

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s): Lambert Development South Street LLC; Lambert Development South Street II LLC; 716 S Saunders LLC

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions): _____

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): RX-4-UL-CU (0.91 AC); RX-7-UL-CU (0.82 AC); RX-7-UL-CU (0.36 AC)	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Amber Mason</i>	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

VICINITY MAP



ADMINISTRATIVE SITE REVIEW FOR WEST SOUTH STREET ASR-XXXX-2024

611 WEST SOUTH STREET | RALEIGH, NC 27601 | WAKE

FIRST SUBMITTAL: JUNE 13, 2024

EXISTING PARCEL DATA

Table with 4 columns: PIN, OWNER, ADDRESS, ZONING. Lists existing parcels and their details.

SITE DATA TABLE

Table with 2 columns: RALEIGH PROJECT NUMBER, SITE AREA, WATERSHED, EXISTING ZONING, etc. Lists project details and site characteristics.

Administrative Site Review Application form. Includes sections for Planning and Development, Site Plan Tier, Building and Development Type, and General Information.

DEVELOPMENT TYPE + SITE DATA TABLE. Includes sections for SITE DATA, BUILDING DATA, STORMWATER INFORMATION, and RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS.

APPLICANT SIGNATURE BLOCK. Includes fields for signature, printed name, and date, along with explanatory text regarding the application process.

FIRE DEPARTMENT NOTES and SOLID WASTE INSPECTION STATEMENT. Lists requirements for fire department access and solid waste collection.

Sheet List Table

Table with 2 columns: Sheet Number, Sheet Title. Lists sheets from C0.00 COVER to ASR222 BUILDING B ELEVATIONS.

ZONING CONDITIONS

Zoning conditions table for 611 West South St and 718 S Saunders St. Includes sections for 25-22 and 25-24 zoning districts with specific conditions.

TRAFFIC CONTROL AND PEDESTRIAN PLAN NOTES

- List of traffic control and pedestrian plan notes, including requirements for MUTCD, PROWAG, ADA standards, and public sidewalks.

CONTACT LIST:

Contact list table with columns for Role (Engineer, Architect, Developer), Name, and Contact Information.

PREPARED BY:

WithersRavenel logo and contact information: 137 S Wilmington Street | Suite 200 | Raleigh, NC 27601

DEVELOPER:

BLUE HERON ASSET MANAGEMENT

111 HAYNES STREET, SUITE 203 RALEIGH, NC 27604 PHONE #: 9194898656 ATTENTION: PATRICK WADE



ADMINISTRATIVE SITE REVIEW FOR WEST SOUTH STREET ASR-XXXX-2024

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.
2. WORK ON THIS PROJECT SHALL CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, MUNICIPAL STANDARDS AND SPECIFICATIONS, ANY GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS.
3. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT ARE IN OR ADJACENT TO THE PROJECT SITE.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS, INCLUDING BUT NOT LIMITED TO SIGNS, ROADWAYS, PATHS, STRUCTURES, ELECTRICAL, COMMUNICATION, AND OTHER DRY UTILITIES, WET UTILITIES (SEWER, WATER, STORM SEWER), NATURAL VEGETATION, AND OTHER EXISTING PROPERTY ITEMS.
7. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES.
8. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND/OR AS FURTHER DIRECTED BY THE TOWN AND NCDOT.
9. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN SUITABLE BARRIERS, FENCES, SIGNS, FLAGMEN, WATCHMEN, AND OTHER ADEQUATE PROTECTION AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC AND THOSE ENGAGED IN THE CONSTRUCTION WORK.
10. THE CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC AND SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
11. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE AND IF APPLICABLE AT AN APPROVED DISPOSAL FACILITY.
12. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
13. PROPERTY BOUNDARY SHOWN AS PROVIDED BY WITHERSRAVENEL, INC.
14. TOPOGRAPHIC SURVEY SHOWN AS PROVIDED BY WITHERSRAVENEL, INC. AND NCLDAR.
15. WETLAND AND STREAM INFORMATION PROVIDED BY WITHERSRAVENEL.
16. TREE SURVEY INFORMATION PROVIDED BY WITHERSRAVENEL.
17. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACE & NCDENR-DWQ.
18. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY CORPS OF ENGINEERS AND NCDENR-DWQ.
19. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER.
20. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS.
21. ALL ACCESSIBLE RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO CURRENT ADA REQUIREMENTS AND THE LATEST EDITION OF THE NORTH CAROLINA BUILDING CODE.
22. TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE PARKING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS.

GRADING NOTES:

- 1. REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
4. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROCKS, BOULDERS, OR ANY OTHER NON COMPATIBLE SOIL TYPE MATERIAL.
5. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT.
6. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT.
7. ALL DEMOLITION DEBRIS AND OTHER EXCESS MATERIAL SHALL BE HAULED OFF-SITE.
8. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.
9. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS ENCOUNTERED.
11. CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
12. ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT ADA REQUIREMENTS.
13. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER.
14. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS.
15. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACE & NCDENR-DWQ.
16. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY CORPS OF ENGINEERS AND NCDENR-DWQ.
17. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER.
18. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND WIRE UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.
19. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10" SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES.
20. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS.
21. ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
22. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
23. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB.
24. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
25. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT.

GENERAL LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN.
2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTINGS, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS.
5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
6. PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670.
7. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
8. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR.
9. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC.
10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
11. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER.
12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
13. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES.
14. FINISH OFF 3'-4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
15. MIXED GROUND COVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO PROVIDE GENERAL MIXING OF SPECIES.
16. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION.
17. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
18. ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES.
19. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY.
20. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
21. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED.
22. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
23. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR.
24. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC.
25. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT.

TREE PROTECTION NOTES:

- 1. ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH 6" TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP.
2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARCHITECT.
WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY AN ENVIRONMENTAL INSPECTOR.

ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.

- 3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARCHITECT.
6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARCHITECT FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
7. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.
8. UTILITIES NOTES:
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.
10. EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
11. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
12. MINIMUM TRENCH WIDTH AT THE TOP OF THE PIPE SHALL BE 18" GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE.
13. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTOR OF SERVICE.
14. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
15. ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL BE PROTECTED BY BOLLARDS.
16. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
17. THE LOCATIONS OF EXISTING STORM SEWER STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE.
18. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES.
19. CONTRACTOR SHALL CLEAR AND GRUB ALL UTILITY EASEMENTS, AS DIRECTED BY THE OWNER, TO INSTALL NEW UTILITIES.
20. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL NECESSARY EROSION CONTROL MEASURES WHETHER OR NOT SHOWN ON THE PLANS TO PROTECT ADJACENT CREEKS, RIVERS, ROADWAYS, ETC. FROM SILTATION AND EROSION.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK.
22. THE CONTRACTOR SHALL SUPPORT ALL UTILITY POLES AS NECESSARY.
23. NOTIFY THE STATE OF NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (RO LQS AT (919) 791-4200 OF CONSTRUCTION COMMENCEMENT AND SCHEDULE PRE-CONSTRUCTION CONFERENCE.
24. INSTALL CONSTRUCTION ENTRANCES, SILT FENCE, STONE DRAINS, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN.
25. BEGIN LIMITED CLEARING AND GRUBBING ACTIVITIES AS DIRECTED BY THE ENGINEER.
26. BACKFILL AND ESTABLISH FINISHED GRADE IMMEDIATELY AFTER PIPES HAVE BEEN INSTALLED.
27. CONTRACTOR TO CONDUCT A WEEKLY SITE INSPECTION AND AFTER EACH RAINFALL EVENT TO DETERMINE WHICH AREAS CAN BE TEMPORARILY OR PERMANENTLY SEEDED, WHICH DEVICES NEED MAINTENANCE, REPAIR, ETC., AND TO ENSURE THAT THE EROSION CONTROL MEASURES ARE PERFORMING ADEQUATELY.
28. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE WITH VEGETATION OR STONE BASE.
29. CONTRACTOR TO CONDUCT A WEEKLY SITE INSPECTION AND AFTER EACH RAINFALL EVENT TO DETERMINE WHICH AREAS CAN BE TEMPORARILY OR PERMANENTLY SEEDED, WHICH DEVICES NEED MAINTENANCE, REPAIR, ETC., AND TO ENSURE THAT THE EROSION CONTROL MEASURES ARE PERFORMING ADEQUATELY.
30. REMOVE STOCKPILES AND MATERIALS AND DECOMMISSION STAGING AND LANDYOT AREAS.
31. SEED, FERTILIZE, AND MULCH ALL DISTURBED AREAS, INCLUDING ALL STORAGE, STAGING, AND OFF-SITE STAGING, IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH ON THE PLANS.
32. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, CALL FOR AN INSPECTION BY AN ENVIRONMENTAL INSPECTOR.
33. IF SITE IS APPROVED, REMOVE ANY TEMPORARY DIVERSIONS, SILT FENCES, SEDIMENT TRAPS, ETC., AND RE-GRADE AND SEED OR STABILIZE ANY RESULTING BARE AREAS.

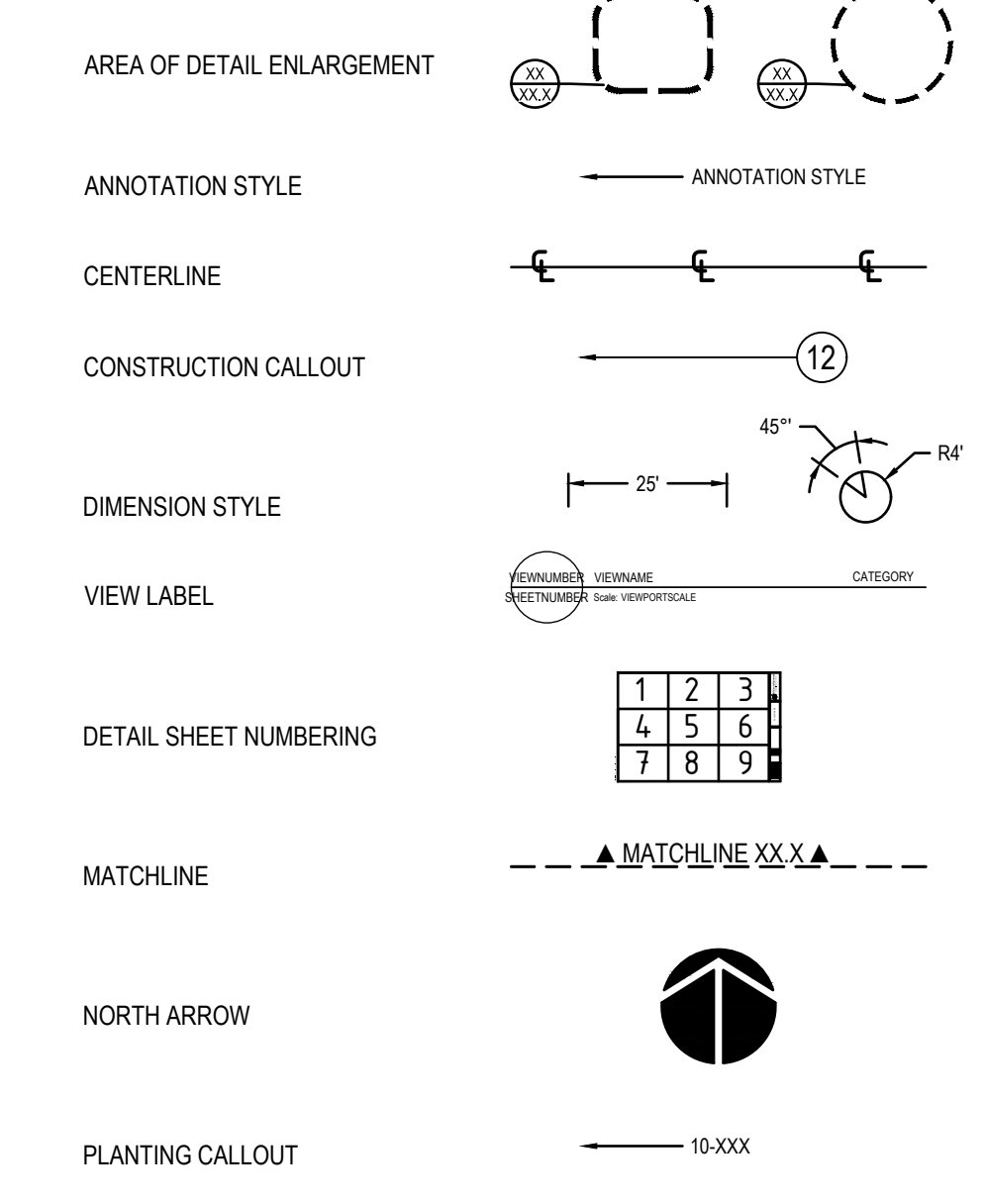
WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY AN ENVIRONMENTAL INSPECTOR. OBTAIN CERTIFICATE OF COMPLETION.

LEGEND

(UNLESS OTHERWISE DENOTED)

Table with columns: DESCRIPTION, EXISTING, PROPOSED, DESCRIPTION, EXISTING, PROPOSED. Lists various construction items like contour intervals, property lines, easement lines, sanitary sewer facilities, storm sewer facilities, fire hydrant assembly, force main, electric, overhead electric, gas main, telephone structures, fencing structure, television pedestal, water manhole, telephone manhole, flared end section, sanitary sewer manhole, gas valve, utility manhole, electrical pedestal, sign, fiber optic marker, woods line, waterways, tree protection fence, silt fence, spot elevation, guy anchor, power pole, light pole, property iron, curb inlet, storm drain junction box, yard inlet, water meter, concrete monument, telephone pedestal, mail box, water valve, check dam, inlet protection, silt fence, silt fence outlet.

GENERAL DRAWING SYMBOLS



ABBREVIATION LIST

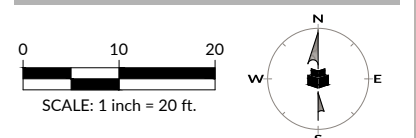
Table listing abbreviations and their meanings: APPROX - APPROXIMATE, AD - ANGLE DEVIATION, BP - BUILDING PAD ELEVATION, CMP - CORRUGATED METAL PIPE, CB - CATCH BASIN, CONC - CONCRETE, DMH - DRAIN MANHOLE, D - DELTA, DIP - DUCTILE IRON PIPE, E - EAST, ELP - ELLIPTICAL, EX OR EXIST - EXISTING, FFE - FINISHED FLOOR ELEVATION, FT - FEET, GV - GATE VALVE, HC - HANDICAPPED, HDPE - HIGH DENSITY POLYETHYLENE PIPE, HORIZ - HORIZONTAL, ID - INSIDE DIAMETER, I.D. - IDENTIFICATION, INV - INVERT, IPF - IRON PIPE FOUND, LEN - LENGTH, NCDENR - NC DEPT. OF ENVIRONMENT AND NATURAL RESOURCES, MIN - MINIMUM, NAD - NORTH AMERICAN DATUM, NAVD - NORTH AMERICAN VERTICAL DATUM, N OR NO - NORTH, NTS - NOT TO SCALE, NIC - NOT IN CONTRACT, OD - OUTSIDE DIAMETER, PI - POINT OF INTERSECTION, PT - POINT OF TANGENCY, PVC - POLY VINYL-CHLORIDE PIPE, R - RADIUS, RCP - REINFORCED CONCRETE PIPE, S - SLOPE, SO - SOUTH, SD - STORM DRAIN, SEC - SEDIMENT AND EROSION CONTROL, SS - SANITARY SEWER, SMH - SEWER MANHOLE, SWL - SINGLE WHITE LINE, STA - STATION, SP - SPACE, TBD - TO BE DETERMINED, TYP - TYPICAL, VERT - VERTICAL, W - WEST.

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ADMINISTRATIVE SITE REVIEW FOR WEST SOUTH STREET ASR-XXXX-2024

PRELIMINARY NOT APPROVED FOR CONSTRUCTION

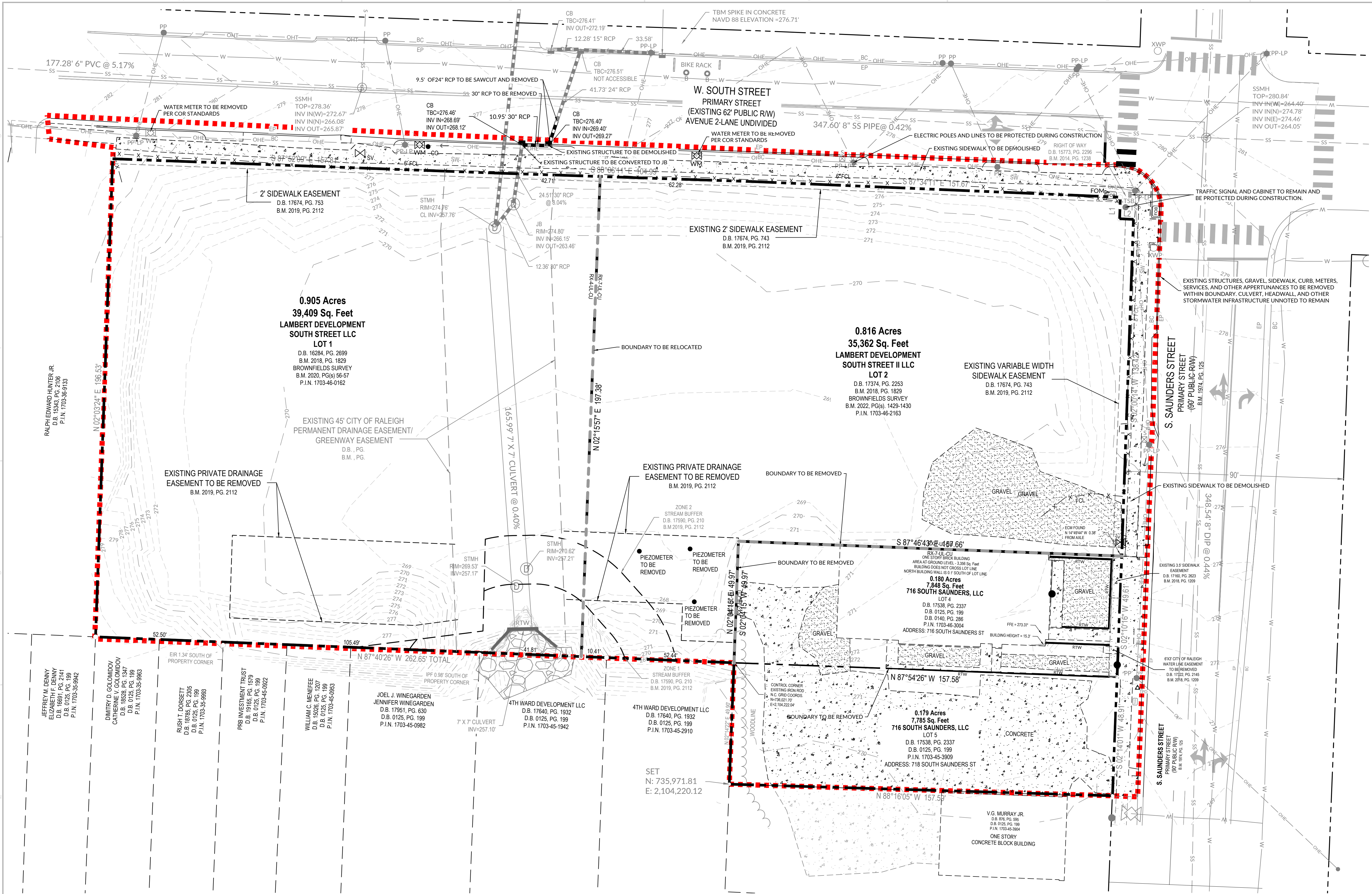


INITIAL PLAN DATE: 06/13/2024 REVISIONS:

Table with 2 columns: DRN, JOB NUMBER, VALUE. DRN: WR, DGN: WR, CKD: WR. JOB NUMBER: 23-0260.

