

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits? Yes No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use. 			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

DEVELOPMENT TYPE + SITE DATE TABLE**(Applicable to all developments)**

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

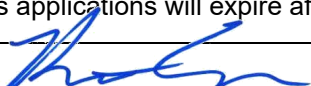
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 

Date:

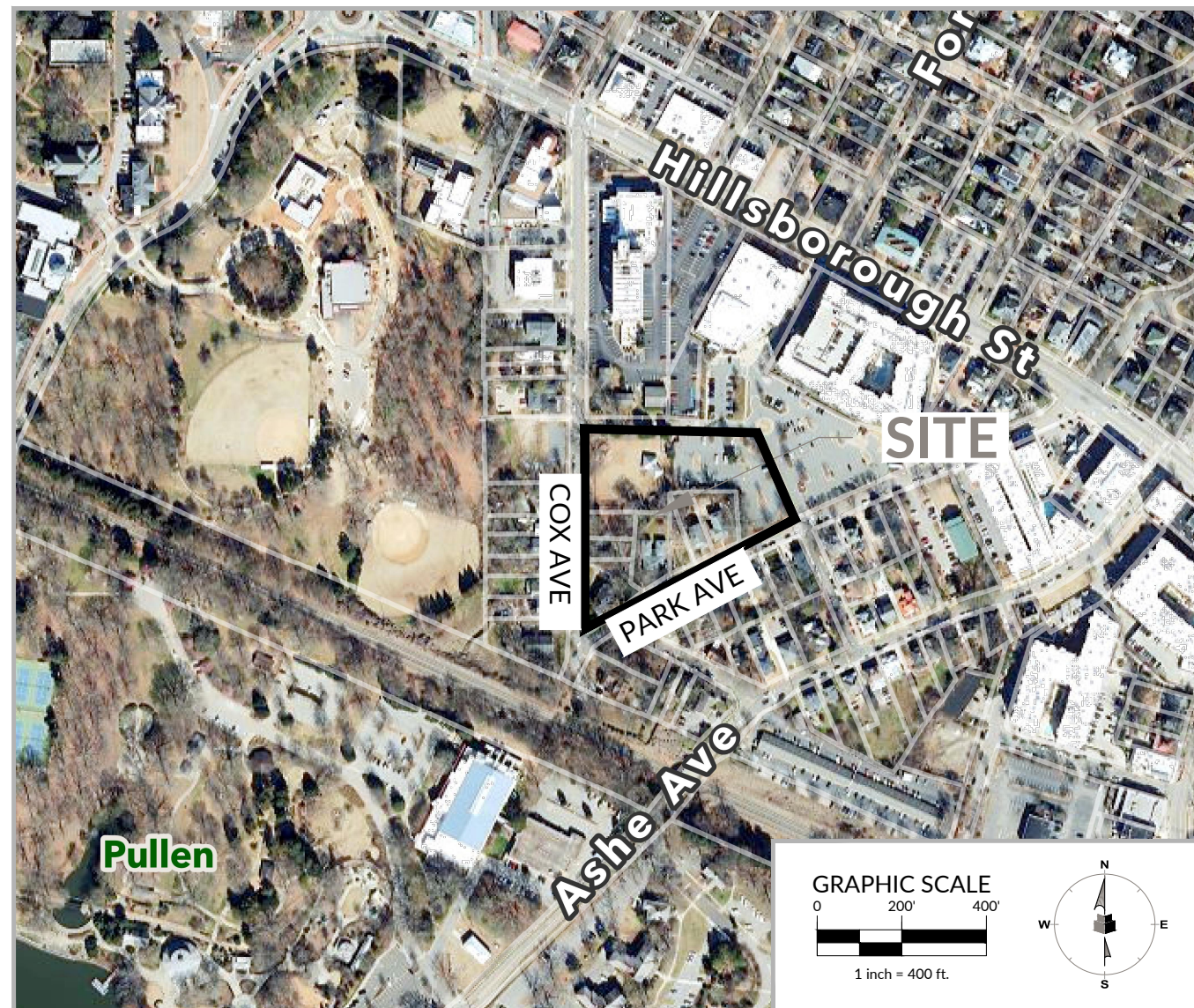
Printed Name:

TIER 3 SITE PLANS | ASR-0042-2022

ALEXANDER YMCA EXPANSION

207 COX AVE. | RALEIGH, NC | CITY OF RALEIGH

VICINITY MAP



SITE DATA TABLE

CITY OF RALEIGH PROJECT NO.	ASR-0042-2022
PARCEL PIN NO.	1704009101, 1703097947, 1703097933, 1703097834, 1703098932, 1703098993, 1703099945, 1703190906
OWNER	YMCA OF THE TRIANGLE
SITE ADDRESS	214 PARK AVE; 207 COX AVE; 222 PARK AVE; 210 PARK AVE; 212 PARK AVE; 216 PARK AVE; 213 COX AVE; 211 COX AVE RALEIGH, NC
DEED BOOK AND PAGE	8244 PG 2308; 1264 PG 424; 12986 PG 182; 11886 PG 31; 14953 PG 2438; 15037 PG 2186; 8456 PG 2269
ZONING	OX-3 & RX-3
ZONING CONDITION	N/A
OVERLAY DISTRICT	SRPOD OVERLAY
EXISTING SITE AREA	3.50 AC (152,507 SF)
PROPOSED SITE AREA	3.42 AC (149,160 SF)
WATERSHED	WALNUT CREEK (NEUSE RIVER)
EXISTING USE	CIVIC & RESIDENTIAL
PROPOSED USE	CIVIC & OPEN LOT
BUILDING SETBACKS:	
PRIMARY STREET	10' (CIVIC BUILDING & OPEN LOT)
SIDE STREET	10' (CIVIC BUILDING & OPEN LOT)
SIDE LOT LINE	0' OR 6' (CIVIC BUILDING) & 10' (OPEN LOT)
REAR LOT LINE	0' OR 6' (CIVIC BUILDING) & 10' (OPEN LOT)
PARKING SETBACKS:	
PRIMARY STREET	10' (CIVIC BUILDING ONLY)
SIDE STREET	10' (CIVIC BUILDING ONLY)
SIDE LOT LINE	0' OR 3' (CIVIC BUILDING ONLY)
REAR LOT LINE	0' OR 3' (CIVIC BUILDING ONLY)
BUILDING INFORMATION:	
PROPOSED NUMBER OF BUILDINGS	1
EXISTING BUILDING SF TO REMAIN	0
PROPOSED NEW SF	16,680
TOTAL BUILDING SF	16,680
PROPOSED NUMBER OF UNITS	N/A
PROPOSED NUMBER OF STORIES	2
PARKING:	
REQUIRED PARKING	NO MAXIMUM
PROVIDED PARKING	291
BIKE PARKING:	
MINIMUM BIKE PARKING REQUIRED (SHORT TERM)	4
PROPOSED BIKE PARKING (SHORT TERM)	4
MINIMUM BIKE PARKING REQUIRED (LONG TERM)	0
PROPOSED BIKE PARKING (LONG TERM)	0
AMENITY AREA:	
MINIMUM AMENITY AREA REQUIRED	0.18 AC (REQUIRED FOR CIVIC LOT ONLY)
PROPOSED AMENITY AREA	0.33 AC
OPEN SPACE:	
MINIMUM OPEN SPACE REQUIRED	N/A
PROPOSED OPEN SPACE	N/A

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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	<input type="checkbox"/> Tier Two Site Plan	<input checked="" type="checkbox"/> Tier Three Site Plan
Building Type	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Open lot <input checked="" type="checkbox"/> Civic
Site Transaction History	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____	

GENERAL INFORMATION
Development name: Alexander Family YMCA Parking Expansion
Inside City limits? Yes ☒ No ☐
Property address(es): 214 PARK AVE; 207 COX AVE; 222 PARK AVE; 210 PARK AVE; 212 PARK AVE; 216 PARK AVE; 213 COX AVE; 211 COX AVE

Site P.I.N.(s): 1704009101, 1703097947, 1703097933, 1703097834, 1703098932, 1703098993, 1703099945, 1703190906
Please describe the scope of work. Include any additions, expansions, and change of use.
Demolition of existing houses and addition of parking & sports fields, with associated site improvements.

