

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| | |
|---|--|
| Site Plan Tier: Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan <input type="checkbox"/> | |
| Building Type | |
| <input type="checkbox"/> Detached | <input type="checkbox"/> General |
| <input type="checkbox"/> Attached | <input type="checkbox"/> Mixed use |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot |
| <input type="checkbox"/> Townhouse | <input checked="" type="checkbox"/> Civic |
| Site Transaction History | |
| Subdivision case #: _____ | |
| Scoping/sketch plan case #: _____ | |
| Certificate of Appropriateness #: _____ | |
| Board of Adjustment #: _____ | |
| Zoning Case #: _____ | |
| Administrative Alternate #: _____ | |
| GENERAL INFORMATION | |
| Development name: Smith Temple Freewill Baptist Church | |
| Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | |
| Property address(es): 5432 and 5500 Rock Quarry Road | |
| Site P.I.N.(s): 1732014252 and 1732016138 | |
| Please describe the scope of work. Include any additions, expansions, and change of use. New Church with associated Parking | |
| Current Property Owner/Developer Contact Name: Smith Temple Freewill Baptist Church NOTE: please attach purchase agreement when submitting this form. | |
| Company: Smith Temple Freewill Baptist Church | Title: _____ |
| Address: 322 S. East Street, Raleigh, NC 27601 | |
| Phone #: 919-271-1933 | Email: hollandtla6@hotmail.com |
| Applicant Name: Smith Temple Freewill Baptist Church (Elder Oscar Holland) | |
| Company: Smith Temple Freewill Baptist Church | Address: 322 S. East Street, Raleigh, NC 27601 |
| Phone #: 919-271-1933 | Email: hollandtla6@hotmail.com |

| DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments) | |
|--|--|
| SITE DATA | BUILDING DATA |
| Zoning district (if more than one, please provide the acreage of each): R-4 | Existing gross floor area (not to be demolished): N/A |
| | Existing gross floor area to be demolished: 2,450 SF |
| Gross site acreage: 1.88 Acres & 1.28 Acres | New gross floor area: 11,000 SF |
| # of parking spaces required: 75 | Total sf gross (to remain and new): 11,000 SF |
| # of parking spaces proposed: 75 | Proposed # of buildings: 1 |
| Overlay District (if applicable): | Proposed # of stories for each: 1 |
| Existing use (UDO 6.1.4): Residential | |
| Proposed use (UDO 6.1.4): Worship Area | |

| STORMWATER INFORMATION | |
|---|--|
| Existing Impervious Surface: Acres: .056 Square Feet: 2,450 | Proposed Impervious Surface: Acres: 1.20 Square Feet: 52,253.082 |
| Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | |
| If yes, please provide: _____ | |
| Alluvial soils: _____ | |
| Flood study: _____ | |
| FEMA Map Panel #: _____ | |
| Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | Wetlands Yes <input type="checkbox"/> No <input type="checkbox"/> |

| RESIDENTIAL DEVELOPMENTS | |
|--|--|
| Total # of dwelling units: | Total # of hotel units: |
| # of bedroom units: 1br 2br 3br 4br or more | |
| # of lots: | Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/> |

| SIGNATURE BLOCK | |
|--|------------------------|
| <p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>James Covington</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p> | |
| Signature: <u>James L. Covington</u> | Date: <u>5/17/2021</u> |
| Printed Name: <u>JAMES L. COVINGTON</u> | |

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
6. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE RIGHT-OF-WAY CLOSURES ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
7. ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
8. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRAIN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). 2010 ADA STANDARDS FOR ACESIBLE DESIGN AND THE MANUAL UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
12. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
13. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483
14. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
16. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
17. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
18. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
19. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
20. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
21. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
22. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
23. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
24. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
25. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
26. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
27. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
28. GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
29. SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL

(ASR-0042-2021)