GENERAL NOTES

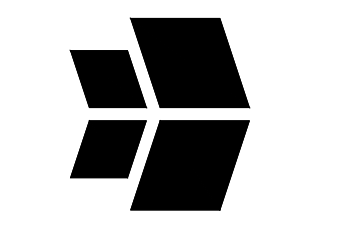
C0.01



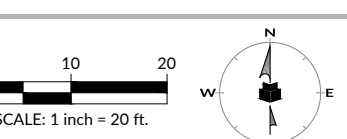
DEMOLITION NOTE

- 1. ITEMS SHOWN IN BOLD TO BE DEMOLISHED AND REMOVED FROM SITE

J:\2025\06\blue_raven\1000 - south street\CD\drawing\title\plan\CD\001\DWG\CONSTRUCTION.dwg, Thursday, June 13, 2024 11:14:14 - TCDL



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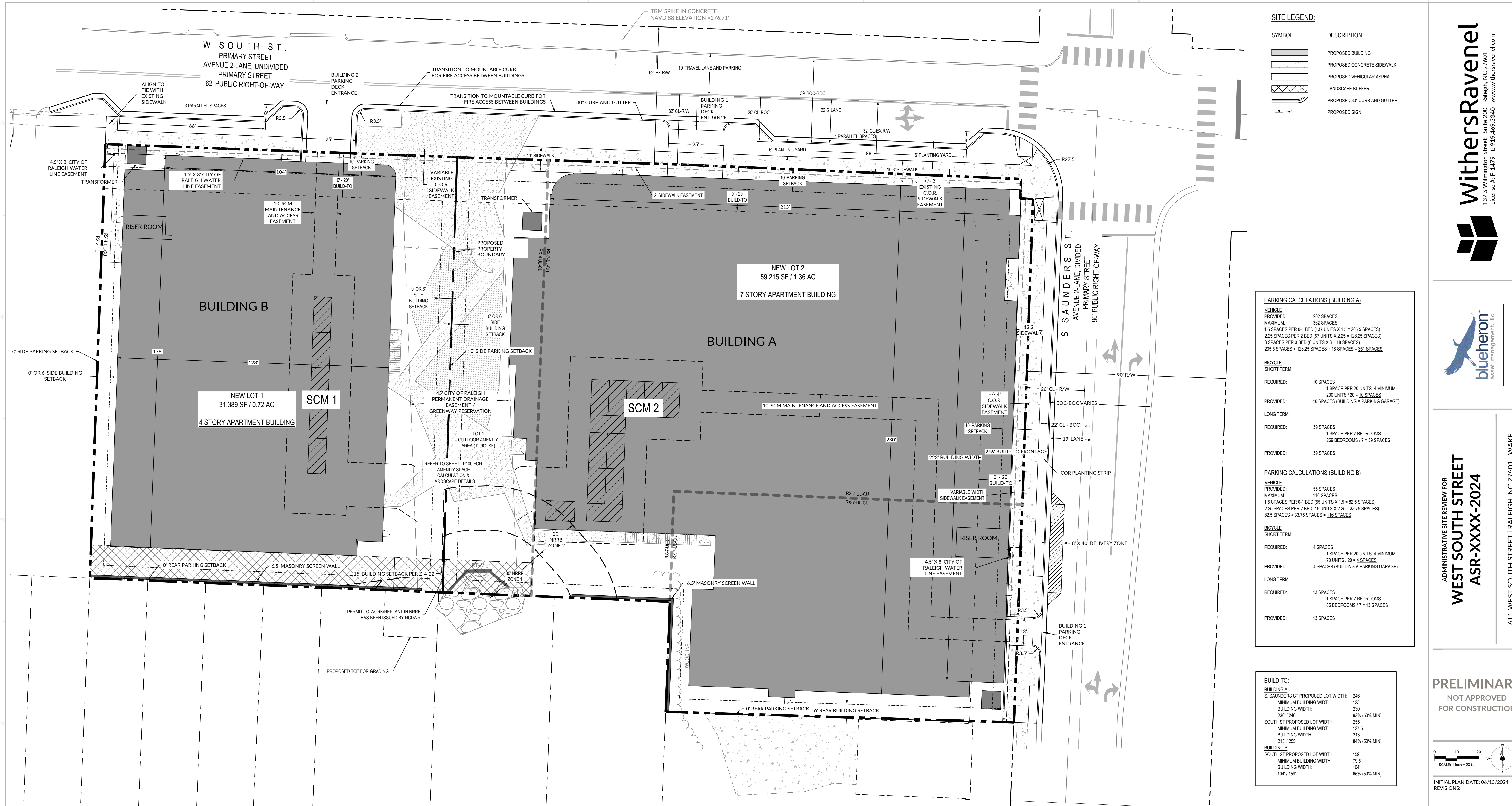


INITIAL PLAN DATE: 06/13/2024
 REVISIONS:

WR JOB NUMBER: 23-0260
 DRN: WR DGN: WR CKD: WR

**EXISTING
 CONDITIONS &
 DEMOLITION PLAN**

C1.00



SITE LEGEND:

SYMBOL	DESCRIPTION
[Solid Grey Box]	PROPOSED BUILDING
[Dashed Line]	PROPOSED CONCRETE SIDEWALK
[Hatched Box]	PROPOSED VEHICULAR ASPHALT
[Cross-hatched Box]	LANDSCAPE BUFFER
[Dashed Line with Arrow]	PROPOSED 30" CURB AND GUTTER
[Symbol with Arrow]	PROPOSED SIGN

PARKING CALCULATIONS (BUILDING A)

VEHICLE PROVIDED:	202 SPACES
MAXIMUM:	302 SPACES
1.5 SPACES PER 0.1 BED (17 UNITS X 1.5 = 25.5 SPACES)	
2.25 SPACES PER 2 BED (57 UNITS X 2.25 = 128.25 SPACES)	
3 SPACES PER 3 BED (6 UNITS X 3 = 18 SPACES)	
205.5 SPACES + 128.25 SPACES + 18 SPACES = 351.75 SPACES	
BICYCLE SHORT TERM:	
REQUIRED:	10 SPACES
PROVIDED:	10 SPACES PER 20 UNITS, 4 MINIMUM UNITS / 20 = 10 SPACES
LONG TERM:	
REQUIRED:	39 SPACES
PROVIDED:	1 SPACE PER 7 BEDROOMS, 289 BEDROOMS / 7 = 39 SPACES

PARKING CALCULATIONS (BUILDING B)

VEHICLE PROVIDED:	55 SPACES
MAXIMUM:	116 SPACES
1.5 SPACES PER 0.1 BED (55 UNITS X 1.5 = 82.5 SPACES)	
2.25 SPACES PER 2 BED (15 UNITS X 2.25 = 33.75 SPACES)	
82.5 SPACES + 33.75 SPACES = 116.25 SPACES	
BICYCLE SHORT TERM:	
REQUIRED:	4 SPACES
PROVIDED:	1 SPACE PER 20 UNITS, 4 MINIMUM UNITS / 20 = 4 SPACES
LONG TERM:	
REQUIRED:	13 SPACES
PROVIDED:	1 SPACE PER 7 BEDROOMS, 85 BEDROOMS / 7 = 13 SPACES

BUILD TO:

BUILDING A	
S. SAUNDERS ST PROPOSED LOT WIDTH:	246'
MINIMUM BUILDING WIDTH:	123'
BUILDING WIDTH:	230'
230' / 246' =	93% (50% MIN)
SOUTH ST PROPOSED LOT WIDTH:	
MINIMUM BUILDING WIDTH:	127.5'
BUILDING WIDTH:	213'
213' / 255' =	84% (50% MIN)
BUILDING B	
SOUTH ST PROPOSED LOT WIDTH:	159'
MINIMUM BUILDING WIDTH:	79.5'
BUILDING WIDTH:	104'
104' / 159' =	65% (50% MIN)

- GENERAL NOTES:**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS OR NCDOT STANDARDS SPECIFICATIONS AND DETAILS, WHICHEVER IS APPLICABLE.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
 - ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
 - ALL DIMENSIONS SHOWN ARE TO BACK TO CURB, UNLESS OTHERWISE STATED ON PLANS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER/LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND WC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 30 FEET FROM THE POINT OF TANGENCY OF THE CURBS FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRDACH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE
 - RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - WHEEL CHAIR RAMP NOTES:**
 - ALL WHEEL CHAIR RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
 - POWER POLES WHICH MAY CONFLICT WITH FIELD LOCATED WHEEL CHAIR RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.
 - WHEEL CHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH PUBLIC WORKS TRANSPORTATION STANDARD T-20.01.1, T-20.01.02, T-20.01.03, & T-20.01.06.

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ADMINISTRATIVE SITE REVIEW FOR
WEST SOUTH STREET ASR-XXXX-2024
 611 WEST SOUTH STREET | RALEIGH, NC 27601 | WAKE

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 FOR CONSTRUCTION

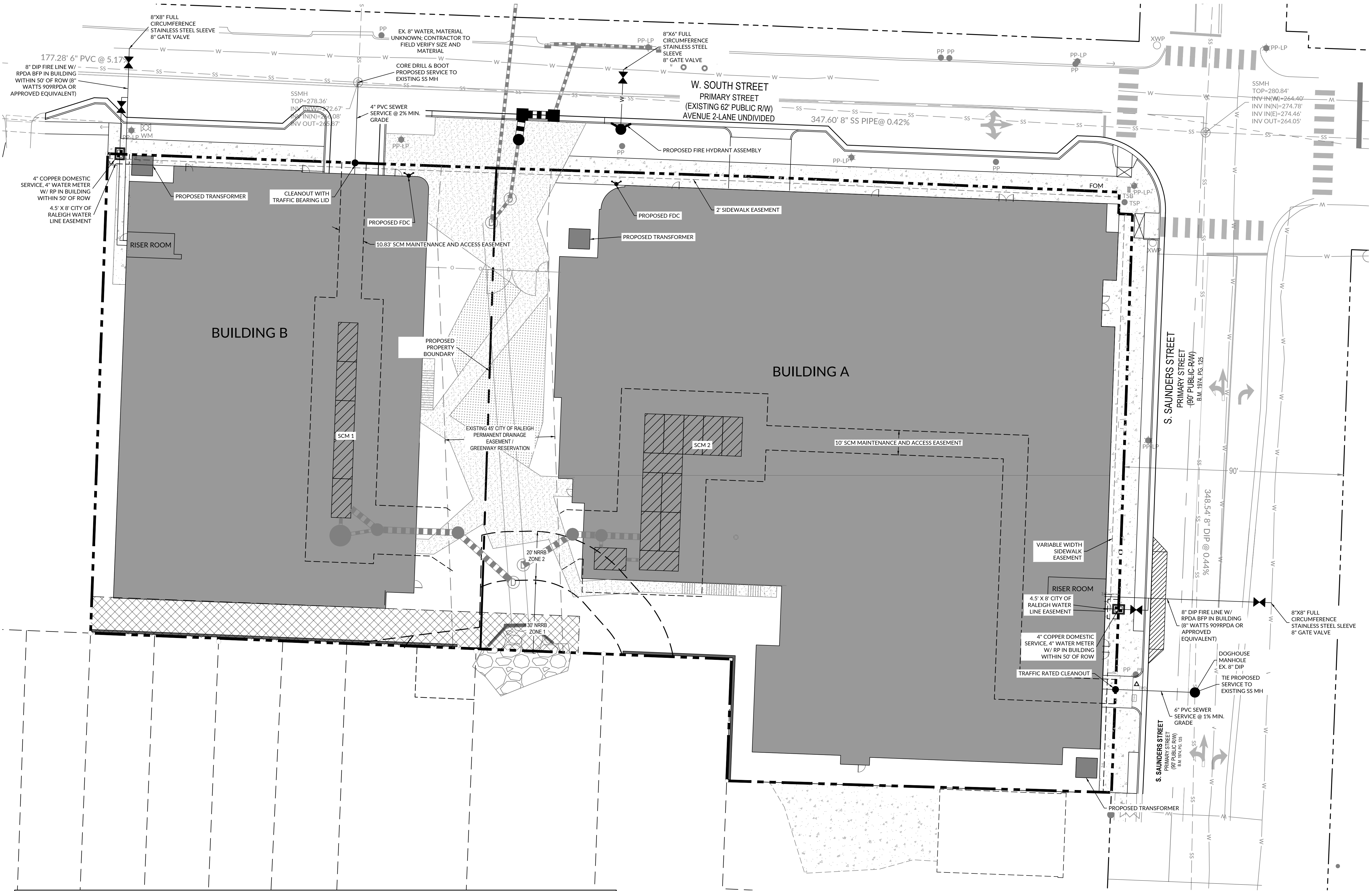
0 10 20
 SCALE: 1 inch = 20 ft

INITIAL PLAN DATE: 06/13/2024
 REVISIONS:

WR JOB NUMBER: 23-0260
 DRN: WR DGN: WR CKD: WR

SITE PLAN

C2.00



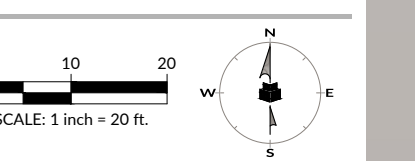
SITE LEGEND:	
SYMBOL	DESCRIPTION
[Solid Grey Box]	PROPOSED BUILDING
[Dashed Line]	PROPOSED CONCRETE SIDEWALK
[Hatched Box]	PROPOSED VEHICULAR ASPHALT
[Cross-hatched Box]	LANDSCAPE BUFFER
[Line with Dots]	PROPOSED 30" CURB AND GUTTER
[Arrow]	PROPOSED SIGN



ADMINISTRATIVE SITE REVIEW FOR
**WEST SOUTH STREET
 ASR-XXXX-2024**

611 WEST SOUTH STREET | RALEIGH, NC 27601 | WAKE

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 FOR CONSTRUCTION



INITIAL PLAN DATE: 06/13/2024
 REVISIONS:

WR JOB NUMBER: 23-0260
 DRN: WR DGN: WR CKD: WR

UTILITY PLAN

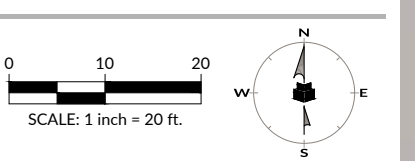
C3.00

- STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & 5-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRANSFERRING PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON
- ALL REUSE MAINS**
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 4" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 90 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
 - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

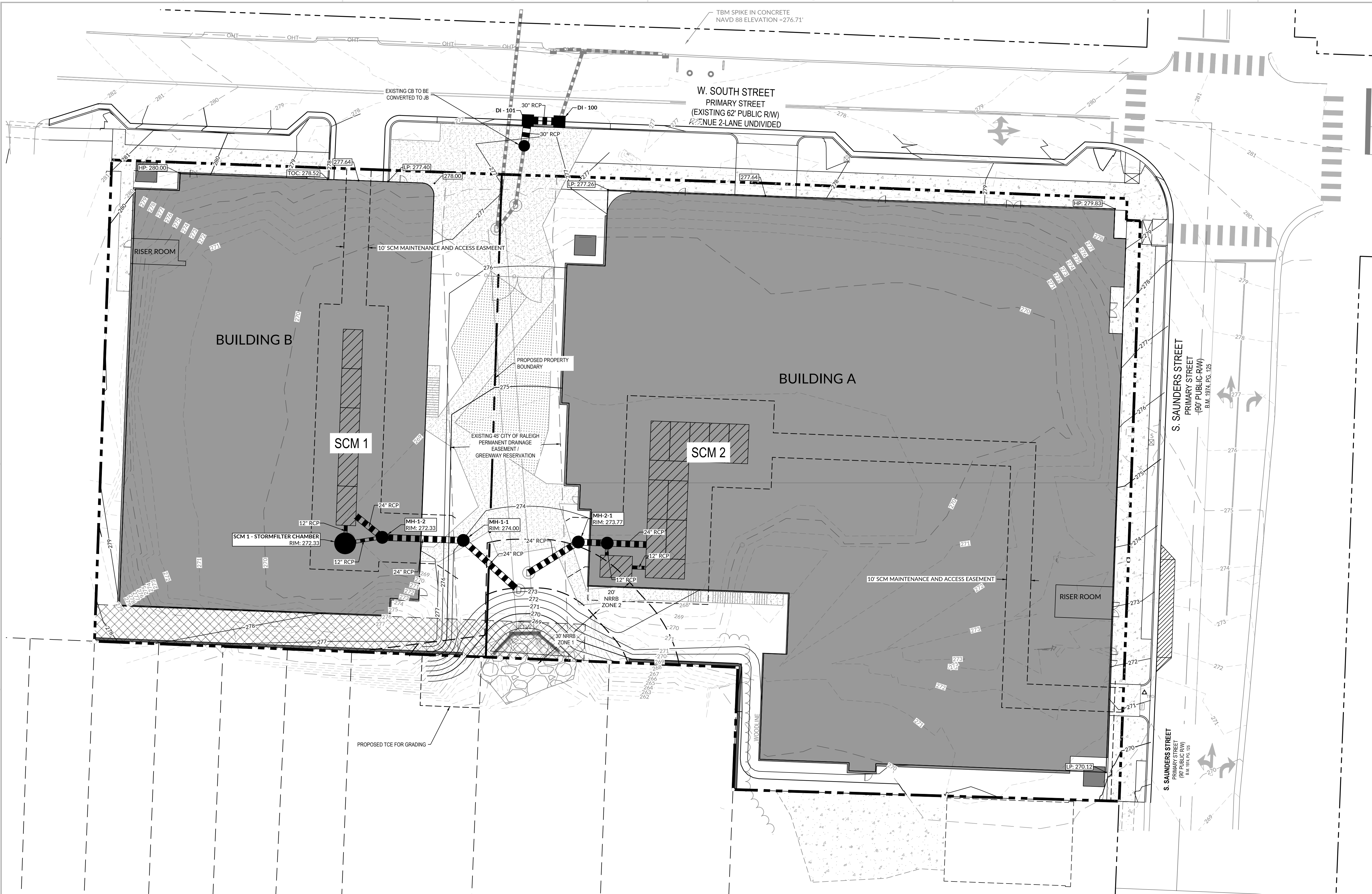
- NOTES:**
- ANY EXISTING WATER OR SEWER TAPS NOT BEING RETAINED FOR USE IN REDEVELOPMENT OF SITE SHALL BE ABANDONED AT MAIN AND SERVICE, REMOVED FROM ROW AND EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - ALL WELL & SEPTIC SYSTEM ABANDONMENT SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS.



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INITIAL PLAN DATE: 06/13/2024
REVISIONS:



DRAINAGE & GRADING LEGEND:

SYMBOL	DESCRIPTION
(Dashed line)	EXISTING CONTOUR MINOR
(Solid line)	EXISTING CONTOUR MAJOR
(Dashed line)	PROPOSED CONTOUR MINOR
(Solid line)	PROPOSED CONTOUR MAJOR
(Square symbol)	PROPOSED CURB INLET
(Square symbol)	PROPOSED CATCH BASIN
(Dashed line)	PROPOSED STORM PIPE
(Dashed line)	PROPOSED FLARED END SECTION
(Dashed line)	PROPOSED RETAINING WALL
(SF)	PROPOSED SILT FENCE
(TP)	PROPOSED TREE PROTECTION FENCE

AVERAGE GRADE CALCULATION

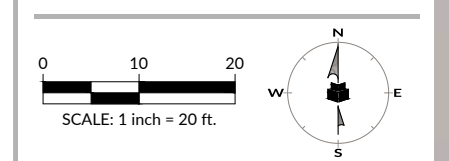
BUILDING A
W. SOUTH ST:
HIGH POINT: 279.82'
LOW POINT: 277.26'
AVERAGE: 278.54' = (279.82' + 277.26')/2
S. SAUNDERS ST:
HIGH POINT: 279.82'
LOW POINT: 270.12'
AVERAGE: 274.97' = (279.82' + 270.12')/2
BUILDING B
W. SOUTH ST:
HIGH POINT: 280.00'
LOW POINT: 277.40'
AVERAGE: 278.70' = (280.00' + 277.40')/2

WithersRavenel
 137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601
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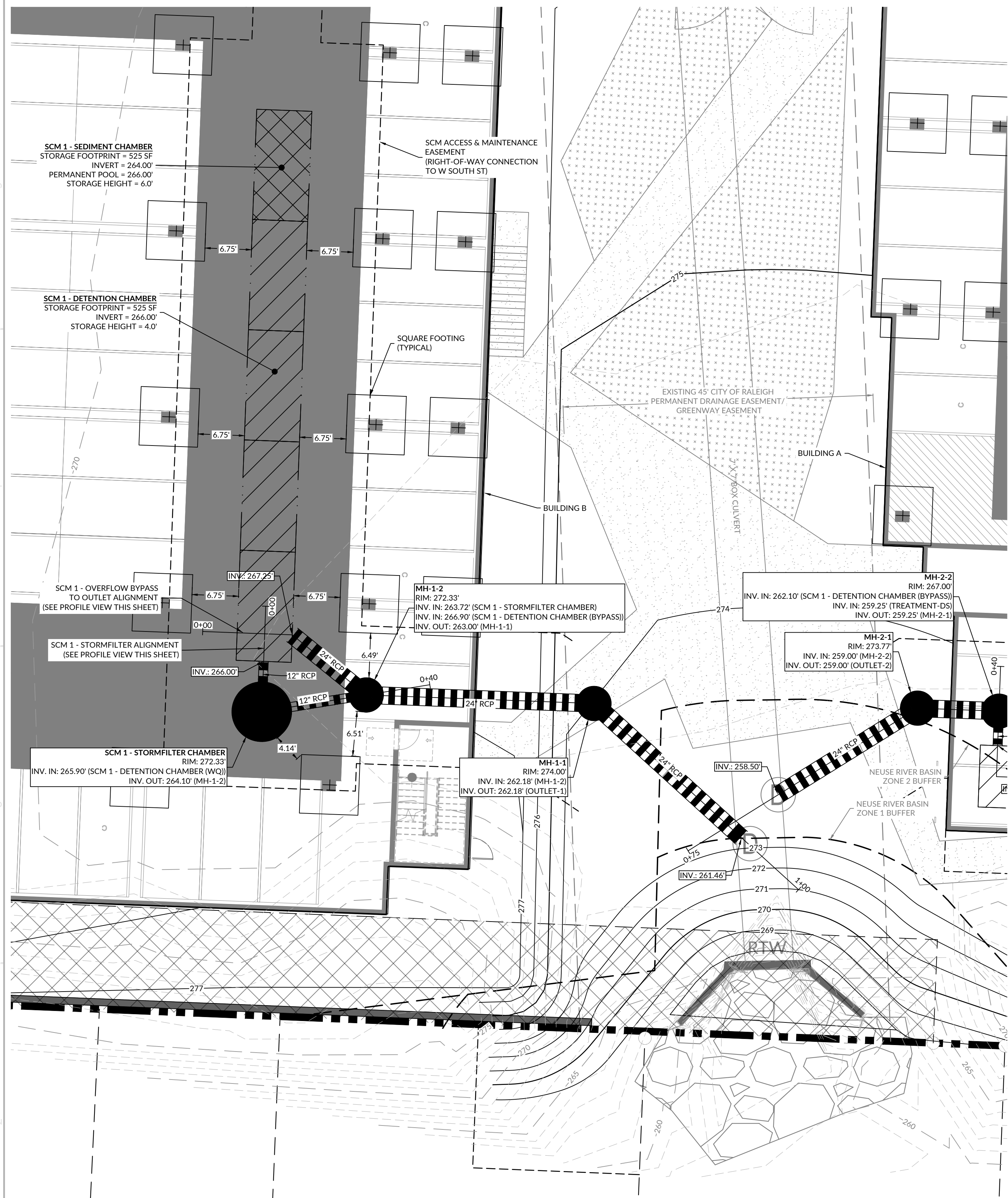
WR JOB NUMBER: 23-0260
 DRN-WR DGN-WR CKD-WR

