



Administrative Approval Action

Case File / Name: ASR-0042-2023
DSLCL - BUFFALOE BEND

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is Lot 2 of subdivision case SUB-0075-2021 (not recorded at the time of this plan approval) and is generally located on the south side of Buffaloe Road and the west side of Forestville Road, with a common address of 5100 Forestville Road. It is outside the city limits.

REQUEST: This is for the construction of a general building of approximately 2,450 sf, associated parking and infrastructure. This building is for a drive-thru restaurant use. This 0.67 acre site is zoned CX-3-CU and SHOD-1.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUB-0075-2021: DSLCL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 14, 2023 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. Subdivision case SUB-0075-2021 shall be recorded to create the proposed lot for this development and all conditions of subdivision approval shall be met.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
4. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: December 13, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified



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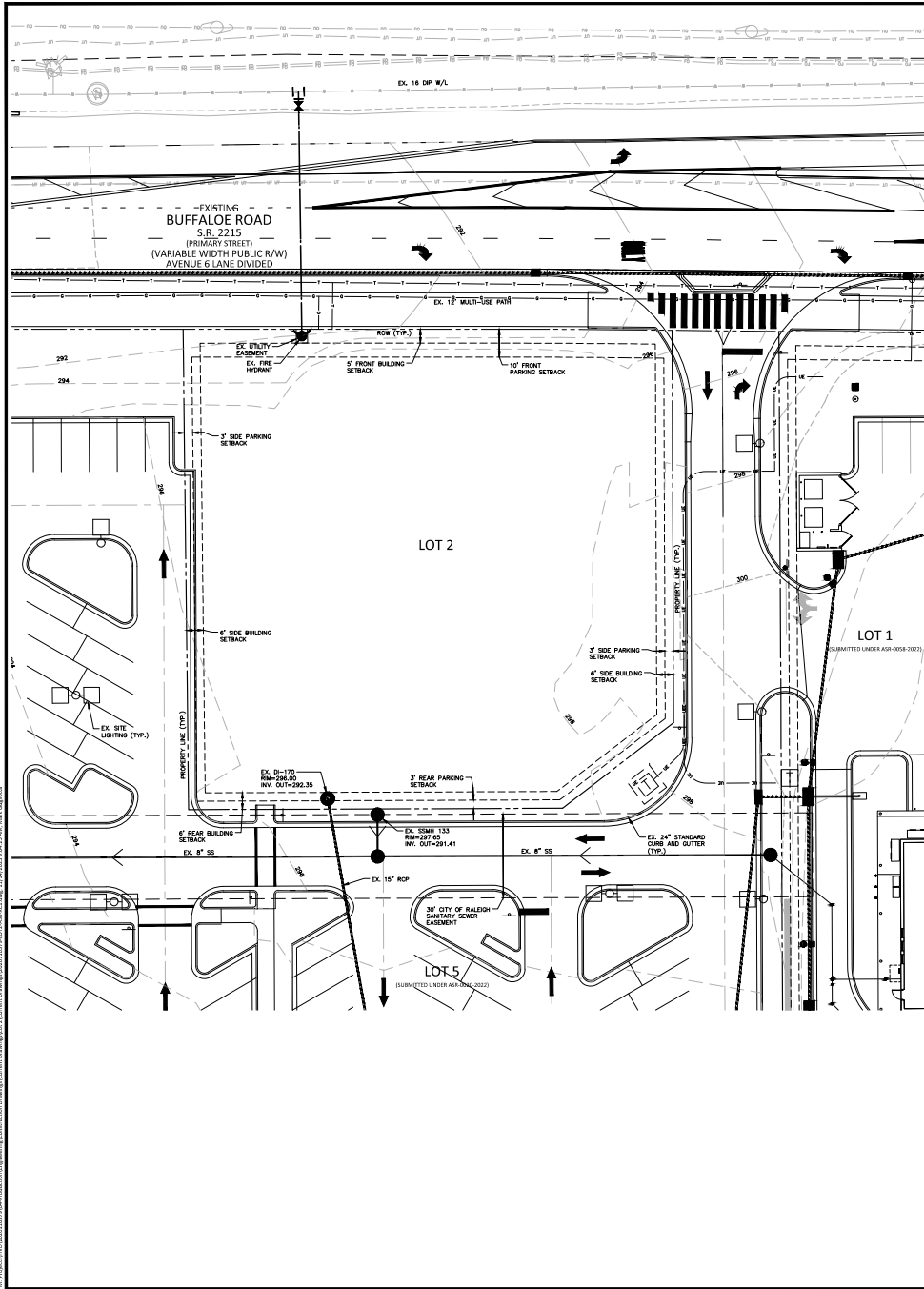
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time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 12/13/2023
Development Services Dir/Designee
Staff Coordinator: Jeff Caines



LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	FIRE HYDRANT ASSEMBLY
	SANITARY SEWER MANHOLE
	SANITARY SEWER
	CATCH BASIN
	DROP INLET
	JUNCTION BOX
	STORM DRAINAGE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE

EXISTING CONDITIONS NOTES:

1. SITE INFORMATION TAKEN FROM SPH-0029-2023 & SUB-0075-2023.

ASR-0042-2023



McADAMS

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CLIENT

HALVORSEN DEVELOPMENT CORP.
1615 S. FEDERAL HIGHWAY, SUITE 102
BOCA RATON, FLORIDA 33432
PHONE: 561-367-9200

BUFFALO BEND LOT 2
ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NC

REVISIONS

NO.	DATE	DESCRIPTION
1	11-14-2023	CITY COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. HVD202010379.01
FILENAME 2020110379-LOT2-ASR-XC1
CHECKED BY RTW
DRAWN BY MAG
SCALE 1" = 20'
DATE JUNE 21, 2023

SHEET

EXISTING CONDITIONS

C1.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF RALEIGH ENGINEERING
DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



GRAPHIC SCALE
1 inch = 30 feet



1. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO THE CITY OF RALEIGH.
2. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
3. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES," NCDOT "ROADWAY STANDARD DRAWING MANUAL," AND THE NCDOT SUPPLEMENT TO THE MUTCD.
4. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

1. IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY AN ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIASLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED PERSONNEL BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIASLE ASBESTOS-CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE LOCAL AND STATE MUNICIPALITY DEPARTMENT OF HEALTH AND HUMAN SERVICES.

1. THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
3. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
4. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
5. THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPS, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



NO.	DATE	DESCRIPTION
1	11. 14. 2023	CITY COMMENTS
2	-	----
3	-	-
4	-	-
5	-	-
6	-	-

C1.01



SITE PLAN NOTES:

- [illegible]

REVISIONS		
NO.	DATE	DESCRIPTION
1	11.14.2023	CITY COMMENTS
2	-	----
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. HVD202010379.01
 FILENAME 2020110379-LOT2-ASR-S1
 CHECKED BY RTW
 DRAWN BY MAG
 SCALE 1" = 20'
 DATE JUNE 21, 2023
SHEET