STREET CLOSURE CASE NO. STC-012022

| SITE DATA & INFORMATION TABLE | |
|---|--|
| GENERAL: | |
| EXISTING LAND USE: | RESIDENTIAL |
| PROPOSED LAND USE: | CIVIC BUILDING |
| TOTAL PROPERTY ACREAGE: | 3.16 ACRES (137,649.60) |
| GROSS FLOOR AREA: PROPOSED | 9766 SF |
| PROPOSED BUILDING USE: | NEW CHURCH WITH ASSOCIATED PARKING |
| ZONING | |
| PROPERTY ADDRESS: | PIN NUMBER: |
| 5432 ROCK QUARRY ROAD | 1732-01-5242 |
| 5500 ROCK QUARRY ROAD | 1732-01-5242 |
| OWNER: | SMITH TEMPLE FREEWILL BAPTIST CHURCH 1117 CHATHAM LINE RALEIGH, NC 27610 |
| EXISTING ZONING: | R-4 |
| MINIMUM BUILDING SETBACKS | |
| LOT DIMENSIONS | |
| MINIMUM LOT SIZE (SQ. FT.) | 10,000 |
| MINIMUM LOT WIDTH (FT.) | 65 |
| SETBACK REQUIREMENTS (MINIMUM FT.) | |
| MINIMUM STREET (FT.) | 20 |
| MINIMUM SIDE AND REAR SETBACK (FT.) | |
| SIDE STREET AND SIDE LOT LINE MINIMUM (FT.) | 20 AND 10 |
| REAR LOT LINE MINIMUM (FT.) | 30 |
| PARKING SETBACKS (FT.) | |
| FROM PRIMARY STREET (FT.) | 20' |
| FROM SIDE STREET (FT.) | 10' |
| FROM SIDE/REAR LOT LINE (FT.) | 10' |
| BULK (MAXIMUM) | |
| HEIGHT (FT.) / NUMBER OF STORIES | 40 [3] |
| PARKING INFORMATION | |
| PARKING REQUIRED FOR: PLACE OF WORSHIP: | |
| 1 SPACE PER 4 SEATS IN PRINCIPAL ASSEMBLY ROOM: 300 SEATS = 75 PARKING SPACES | |
| HANDICAP ACCESSIBLE SPACES REQUIRED: 3 | |
| VAN ACCESSIBLE REQUIRED: 1 | |
| PARKING PROVIDED: | |
| HANDICAP ACCESSIBLE SPACES: 3 | |
| VAN ACCESSIBLE: 1 | |
| TOTAL PARKING PROVIDED: 75 PARKING SPACES | |

SMITH TEMPLE BAPTIST CHURCH

5432/5500 ROCK QUARRY ROAD

NEW CHURCH WITH

ASSOCIATED PARKING LOT

5432/5500 ROCK QUARRY ROAD
RALEIGH, NC 27610


SHEET INDEX

| | |
|-------------------------------------|--------|
| DRAWING TITLE | PAGE # |
| COVER SHEET | COVER |
| EXISTING CONDITIONS | C-100 |
| DEMOLITION PLAN | C-101 |
| SITE LAYOUT PLAN | C-200 |
| GRADING PLAN / EROSION CONTROL PLAN | C-300 |
| LANDSCAPING PLAN | C-400 |
| STORMWATER LAYOUT | C-500 |
| UTILITY PLAN | C-600 |
| DETAILS SHEET | C-700 |
| EROSION CONTROL DETAILS | C-701 |
| DETENTION POND DETAILS SHEET | C-702 |

OWNER CONTACT:
SMITH TEMPLE BAPTIST CHURCH
322 S. EAST STREET
RALEIGH, NC 27601
POC - ELDER OSCAR HOLLAND
HOLLANDTLA6@HOTMAIL.COM
919-271-1933