GRADING & DRAINAGE PLAN

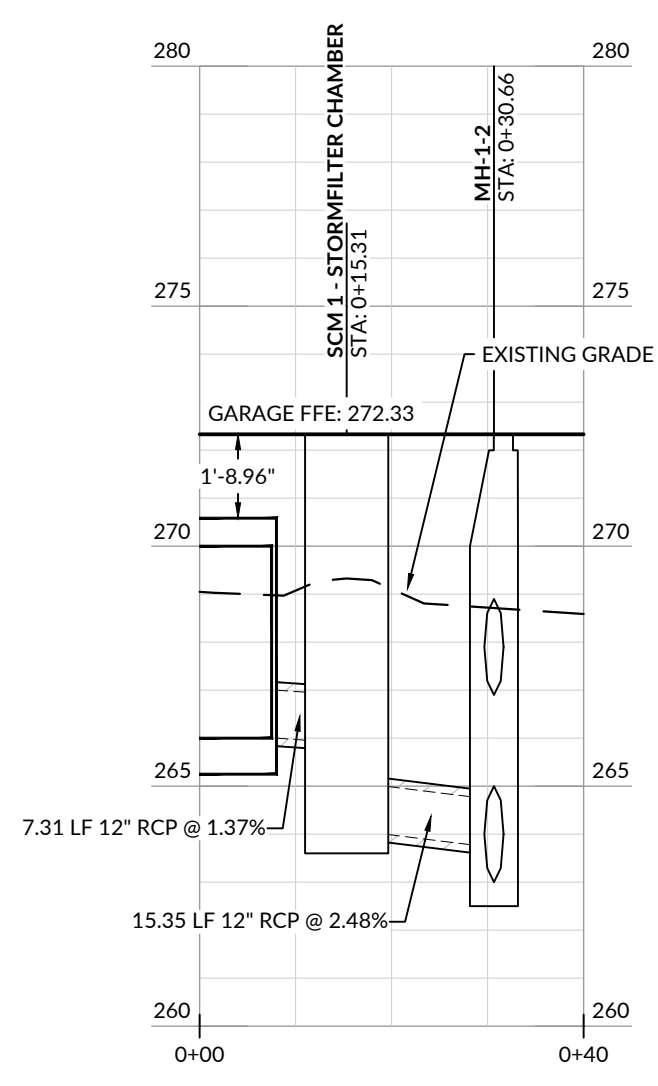
C4.00

- CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
 - NO WORK OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT.-TRANSPORTATION OPERATIONS DIVISION AT (919)996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT (919)516-2495 TO OBTAIN A STREET CUT PERMIT.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
 - THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS & STREET TO EXISTING CONDITION OR BETTER.
 - IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NC DOT STANDARD DRAWINGS 1101.02 (SHEET 1), 1101.04 & 1101.11.
- STORM DRAINAGE NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS & DETAILS.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
 - ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
 - ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAIL SW 41 S-4-9).
 - MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
 - STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS SS-S-02010, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
 - STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
 - EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
 - ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT AT (919)996-3430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
 - STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 - ALL ROOF LEADERS ARE PROPOSED TO CONNECT TO THE STORM DRAINAGE SYSTEM(S) SHOWN.

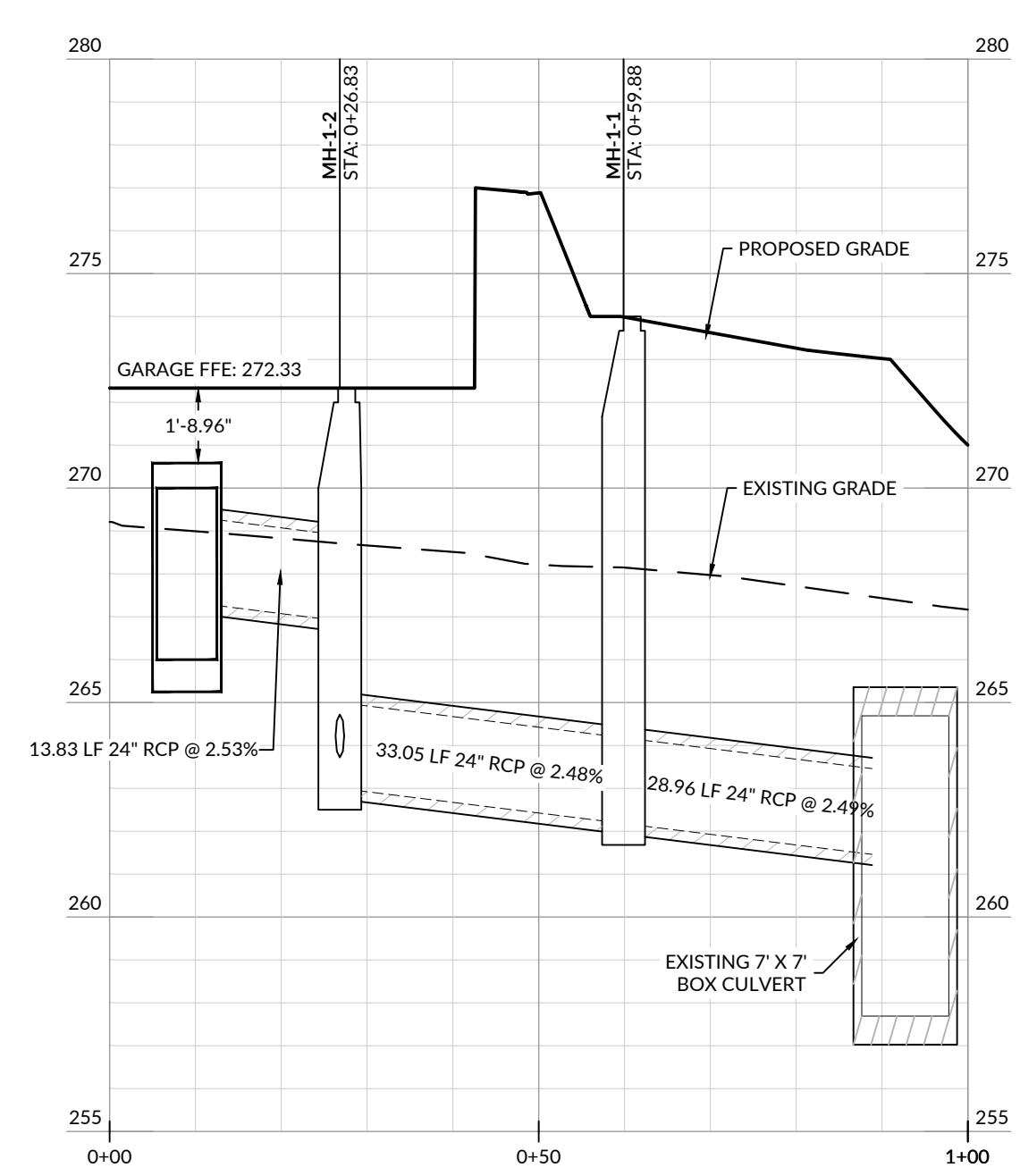
J:\23\0260\Plan\wrns-c400-grading-drainage.dwg - south-west-south-street-grading-drainage.dwg - Thursday, June 13, 2024 11:15:13 - DCSAE



SCM 1 - PLAN VIEW



SCM 1 - PROFILE VIEW STORMFILTER



SCM 1 - PROFILE VIEW OVERFLOW BYPASS TO OUTLET

SEE STORM DRAIN TABLES AND DETAILS FOR PER FOR SITE SPECIFIC STORMFILTER INLET/OUTLET PIPE DIAMETERS, ELEVATIONS, AND CONFIGURATIONS

PLAN VIEW
STANDARD OUTLET RISER
FLOWKIT - USA

STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (14). 6\"/>

CARTRIDGE SELECTION	27"	18"	LOW DROP
MINIMUM ACTIVATION HEAD (ft)	3.0	2.5	1.5
SPECIFIC FLOW RATE (PER INCHES MOC) 2"	1.0 GPM/IN	ALL CARTRIDGE HEIGHTS	
CARTRIDGE FLOW RATE	7.5 GPM	ALL CARTRIDGE HEIGHTS	

SECTION A-A

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED WALL DIMENSIONS AND WEIGHTS PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.conteches.com THESE DRAWINGS AND DETAILS WILL BE PROVIDED AFTER RECEIPT OF PROJECT LETTER OF INTEREST AND/OR PURCHASE ORDER.
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET ASHOTO H-20 LOAD RATING, ASSUMING EARTH COVER OF 7'-0" (5'8" MIN) AND GROUNDWATER ELEVATION AT, OR BELOW, THE FILTER INLET ELEVATION. ENGINEERS OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CARTRIDGES SHALL MEET ASTM D1088 MEDIA CR1 WITH THE CONTROL LOGS.
- FILTER CARTRIDGES SHALL BE MEDIA FILLED, PASSIVE, SIPHON ACTIVATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 18 INCHES (150 mm). FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm/ft²) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft/ft²).
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND ASHOTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- ANY SUB BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPES.
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES (200 mm), CONTRACTOR TO REMOVE THE 8 INCH (200 mm) OUTLET STUB AT MOLDED IN-OUT LINE. COVER BY FERROUS OR EQUAL, AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

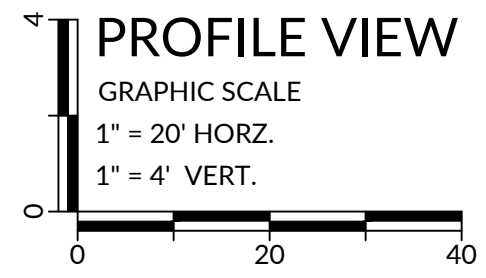
CONTECH
ENGINEERED SOLUTIONS LLC

3020 Carver Plaza, Suite 400, West Chester, OH 45380
937-336-1122 513-645-7000 513-645-7993 FAX

SFMH96
POST DETENTION STORMFILTER
DETAIL

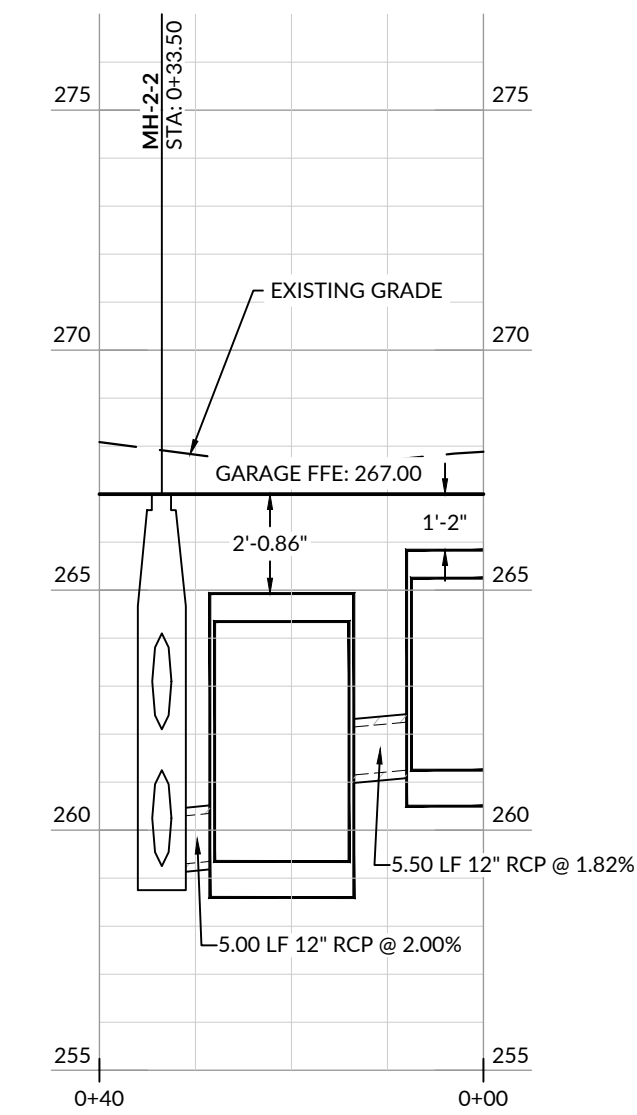
DRAINAGE & GRADING LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR MINOR
---	EXISTING CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
■	PROPOSED CURB INLET
■	PROPOSED CATCH BASIN
---	PROPOSED STORM PIPE
---	PROPOSED FLARED END SECTION
---	PROPOSED RETAINING WALL
SF	PROPOSED SILT FENCE
TP	PROPOSED TREE PROTECTION FENCE

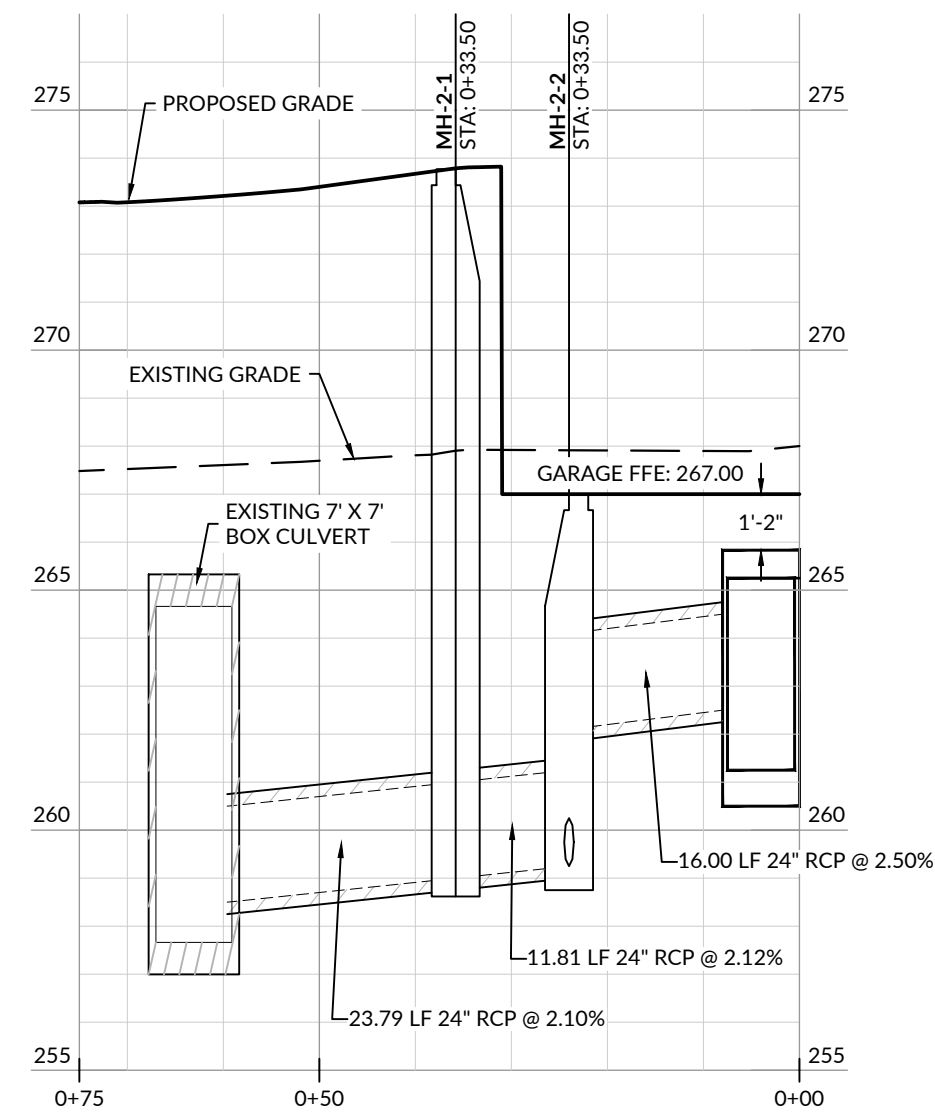




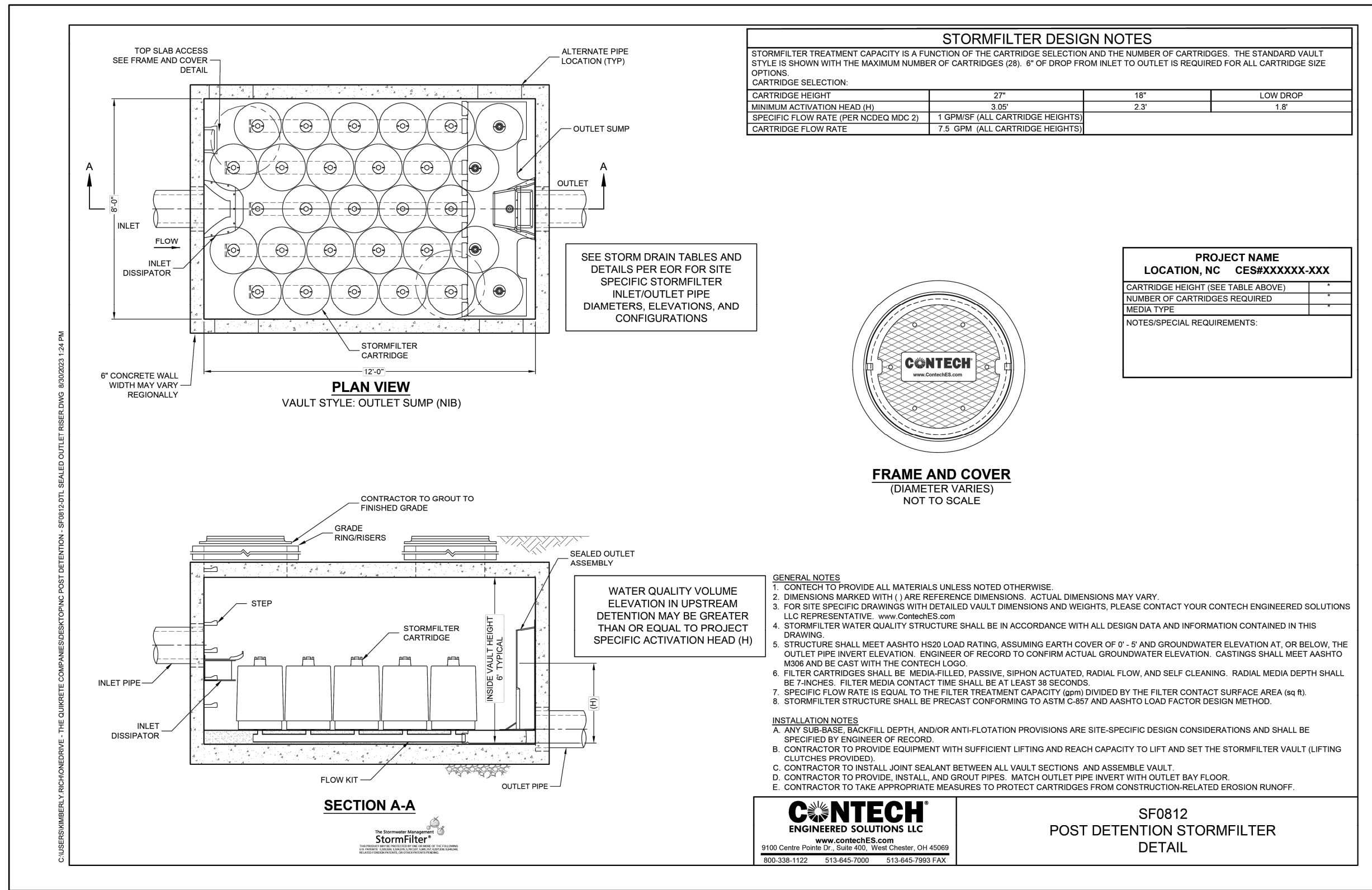
SCM 2 - PLAN VIEW



SCM 2 - PROFILE VIEW STORMFILTER



SCM 2 - PROFILE VIEW OVERFLOW BYPASS TO OUTLET



DRAINAGE & GRADING LEGEND:

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR MINOR
---	EXISTING CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
■	PROPOSED CURB INLET
■	PROPOSED CATCH BASIN
---	PROPOSED STORM PIPE
---	PROPOSED FLARED END SECTION
---	PROPOSED RETAINING WALL
SF	PROPOSED SILT FENCE
TP	PROPOSED TREE PROTECTION FENCE



J:\2024\2024 West South Street - Raleigh - South Street CDD\Drawings\401\401\SCM 2 PLAN - C8.01.dwg Thursday, June 13, 2024 11:31:54 AM - DCAE