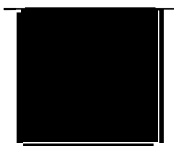
SITE PLAN

C2.00

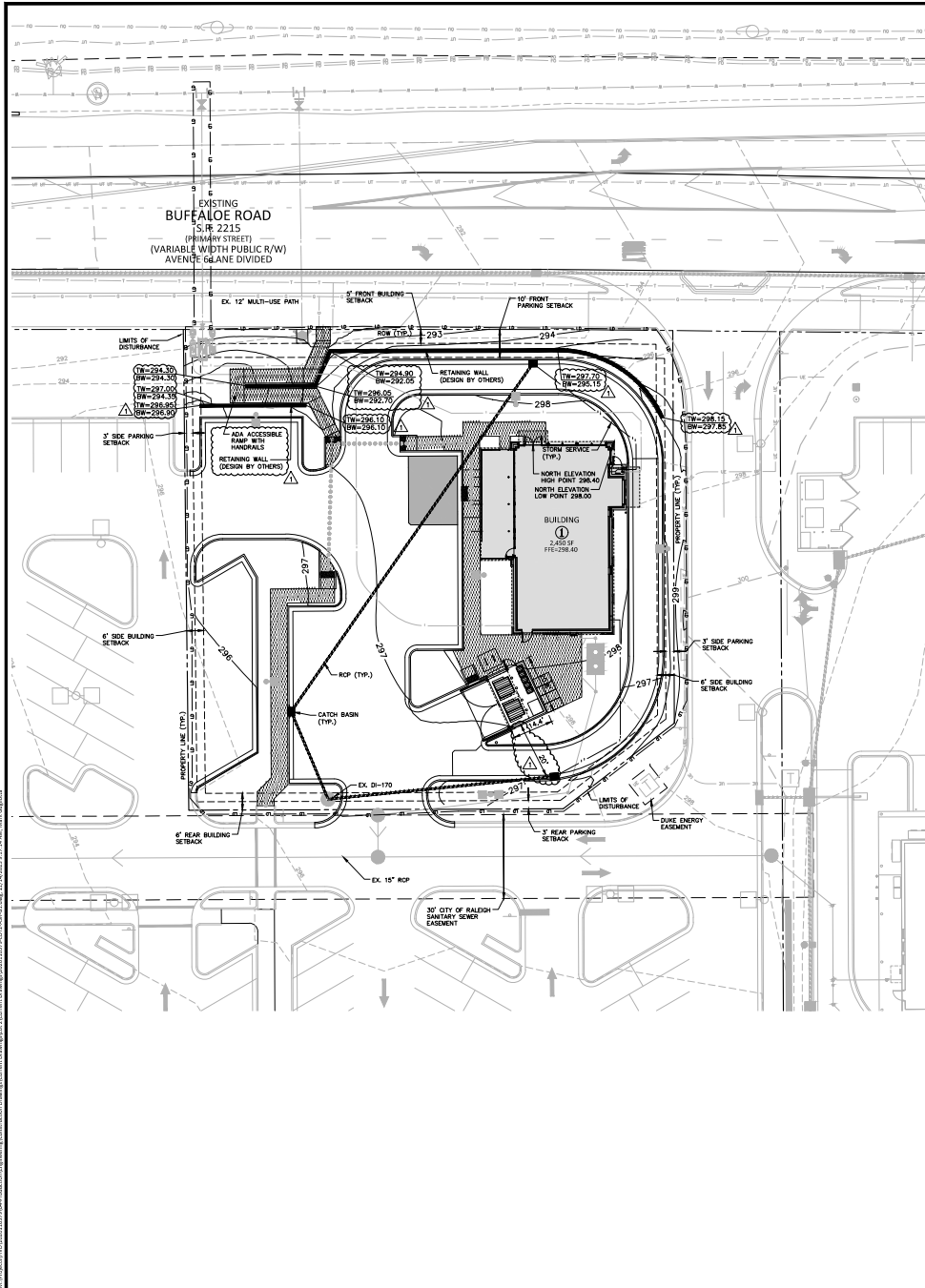
**CLIENT**

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PHONE: 561-367-9200

BUFFALO BEND LOT 2
ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NC



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



BUILDING 44 (NOT TO SCALE)		GRADES
PRIMARY STREET: BUFFALO RD		
HIGH		+298.4
LOW		+298.0
AVERAGE		+298.3

IMPERVIOUS SURFACE = 22600SF / 0.52 AC (77.61% OF PARCEL)

ASR-0042-2023

GRADING LEGEND

■

TOP/BOTTOM OF WALL

■

TOP/BOTTOM OF CURB

■

CATCH BASIN

■

DROP INLET

■

STORM SERVICE INLET

■

STORM SERVICE ROOF-DRAIN

■

JUNCTION BOX

STORM DRAINAGE

STORM SERVICE LINE

LIMITS OF DISTURBANCE

MAJOR CONTOUR

MINOR CONTOUR

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

EASEMENT LINE

■

ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)

■

SPILL CURBS
(REVERSED 4.00% GUTTER SLOPE)

■

MATCH EXISTING GRADE

■

HIGH/LOW POINT (STORM BASIN EDGE)

■

TOP/BOTTOM OF WALL

■

TOP/BOTTOM OF CURB

■

CATCH BASIN

■

DROP INLET

■

STORM SERVICE INLET

■

STORM SERVICE ROOF-DRAIN

■

JUNCTION BOX

STORM DRAINAGE

STORM SERVICE LINE

LIMITS OF DISTURBANCE

MAJOR CONTOUR

MINOR CONTOUR

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

EASEMENT LINE

■

ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)

■

SPILL CURBS
(REVERSED 4.00% GUTTER SLOPE)

GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29CFR PART 1926, SUBPART "F" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE MUNICIPALITY AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR 1-800-432-4649 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDING, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (V:H) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. REFER TO GEOTECH REPORT DATED 3/14/23 BY SAME.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- A 5'x5' LANDING WITH A MAXIMUM OF 2% SLOPE IN ANY DIRECTION AT ALL DOORS.
- ALL SIDEWALKS TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTIONAL.
- ALL ADA CROSSWALKS TO BE A MAXIMUM OF 5% SLOPE LONGITUDINAL AND 2% SLOPE CROSS SECTIONAL.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE 8" OR 12" PIPES (OR APPROVED EQUIVALENT) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
- FOR ANY 8" PIPES SPECIFIED, CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES (MINIMUM CLASS B).
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE MUNICIPALITY STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK DOWN WITH IRON WIRE.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-298 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE. FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER DISCREPANT MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOW OR PROOF ROLLING. CONTRACTOR SHOULD COMPLY WITH GEOTECH REPORT DATED 3/14/23 BY SAME.
- MATERIALS DEFAMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR. CONTRACTOR SHOULD COMPLY WITH GEOTECH REPORT DATED 3/14/23 BY SAME.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNCOVERED TRENCHES AFTER PIPE HAS BEEN PLACED.
- ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCOTI STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
- "KNOCK-OUT" BOXES OR HOPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY LOCAL AND STATE MUNICIPALITY STORMWATER DEPARTMENT.
- PRIVATE STORM SYSTEM NOT IN PUBLIC RIGHTS-OF-WAY DESIGNED TO PROVIDE REQUIRED CLEARANCE FOR ALTERNATIVE OF HOPE-SMOOTH WALL PIPE FOR RCP WITH APPROPRIATE BEDDING PER MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SPECIFIC MANUFACTURER/SUPPLIER INFORMATION TO ENGINEER AND OWNER FOR REVIEW AND APPROVAL.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

811

RALEIGH

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GRAPHIC SCALE

1" = 30.0'

McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

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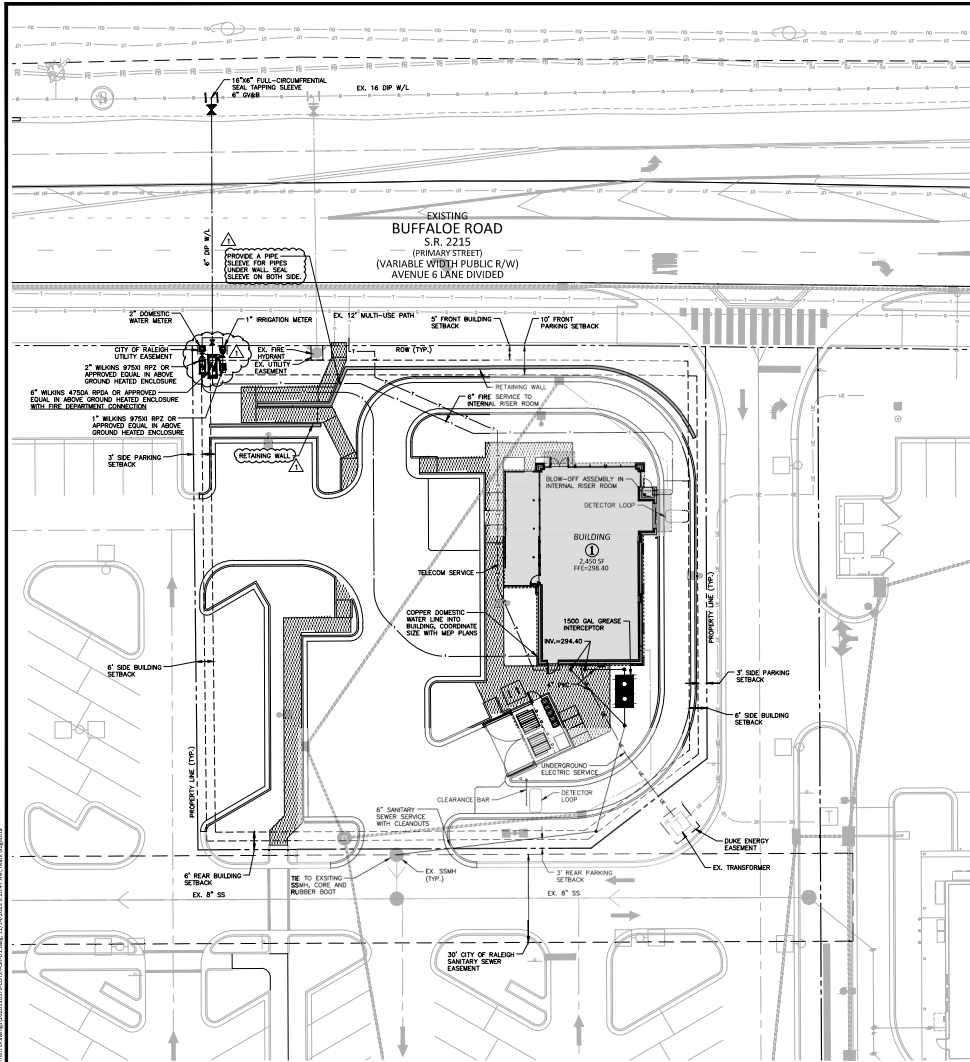
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ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NC**

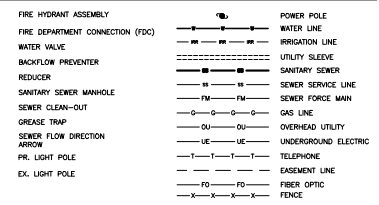
REVISIONS		
NO.	DATE	DESCRIPTION
1	11-14-2023	CITY COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION
PROJECT NO.: HVO202010379-01
FILENAME: 2020110379-LOT2-ASR-G1
CHECKED BY: RTW
DRAWN BY: MAG
SCALE: 1" = 20'
DATE: JUNE 21, 2023

SHHEET
GRADING PLAN
C3.00



UTILITY LEGEND



ADDITIONAL UTILITY NOTES

1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE AWWA C200.354 UNLESS OTHERWISE NOTED. 2" & SMALLER DOMESTIC SERVICES MUST BE AWWA C900.195 SDR11 WITH FITTINGS TO THE WATER METER.
2. ALL SEWER MAINS SHALL BE PVC SDR 40 UNLESS OTHERWISE NOTED. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST EDITION OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNITED DEVELOPMENT ORDINANCE (UDO).
3. IN ACCORDANCE WITH GENERAL STATUTE 87-12163, ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2024 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
4. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-552-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTRACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
6. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2" MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.
7. ANY AND ALL UTILITIES AND/OR OBSTRUCTIONS (POWDER POLES, TELEPHONE SERVICES AND PEDESTALS, GUY WIRES, WATER LINE OR METERS, FIRE HYDRANTS, ETC.) THAT ARE REQUIRED TO BE RELOCATED OR ADJUSTED DUE TO CONSTRUCTION SHALL BE INCLUDED IN BIDS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE OF FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.

PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CDDP) HANDBOOK, CURRENT EDITION.
2. UTILITY SEPARATION REQUIREMENTS:
 - 2.1. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE SEPARATION CANNOT BE ACHIEVED, FERTILIZER SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERBURY SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 30' FROM PUBLIC WELL.
 - 2.2. WHEN INSTALLING WATER & SANITARY SEWER, THE MINIMUM SEPARATION BETWEEN UTILITIES SHALL BE 30'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM DIAMETER.
 - 2.3. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERBURY SPECIFICATIONS.
 - 2.4. 12" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - 2.5. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAINS & 12" FROM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & 12" FROM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CDDP) DETAIL SWS & S-40.
 - 2.6. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3/4" MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN DEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CDDP HANDBOOK PROCEDURE.
8. INSTALL 2" COPPER DOMESTIC AND 1" COPPER IRRIGATION WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERBURY EASEMENT IMMEDIATELY ADJACENT.
- 8.1. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER ASSOCIATED FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICE @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW PREVENTERS ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCING, USACE &/OR FEMA FOR ANY BRUSH BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GREASE INTERCEPTION/DRAIN WATER SEPARATOR BEING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RAW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LICENSE PERMIT. CONTACT (919) 996-6516 OR CDDP@RAL-BOING.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RALEIGH GOVT. PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RAW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A LICENSE PERMIT. CONTACT (919) 996-6516 OR CROSS.CONNECTION@RAL-BOING.GOV FOR MORE INFORMATION.
15. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-5440 at least **twenty-four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

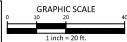
UTILITY CONTACTS:

WATER & SANITARY
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA RALEIGH, NC 27601
919-996-1205

GAS: DOMINION ENERGY
www.dominionenergy.com

ELECTRIC: DUKES ENERGY
431 FAYETTEVILLE ST, RALEIGH NC
904042-2777

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919.361.5000
fax 919.361.2269
NC license number: C-0293, C-187
www.mcadamsco.com

CLIENT
HALVORSEN DEVELOPMENT CORP.
1815 S. FEDERAL HIGHWAY, SUITE 102
BOCA RATON, FLORIDA 33432
PHONE: 561-967-9200

BUFFALO BEND LOT 2 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NC



REVISIONS

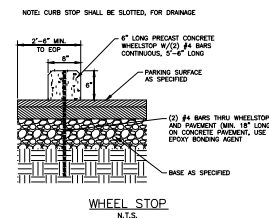
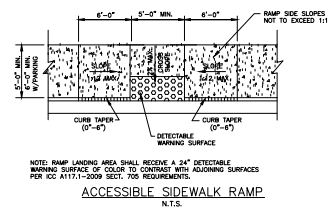
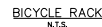
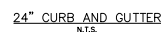
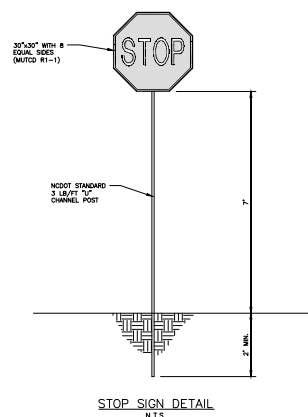
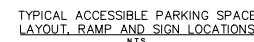
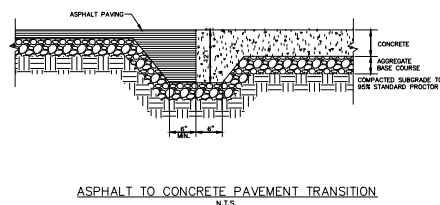
NO.	DATE	DESCRIPTION
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3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO: HVO202010379-01
FILENAME: 2020110379-L072-ASR-U1
CHECKED BY: RTW
DRAWN BY: MAG
SCALE: 1" = 20'
DATE: JUNE 21, 2023
SHEET

UTILITY PLAN

C4.00



NO.	DATE	DESCRIPTION
1	11.14.2023	CITY COMMENT
2	-	----
3	-	-
4	-	-
5	-	-
6	-	-

PROJECT NO.	HVD202010379.01
FILENAME	2020110379-LOT2-ASR-D1
CHECKED BY	RTW
DRAWN BY	MAG
SCALE	NTS
DATE	JUNE 21, 2023
SHEET	

C8.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603
phone 919.361.5000
fax 919.361.2269
NC license number: C-0293, C-187
www.mcadamsco.com

CLIENT

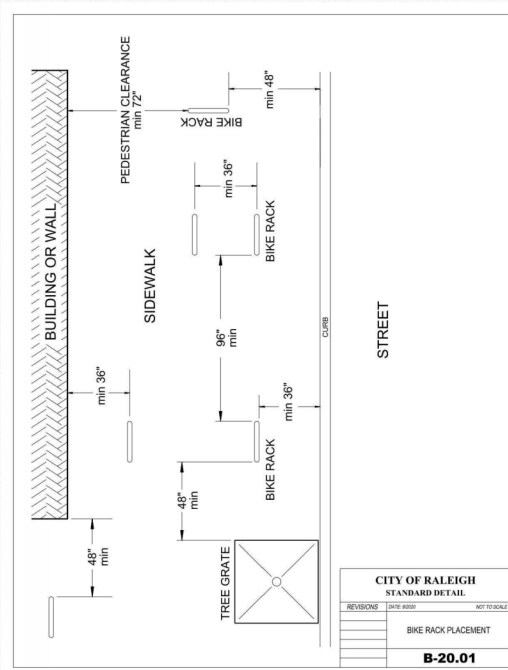
HALVORSEN DEVELOPMENT CORP.
1615 S. FEDERAL HIGHWAY, SUITE 102
BOCA RATON, FLORIDA 33432
PHONE: 561-367-9200

BUFFALO BEND LOT 2

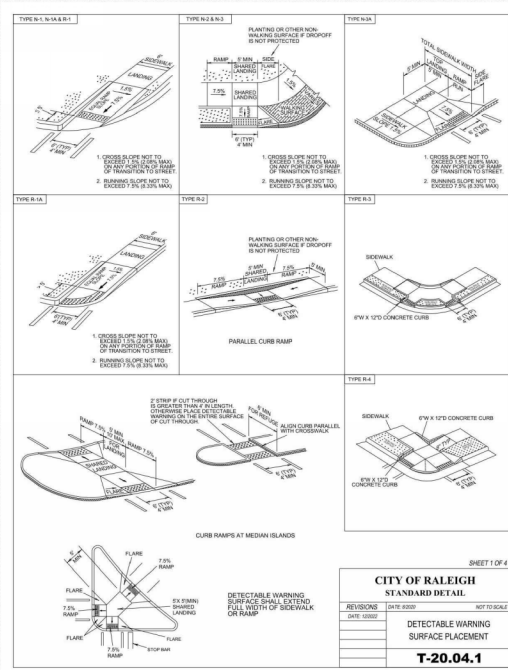
ADMINISTRATIVE SITE REVIEW

5100 FORESTVILLE ROAD

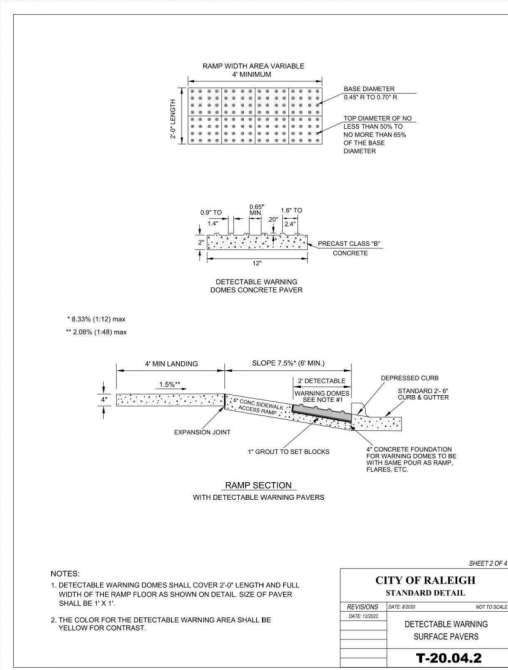
RALEIGH, NC



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	DESCRIPTION
	04/11/2023	NOT TO SCALE
BIKE RACK PLACEMENT		
B-20.01		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	DESCRIPTION
	04/11/2023	NOT TO SCALE
DETECTABLE WARNING SURFACE PLACEMENT		
T-20.04.1		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	DESCRIPTION
	04/11/2023	NOT TO SCALE
DETECTABLE WARNING SURFACE PAVERS		
T-20.04.2		

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-14-2023	CITY COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION		
PROJECT NO.	HVD202010379.01	
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CHECKED BY	RTW	
DRAWN BY	MAG	
SCALE	NTS	
DATE	JUNE 21, 2023	