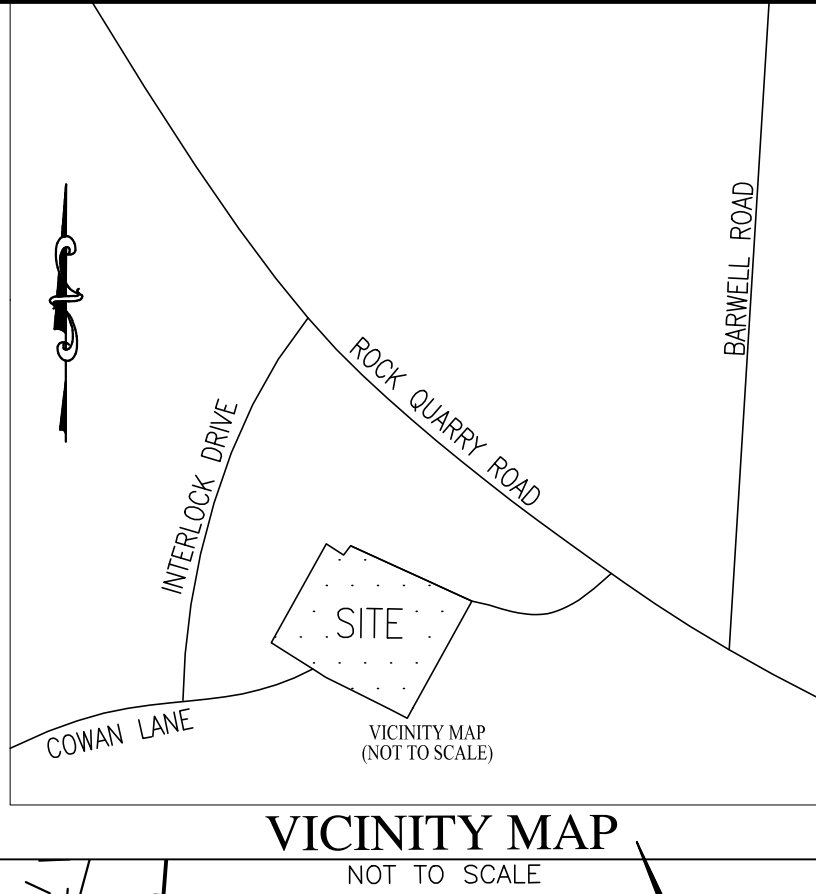
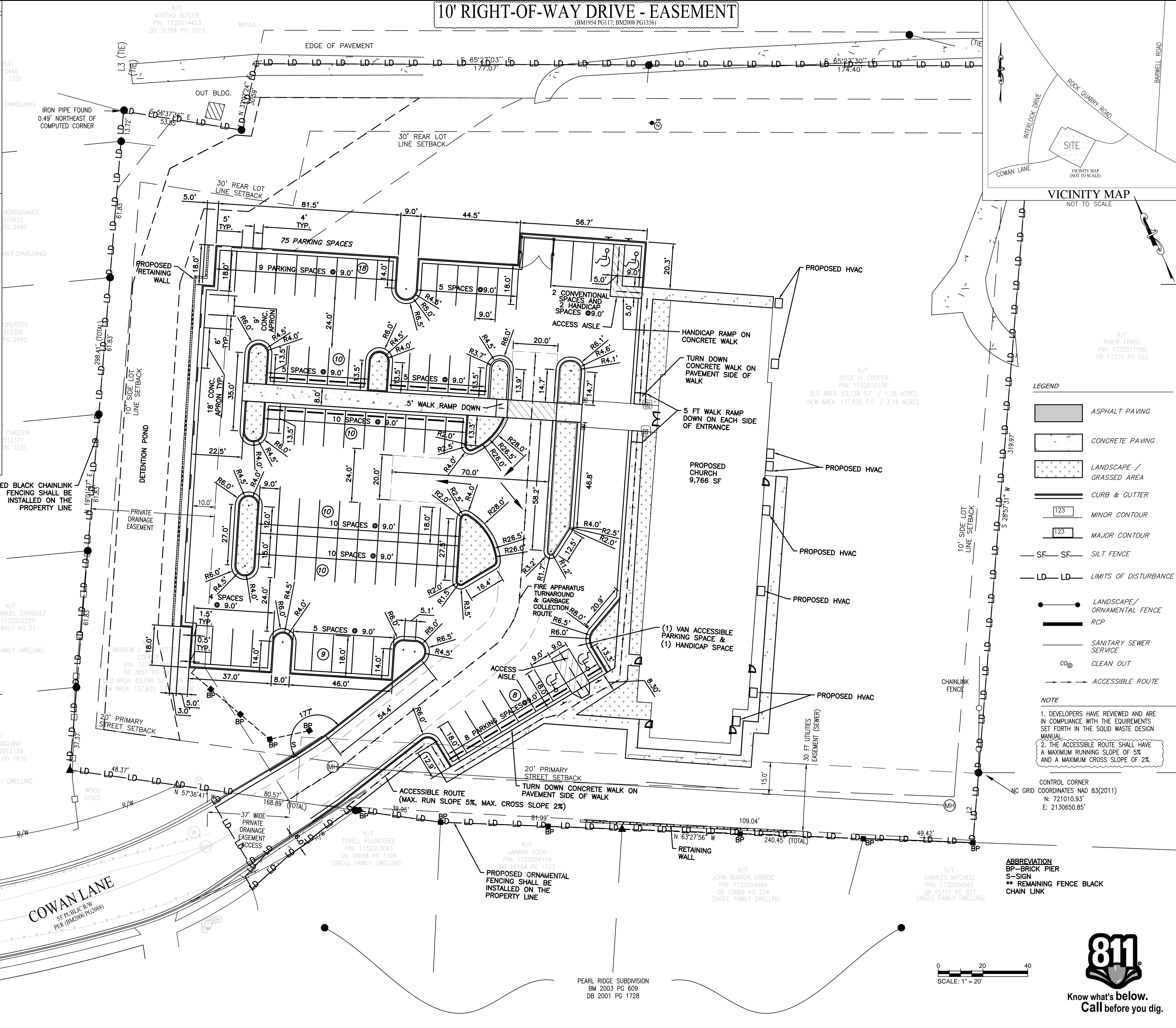
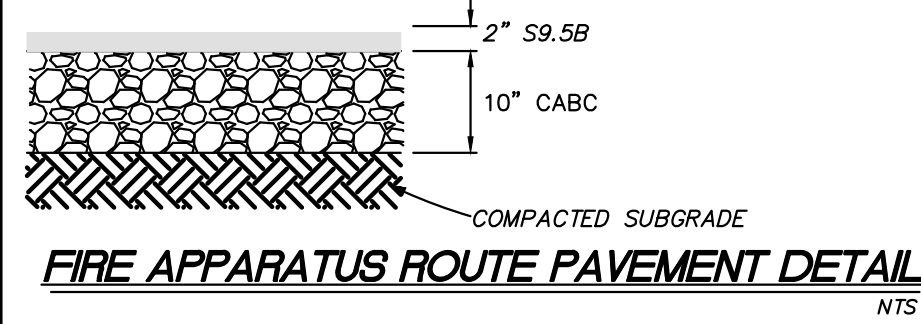
CONTRACTOR'S CONTACT:
MASON BUILDERS, LLC
 PO BOX 1068
 GASTON, NC 27832
 BERNARD@MASONBUILDERSLLC.COM
 252-525-0993

