



Administrative Approval Action

Case File / Name: ASR-0043-2020
WAKEFIELD APARTMENTS II

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located at the northeast corner of Falls of Neuse Road and Common Oaks Drive, west of Forest Pines Drive, with common street addresses of 14201 and 14301 Falls of Neuse Road and 110801 Forest Pines Drive.

REQUEST: Development of a 9 building apartment community comprising 216 dwelling units, as well as a clubhouse building and associated site improvements. The total building size proposed is 587,600 square feet. The site is approximately 13 acres in size and zoned CX-3-PK and Urban Watershed Protection Overlay District.

Variances (BOA-52-20) approved granting relief from the pedestrian access way requirements set forth in Section 3.4.3.D1 to Falls of Neuse Road and to Common Oaks Drive; granting relief from the 300 feet pedestrian access way spacing and width requirements set forth in Section 3.4.3.D2 as follows: a 200 foot variance to permit a distance of no more than 500 feet between the northernmost pedestrian access way on Common Oaks Drive and the northeastern corner of the 14301 Falls of Neuse Road property, and a 116 foot variance to permit a distance of 416 feet between the pedestrian access way on Forest Pines Drive and the southeastern corner of the property at the intersection of Falls of Neuse Road and Forest Pines Drive, and a 5 foot variance from the 10 feet minimum width requirement for pedestrian access ways to permit pedestrian access ways to be no less than 5 feet wide; granting relief from the 10 feet protective yard buffer requirement set forth in Section 7.2.4.D to permit buildings to be located no less than 50 feet from Common Oaks Drive without providing an additional buffer from the parkway frontage protective yard; granting a 23 foot variance from the 32 feet driveway width maximum set out in UDO Section 8.3.5.C and Raleigh Street Design Manual Section 9.5 to permit the no more than 55 foot-wide driveway on Forest Pines Drive to remain as-is; and granting relief from the various provisions of the UDO and City Design Manuals to permit the 11081 Forest Pines Drive property to remain as-is.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 7, 2020 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Public Utilities



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1. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
2. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

Stormwater

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Transit Easement Required

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A cross access agreement among the lots as shown on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. Agreements for the work proposed on the adjacent lot owned by others is to be provided.

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
10. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
11. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
12. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

Transportation



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13. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

14. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.51 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to issuance of building permits, recombining the existing lots as shown on the preliminary plan.

Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A fee-in-lieu for 1' of sidewalk width along those portions of the site frontages with existing 5' sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
5. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).

Stormwater

6. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 12 street trees along Forest Pines Drive, 21 street trees along Falls of Neuse Road, and 25 street trees along Common Oaks Drive for a total of 58 street trees.



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8. A public infrastructure surely for 58 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 7, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 01/08/2021
Development Services Dir/Designee