SHEET		
SITE DETAILS-2		

C8.01

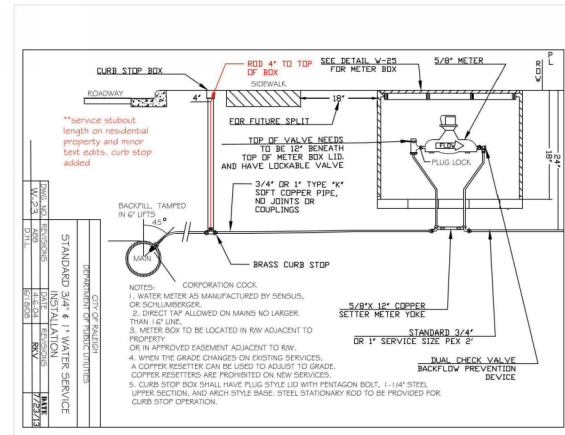
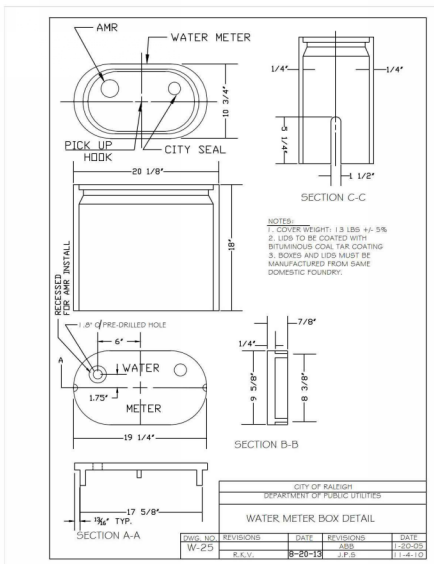
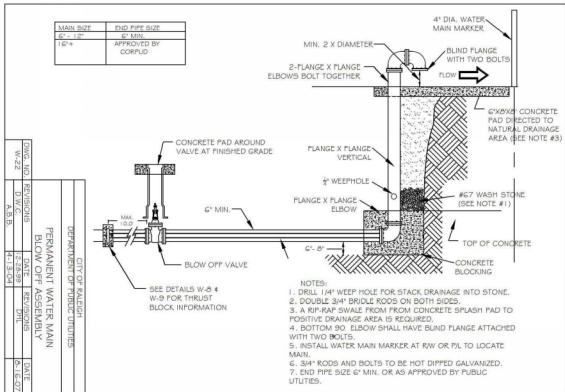
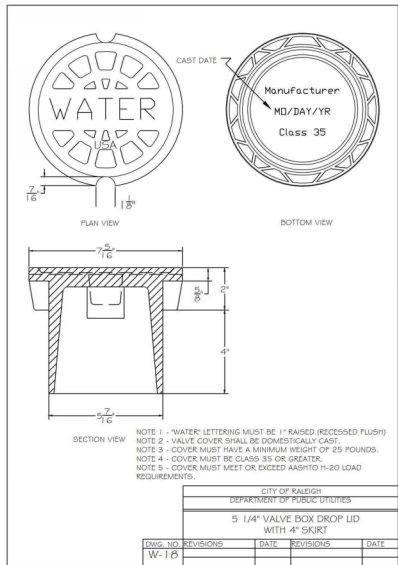
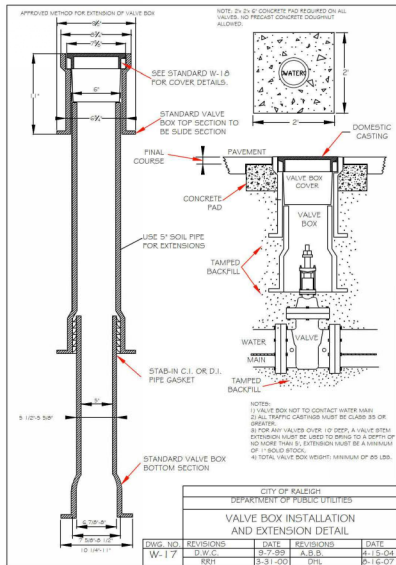
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BOCA RATON, FLORIDA 33432
PHONE: 561-967-9200

BUFFALO BEND LOT 2
ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NC



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-14-2023	CITY COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
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PLAN INFORMATION		
PROJECT NO.	HVO202010379-01	
FILENAME	2020110379-L072-ASR-D1	
CHECKED BY	RTW	
DRAWN BY	MAG	
SCALE	NTS	
DATE	JUNE 21, 2023	

WATER DETAILS

C8.02

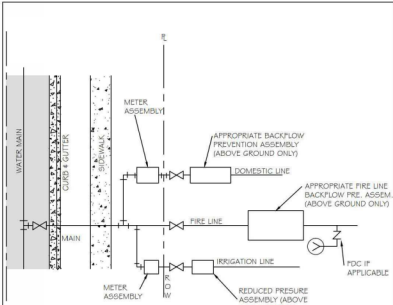
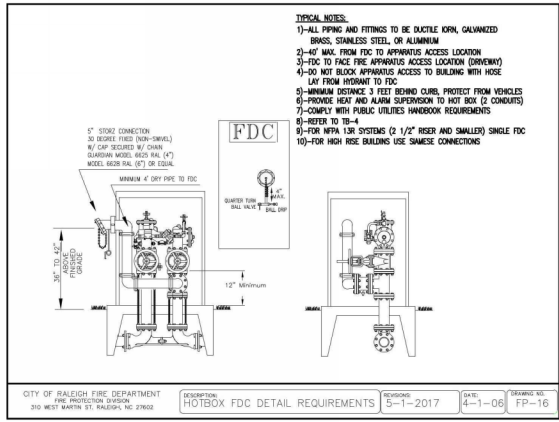
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**BUFFALO BEND LOT 2
ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NC**



1. SERVICE TAPS FOR 2" AND SMALLER DOMESTIC SERVICES MAY BE BY CORPORATION CODES. LARGER SERVICES WILL REQUIRE A TIE AND GATE VALVE OR TAPPING SLEEVE AND VALVE ASSEMBLY AND 90° BEND.

2. DOMESTIC SERVICE TAPS SHALL BE ALLOWED ONLY ON 4" OR LARGER FIRE LINES BEFORE THE BACKFLOW ASSEMBLY.

3. ONE DOMESTIC TAP PER FIRE LINE ON STREET SIDE OF BACKFLOW. A FIRE LINE SHALL HAVE A FIRE HYDRANT OR BLOW OFF ASSEMBLY AT ITS END TO FACILITATE FLUSHING WHEN NEEDED.

4. IRRIGATION METER SHALL BE LOCATED ON THE SIDE OF DOMESTIC METER WITH INCREASING ADDRESSES.

5. THE BACKFLOW SHALL BE INSTALLED NO MORE THAN 10' FROM THE METER IN A VISIBLE LOCATION.

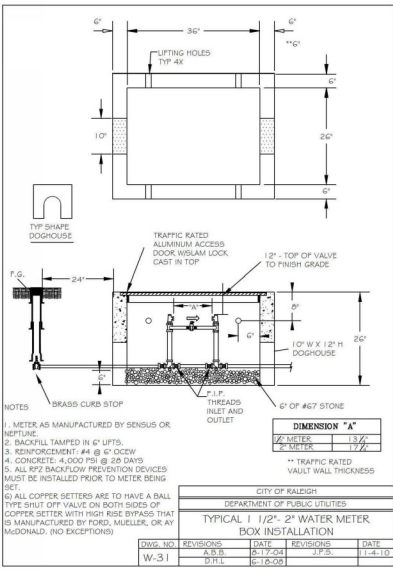
6. THE BACKFLOW SHALL BE A MINIMUM OF 12" ABOVE ANY MATERIAL (MULCH INCLUDED) OR GRADE.

7. A SERVICE VALVE IS REQUIRED AFTER THE METER BUT BEFORE THE BACKFLOW ASSEMBLY FOR MAINTENANCE AND REPLACEMENT PURPOSES.

8. THE INSTALLATION MUST ALSO MEET ALL CODE REQUIREMENTS PER THE NC PLUMBING CODE.

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
FIRE, DOMESTIC & IRRIGATION
OPTIONS SCHEMATIC

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-34	REV. 1	11-15-04	REV. 2	11-15-04
	REV. 3	3-31-05	REV. 4	6/1/05



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	11-16-2023	CITY COMMENTS
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. HVD202010379-01