[illegible]

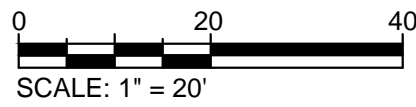
| | | | | | | | |
|---|---|--|--|--|---|----------------------------------|--|
|  Covington & Associates <i>"Reshaping Reality"</i> | SMITH TEMPLE BAPTIST CHURCH (ASR-0042-2021) WAKE COUNTY, NC COVER SHEET | | JOB NO. 101220 | | <div style="background-color: black; width: 100px; height: 100px; margin: 0 auto;"></div> | | |
| | SHEET NO. COVER | | | | | | |
| | DATE 05/18/2021 09/03/2021 | | REVISION DESCRIPTION INITIAL ASR SUBMITTAL TO ADDRESS CITY COMMENTS ISSUED ON 16 JUN 2021 | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | 811 EULA STREET, SUITE B GREENSBORO, NC 27403 PH: (336) 335-3130 | | A MINORITY OWNED CIVIL ENGINEERING FIRM NORTH CAROLINA Planning - Site Development - Infrastructure | | | DATE 02/22/2022 | |
| | | | | | | DRAWN BY | |
| | | | | | | TD DESIGNED BY | |
| JLC CHECKED BY | | | | | | | |
| JLC SCALE AS INDICATED | | | | | | | |

These plans and associated documents are the exclusive property of Covington & Associates and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of Covington-Waller & Associates.