Current Property Owner/Developer Contact Name: Tim Carr
NOTE: please attach purchase agreement when submitting this form.
Company: YMCA of the Triangle Title: _____
Address: 801 Corporate Center Dr, Suite 200
Phone #: 919-719-9622 Email: _____

Applicant Name: Robert Caudle, PE
Company: WithersRavenel Address: 137 S. Wilmington St, Suite 200
Phone #: 919-238-0359 Email: rcaudle@withersravenel.com

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REVISION 02.19.21

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3 (1.94 AC); RX-3 (1.56 AC)	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 15,328
Gross site acreage: 3.50 AC	New gross floor area: 16,680
# of parking spaces required: NO MAXIMUM	Total sf gross (to remain and new): 16,680
# of parking spaces proposed: 291	Proposed # of buildings: 1
Overlay District (if applicable): SRPOD Overlay	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Civic & Residential	
Proposed use (UDO 6.1.4): Civic & Open Lot	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.37 Square Feet: 59,009	Proposed Impervious Surface: Acres: 1.98 Square Feet: 86,419
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: 37201704003, 37201703003	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br	4br or more
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.
I, Robert Caudle, PE, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.
Signature: _____ Date: 05/13/2022
Printed Name: Robert Caudle

Page 2 of 2

REVISION 02.19.21

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GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA, OFFICE BY CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

SOLID WASTE INSPECTION STATEMENT

- THE PROPOSED SITE WILL UTILIZE THE EXISTING SOLID WASTE SERVICES ON THE EXISTING YMCA SITE (1603 HILLSBOROUGH ST.). NO CHANGES TO THE EXISTING SOLID WASTE COLLECTION IS PROPOSED.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA 13).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFE 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFE, SECTION 507.3.

RIGHT-OF-WAY OBSTRUCTION NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE
- DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH
- THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE
- ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED
- PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND
- STANDARDS, INCLUDING BUT NOT LIMITED TO:
- MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
- PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
- AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
- RALEIGH STREET DESIGN MANUAL (RSSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR
- PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING
- CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY
- ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE
- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

REFER TO FLINT PLACE R/W CLOSURE PETITION
SUBMITTED TO THE CITY OF RALEIGH ON 05/13/2022

CONTACT LIST:

CIVIL ENGINEER
Rob Caudle, PE
WithersRavenel
137 S Wilmington Street, Suite 200
Raleigh, NC 27601
919-535-5200
rcaudle@withersravenel.com

LANDSCAPE ARCHITECT
Daniel Whitley, PLA
WithersRavenel
137 S Wilmington Street, Suite 200
Raleigh, NC 27601
919-535-5200
dwhitley@withersravenel.com

CLIENT/DEVELOPER
Tim Carr
YMCA of the Triangle
801 Corporate Center Drive, Suite 200
Raleigh, NC 27601
919-345-5596
Tim.Carr@YMCATriangle.org

ARCHITECT
Ted Van Dyk
New City Design Group
1304 Hillsborough Street
Raleigh, NC 27601
919-831-1308
ted@newcitydesign.com



PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION



137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com

PREPARED BY:

WithersRavenel
Our People, Your Success

PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

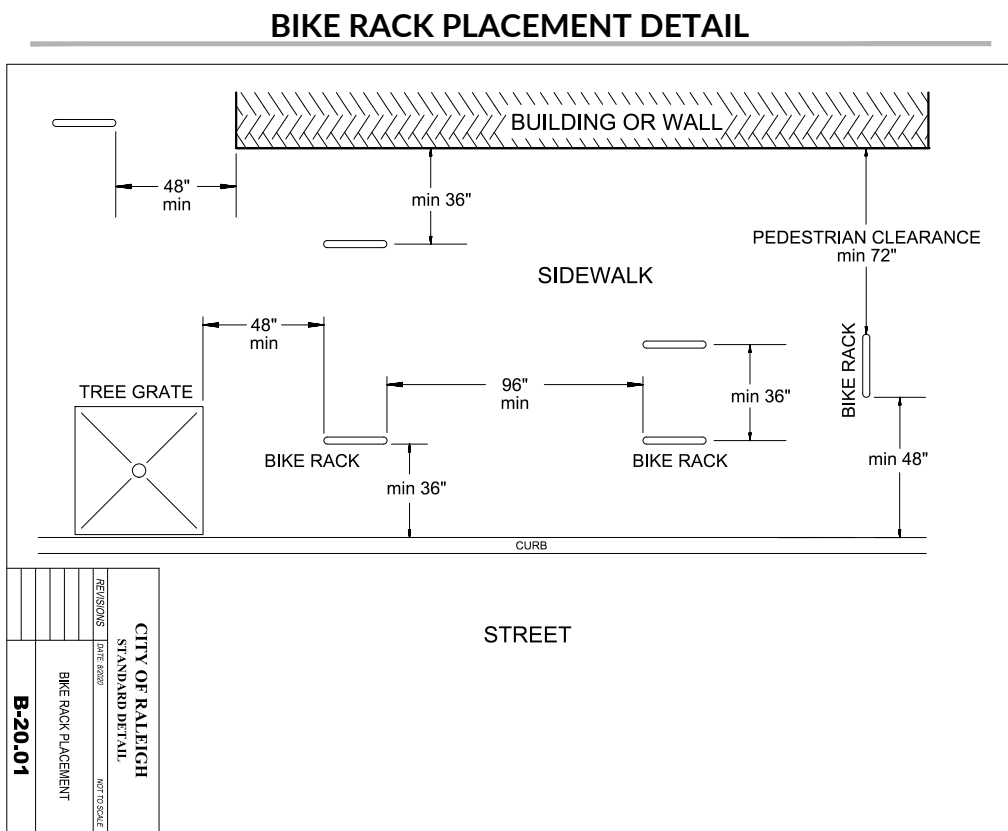
DEVELOPER:

YMCA OF THE TRIANGLE

801 CORPORATE CENTER DR STE 200
RALEIGH, NC 27607
PHONE #: 919-345-5596
ATTENTION: TIM CARR



TIER 3 SITE PLANS
ALEXANDER YMCA
WR PROJECT NO 02201276
MAY 13, 2022



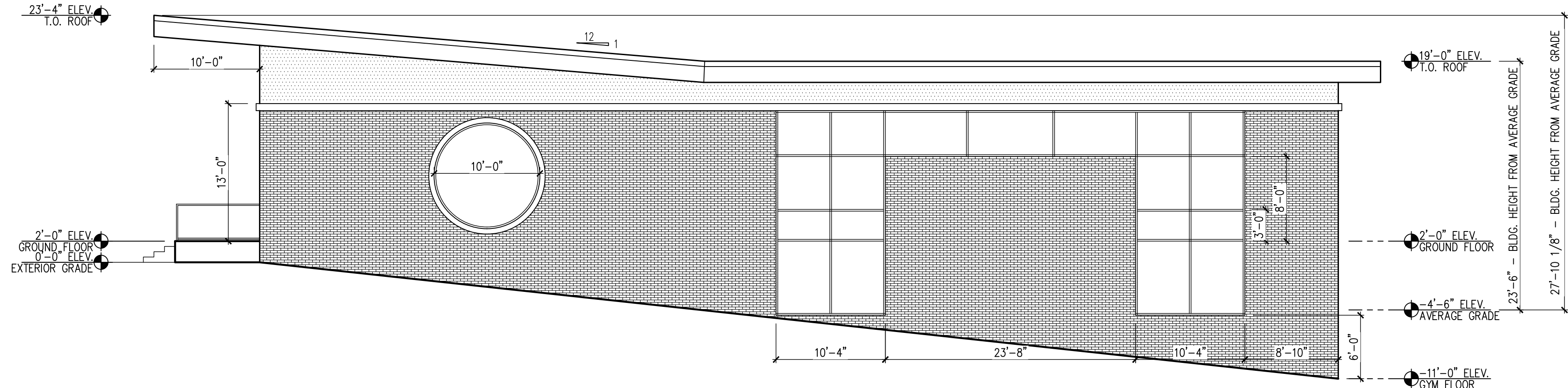
LEGEND

AMENITY AREA	
BOLLARD	
RAMP	
LANDING	
ADA ROUTE	
RETAINING WALL	
FENCE	

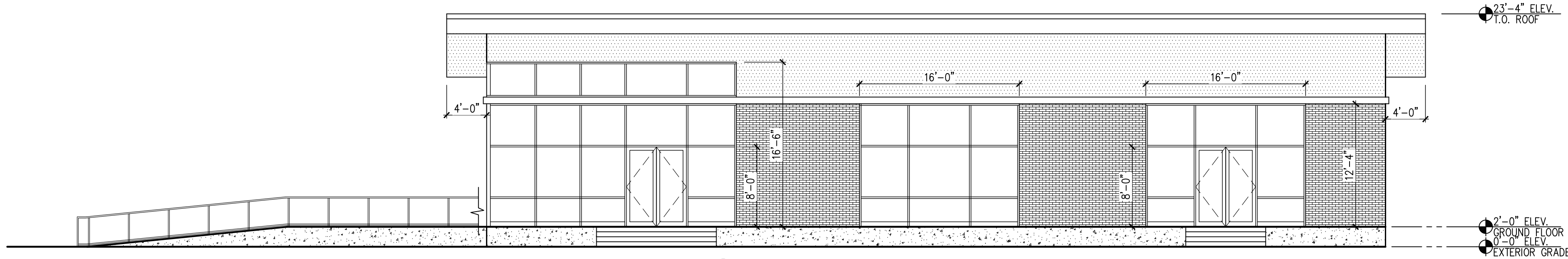
207 COX AVE | RALEIGH, NC | CITY OF RALEIGH

WR Job No.	DATE
02201276	APRIL 28, 2022
DRN: WR	DGN: WR CKD: WR

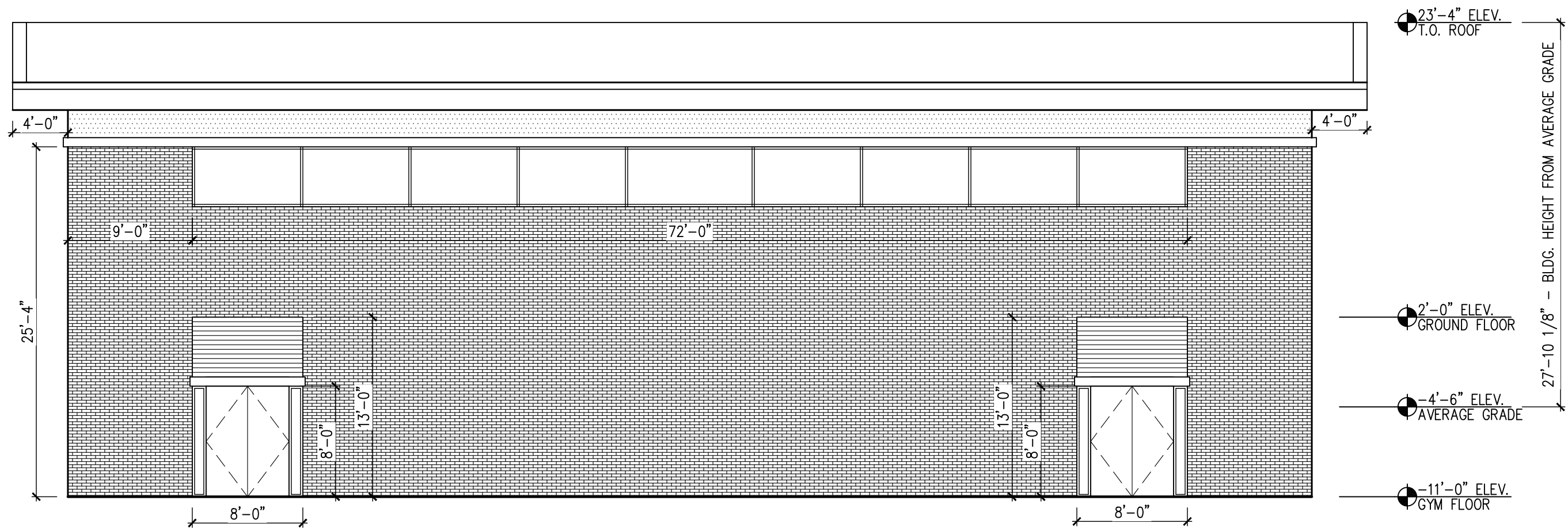
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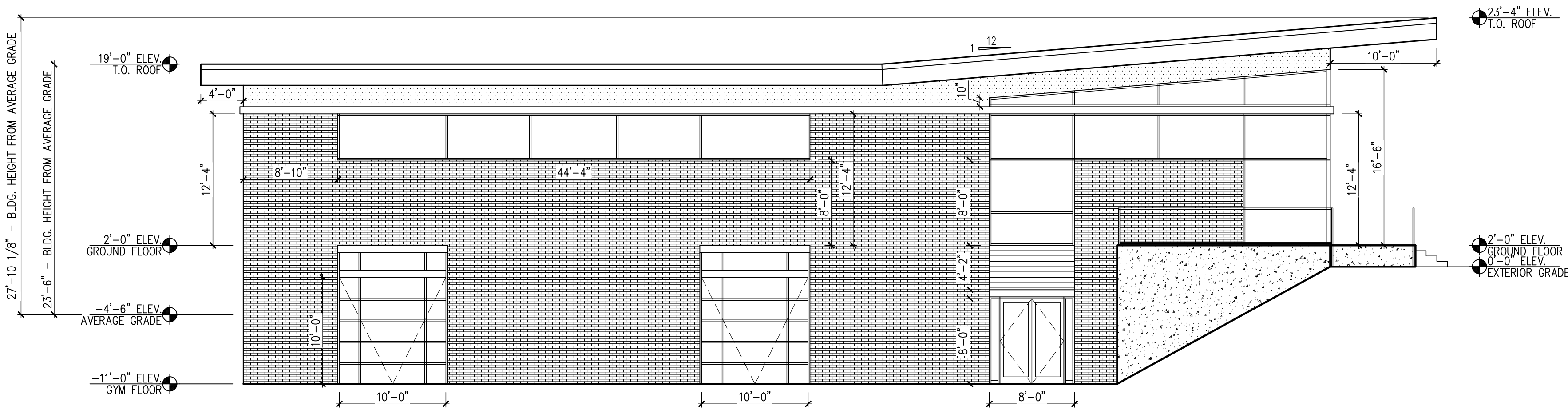
4 Exterior Elevation
SCALE: 1/8" = 1'-0" North