FILENAME 202010379-L072-ASR-D1

CHECKED BY RTW

DRAWN BY MAG

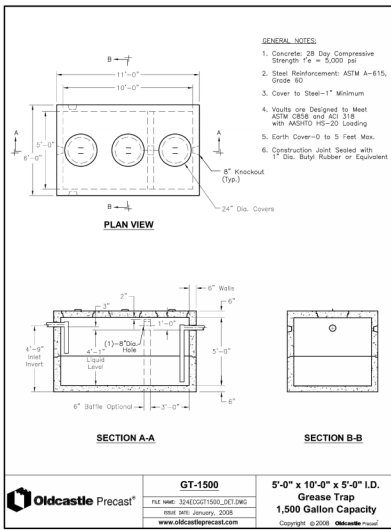
SCALE NTS

DATE JUNE 21, 2023

SHEET

WATER DETAILS-2

C8.03



LOCALLY AVAILABLE SIZES

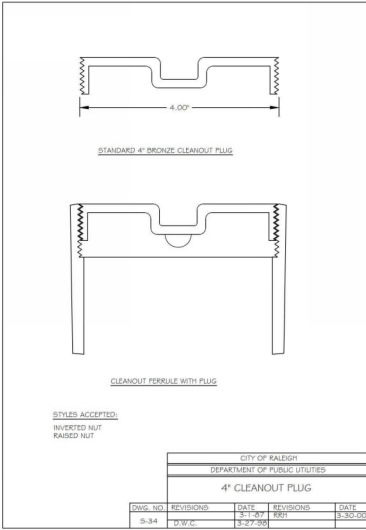
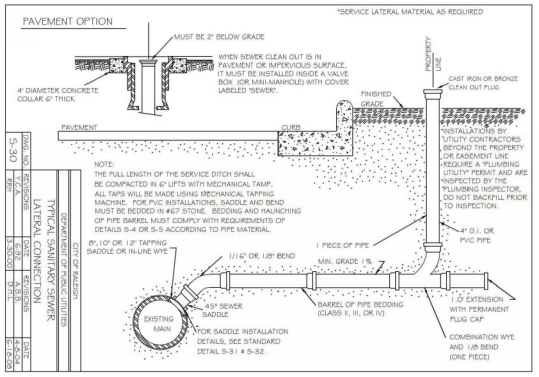
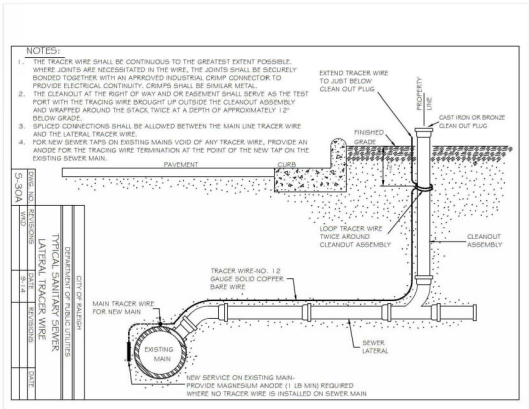
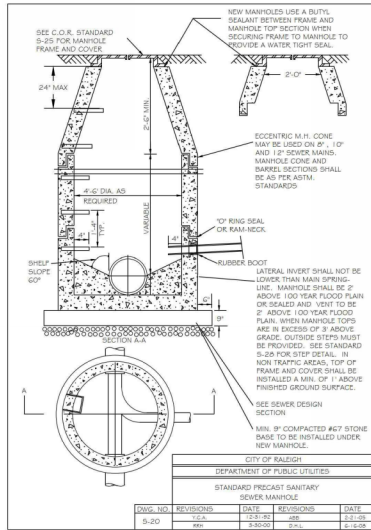
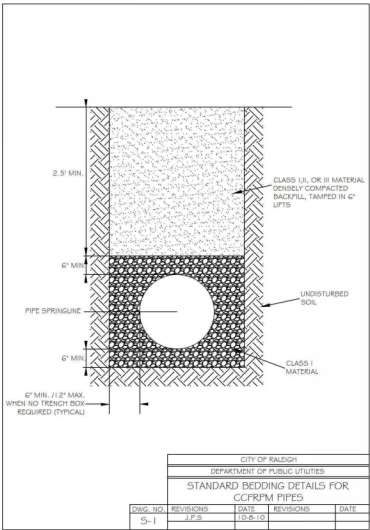
INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
800	1000
1500	1200
2000	1500
3000	2000
4000	3000
5000	4000
6000	5000
8000	6000

NOTES:

- RAINFALL SHALL BE LOCATED AT A DISTANCE FROM RAIN FALL $\frac{1}{4}$ TO $\frac{3}{4}$ OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL S-402.
- RAINFALL SHALL BE LOCATED AT A DISTANCE APPROXIMATELY $\frac{1}{4}$ OF THE TOTAL LENGTH OF THE SEPARATOR AS SHOWN ON DETAIL S-402.
- EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE OUTLET SHALL EXTEND DOWN INTO THE LIQUID DEPTH. THE INLET TEES SHALL EXTEND DOWN INTO THE LIQUID DEPTH. INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SLUDGE.
- INTERCEPTORS AND SEPARATORS MUST BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
- INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
- CONCRETE 4000 PSI @ 28 DAYS.
- DESIGN: ACI 318 BUILDING CODE WITH C-15.0 FOR GREASE STRUCTURES WITH C-15.0 FOR WATER AND WASTEWATER STRUCTURES WITH C-15.0 FOR MINIMAL STRUCTURAL DESIGN CHARGES.
- INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND ALL F.O.D. WIND LOADS.
- INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR POLYPROPYLENE SHALL INCLUDE A MINIMUM 1,000 PSI TENSILE STRENGTH, 15,000 PSI FLEXURAL STRENGTH, AND 800,000 PSI FLEXURAL MODULUS.
- ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
DIMENSIONS: GREASE INTERCEPTORS
OIL-WATER-SEPARATORS

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4-1	REV. 1	3/20/08	REV. 2	4/1/2008
	REV. 3	10/1/04		



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	11-14-2023	CITY COMMENTS
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3	-	-
4	-	-
5	-	-
6	-	-

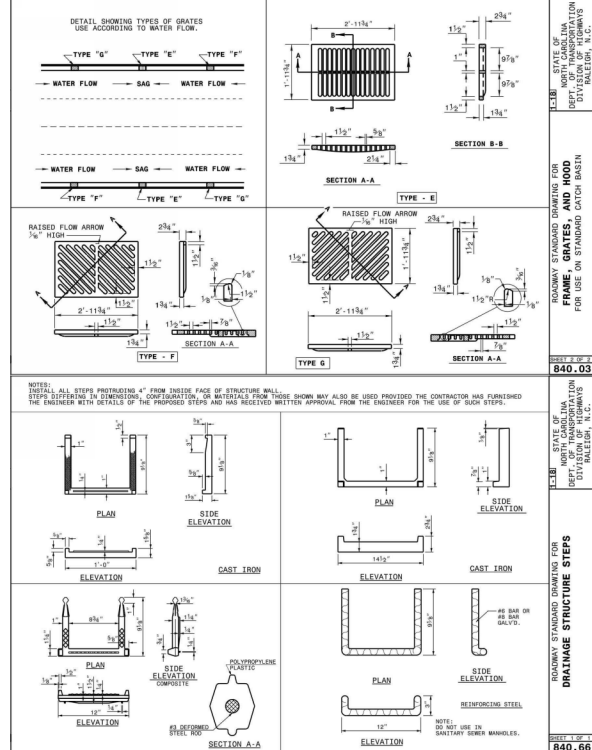
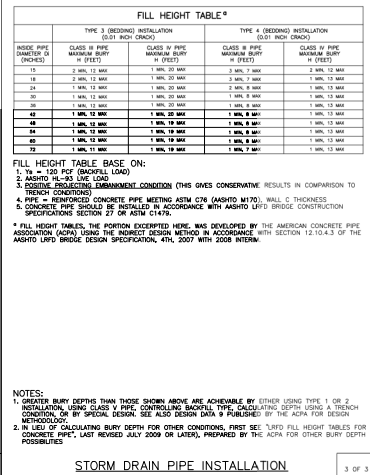
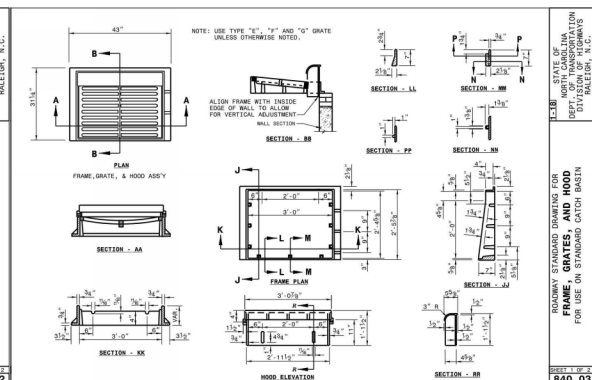
PLAN INFORMATION

PROJECT NO. HVO202010379.01
FILENAME: 2020110379-L072-ASR-D1
DRAWN BY: MAG
CHECKED BY: RTW
SCALE: NTS
DATE: JUNE 21, 2023

SHEET

SANITARY SEWER DETAILS

C8.04



ALL CONSTRUCTION SHALL BE IN ACCORDANCE
WITH THE CURRENT CITY OF RALEIGH ENGINEERING
DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURAL, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIALS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL BE EQUAL OR SUPERIOR IN QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR COURSE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOUL BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/BEESDUFF IF NOT SPECIFICALLY SHOWN ON PLANS.
- TURF INSTALLATIONS SHALL BE DEEMED SATISFACTORY IF THE FOLLOWING CRITERIA ARE MET:
 - SATISFACTORY SEEDS TURF AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES.
 - SATISFACTORY SODDED TURF AT END OF MAINTENANCE PERIOD, A HEALTHY, WELL-ROOTED, EVEN COLORED, VIBANT TURF HAS BEEN ESTABLISHED, FREE OF WEEDS, OPEN SPOTS, BARE AREAS, AND SURFACE IRREGULARITIES.
 - SATISFACTORY PLUGGED TURF AT END OF MAINTENANCE PERIOD, THE REQUIRED NUMBER OF PLUGS HAS BEEN ESTABLISHED AS WELL-ROOTED, VIBANT PATCHES OF GRASS, AND AREAS BETWEEN PLUGS ARE FREE OF WEEDS AND OTHER UNDESIRABLE VEGETATION.
 - SATISFACTORY SPRIGGED TURF AT END OF MAINTENANCE PERIOD, THE REQUIRED NUMBER OF SPRIGS HAS BEEN ESTABLISHED AS WELL-ROOTED, VIBANT PLANTS, AND AREAS BETWEEN SPRIGS ARE FREE OF WEEDS AND OTHER UNDESIRABLE VEGETATION.
- REESTABLISH TURF THAT DOES NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL TURF IS SATISFACTORY.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS INVAIED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CHADERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
- LOOSEN SURGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SURGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SURGRADE SHALL BE SCRAPPED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3' FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED. WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. PRODUCE TURF-SPREADED WOODSHED MULCH. MULCH SHALL BE PROVIDED AROUND ALL SHRUB GROUPS.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DROING, SWELTING, WHIPPING, AND OTHER HANDLING AND TYPING DAMAGE. DO NOT BEND OR BIND THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNUNITED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANT WITH SOIL, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH EXCAVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

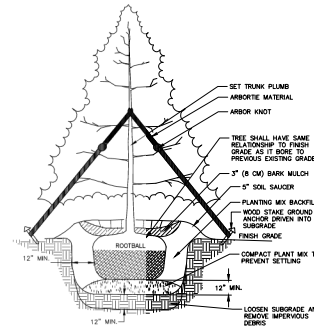
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



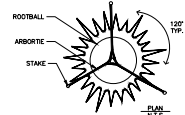
PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

02 SHRUB PLANTING

SCALE: 3/8"=1'-0"



- NOTES:**
- EVERGREEN TREES 2" CAL. OR SMALLER TO BE STAKED.
 - STAKING BASE OF DESIGN PRODUCTS: ARBORITE OR APPROVED EQUIV.
 - STAKES TO BE REMOVED WITHIN 2 GROWING SEASONS PER MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE WATER CRITERIA FOR MANUFACTURER'S RECOMMENDATIONS FOR PINE TREES.