NOT FOR CONSTRUCTION

PROJECT: 023020
DATE: 06.13.24
REVISIONS: DATE

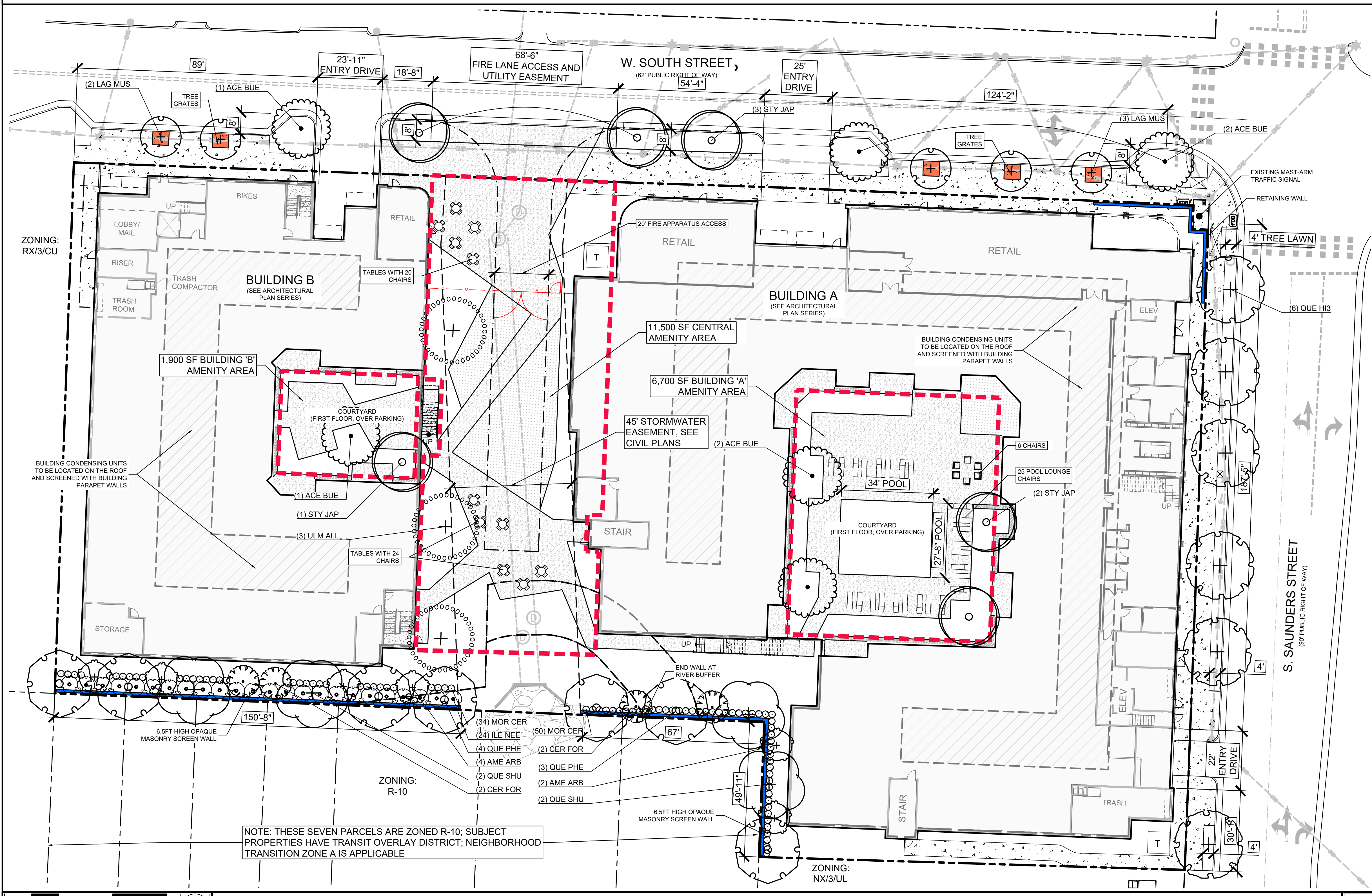
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CHECKED BY: JK

CODE LANDSCAPE
AND AMENITY PLAN

SYMBOL	CODE	QTY	BUFFER	OUTDOOR AMENITY	STREET TREES	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	APPROX. MATURE HEIGHT	REMARKS
UNDERSTORY TREES											
	AME ARB	6	6			AMELANCHIER ARBOREA	COMMON SERVICEBERRY	1.5" MIN	8' MIN.	15'-20'	SINGLE STEM
	CER FOR	4	4			CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY EASTERN REDBUD	1.5" MIN	8' MIN.	20'-25'	SINGLE STEM
EVERGREEN SHRUBS											
	ILE NEE	24	24			ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT CHINESE HOLLY	36" MIN.			
	MOR CER	84	84			MYRICA CERIFERA	WAX MYRTLE	18" MIN.			

SYMBOL	CODE	QTY	BUFFER	OUTDOOR AMENITY	STREET TREES	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	APPROX. MATURE HEIGHT	REMARKS
PLANT SCHEDULE											
SHADE TREE											
	ACE BUE	6		3	3	ACER BUERGERIANUM	TRIDENT MAPLE	1.5" MIN	10' MIN.	25'-35'	
	LAG MUS	5			5	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	1.5" MIN	8' MIN.	20'-30'	SINGLE STEM, LAVENDER FLOWERS
	QUE H3	6			6	QUERCUS LYRATA 'QLFTB'	HIGHBEAM® OVERCUP OAK	3" MIN.	12'-14'	35'-50'	
	QUE PHE	7	7			QUERCUS PHELLOS	WILLOW OAK	3" MIN.	12'-14'	40'-50'	
	QUE SHU	4	4			QUERCUS SHUMARDII	SHUMARD OAK	3" MIN.	12'-14'	40'-50'	
	STY JAP	6			3	STYRAX JAPONICUS	JAPANESE SNOWBELL	2" MIN.	10' MIN.	20'-30'	
	ULM ALL	3			3	ULMUS PARVIFOLIA 'ALLEE'	ALLEE® LACEBARK ELM	2" MIN.	10' MIN.	35'-50'	

CODE COMPLIANT PLANT SCHEDULE 03



1.5.3 OUTDOOR AMENITY AREA
 ▶ REQUIRED OUTDOOR AMENITY: 9,061 SF
 - 10% SITE AREA: 90,604 SF (TOTAL SITE) X 0.10 = 9,061 SF MIN. REQUIRED
 - PROJECT SUBJECT TO URBAN PLAZA STANDARDS (UDO 1.5.3.C)

PROPOSED AMENITY AREA: 20,100 PROPOSED*
 *20,100 SF AMENITY AREA SHOWN ON THE PLANS
 *9,061 REQUIRED SF USED FOR SEATING AND LANDSCAPE CALCULATIONS BELOW

REQUIRED SEATING: 182 LF REQUIRED
 1 LF / 50 SF OF REQ. OUTDOOR AMENITY
 (1 LOUNGER OR CHAIR = 2.5)
 PROPOSED SEATING: 187 LF PROPOSED
 62 LF POOL LOUNGERS (25 LOUNGERS)
 125 LF CHAIRS (50 CHAIRS)

REQUIRED TREES: 9 TREES REQUIRED
 (1) 2" CAL TREE / 1,000 SF OF REQ. OUTDOOR AMENITY
 PROPOSED TREES: 9 TREES PROPOSED

3.5.3 ZONE A: PROTECTIVE YARD
 ▶ WIDTH TYPE 1 PROTECTIVE YARD
 - AVERAGE OF 10 FT
 ▶ INSTALLATION TYPE 1 PROTECTIVE YARD
 - SCREEN WALL BETWEEN 6.5 FT AND 9 FT HEIGHT
 - FOUR (4) SHADE TREES PER 100 LF (3" CAL, 10' HT MIN)
 - THREE (3) UNDERSTORY TREES PER 100 LF (1.5" CAL, 6 FT HT MIN)
 - FORTY (40) SHRUBS PER 100 LF (18 IN HT MIN)
 ▶ ADDITIONAL ZONING CONDITION (2-4-22, CONDITION #6, REF COVER SHEET)
 - 24 HEEDLEPOINT HOLLY, 36 IN HT AT INSTALLATION INSTALLED ALONG PROPERTY LINE AS SHOWN ON IMAGE

PROPERTY LINE: 268 LF
 REQUIRED TREES: 11 TREES REQUIRED
 LF X (4 TREE/100 LF)
 PROPOSED TREES: 11 TREES PROPOSED

REQUIRED UNDERSTORY: 8 TREES REQUIRED
 LF X (3 TREE/100 LF)
 PROPOSED UNDERSTORY: 10 TREES PROPOSED

REQUIRED SHRUBS: 108 SHRUBS REQUIRED
 LF X (40 SHRUB/100 LF)
 PROPOSED SHRUBS: 108 SHRUBS PROPOSED

7.2.5 SCREENING
 ▶ MECHANICAL
 - OPAQUE LANDSCAPE SCREEN NO LOWER THAN HIGHEST POINT ON EQUIPMENT
 - ROOF-TOP CONDENSING UNITS PROPOSED SCREENED BY PARAPET WALLS, REFER TO BUILDING ELEVATIONS

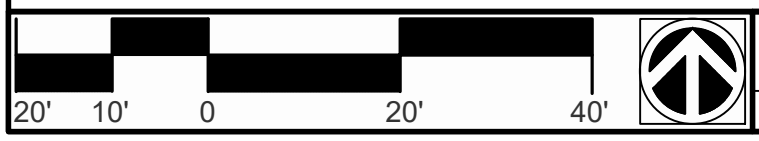
7.2.7 DESIGN AND INSTALLATION
 ▶ PLANT MATERIAL
 - SHADE TREES: 3" MIN CAL INSTALLED, 35' MIN MATURE HT.
 - UNDERSTORY TREES: 1.5" MIN CAL & 6' MIN HT. INSTALLED, 15' MIN MATURE HT.
 - PARKING SHRUBS: 18" MIN HT. INSTALLED, 3' MIN MATURE HT.
 - PROTECTIVE YARD SHRUBS: 18" MIN HT INSTALLED, 3" X 3" MIN MATURE SIZE
 - STREET YARD SHRUBS: CONTINUOUS ROW 5' OC

8.5.2 STREETSCAPES
 ▶ STREET TREES
 - 40' OC

W SOUTH STREET: 280 LF
 REQUIRED TREES: 7 TREES REQUIRED
 LF X (1 TREE/40 LF)
 PROPOSED TREES: 11 TREES PROPOSED

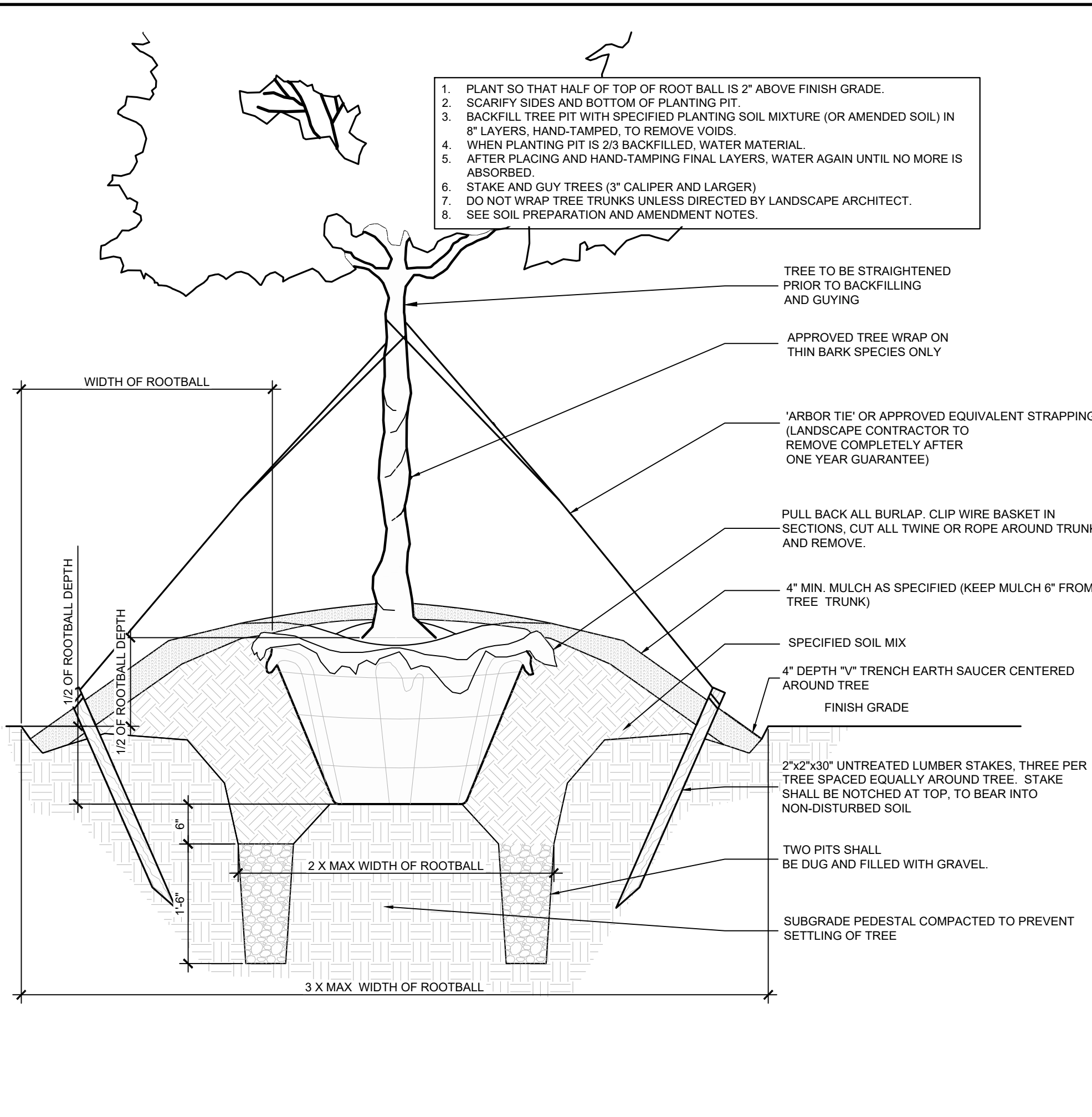
S SAUNDERS STREET: 216 LF
 REQUIRED TREES: 6 TREES REQUIRED
 LF X (1 TREE/40 LF)
 PROPOSED TREES: 6 TREES PROPOSED

NOTE: THESE SEVEN PARCELS ARE ZONED R-10; SUBJECT PROPERTIES HAVE TRANSIT OVERLAY DISTRICT; NEIGHBORHOOD TRANSITION ZONE A IS APPLICABLE



LANDSCAPE PLAN 02
Scale: 1" = 20'

CODE CALCULATIONS 01



Typical Tree Planting 07
Scale: 3/4" = 1'-0"

Landscape Maintenance Notes

A. Fertilization: Avoid any nitrogen fertilization of cool-season grasses, such as tall fescue, after the February application until September. Fertilize lawns three times per year September 15, October 31, and February 15 according to soil test. Fertilize warm season grasses once during growing season per soil test.

B. Pruning: Purpose of pruning is to improve health and vigor of woody plants, adjustments to the foliage and branching density for visual screens and managing competition, and improving the appearance of trees and shrubs. Pruning shall be limited to removal of dead wood or branches for trees or for sight distances/safety reasons for the first year. The ANSI A300 Tree Care Operations standards SHALL be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for sheared hedges.

1. Shrubs in buffers allowed to remain full to ground and 6'-8' height.
2. Shrubs in street/landscape buffer trimmed to continuous soft hedges below trees.
3. Shrubs in planting islands kept trimmed to 36" maximum height.

C. Pest Control: Pre-emergent weed control for lawns and shrub beds may be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.

D. Mulching: Mulching shall be maintained at a depth of 2"-3" in plant beds. Mulch shall be reapplied every year.

E. Mowing primary fescue lawns shall be maintained at a height of 3". Secondary turf areas may be maintained higher and less frequently. Warm season grasses shall be mowed as needed during the growing season to maintain the recommended height of the species of turf grass.

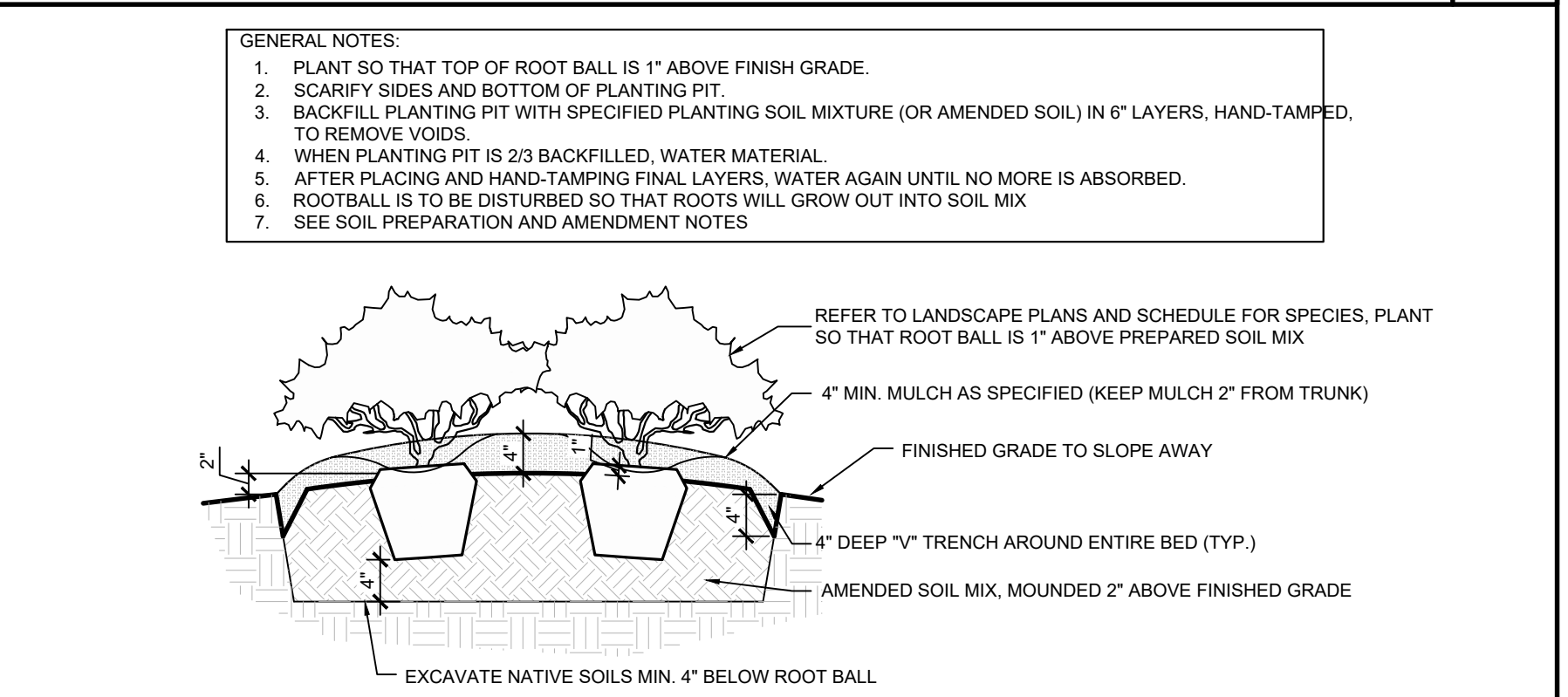
F. Plant protection: Avoid excess intrusion into the root zone area of established plantings. Install tree protection fencing as shown during construction.

G. Watering: If any irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.

H. Maintenance notes for Bioretention Basin plant materials:

1. Visually inspect and repair erosion around bioretention areas on a monthly basis.
2. Inspect mulch cover monthly and replace any void area as needed, additional mulch shall be applied in the spring where needed.
3. Remove and replace all dead or diseased vegetation twice annually. Treat all diseased shrubs and trees as needed to insure proper growth.
4. All plant materials shall be watered by hand for two weeks after installation.
5. Replace any deficient stakes or wires whenever needed.
6. Remove all trash weekly.