| SITE DATA & INFORMATION TABLE | |
|---|--------------------------------------|
| GENERAL: | |
| EXISTING LAND USE: | RESIDENTIAL |
| PROPOSED LAND USE: | CIVIC BUILDING |
| TOTAL PROPERTY ACREAGE: | 3.16 ACRES (137,649.60) |
| GROSS FLOOR AREA: PROPOSED | 10,108 SF |
| PROPOSED BUILDING USE: | NEW CHURCH WITH ASSOCIATED PARKING |
| ZONING | |
| PROPERTY ADDRESS: | PIN NUMBER: |
| 5432 ROCK QUARRY ROAD | 1732-01-5242 |
| 5500 ROCK QUARRY ROAD | 1732-01-5242 |
| OWNER: | SMITH TEMPLE FREEWILL BAPTIST CHURCH |
| | 1117 CHATHAM LANE |
| | RALEIGH, NC 27610 |
| EXISTING ZONING: | R-4 |
| MINIMUM BUILDING SETBACKS | |
| LOT DIMENSIONS | |
| MINIMUM LOT SIZE (SQ. FT.) | 10,000 |
| MINIMUM LOT WIDTH (FT.) | 65 |
| SETBACK REQUIREMENTS (MINIMUM FT.) | |
| MINIMUM STREET (FT.) | 20 |
| MINIMUM SIDE AND REAR SETBACK (FT.) | |
| SIDE STREET AND SIDE LOT LINE MINIMUM (FT.) | 20 AND 10 |
| REAR LOT LINE MINIMUM (FT.) | 30 |
| PARKING SETBACKS (FT.) | |
| FROM PRIMARY STREET(FT.) | 20' |
| FROM SIDE STREET (FT.) | 10' |
| FROM SIDE/REAR LOT LINE (FT.) | 10' |
| BULK (MAXIMUM) | |
| HEIGHT (FT.) / NUMBER OF STORIES | 40 [3] |
| PARKING INFORMATION | |
| PARKING REQUIRED FOR: PLACE OF WORSHIP: | |
| 1 SPACE PER 4 SEATS IN PRINCIPAL ASSEMBLY ROOM: 300 SEATS = 75 PARKING SPACES | |
| HANDICAP ACCESSIBLE SPACES REQUIRED: 3 | |
| VAN ACCESSIBLE REQUIRED: 1 | |
| PARKING PROVIDED: | |
| HANDICAP ACCESSIBLE SPACES: 3 | |
| VAN ACCESSIBLE: 2 | |
| TOTAL PARKING PROVIDED : 75 PARKING SPACES | |



| LEGEND | |
|---|------------------------------|
| | ASPHALT PAVING |
| | CONCRETE PAVING |
| | LANDSCAPE / GRASSED AREA |
| | CURB & GUTTER |
| | MINOR CONTOUR |
| | MAJOR CONTOUR |
| | SILT FENCE |
| | LIMITS OF DISTURBANCE |
| | LANDSCAPE / ORNAMENTAL FENCE |
| | RCP |
| | SANITARY SEWER SERVICE |
| | CLEAN OUT |
| | ACCESSIBLE ROUTE |
| NOTE | |
| 1. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. | |
| 2. THE ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. | |
| CONTROL CORNER NC GRID COORDINATES NAD 83(2011) N: 721010.93' E: 2130650.85' | |



811 EULA STREET, SUITE B
GREENSBORO, NC 27403
PH: (336) 335-3130

REVISION DESCRIPTION
INITIAL ASR SUBMITTAL
05/18/2021
TO ADDRESS CITY COMMENTS ISSUED ON 16 JUN 2021
09/03/2021
CHANGE FDC LOCATION
07/07/2022

DATE

SMITH TEMPLE BAPTIST CHURCH (ASR-0042-2021)

WAKE COUNTY, NC

SITE LAYOUT

JOB NO.
101220

SHEET NO.
C-200

Covington & Associates
"Reshaping Reality"