3 Exterior Elevation
SCALE: 1/8" = 1'-0" East



2 Exterior Elevation
SCALE: 1/8" = 1'-0" West - Cox Ave



1 Exterior Elevation
SCALE: 1/8" = 1'-0" South

Finish Schedule:

Exterior Materials

W-1	TYPE: MASONRY MANUFACTURER: TBD COLOR: TBD LOCATION: MAIN BUILDING BRICK NOTE: MODULAR BRICK
G-1	TYPE: 1" INSULATED LOW 'E' GLAZING MANUFACTURER: PPC OR EQUAL COLOR: SOLARBAN 70 SOLAR CONTROL LOCATION: ALL LOCATIONS, TYP. NOTE: SEE A801
M-1	TYPE: METAL PANELS MANUFACTURER: TBD COLOR: TBD LOCATION: UPPER EXTERIOR ELEVATIONS NOTE:
M-2	TYPE: BREAK METAL COPING & AWNINGS MANUFACTURER: PETERSEN PAC-CLAD OR EQUAL COLOR: TBD LOCATION: ALL ROOF TRIMS NOTE:

Notes:

- ALL EXTERIOR GLASS TO BE CLR. LOW 'E'.
- ALL STOREFRONT MULLIONS TO BE KYNAR FINISH, COLOR T.B.D. U.N.O.
- UNLESS OTHERWISE INDICATED, ALL EXTERIOR WALL AND SOFFIT SURFACES SHALL BE COVERED WITH ONE LAYER 1/2" EXTERIOR PLYWOOD SHEATHING AND ONE LAYER OF VAPOR BARRIER. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
- ALL MATERIALS MUST BE SUBMITTED TO NEW CITY DESIGN GROUP FOR APPROVAL.
- SUBMIT SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.
- PATCH/REPAIR ALL DAMAGED TRIM/DEATILING AS REQ'D FOR UNIFORM "LIKE-NEW" APPEARANCE.
-

Elevation Keynotes:

-
-

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

9.28.22	Plan Review	Comments

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.