03 EVERGREEN TREE PLANTING DETAIL

SCALE: 3/8"=1'-0"

NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITTS. (POSITIVE DRAINAGE AWAY FROM PIT)
- TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB

MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

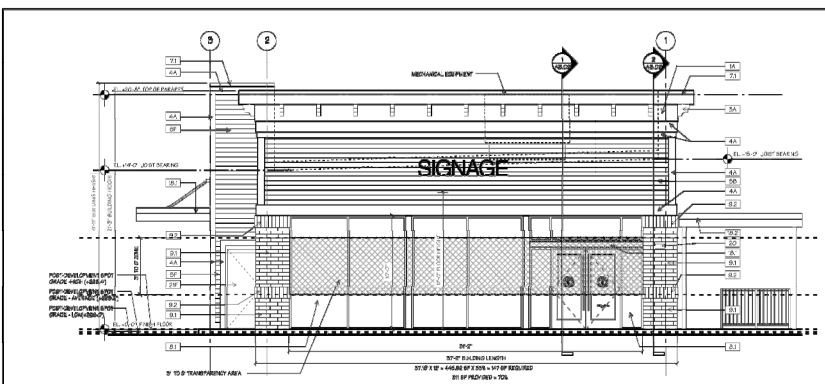
COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	ISSUED
1	10/20/19	NOT TO SCALE
TREE PLANTING DETAIL		
TPP-03		

202501 - 15271 - 1/17/25 - 10:28:52 PM - 1/17/25



LOT 15 BUILDING #1 (SOUTH) TRANSPARENT CALCULATION	
FRONTAGE (FT)	37.18
HEIGHT (FT)	12
OVERALL AREA (SF) = 37.18 X 12	446.16
REQUIRED AREA (SF) 1.48 X .88	1.27
PROVIDED AREA (SF)	87.1
PERCENTAGE OF TRANSPARENT	7.5
PROVIDED AREA BETWEEN 5'-0" FT (SF)	168
PERCENTAGE OF REQUIRED TRANSPARENT	13.35

LOT 15 BUILDING #1 (SOUTH) PER 10-4-82	
PRIMARY STREET: BUFFALO RD	
HIGH	448.0
LOW	448.0
ADJACENT	448.0

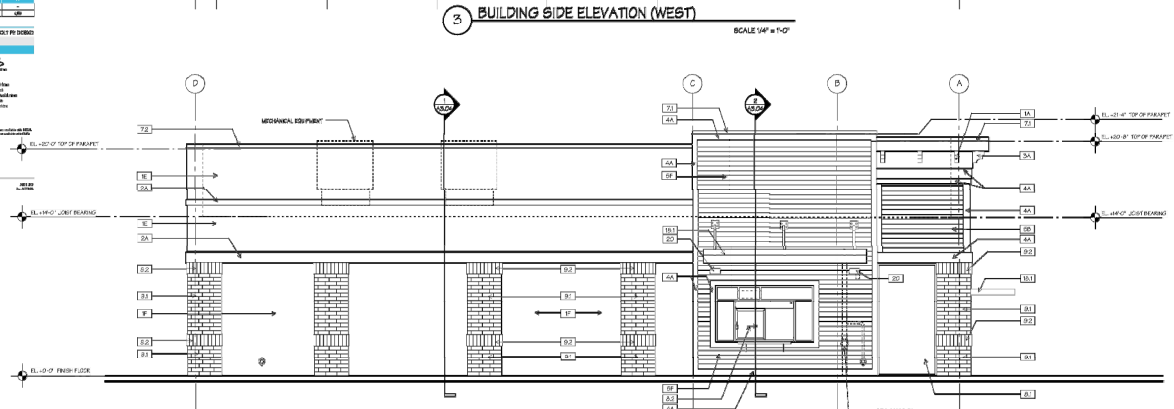
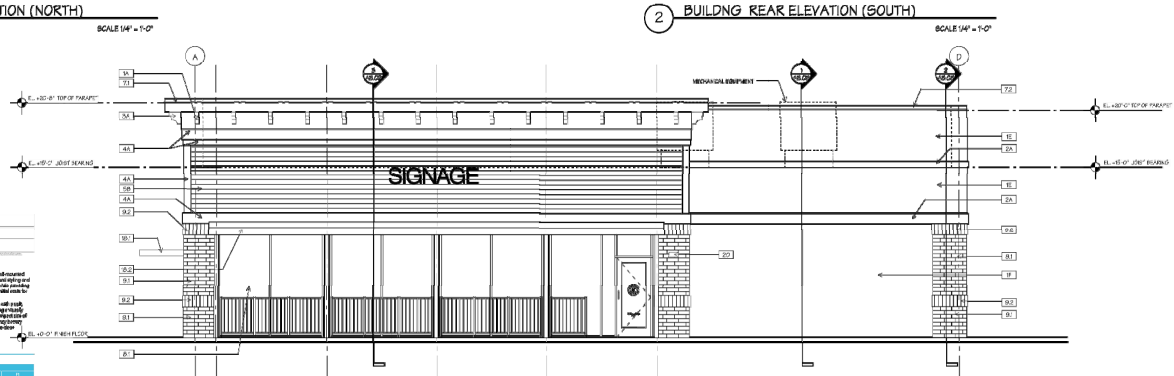
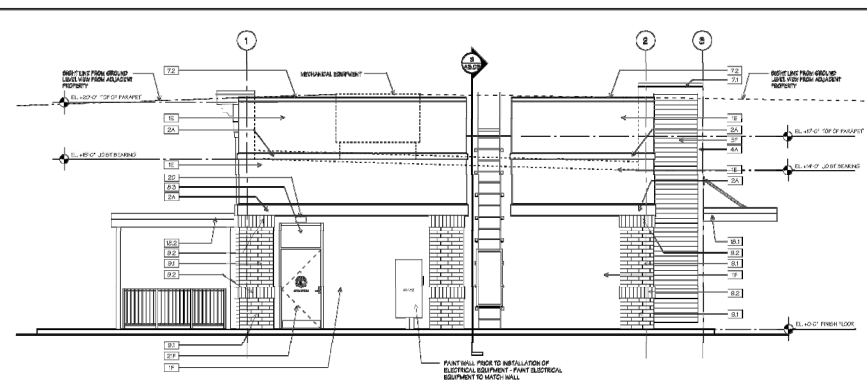
MATERIAL SCHEDULE	
ITEM	DESCRIPTION
1	CONCRETE
2	BRICK
3	GLASS
4	STEEL
5	WOOD
6	PAINT
7	ROOFING
8	MECHANICAL
9	ELECTRICAL
10	LANDSCAPE
11	FINISHES
12	FIXTURES
13	DOORS
14	WINDOWS
15	ROOFING
16	MECHANICAL
17	ELECTRICAL
18	LANDSCAPE
19	FINISHES
20	FIXTURES
21	DOORS
22	WINDOWS
23	ROOFING
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92	FIXTURES
93	DOORS
94	WINDOWS
95	ROOFING
96	MECHANICAL
97	ELECTRICAL
98	LANDSCAPE
99	FINISHES
100	FIXTURES

ARC1 LED
Architectural Wall Luminaire

Specifications:
Input Volts: 120V
Input Amps: 1.0A
Output Volts: 120V
Output Amps: 1.0A
Power: 120W
Beam Angle: 120°
Color Temperature: 3000K
CRI: 90

ARC1 LED Luminaire

Ordering Information: EXAMPLE: ARC1 120V 120W 120° 3000K 90



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	1/17/25
2	REVISED	1/17/25
3	REVISED	1/17/25
4	REVISED	1/17/25
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100	REVISED	1/17/25

WVWA ARCHITECTURE, LLC
ARCHITECTURE / PLANNING

800 S. Siler Road, Suite 100
Raleigh, NC 27605
P: 919.790.0000

MAX NORMAN
DEVELOPMENT CORP.
1615 South Federal Hwy
Boonville, Indiana 47305
Suite 102

BUFFALO BEND
BUFFALO ROAD / FORESTVILLE ROAD
LOT #2
WAKE COUNTY - RALEIGH, NC

JOB NUMBER	202501
SCALE	AS NOTED
PROJECT SITE	
FILED DATE	
REV	
DESIGNED BY	REV
DRAWN BY	ARCHITECTURE
CHECKED BY	ARCHITECTURE
DATE	1/17/25
BY	ARCHITECTURE

