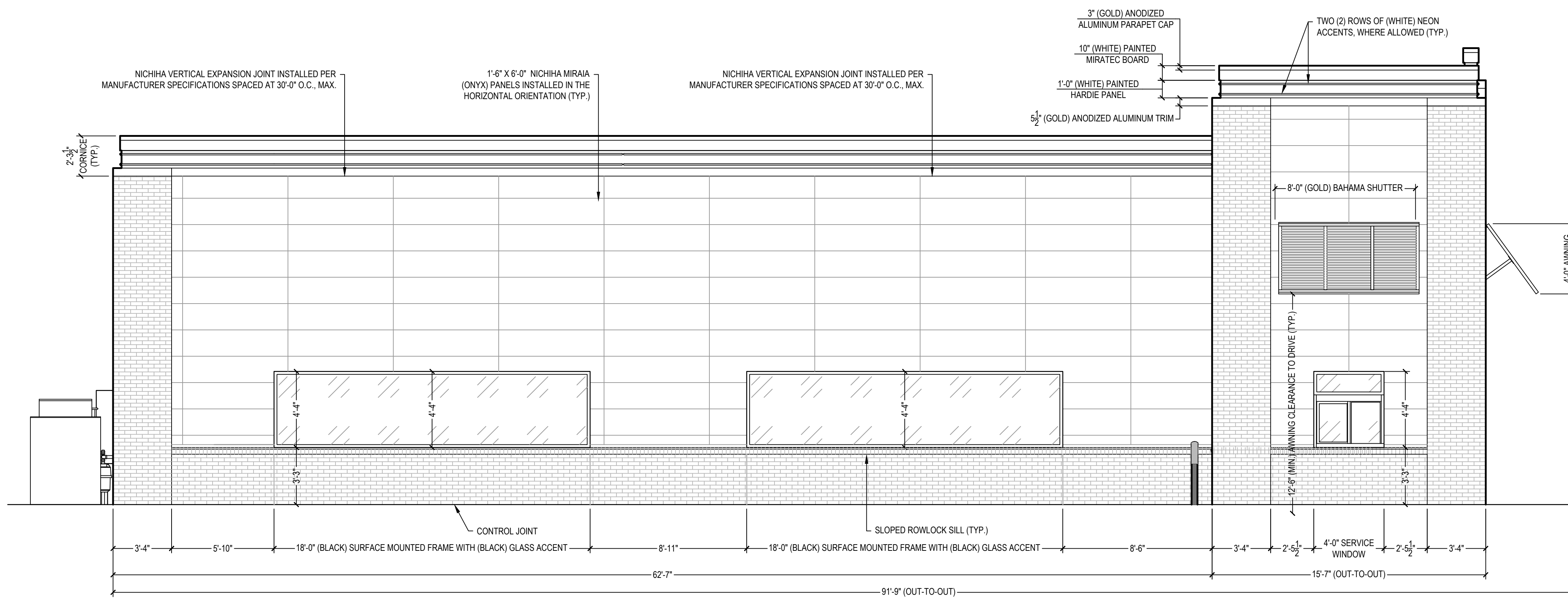
**CIVIL ENGINEERING**  
 201 W. MAIN ST. SUITE 200  
 ASHEBORO, NC 27204 (336) 328-6902  
**STRUCTURAL ENGINEERING**  
 P.O. BOX 969  
 SUMMEY ENGINEERING ASSOCIATES, PLLC  
 ASHEBORO, NC 27204 (336) 328-6902  
**MECHANICAL ENGINEERING**  
 P.O. BOX 969  
 SUMMEY ENGINEERING ASSOCIATES, PLLC  
 ASHEBORO, NC 27204 (336) 328-6902

**BUILDING PLANS FOR**  
**COOK OUT RESTAURANT**  
 4112 LAKE BOONE TRAIL  
 WAKE COUNTY - RALEIGH - NORTH CAROLINA

JOB NO. E-8721  
 DRAWN OM  
 CHECKED BRL  
 DATE 05.18.2023  
 TITLE EXTERIOR ELEVATIONS  
 SHEET NO. **A2.1**



**1 RIGHT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 LEFT EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH DESIGNATIONS**

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 MORTAR COLOR: BRICKMENT (TYPE S)  
 WATERTABLE / SILL: TN BLUE/GRAY

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**PRODUCT NUMBER:** SW 6990  
**PRODUCT NAME:** CAVIAR  
**PAINT FINISH:** FLAT

**PLAN COLOR:** WHITE  
**MANUFACTURER:** SHERWIN-WILLIAMS  
**PRODUCT NUMBER:** SW 7070  
**PRODUCT NAME:** SITE WHITE  
**PAINT FINISH:** FLAT

**PLAN COLOR:** GOLD  
**OWNER TO SPECIFY**  
**PRODUCT NUMBER:** COLOR MATCH WF OLD GOLD  
**PRODUCT NAME:** WAKE FOREST OLD GOLD  
**PAINT FINISH:** FLAT

**PRODUCT CONTACT INFORMATION**

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**PRELIMINARY FOR REVIEW ONLY**

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 Healthcare Architecture Planning Project Analysis Interiors  
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REV. NO.	DATE	DESCRIPTION
0	05.18.2023	PLANS FOR REVIEW

STAMP

**CIVIL ENGINEERING ASSOCIATES, PLLC**  
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 ASHEBORO, NC 27204 (336) 328-6902

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**SUMMEY ENGINEERING ASSOCIATES, PLLC**  
 P.O. BOX 968  
 ASHEBORO, NC 27204 (336) 328-6902

**BUILDING PLANS FOR**  
**COOK OUT RESTAURANT**  
 4112 LAKE BOONE TRAIL  
 WAKE COUNTY - RALEIGH - NORTH CAROLINA

KEY PLAN

JOB NO: E-8721  
 DRAWN: OM  
 CHECKED: BRL  
 DATE: 05.18.2023  
 TITLE: EXTERIOR ELEVATIONS  
 SHEET NO: **A2.2**