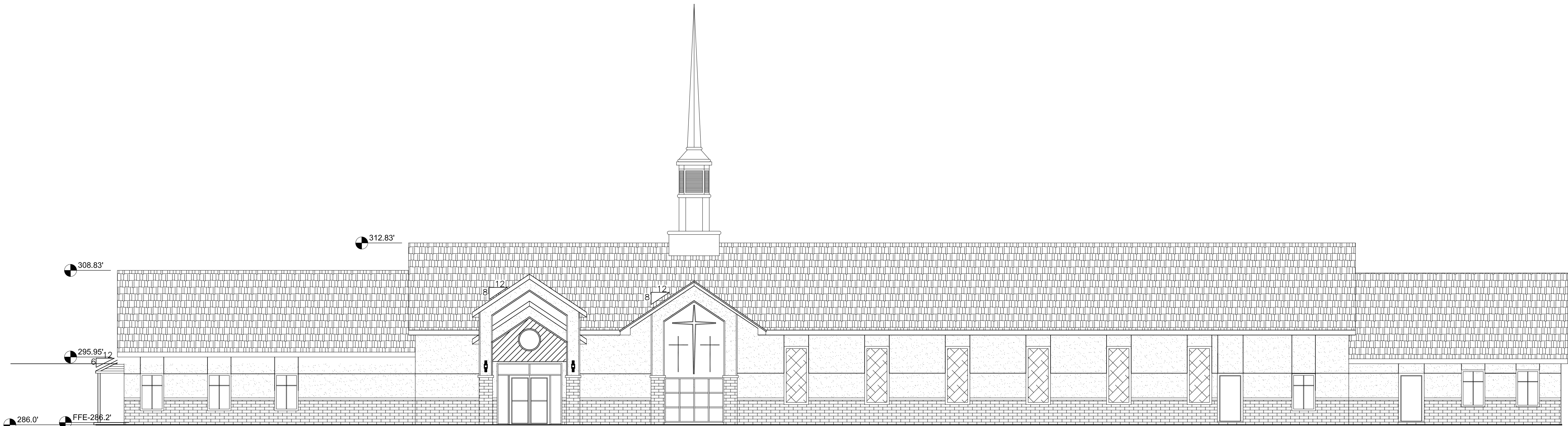
SMITH TEMPLE BAPTIST CHURCH (ASR-0042-2021)
WAKE COUNTY, NC
SITE LAYOUT

JOB NO.
101220
SHEET NO.
C-200

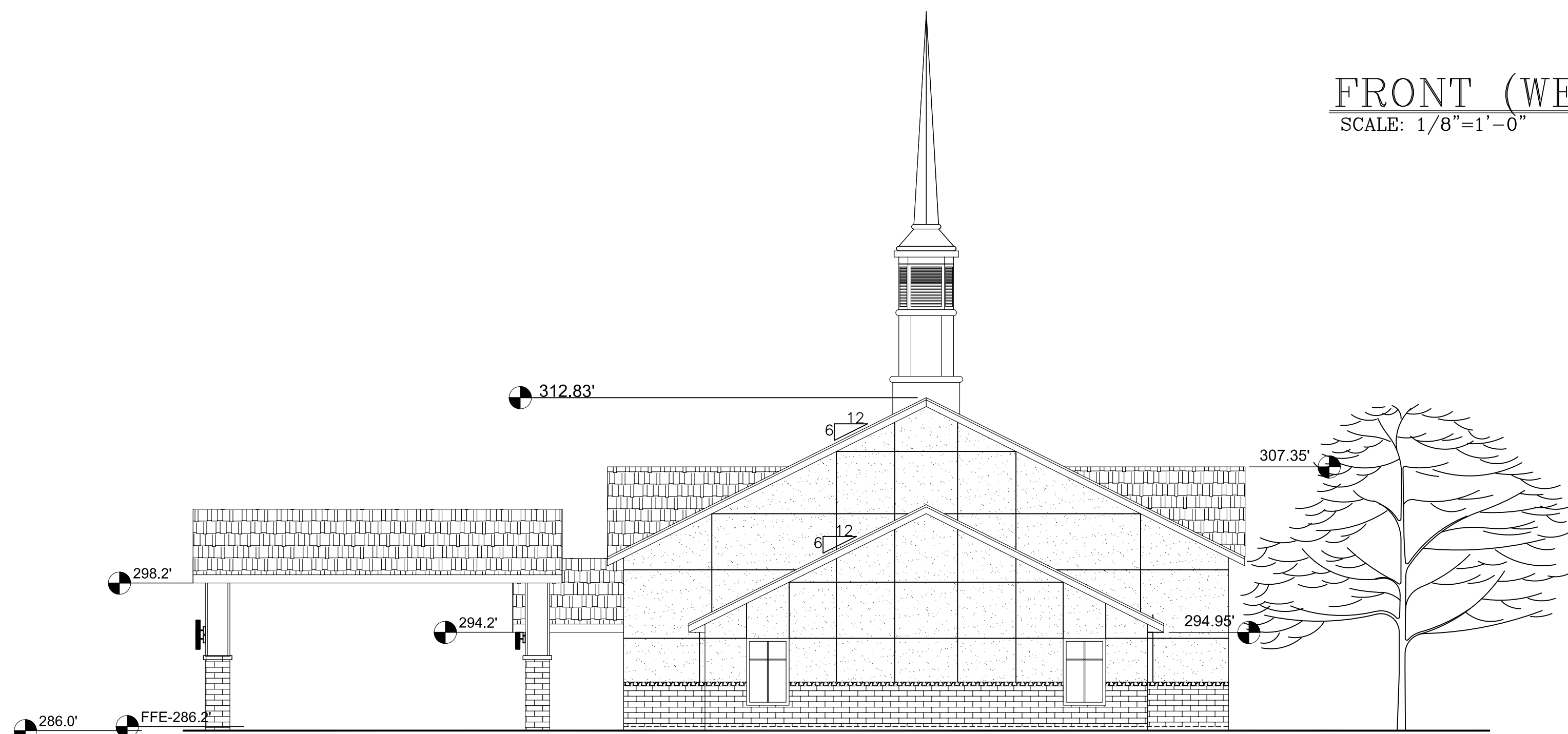
A MINORITY OWNED CIVIL ENGINEERING FIRM
NORTH CAROLINA
Planning - Site Development - Infrastructure