A3.01

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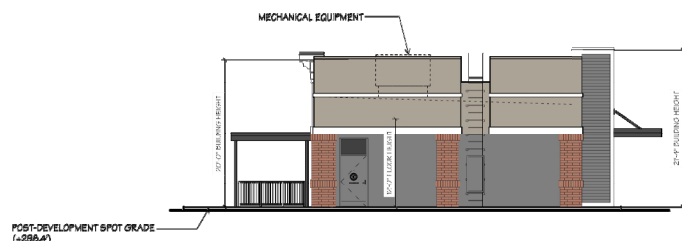
MECHANICAL EQUIPMENT

20' 0" BUILDING HEIGHT

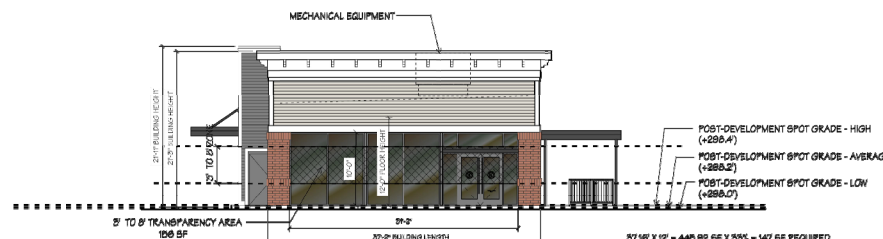
20' 0" BUILDING HEIGHT

20' 0" BUILDING HEIGHT

SCALE 1/8" = 1'-0"

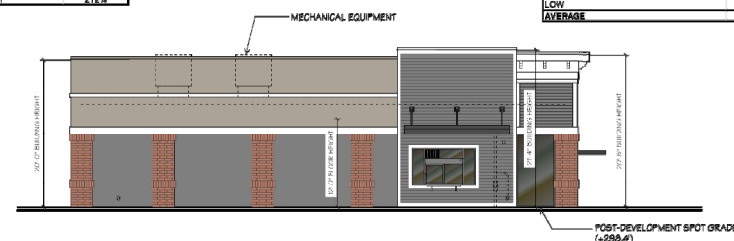


SCALE 1/8" = 1'-0"

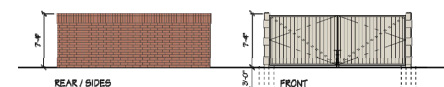


LOT#2 BUILDING #1 (NORTH) TRANSPARENCY CALCULATIONS		PERCENTAGE
UDO SEC. 3.2.2.5 (MIN. 55%)		
FRONTAGE (FT)		87.16
HEIGHT (FT)		12
OVERALL AREA (SF) = 87.16 X 12		648
REQUIRED AREA (SF) 448 X .33		147
PROVIDED AREA (SF)		311
PERCENTAGE OF TRANSPARENCY		70%
REQUIRED AREA BETWEEN 8' - 8' FT (SF)		74
PROVIDED AREA BETWEEN 8' - 8' FT (SF)		15
PERCENTAGE OF REQUIRED TRANSPARENCY		115%

LOT #2 BUILDING #1 (NORTH) PER TC-4-20	GRADE
PRIMARY STREET: BUFFALO E RD	
HIGH	+288.0
LOW	288.0
AVERAGE	288.2



SCALE 1/8" = 1'-0"



SCALE 1/8" = 1'-0"

[illegible]

MWA ARCHITECTURE
ARCHITECTURE / PLANNING

701 West Hillman Blvd., Suite 308
Aurora, Florida 32412
351-750-4111

BY: HALVORSEN
DEVELOPMENT CORP.
661 S. FEDERAL HWY.
SUITE 201
BOCA RATON, FL 33432
661-367-8200

BUFFALO BEND
BUFFALO ROAD / FORRESTVILLE ROAD
LOT #2
WAKE COUNTY
RALEIGH, NC

JOIN NUMBER	20086
SCALE	1/8" = 1'-0"
ISSUE DATE	5.18.25
PERMIT DATE	
SID DATE	
DESIGN BY	
CHECKED BY	
DISCIPLINE	ARCHITECTURE
PLAN TYPE	
SHEET NUMBER	EL-01

WIPAC		DATE	VERSION
LAURENCE UNIVERSITE		DATE	PRODUCTION
ORDRE DE SERVICE		CONSULTE	
CINQUE		Remarque: (10, 150, 200, 300, 400, 500, 600, 700, 800, 900, 1000, 1100, 1200, 1300, 1400, 1500, 1600, 1700, 1800, 1900, 2000, 2100, 2200, 2300, 2400, 2500, 2600, 2700, 2800, 2900, 3000, 3100, 3200, 3300, 3400, 3500, 3600, 3700, 3800, 3900, 4000, 4100, 4200, 4300, 4400, 4500, 4600, 4700, 4800, 4900, 5000, 5100, 5200, 5300, 5400, 5500, 5600, 5700, 5800, 5900, 6000, 6100, 6200, 6300, 6400, 6500, 6600, 6700, 6800, 6900, 7000, 7100, 7200, 7300, 7400, 7500, 7600, 7700, 7800, 7900, 8000, 8100, 8200, 8300, 8400, 8500, 8600, 8700, 8800, 8900, 9000, 9100, 9200, 9300, 9400, 9500, 9600, 9700, 9800, 9900, 10000, 10100, 10200, 10300, 10400, 10500, 10600, 10700, 10800, 10900, 11000, 11100, 11200, 11300, 11400, 11500, 11600, 11700, 11800, 11900, 12000, 12100, 12200, 12300, 12400, 12500, 12600, 12700, 12800, 12900, 13000, 13100, 13200, 13300, 13400, 13500, 13600, 13700, 13800, 13900, 14000, 14100, 14200, 14300, 14400, 14500, 14600, 14700, 14800, 14900, 15000, 15100, 15200, 15300, 15400, 15500, 15600, 15700, 15800, 15900, 16000, 16100, 16200, 16300, 16400, 16500, 16600, 16700, 16800, 16900, 17000, 17100, 17200, 17300, 17400, 17500, 17600, 17700, 17800, 17900, 18000, 18100, 18200, 18300, 18400, 18500, 18600, 18700, 18800, 18900, 19000, 19100, 19200, 19300, 19400, 19500, 19600, 19700, 19800, 19900, 20000, 20100, 20200, 20300, 20400, 20500, 20600, 20700, 20800, 20900, 21000, 21100, 21200, 21300, 21400, 21500, 21600, 21700, 21800, 21900, 22000, 22100, 22200, 22300, 22400, 22500, 22600, 22700, 22800, 22900, 23000, 23100, 23200, 23300, 23400, 23500, 23600, 23700, 23800, 23900, 24000, 24100, 24200, 24300, 24400, 24500, 24600, 24700, 24800, 24900, 25000, 25100, 25200, 25300, 25400, 25500, 25600, 25700, 25800, 25900, 26000, 26100, 26200, 26300, 26400, 26500, 26600, 26700, 26800, 26900, 27000, 27100, 27200, 27300, 27400, 27500, 27600, 27700, 27800, 27900, 28000, 28100, 28200, 28300, 28400, 28500, 28600, 28700, 28800, 28900, 29000, 29100, 29200, 29300, 29400, 29500, 29600, 29700, 29800, 29900, 30000, 30100, 30200, 30300, 30400, 30500, 30600, 30700, 30800, 30900, 31000, 31100, 31200, 31300, 31400, 31500, 31600, 31700, 31800, 31900, 32000, 32100, 32200, 32300, 32400, 32500, 32600, 32700, 32800, 32900, 33000, 33100, 33200, 33300, 33400, 33500, 33600, 33700, 33800, 33900, 34000, 34100, 34200, 34300, 34400, 34500, 34600, 34700, 34800, 34900, 35000, 35100, 35200, 35300, 35400, 35500, 35600, 35700, 35800, 35900, 36000, 36100, 36200, 36300, 36400, 36500, 36600, 36700, 36800, 36900, 37000, 37100, 37200, 37300, 37400, 37500, 37600, 37700, 37800, 37900, 38000, 38100, 38200, 38300, 38400, 38500, 38600, 38700, 38800, 38900, 39000, 39100, 39200, 39300, 39400, 39500, 39600, 39700, 39800, 39900, 40000, 40100, 40200, 40300, 40400, 40500, 40600, 40700, 40800, 40900, 41000, 41100, 41200, 41300, 41400, 41500, 41600, 41700, 41800, 41900, 42000, 42100, 42200, 42300, 42400, 42500, 42600, 42700, 42800, 42900, 43000, 43100, 43200, 43300, 43400, 43500, 43600, 43700, 43800, 43900, 44000, 44100, 44200, 44300, 44400, 44500, 44600, 44700, 44800, 44900, 45000, 45100, 45200, 45300, 45400, 45500, 45600, 45700, 45800, 45900, 46000, 46100, 46200, 46300, 46400, 46500, 46600, 46700, 46800, 46900, 47000, 47100, 47200, 47300, 47400, 47500, 47600, 47700, 47800, 47900, 48000, 48100, 48200, 48300, 48400, 48500, 48600, 48700, 48800, 48900, 49000, 49100, 49200, 49300, 49400, 49500, 49600, 49700, 49800, 49900, 50000, 50100, 50200, 50300, 50400, 50500, 50600, 50700, 50800, 50900, 51000, 51100, 51200, 51300, 51400, 51500, 51600, 51700, 51800, 51900, 52000, 52100, 52200, 52300, 52400, 52500, 52600, 52700, 52800, 52900, 53000, 53100, 53200, 53300, 53400, 53500, 53600, 53700, 53800, 53900, 54000, 54100, 54200, 54300, 54400, 54500, 54600, 54700, 54800, 54900, 55000, 55100, 55200, 55300, 55400, 55500, 55600, 55700, 55800, 55900, 56000, 56100, 56200, 56300, 56400, 56500, 56600, 56700, 56800	

BUFFALO BEND

BUFFALO ROAD / FORESTVILLE ROAD

WAKE COUNTY ZONING

REZONING

JOB NUMBER 200308

SCALE NONE

STUDY DATE 4/19/22

ISSUE DATE ---

BB DATE ---

DRAWN BY DMS

CHECKED BY DMS

DESIGNED BY DMS

PLAN TYPE PHOTOGRAPHIC DETAIL

PROJECT NUMBER EPIO0

PROJECT

HALVORSEN DEVELOPMENT CORP

891 South Federal Hwy
Bloomington, North Carolina 27501

OWNER CERTIFICATION

CONSULTANT

WVA ARCHITECTURE LLC

ARCHITECTURE / PLANNING

801 S. Palmering Highway, Suite 203
Vicksburg, MS 39360
P: 662-735-2248

ARCHITECT

REVISIONS

NO.	DESCRIPTION	DATE
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[illegible]

Emergency Battery Systems

The emergency battery design is integral to the lanterns – a constant housing design. The design provides reliable emergency operation of the lanterns in the event of a power outage. All emergency lanterns have built-in batteries that can independently operate when not plugged into a power source. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs.