Staff Coordinator: Kasey Evans



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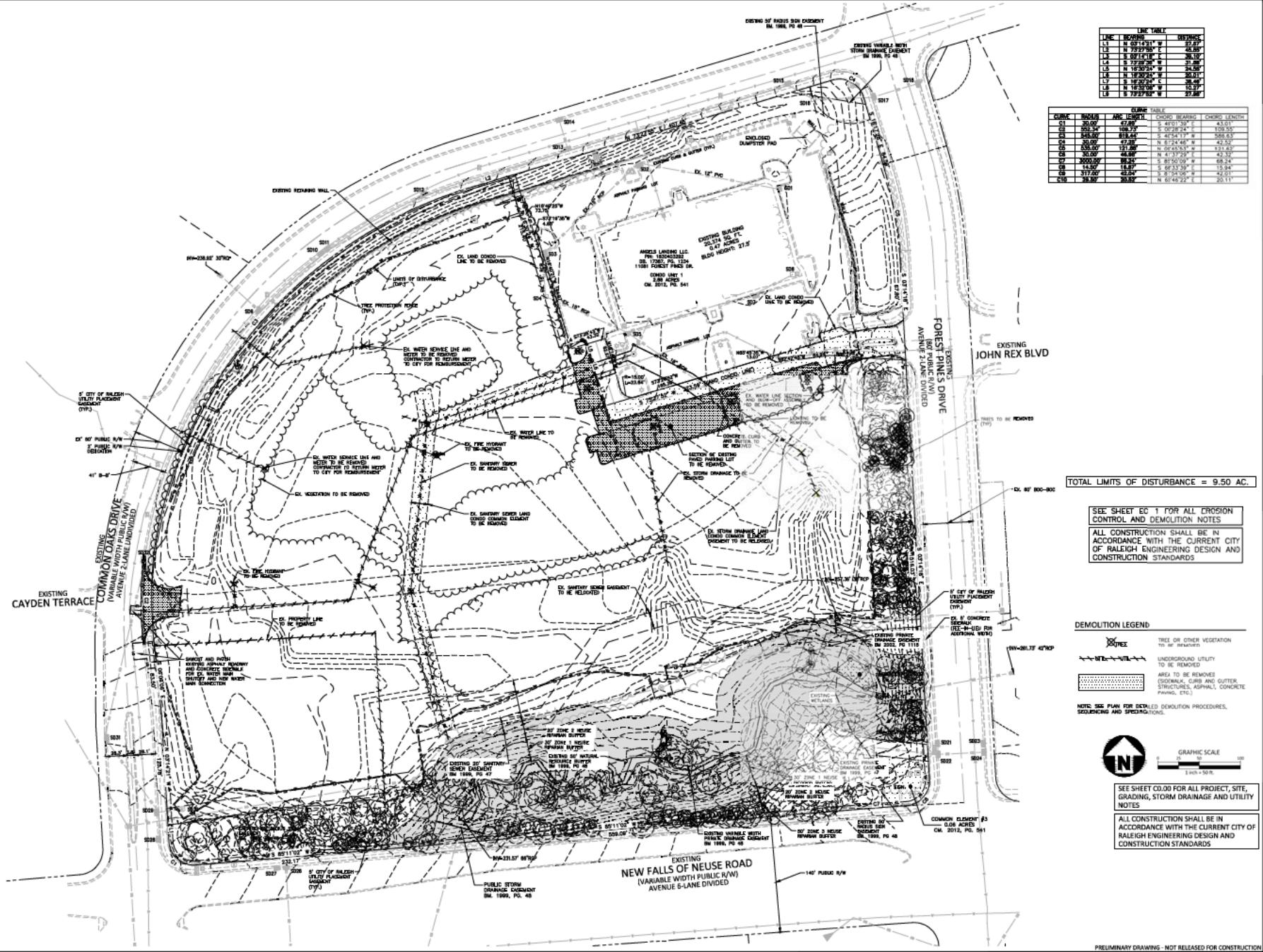
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CLIENT