DATE
07/07/2022
DRAWN BY
TJD
DESIGNED BY
JLC
CHECKED BY
JLC
SCALE
AS INDICATED

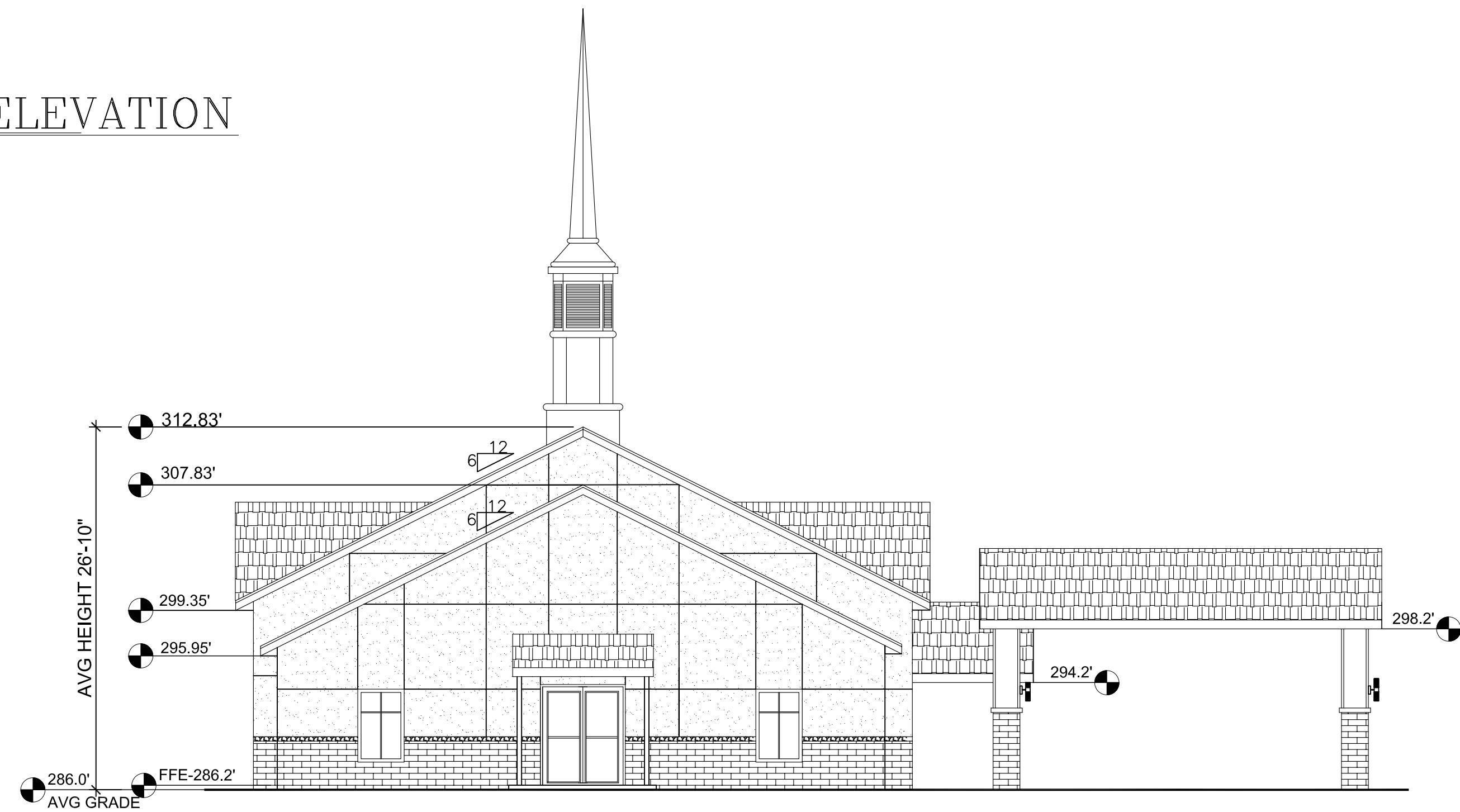
These plans and associated documents are the exclusive property of Covington & Associates and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of Covington-Waller & Associates.