Available with LED T8000 – custom T8000 LED with 100,000 hr. life and 500,000 cycles

The emergency lanterns have built-in 1.5 amp/10 hr. and 3 amp/5 hour emergency mode.

LED T8000

LED T8000 NEW MODEL 10000

Self contained solution for clear aesthetics

Mounting, Options & Accessories

EMT® - Emergency Battery In-line

- 1.5 - 3.0
- 3.0 - 5.0
- W - 1"

EMF - Sealed Red Box

- 1.5 - 3.0
- 3.0 - 5.0
- W - 1"

Optional control applications
1/4" control arm switch

FEATURES & SPECIFICATIONS

NOTES TO THE USER

The emergency lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs.

CONSTRUCTION

The emergency lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs.

WARRANTY

The emergency lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs.

LED LIFE

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OPERATION

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STORAGE

The emergency lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs.

SALES

The emergency lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs. The lanterns are made of composite and aesthetically pleasing materials. The emergency lantern will glow when a power outage occurs.

COMPOSITE LANTERNS

Distributing by: C. Gary Grogan, GGG & Sons • 1-800-355-0570 • www.grogan.com

 **LITHONIA LIGHTING** COMMERCIAL OUTDOOR One Lithonia Way • Croydon, Georgia 3002 • Phone: 1-800-795-5687 (7116) • www.lithonia.com
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LITHONIA
A CORNING COMPANY

COMMERCIAL OUTDOOR

One Lithonia Way • Corpes, Georgia 30122 • Phone: 1-800-755-6575 (24/7) • www.lithonia.com
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Philipo L Cochran

Digital signed by Philipo L Cochran
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OU=NO-143520000077,
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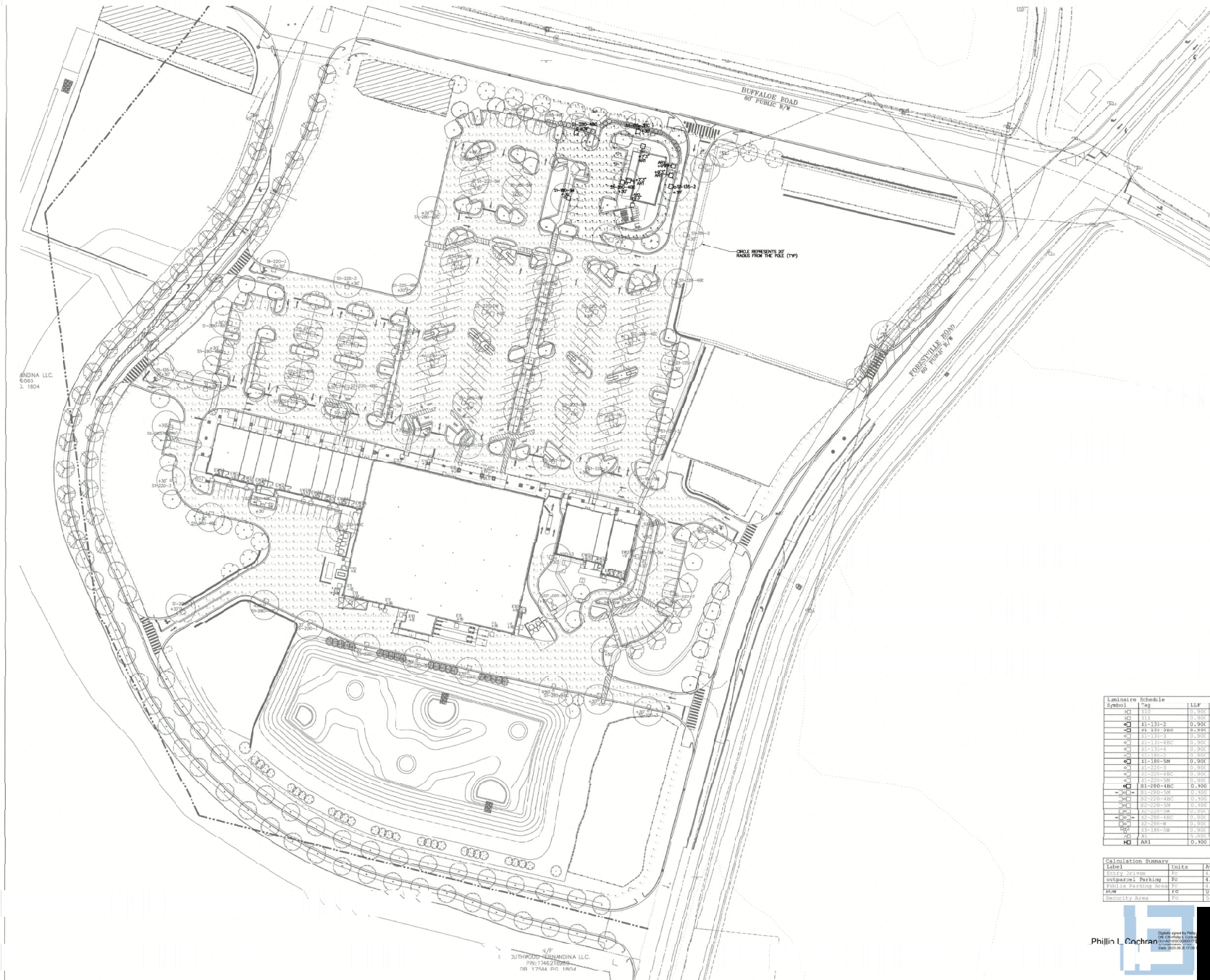
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Unaltered copies of this document are not
authenticated signed and sealed and the signature
cannot be verified (no authentication error)

4750 East Adams Drive
Tempe, Florida 33009
Tel: 913-21-2123
Fax: 913-21-2123
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COLWILL
ENGINEERING

Consulting Engineers, Inc.
Engineering Business
No. 634156-ENG. ID.



INDIANA LLC
6563
2, 1804

BUFFALO ROAD
RD PUBLIC R/W

SKILLS REPRESENTS BY
ROADS FROM THE FILE (174)

FORESTVILLE ROAD
RD PUBLIC R/W

1/8" = 1'-0"
SOUTHPOINT-INDIANA LLC
PNC1146212000
700 175044 010 19034

PHOTOMETRIC PLAN
SCALE: 1" = 400'-0"

Luminaire Schedule Symbol	Tag	LSF	Description
01	115	0.700	115-250-150-150-150-150
02	115	0.700	115-250-150-150-150-150
03	115-115-115	0.700	VP-L-643-135-487-1-150
04	21-135-135	0.700	VP-L-643-135-487-1-150
05	21-135-135	0.700	VP-L-643-135-487-1-150
06	21-135-135	0.700	VP-L-643-135-487-1-150
07	21-135-135	0.700	VP-L-643-135-487-1-150
08	21-135-135	0.700	VP-L-643-135-487-1-150
09	21-135-135	0.700	VP-L-643-135-487-1-150
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99	21-135-135	0.700	VP-L-643-135-487-1-150
100	21-135-135	0.700	VP-L-643-135-487-1-150

Calculation Summary Label	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTER 12.500	ft	12.500	12.500	12.500	1.000	1.000
OUTSIDE PARKING	ft	4.400	10.400	0.700	6.370	14.800
PARKING 12.500	ft	12.500	12.500	12.500	1.000	1.000
ROW	ft	12.500	12.500	12.500	1.000	1.000
Security Area	ft	12.500	12.500	12.500	1.000	1.000

Phillip L Cochran



Colwill Engineering, Inc.
Engineering Business
No. 634156-BNG, ID.
4750 East Adams Drive
Tampa, Florida 33605
Tel 813-241-2020
www.colwillengineering.com
Job Number: 40417

PROJECT		SHEET	
JOB NUMBER	20038	DATE	AS NOTED
ISSUED DATE	4/19/22	ISSUE DATE	---
BY DATE	---	BY DATE	---
DRAWN BY	DPS	CHECKED BY	DPS
DISCIPLINE	ELECTRICAL	PLAN TYPE	PHOTOMETRIC
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BUFFALO ROAD / FORESTVILLE ROAD
WAKE COUNTY
RALEIGH, NC

HALVORSEN
DEVELOPMENT CORP.
851 South Federal Hwy
Boca Raton, Florida
Suite 201

INDIANA LLC
ARCHITECTURE / PLANNING
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