Landscape Maintenance Notes 05



Typical Shrub Planting 04
Scale: 3/4" = 1'-0"

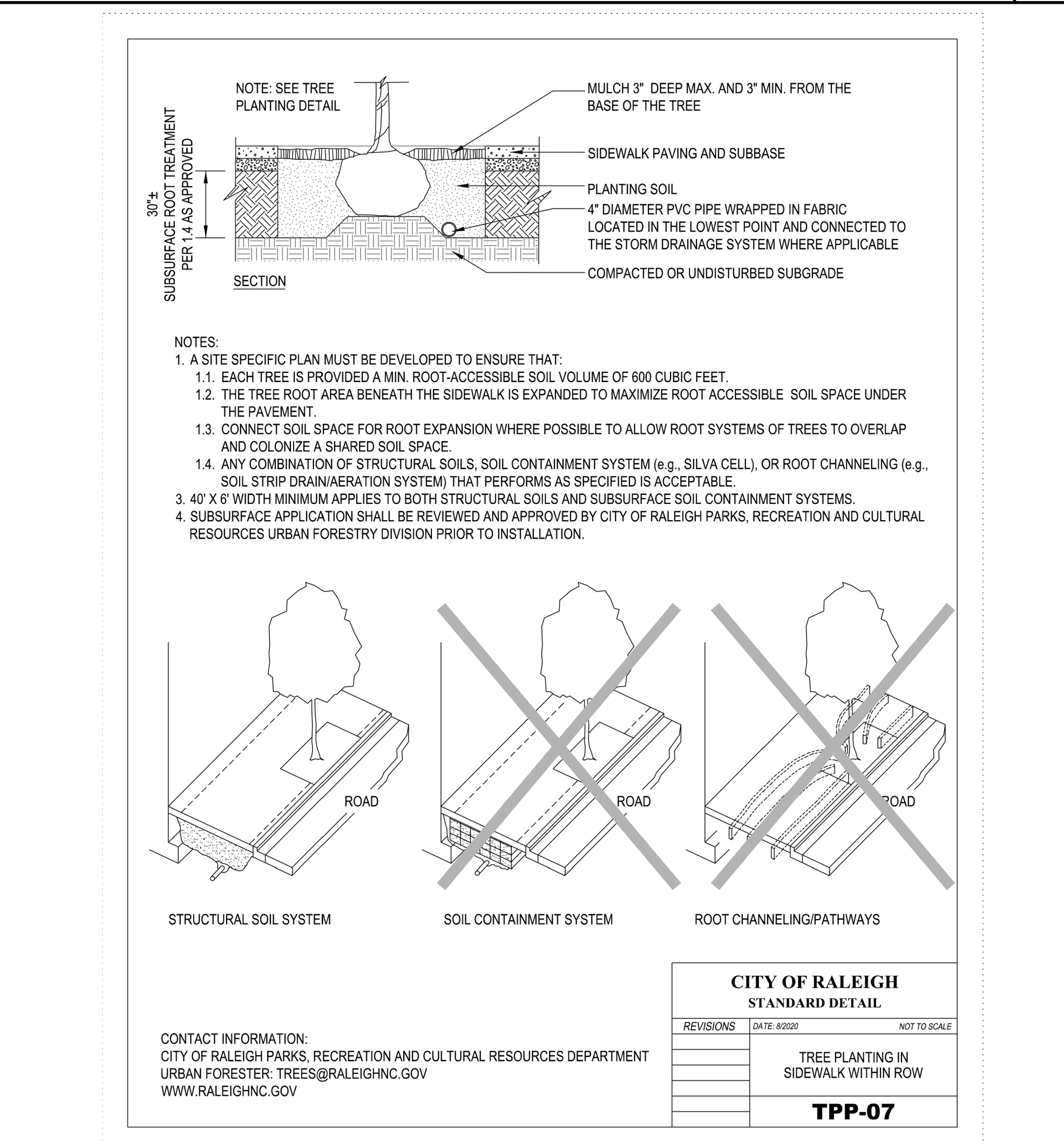
Landscape Planting Notes

1. Verification of total landscape material quantities as shown on the landscape plans and in the plant list shall be the responsibility of the landscape contractor. The landscape architect shall be notified of any discrepancies prior to final bidding or installation.
2. All landscape materials shall conform to the most recent American Standards for Nursery Stock established by the American Association of Nurserymen (A.A.N.).
3. Soil analysis shall be obtained by landscape contractor prior to planting. See Soil Preparation and Amendment Notes
4. Shrub bed area preparation is highly preferred to individually dug holes.
5. Trees with root flare covered by more than 1.5" of soil will be rejected prior to installation.
6. Landscape material placed in prepared holes shall be properly backfilled prior to the end of the working day.
7. All saucers shall be soaked with water and mulched immediately following installation.
8. All prepared ground cover and annual bed installations shall be properly soaked and mulched prior to the end of the day.
9. Landscape Architect shall approve any on-site plant storage area for accessibility, shade conditions, healing-in mulch material and temporary watering methods.
10. Lift and set the tree by root ball only. Do not lift using the tree trunk. Do not use tree trunk as a lever.
11. All root balls removed from containers shall be scarified by hand prior to placement and back filling with prepared soils. Hand tools are not to be used to scarify root balls.
12. All rope and wrapping twine shall be cut and removed from around the upper parts of the root ball. Metal basket wires and burlap shall be pulled back and tucked under the edges of the saucer rings on all trees and large shrubs. All synthetic burlap shall be removed from plant balls prior to back filling.
13. All plant beds or raised saucer rings shall be edged with smooth, continuous curves.
14. All plant material shall be planted at heights as illustrated in plant details.
15. Tree guying shall be performed within a week of planting. The landscape contractor shall be responsible for removing all tree guying strapping and stakes after the first full growing season or one year, whichever ever comes first.
16. B & B as listed under "root" in the plant list indicates balled and burlapped.
17. Contractor shall verify locations of underground utilities prior to planting. Any exposed or uncovered lines shall be shown to general contractor prior to backfilling.
18. All plant beds and raised saucer rings shall be graded to provide adequate drainage and shall be mulched as specified.
19. All materials, planting and landscape work shall conform to the current municipal authority's standard specifications and details.
20. All landscape areas that are not planted and mulched or paved shall be seeded or sodded per owner's direction, unless otherwise noted.
21. Tree protection fence shall be installed, inspected and approved prior to the issuance of any grading or other permits.
22. First year pruning of tree crown shall be limited to removal of dead & damaged wood.
23. The owner shall be responsible for the maintenance of all required landscaping by
 - keeping lawns mowed
 - maintaining plants disease free
 - keeping all planting beds groomed and weed free per municipality requirements (except in areas of preserved existing natural vegetation i.e. thickets)
 - keeping all planting beds free from trash, debris and other materials, after the first year from planting.
24. The owner shall be responsible for the replacement of any required planting, which is removed or dies after the first year from the date of planting. Such replacement shall occur during the next planting season.

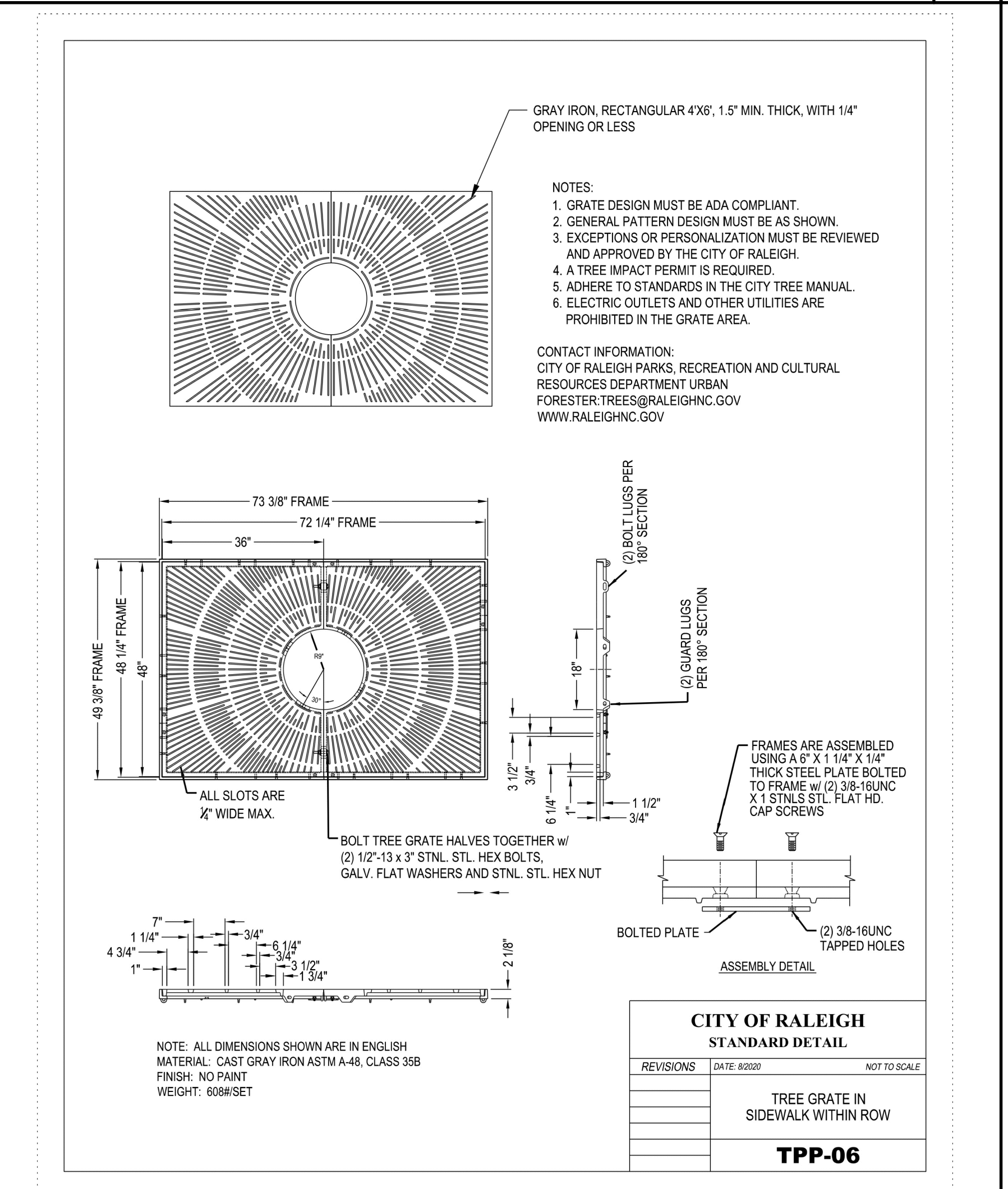
Soil Preparation and Amendment Notes

1. Soil samples shall be taken and submitted to independent source; results to be sent to Landscape Architect. Per recommendation of soils report; landscape contractor to supplement soil with lime, macronutrients and micronutrients.
3. Contractor to amend soil with organic material and/or sand to yield the final soil ratio:
 - 33.3% Sand/Silt
 - 33.3% Clay
 - 33.3% Organic Material *
 * Organic material to be Compost made solely from plant-based products. Peat moss is allowed in sandy soils
4. Native soil, Lime, Nutrients and Amendments to be tilled to a minimum width of 3-5 x root ball for trees. Shrub and groundcover planting areas shall be tilled to a minimum 4' below rootball or a minimum 12" deep.

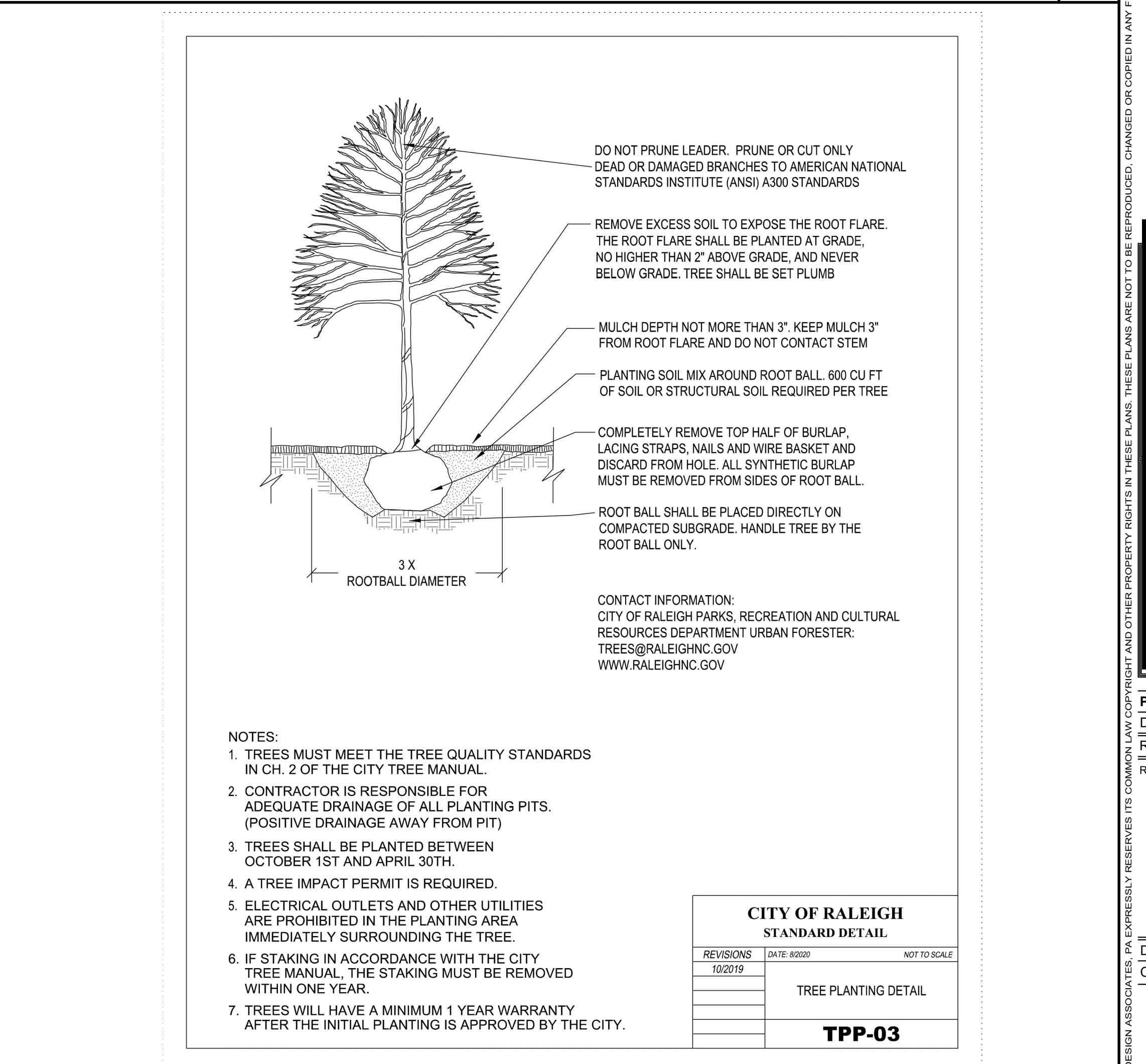
Planting and Soil Notes 02



Raleigh Tree Planting in Sidewalk Standard Detail 06



Raleigh Tree Grate Standard Detail 03



Raleigh Street Tree Standard Detail 01

cline

125 N. Harrington St.
Raleigh, NC 27603
919 / 833-6413
ClineDesignAssoc.com

WEST SOUTH STREET
RALEIGH, NORTH CAROLINA

PROJECT:	023020
DATE:	06.13.24
REVISIONS:	DATE
REVISIONS:	DATE

DRAWN BY:	ST
CHECKED BY:	JK

CODE LANDSCAPE DETAILS

LP200

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ASR
 SUBMITTAL

PROJECT: 023020
 DATE: 6.13.24
 REVISIONS: DATE

DRAWN BY: RS, LP
 CHECKED BY: LK

BUILDING A - P1 PLAN



Parking Schedule - BLDG A_P1

Type	Count
P1 Level	
7.5' x 18' - 90 deg Compact	13
7.5' x 18' - 90 deg Compact Tandem	1
8.5' x 15' - 90 deg Compact	2
8.5' x 18' - 90 deg	58
8.5' x 18' - 90 deg HC	3
8.5' x 18' - 90 deg Tandem	2
79	

P1.5 Level

7.5' x 18' - 90 deg Compact	9
8.5' x 18' - 90 deg	28
37	

Grand total: 116

NOT FOR CONSTRUCTION

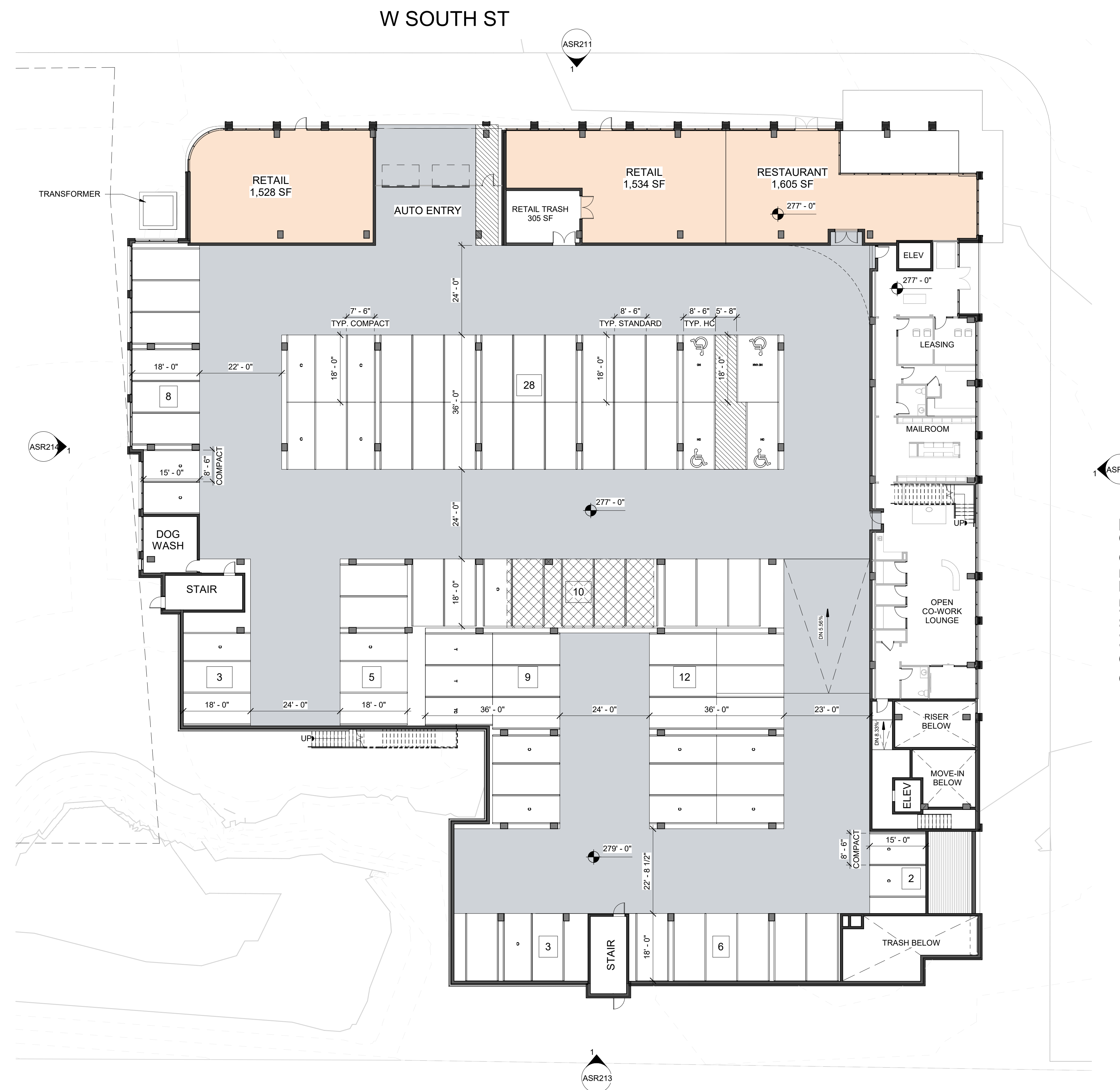
ASR
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PROJECT: 023020
 DATE: 6.13.24
 REVISIONS: DATE

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 CHECKED BY: LK

BUILDING A - P2 PLAN

ASR112



Parking Schedule - BLDG A_P2

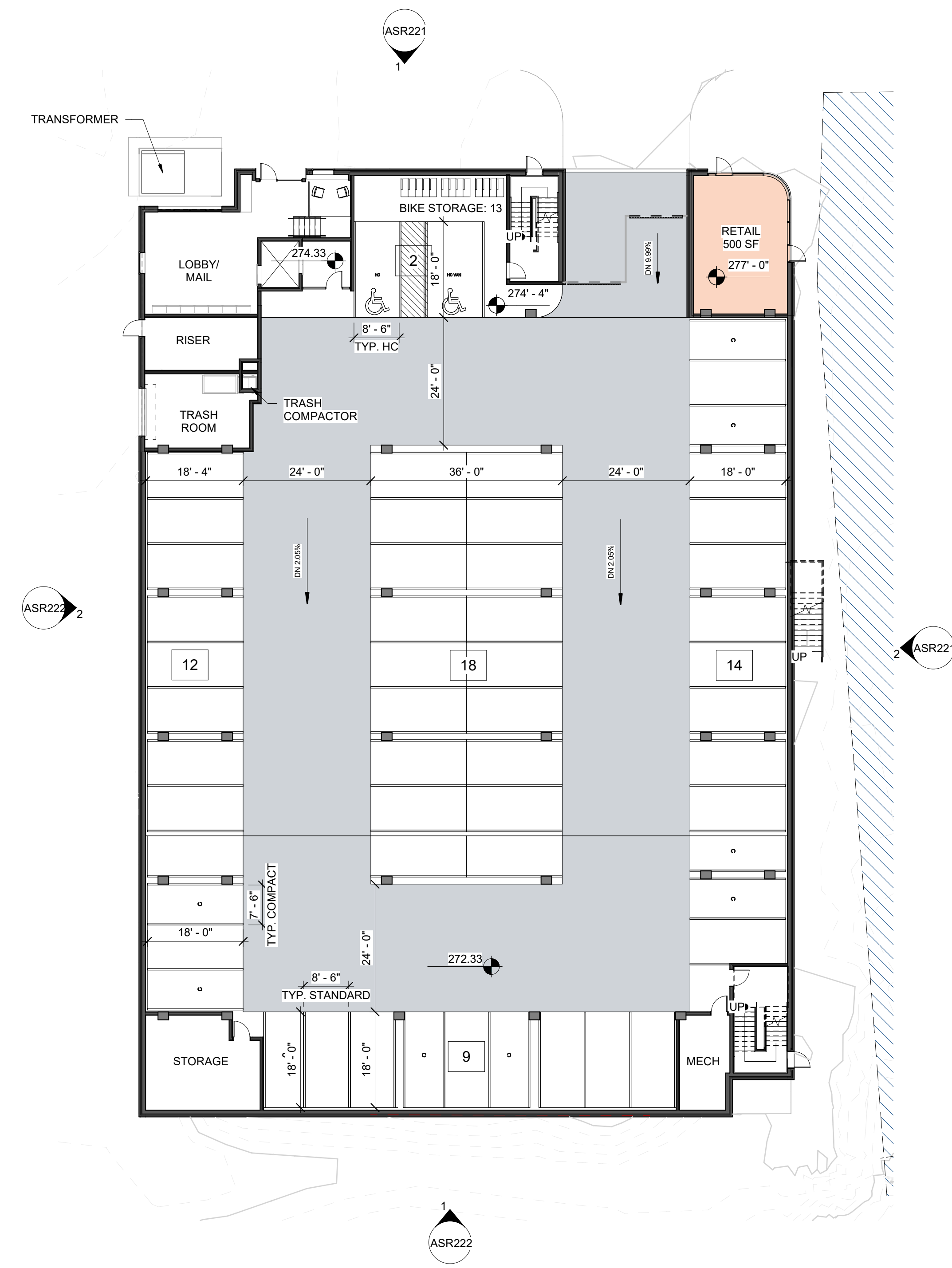
Type	Count
P2 Level	
7.5' x 18' - 90 deg Compact	9
7.5' x 18' - 90 deg Compact Tandem	1
8.5' x 15' - 90 deg Compact	4
8.5' x 18' - 90 deg	47
8.5' x 18' - 90 deg HC	3
8.5' x 18' - 90 deg Tandem	2
11' x 18' - 90 deg HC VAN	1
67	

P2.5 Level	
7.5' x 18' - 90 deg Compact	5
8.5' x 18' - 90 deg	14
19	
Grand total: 86	

BLDG A - LEVEL P2
 1/16" = 1'-0"

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Parking Schedule - BLDG B	
Type	Count
BLDG B - Basement	
7.5' x 18' - 90 deg Compact	9
8.5' x 18' - 90 deg	44
8.5' x 18' - 90 deg HC	1
11' x 18' - 90 deg HC VAN	1
55	
Grand total:	55

BLDG B - LEVEL P1 1
1/16" = 1'-0"

cline

220 Bluffington St.
Raleigh, NC 27603
919 / 833-6872
ClineDesignAssoc.com

CLINE DESIGN
611 W SOUTH ST
RALEIGH, NC

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CONSTRUCTION

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SUBMITTAL

PROJECT:	023020
DATE:	6.13.24
REVISIONS:	DATE

DRAWN BY: RS, LP
CHECKED BY: LK

BUILDING B - P1 PLAN

ASR113

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SUBMITTAL

PROJECT: 023020
DATE: 6.13.24
REVISIONS: DATE

DRAWN BY: RS, LP
CHECKED BY: LK

BUILDING A -
ELEVATIONS

ASR211



BLDG A - NORTH ELEVATION (W. SOUTH ST.)