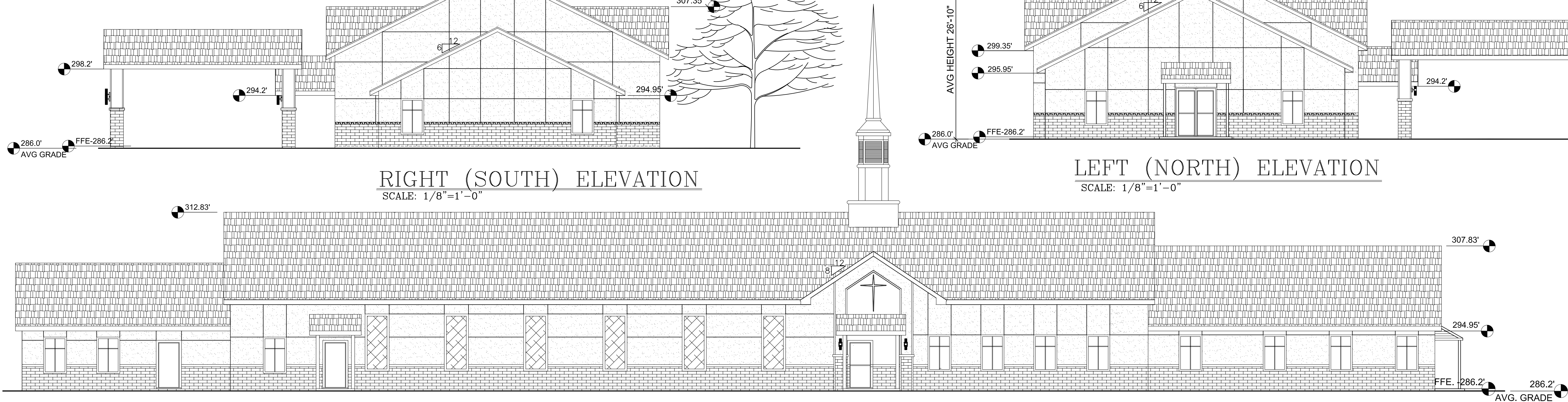
FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"



RIGHT (SOUTH) ELEVATION
SCALE: 1/8"=1'-0"



LEFT (NORTH) ELEVATION
SCALE: 1/8"=1'-0"



REAR (EAST) ELEVATION
SCALE: 1/8"=1'-0"