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MADISON
CAPITAL GROUP

WAKEFIELD APARTMENTS II
ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD
RALEIGH, NORTH CAROLINA 27614



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

C1.01



McADAMS

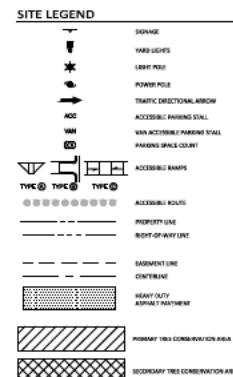
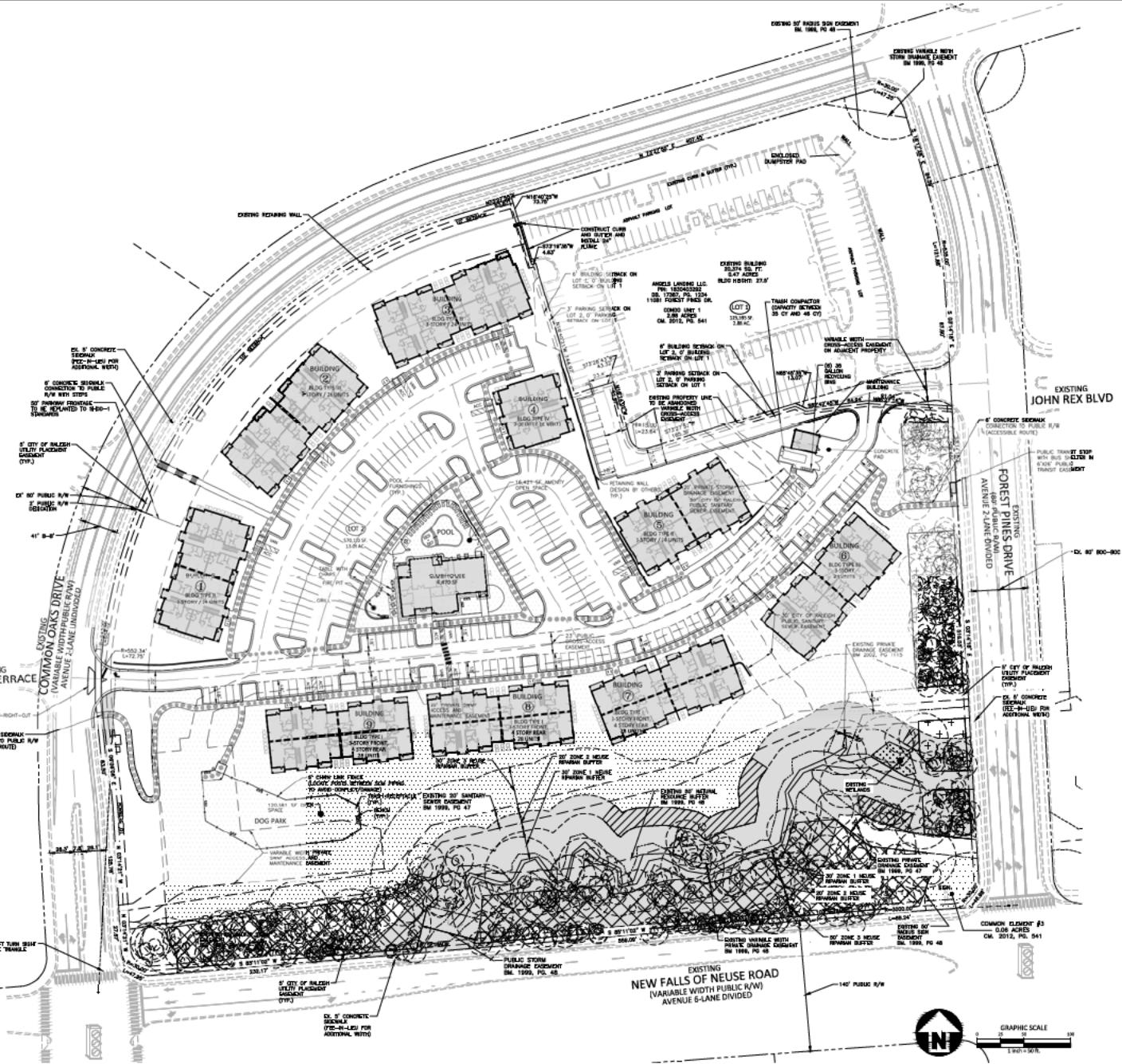
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WAKEFIELD APARTMENTS II
ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD
RALEIGH, NORTH CAROLINA 27614



- REVISIONS**
- 04.06.2020 FOR CITY OF RALEIGH 1ST AMENDMENT
 - 10.11.2020 FOR CITY OF RALEIGH 2ND REVIEW
 - 12.01.2020 FOR CITY OF RALEIGH 3RD REVIEW