3/32" = 1'-0"

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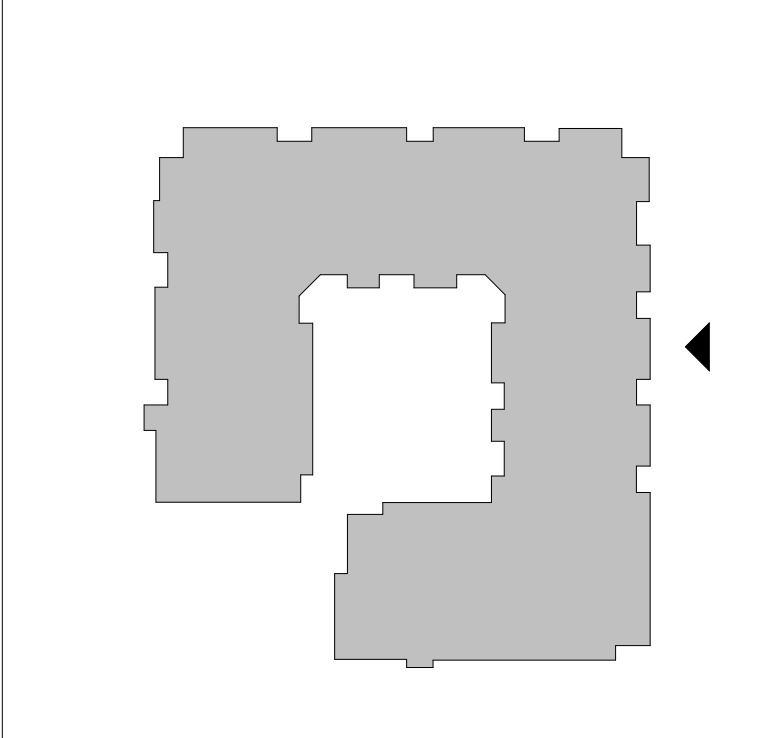
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PROJECT: 023020
 DATE: 6.13.24
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BUILDING A -
 ELEVATIONS

ASR212



BLDG A - EAST ELEVATION (S. SAUNDERS ST.)

CLINE DESIGN
611 W SOUTH ST
 RALEIGH, NC

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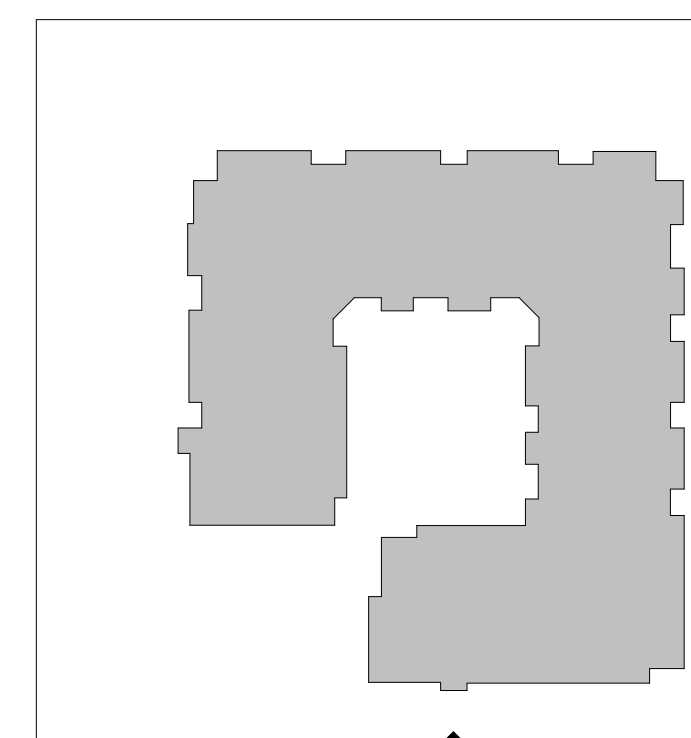
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**BUILDING A -
 ELEVATIONS**

ASR213



BLDG A - SOUTH ELEVATION
 3/32" = 1'-0"

CLINE DESIGN
611 W SOUTH ST
 RALEIGH, NC



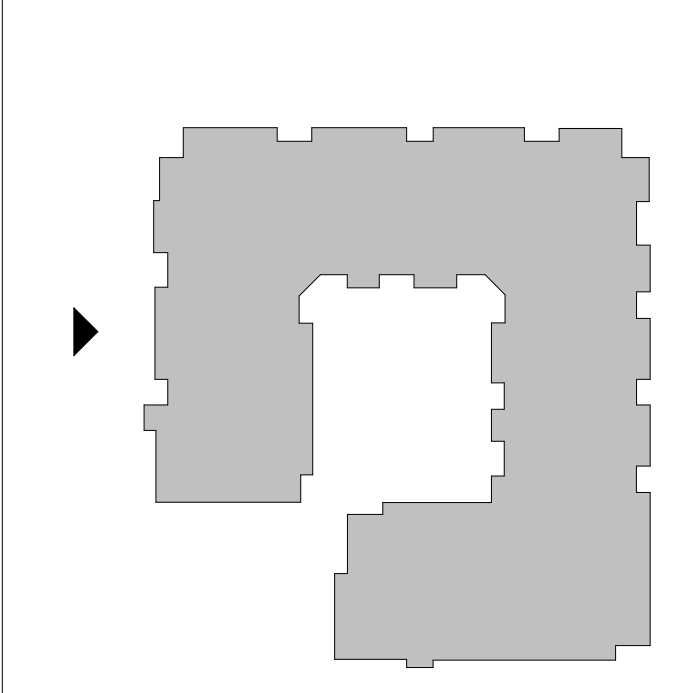
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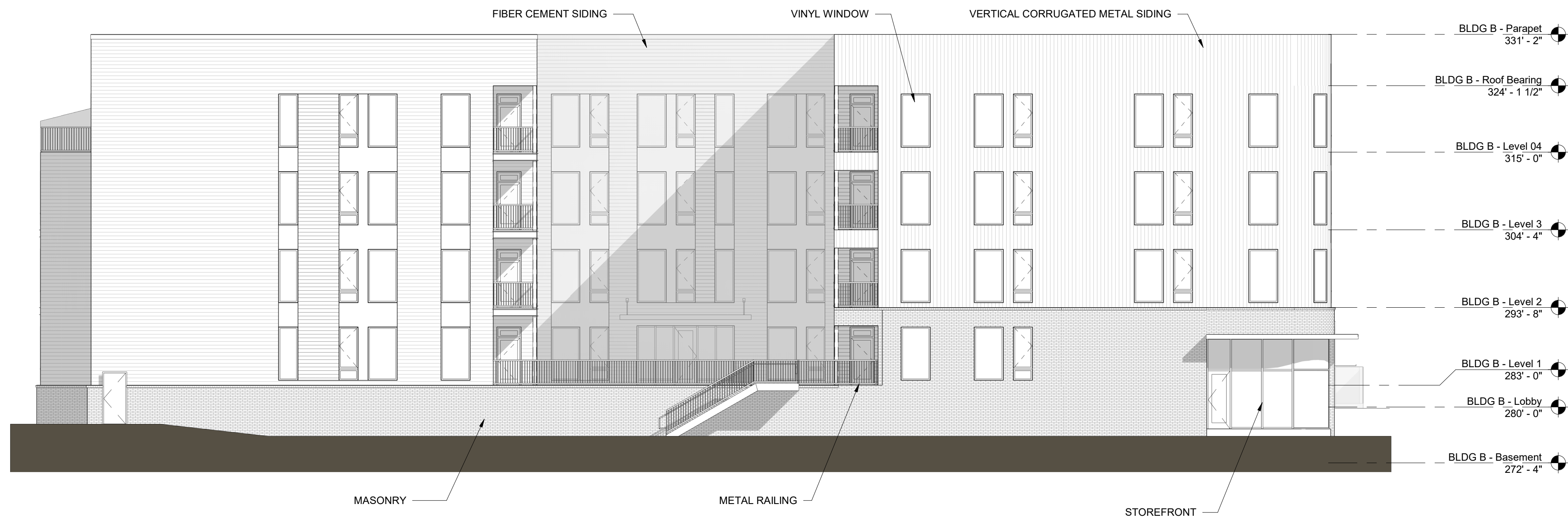
**BUILDING A -
 ELEVATIONS**



BLDG A - WEST ELEVATION
 3/32" = 1'-0"

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 Autodesk Docs:023020_01 South St West Elevation.dwg

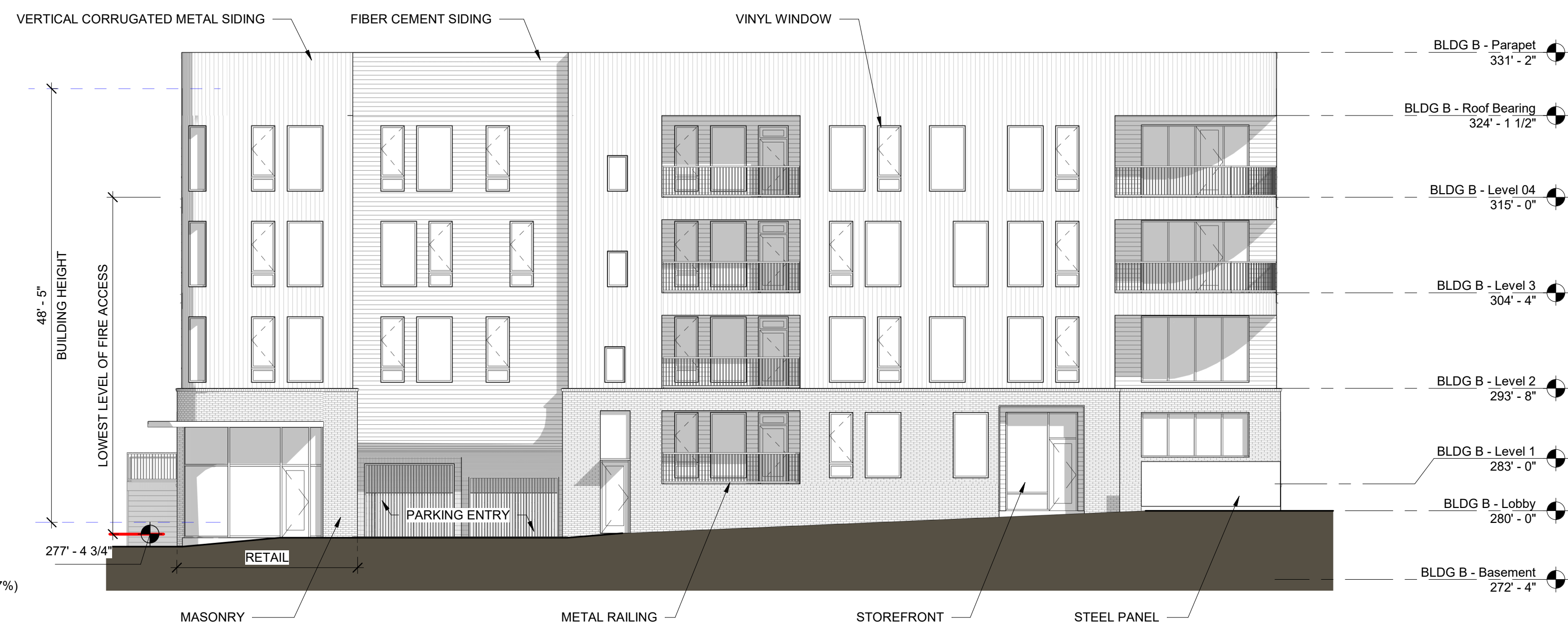
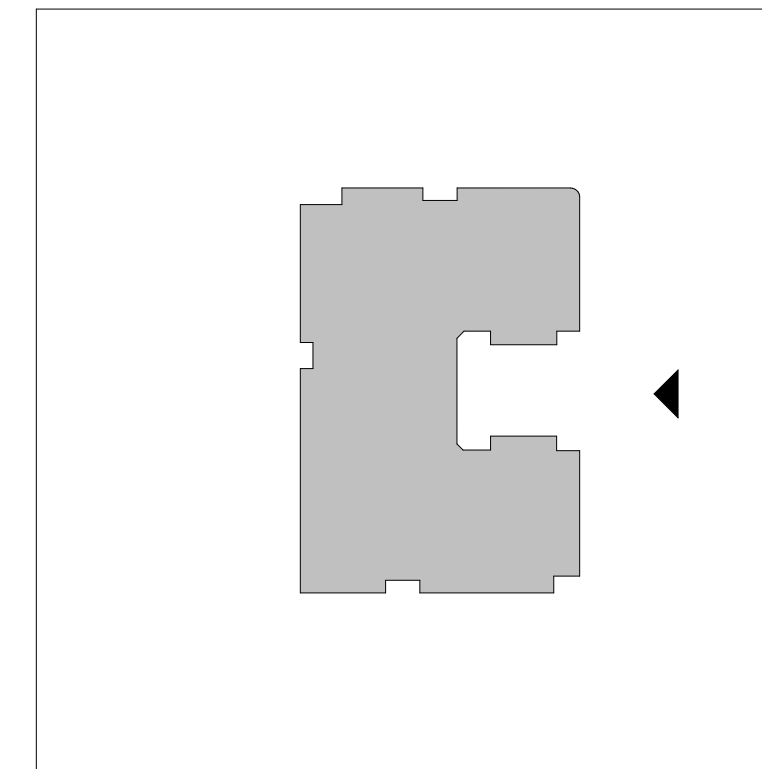
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BLDG B - EAST ELEVATION

3/32" = 1'-0"

2

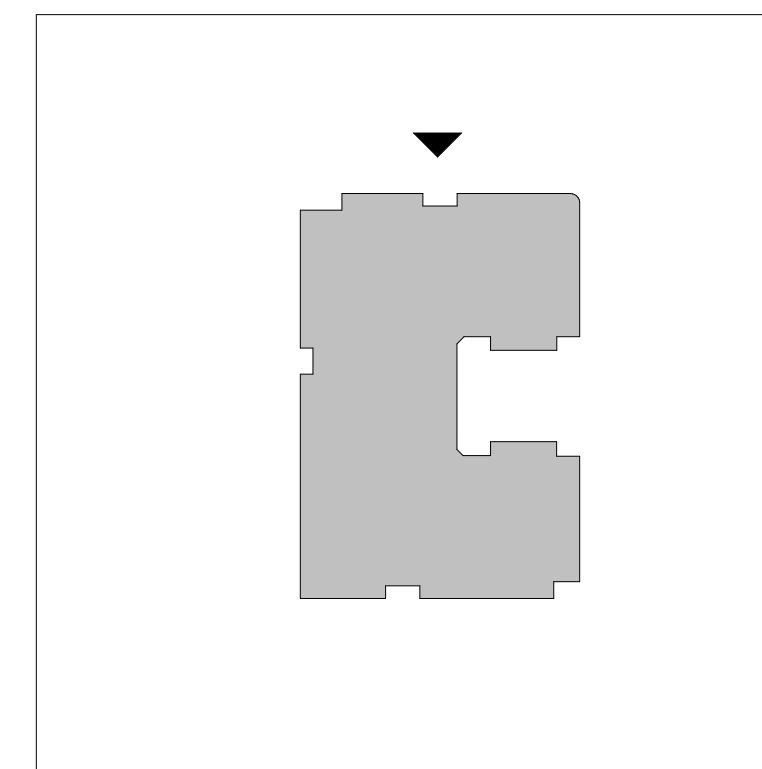


GLAZING CALCULATIONS
 FACADE TOTAL: 336 SF
 GLAZING TOTAL: 191 SF
 (57%)

BLDG B - NORTH ELEVATION

3/32" = 1'-0"

1



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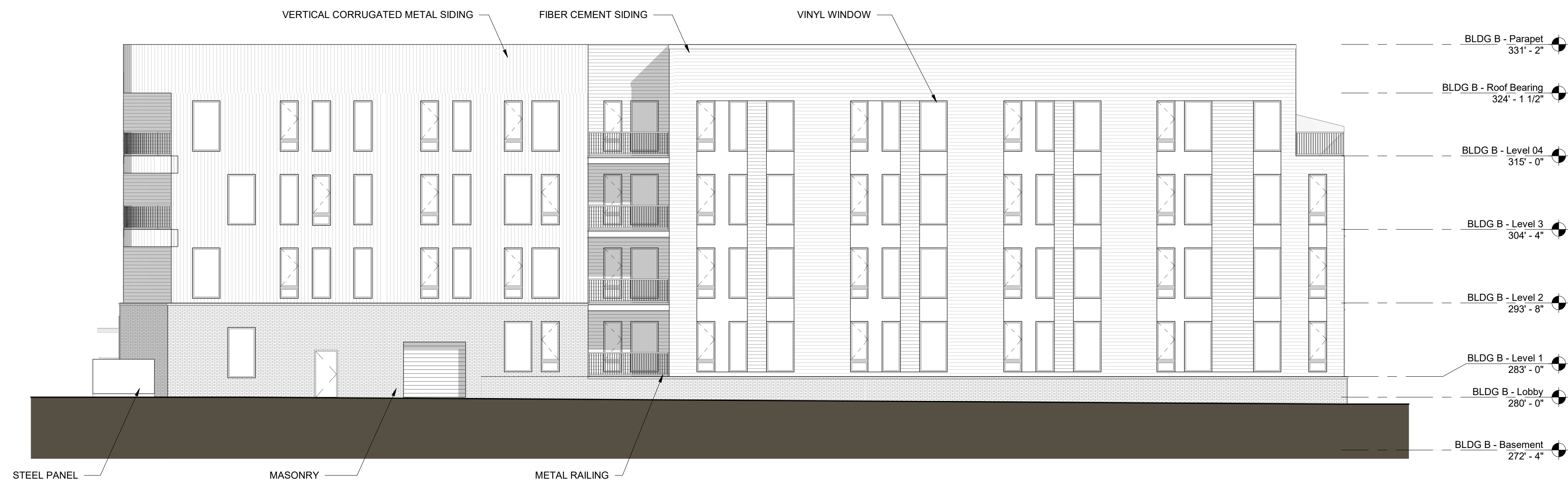
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BUILDING B -
 ELEVATIONS

ASR221



BLDG B - WEST ELEVATION

3/32" = 1'-0"

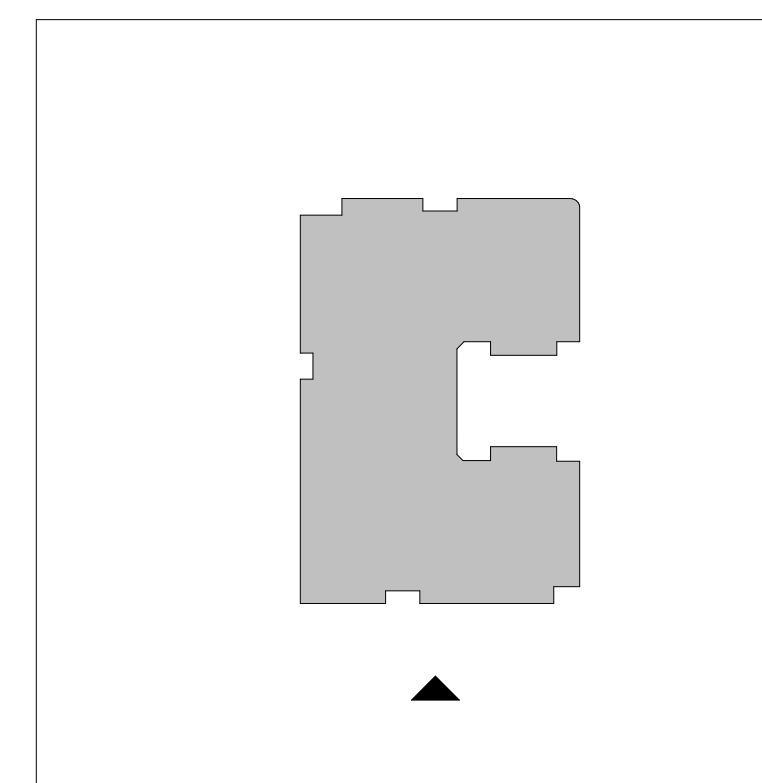
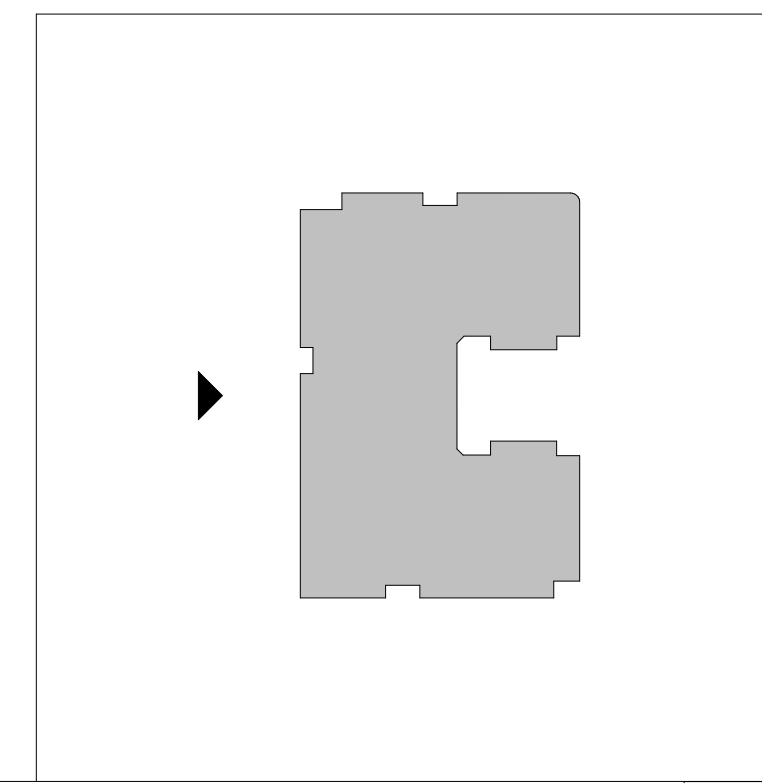
2



BLDG B - SOUTH ELEVATION

3/32" = 1'-0"

1



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**BUILDING B -
ELEVATIONS**

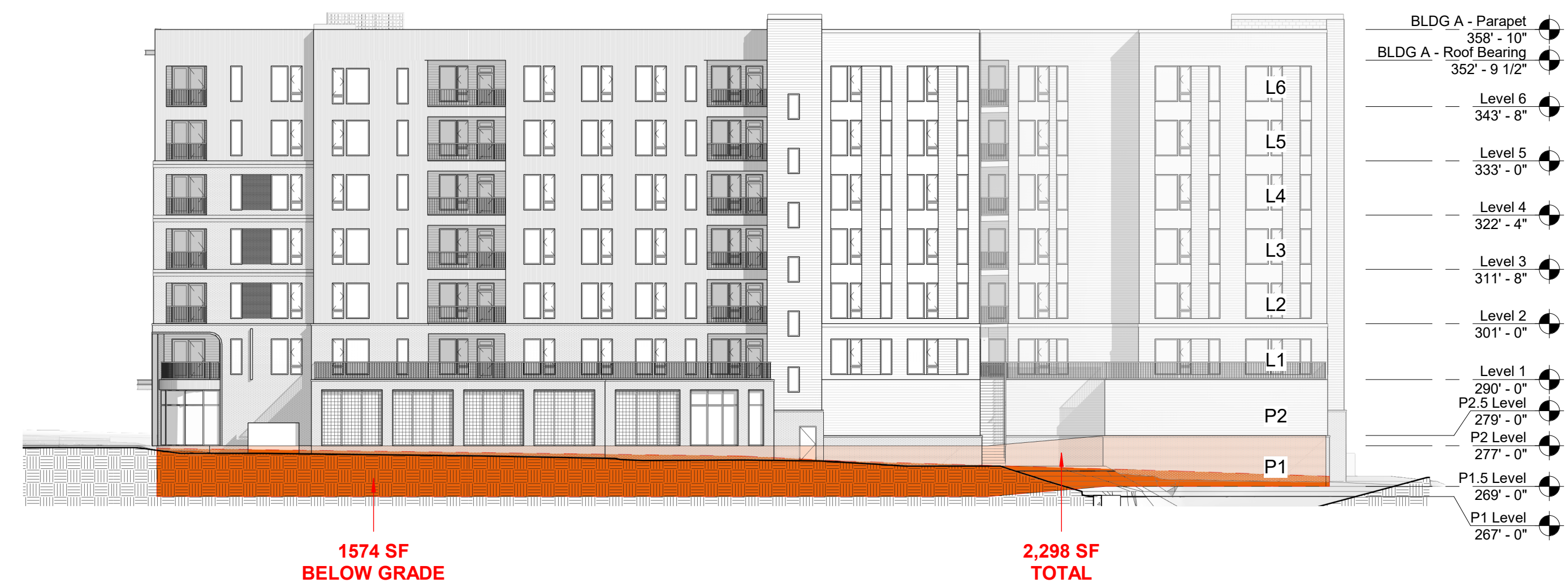
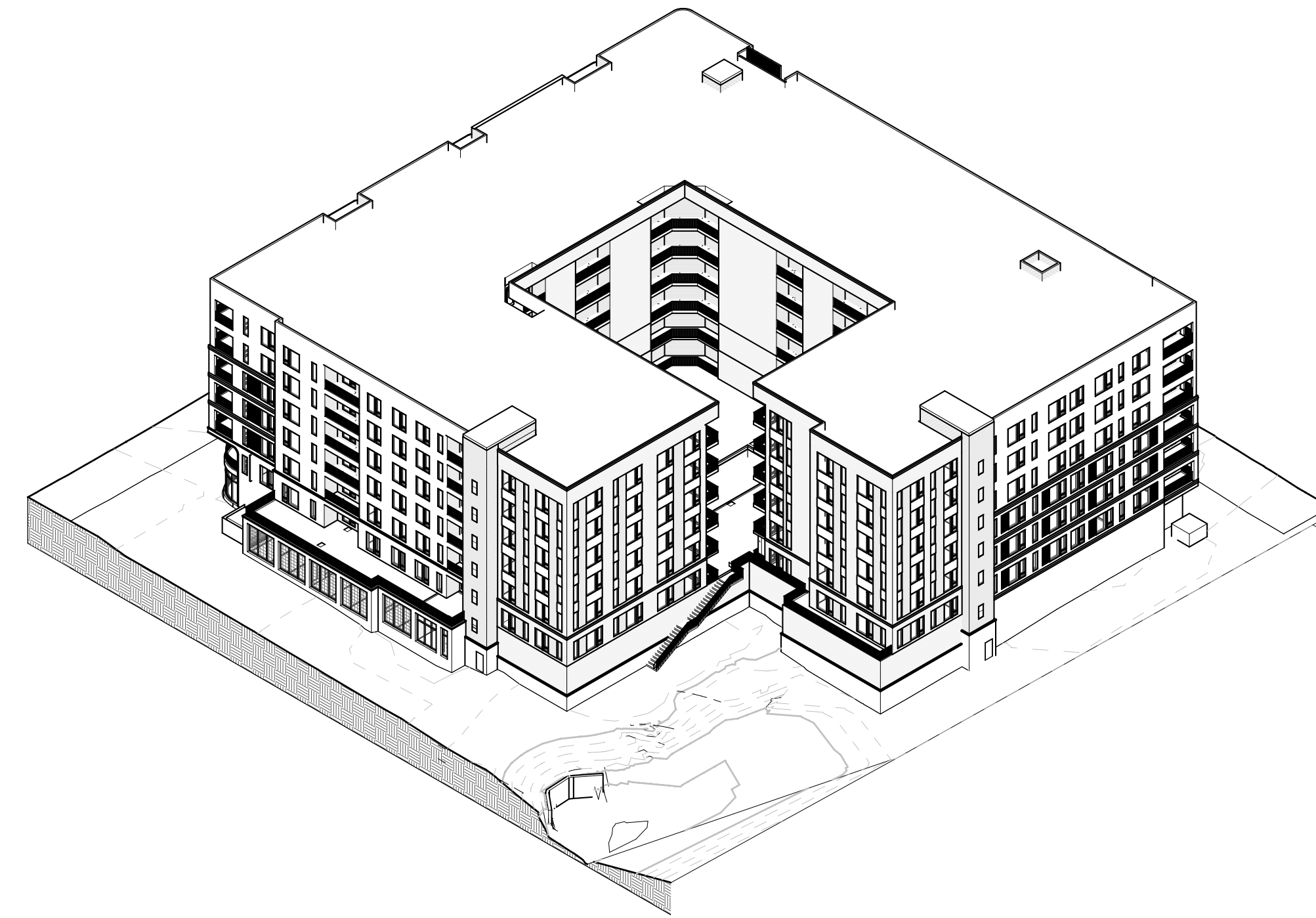
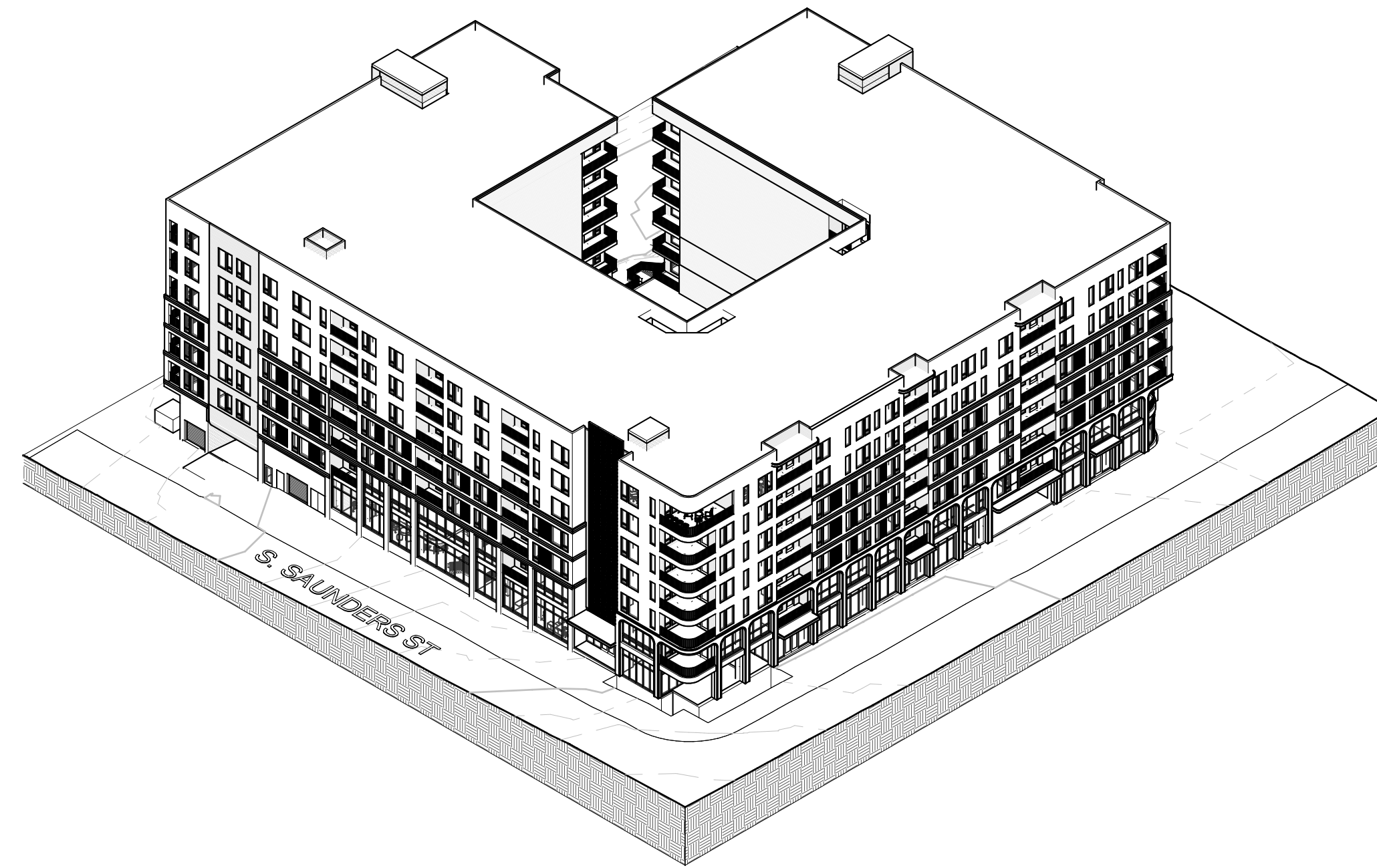
ASR222

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BASEMENT CALCULATIONS

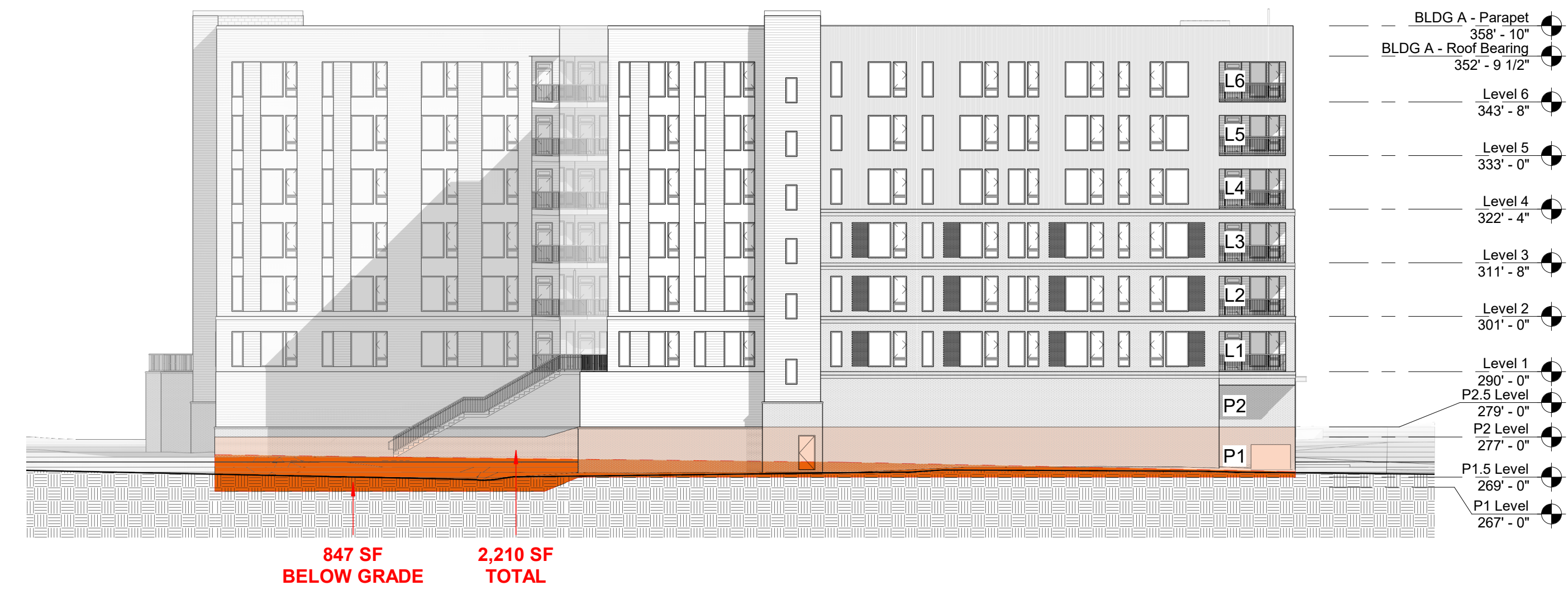
TOTAL WALL
 $2,298 + 2,210 + 2,313 + 2,170 =$
8,991 SF

TOTAL AREA BELOW GRADE
 $1,574 + 847 + 1,497 + 2,170 =$
6,088 SF (67%)



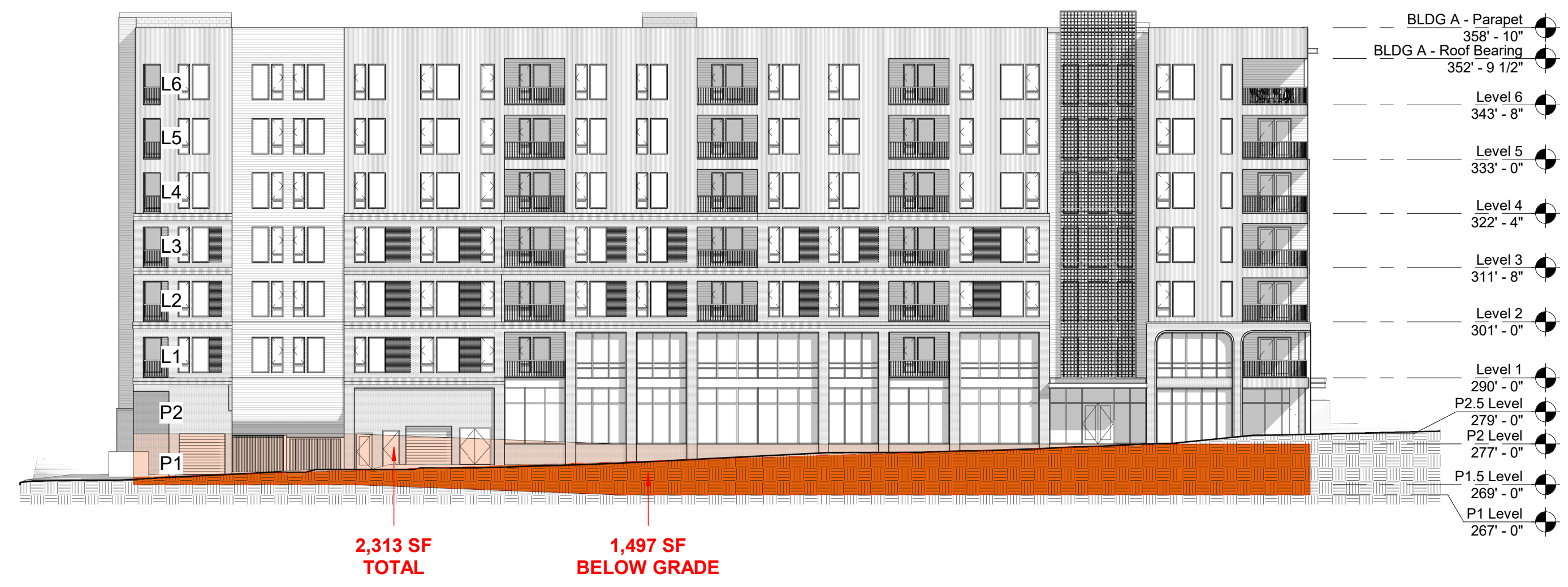
BLDG A - WEST (BASEMENT UDO)

3/64" = 1'-0" 4



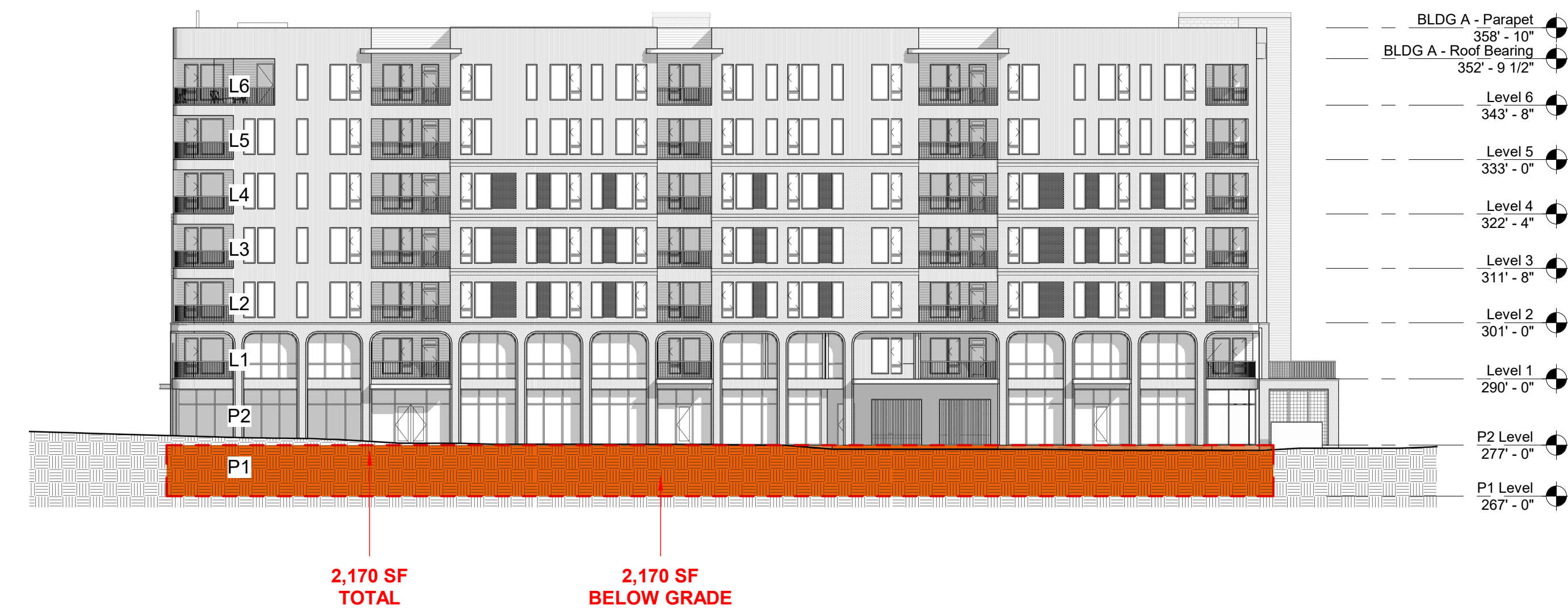
BLDG A - SOUTH (BASEMENT UDO)

3/64" = 1'-0" 3



BLDG A - EAST (BASEMENT UDO)

3/64" = 1'-0" 2



BLDG A - NORTH (BASEMENT UDO)

3/64" = 1'-0" 1

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BUILDING A -
 BASEMENT CALCS
 UDO

ASR231

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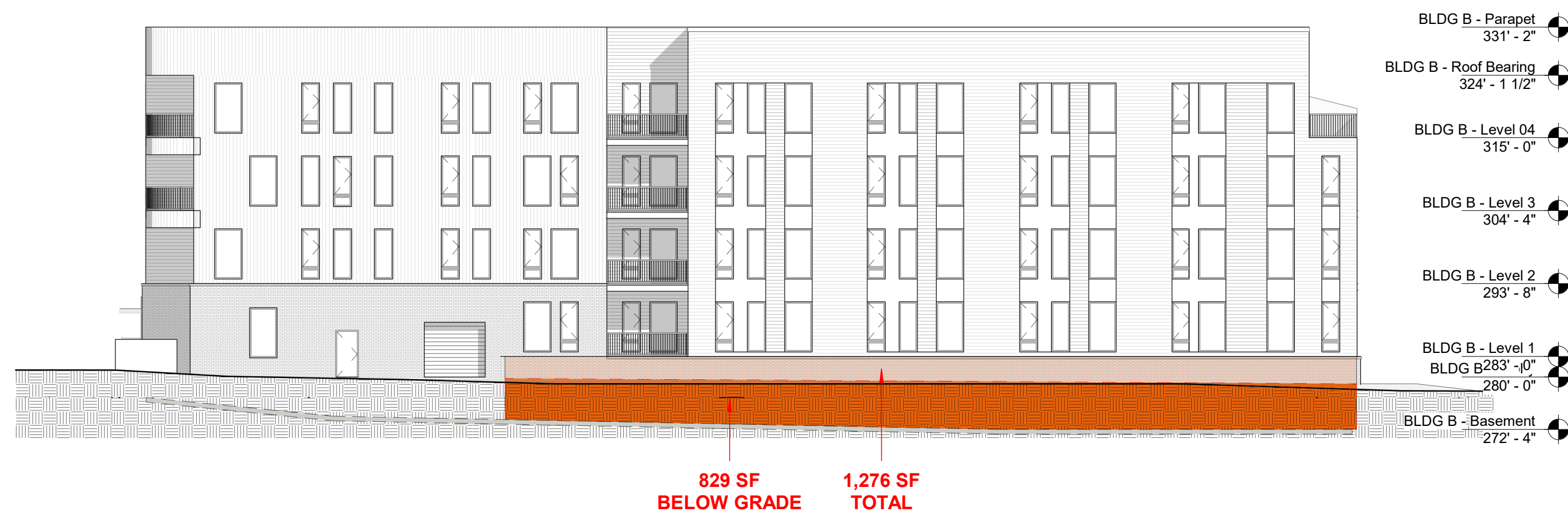
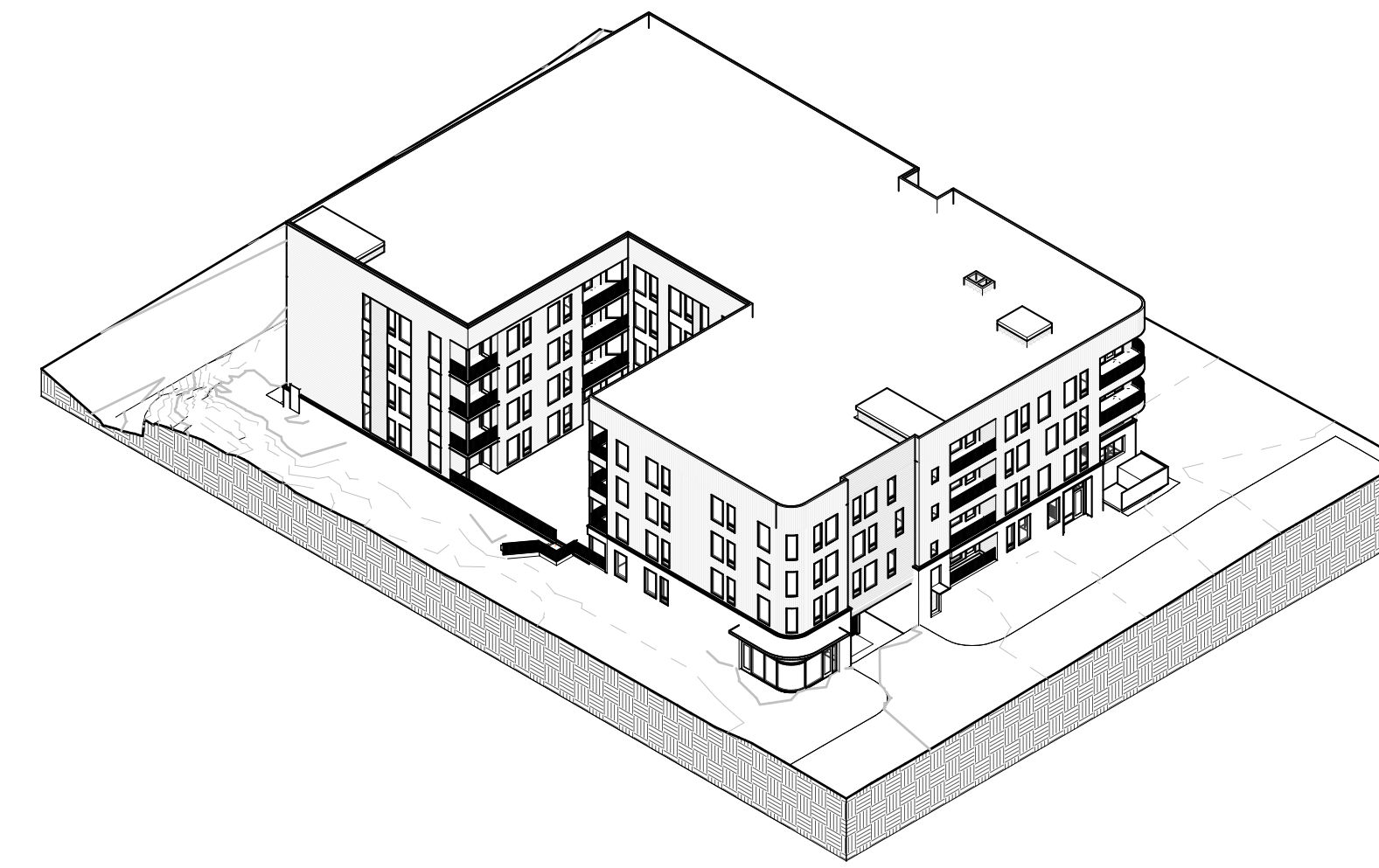
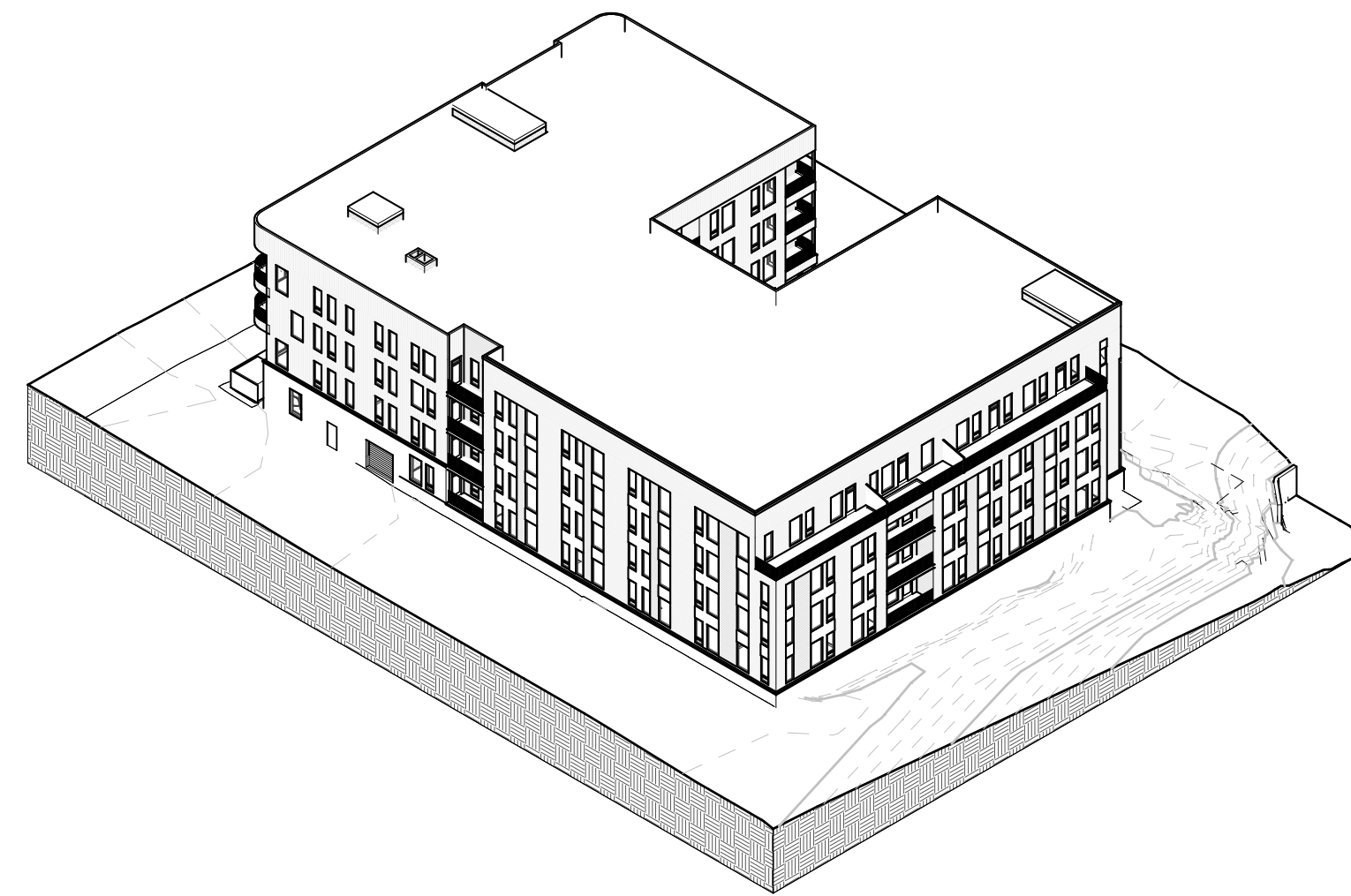
BASEMENT CALCULATIONS

TOTAL WALL

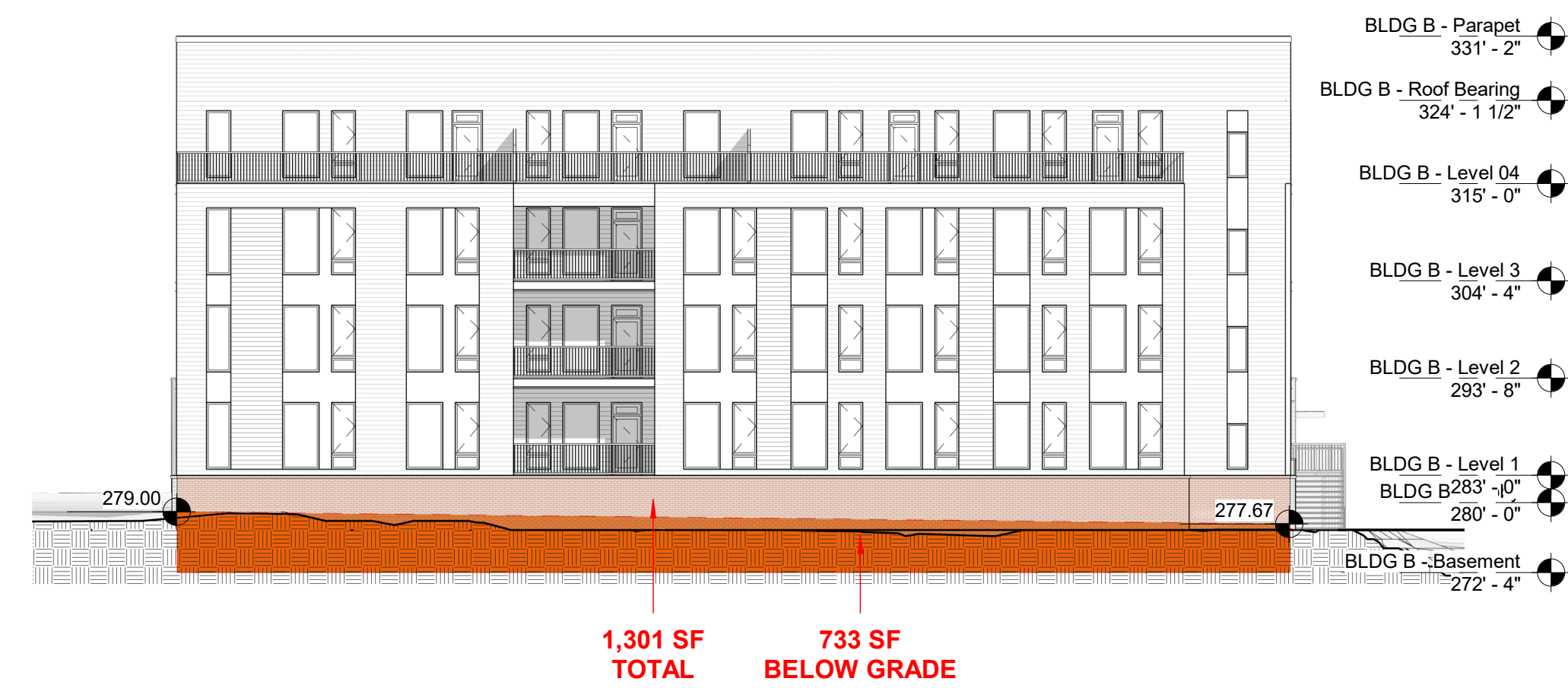
$542 + 1,502 + 1,301 + 1,276 =$
4,621 SF

TOTAL AREA BELOW GRADE

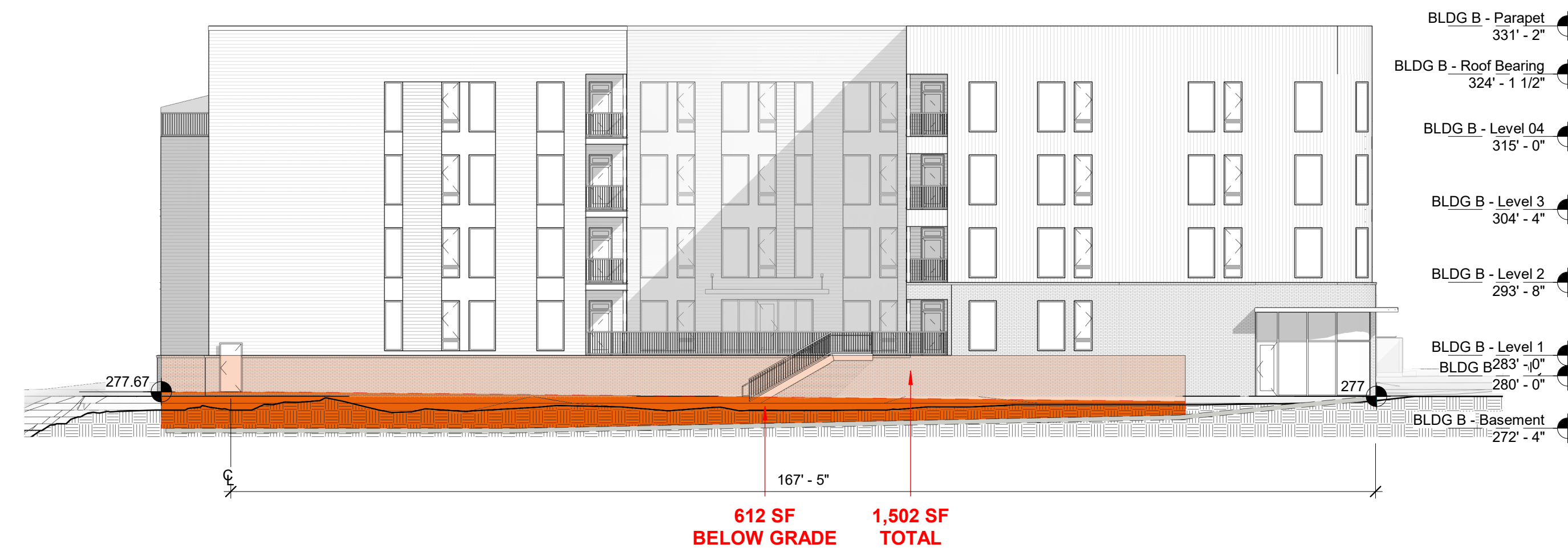
$206 + 612 + 733 + 829 =$
2,380 SF (52%)



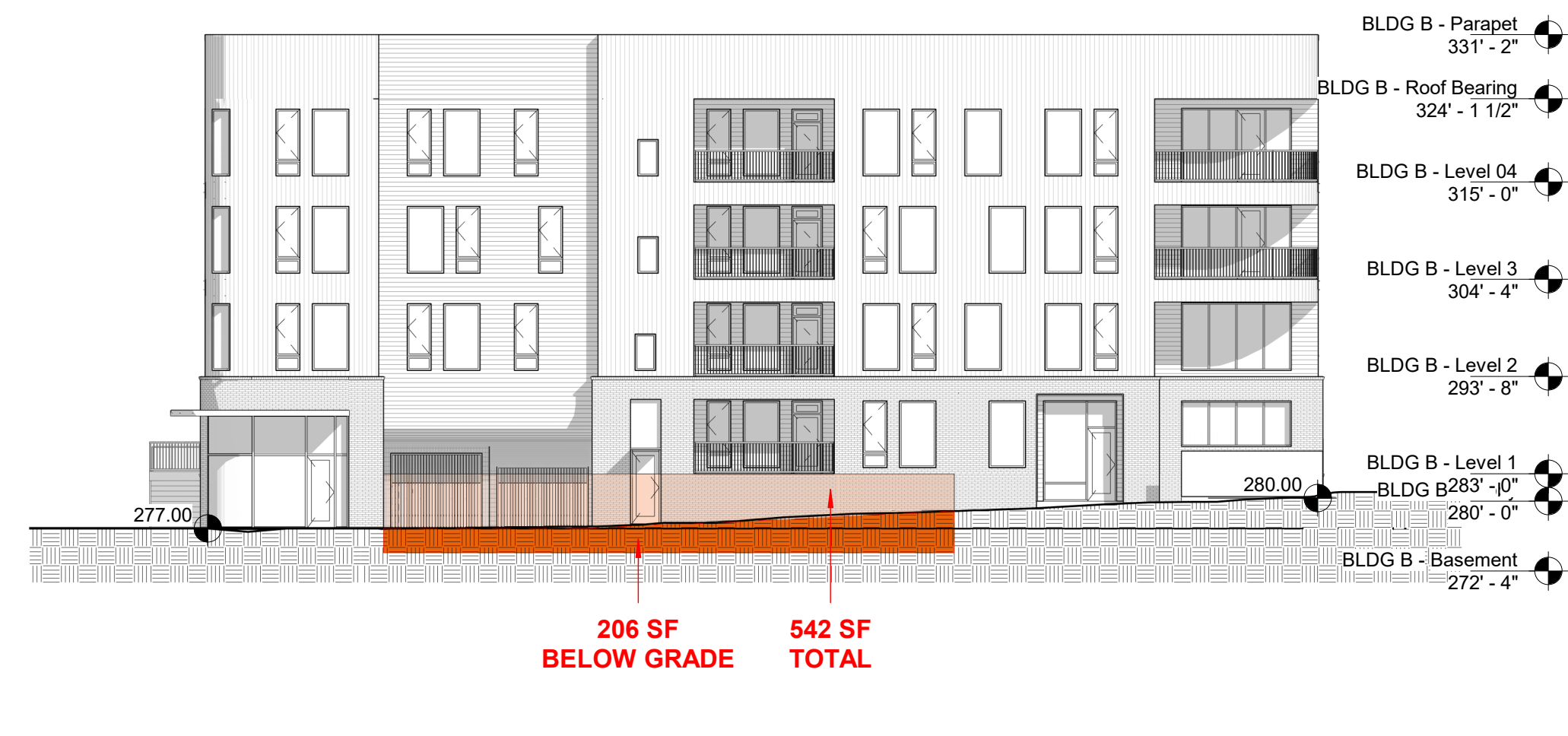
BLDG B - WEST (BASEMENT UDO) 4
 1/16" = 1'-0"



BLDG B - SOUTH (BASEMENT UDO) 3
 1/16" = 1'-0"



BLDG B - EAST (BASEMENT UDO) 2
 1/16" = 1'-0"



BLDG B - NORTH (BASEMENT UDO) 1
 1/16" = 1'-0"

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**BUILDING B -
 BASEMENT
 CALCULATIONS
 RALEIGH UDO**

ASR232

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