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PLAN INFORMATION

PROJECT NO.	MCG-19000
FILE NAME	MCG19000-SI
CHECKED BY	CHT
DRAWN BY	MOS
SCALE	1"-00"
DATE	06.20.2020

SHEET

OVERALL SITE PLAN

C2.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



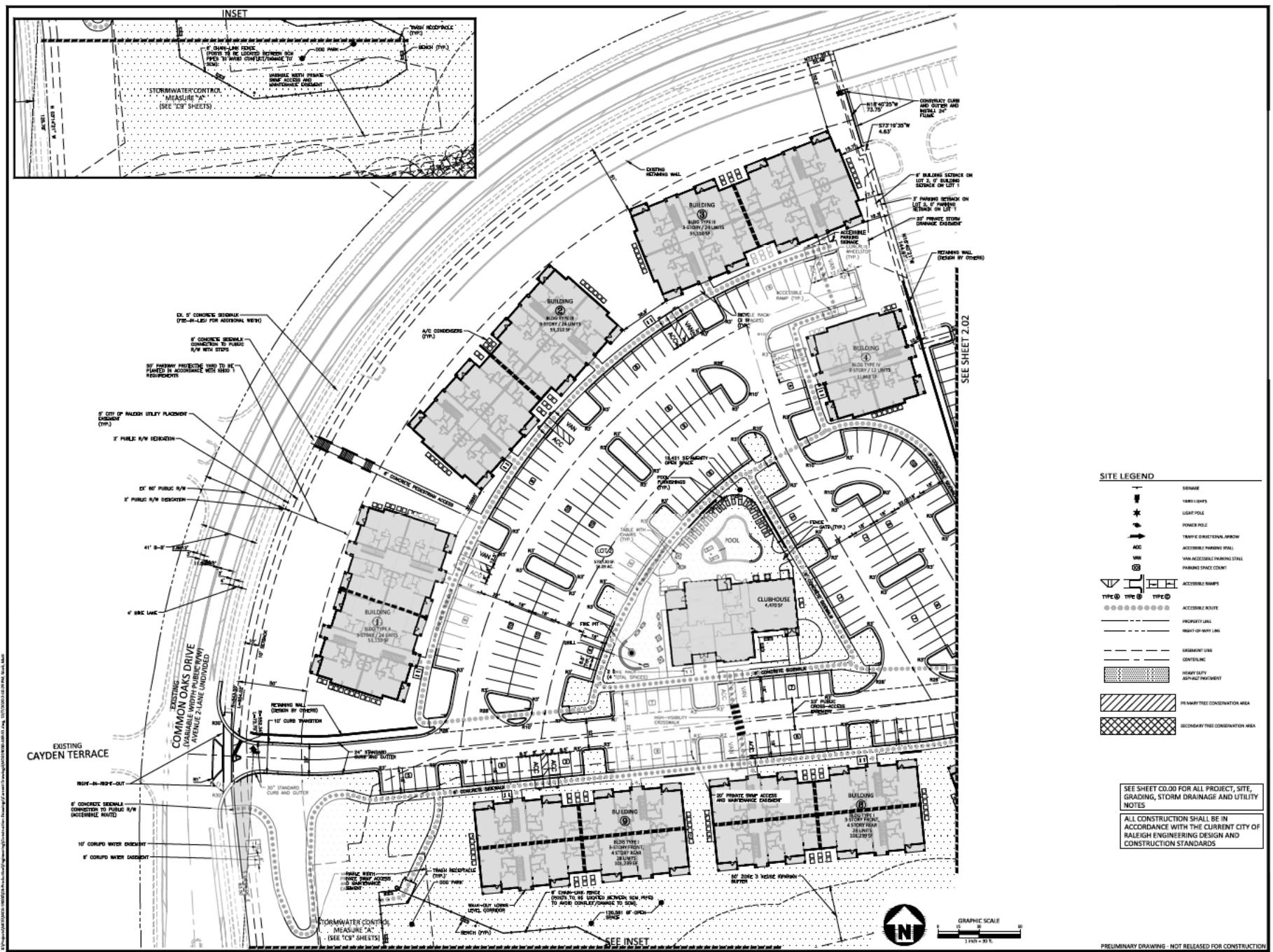
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MADISON
CAPITAL GROUP

WAKEFIELD APARTMENTS II
ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD
RALEIGH, NORTH CAROLINA 27614



SITE LEGEND

SHADE	SHADE
★	VAN LANE
◆	LIGHT POLE
▲	POWER POLE
→	TRAFFIC DIRECTIONAL ARROW
ACC	ACCESSIBLE PARKING STALL
VAN	VAN ACCESSIBLE PARKING STALL
ACC+VAN	PARKING SPACE COUNT
ACC+ACC	ACCESSIBLE RAMPS
ACC+VAN+ACC	ACCESSIBLE ROUTE
ACC+ACC+VAN	PROPERTY LINE
ACC+ACC+ACC	RIGHT-OF-WAY LINE
ACC+ACC+ACC+VAN	ARMAMENT LINE
ACC+ACC+ACC+ACC	CENTLINE
HEAVY DUTY ASPHALT PAVEMENT	HEAVY DUTY ASPHALT PAVEMENT
PRIMARY TREE CONSERVATION AREA	PRIMARY TREE CONSERVATION AREA
SECONDARY TREE CONSERVATION AREA	SECONDARY TREE CONSERVATION AREA

REVISIONS

- 1. 04.06.2020 PER CITY OF RALEIGH 1ST AMENDMENT
- 2. 11.16.2020 PER CITY OF RALEIGH 2ND REVIEW
- 3. 12.01.2020 PER CITY OF RALEIGH 3RD REVIEW

PLAN INFORMATION

PROJECT NO. MCG-19000-S1
FILE NAME MCG-19000-S1
CHECKED BY CHT
DRAWN BY MOS
SCALE 1"-00'
DATE 06.19.2020

SHEET

**SITE PLAN
(WEST)**

C2.01



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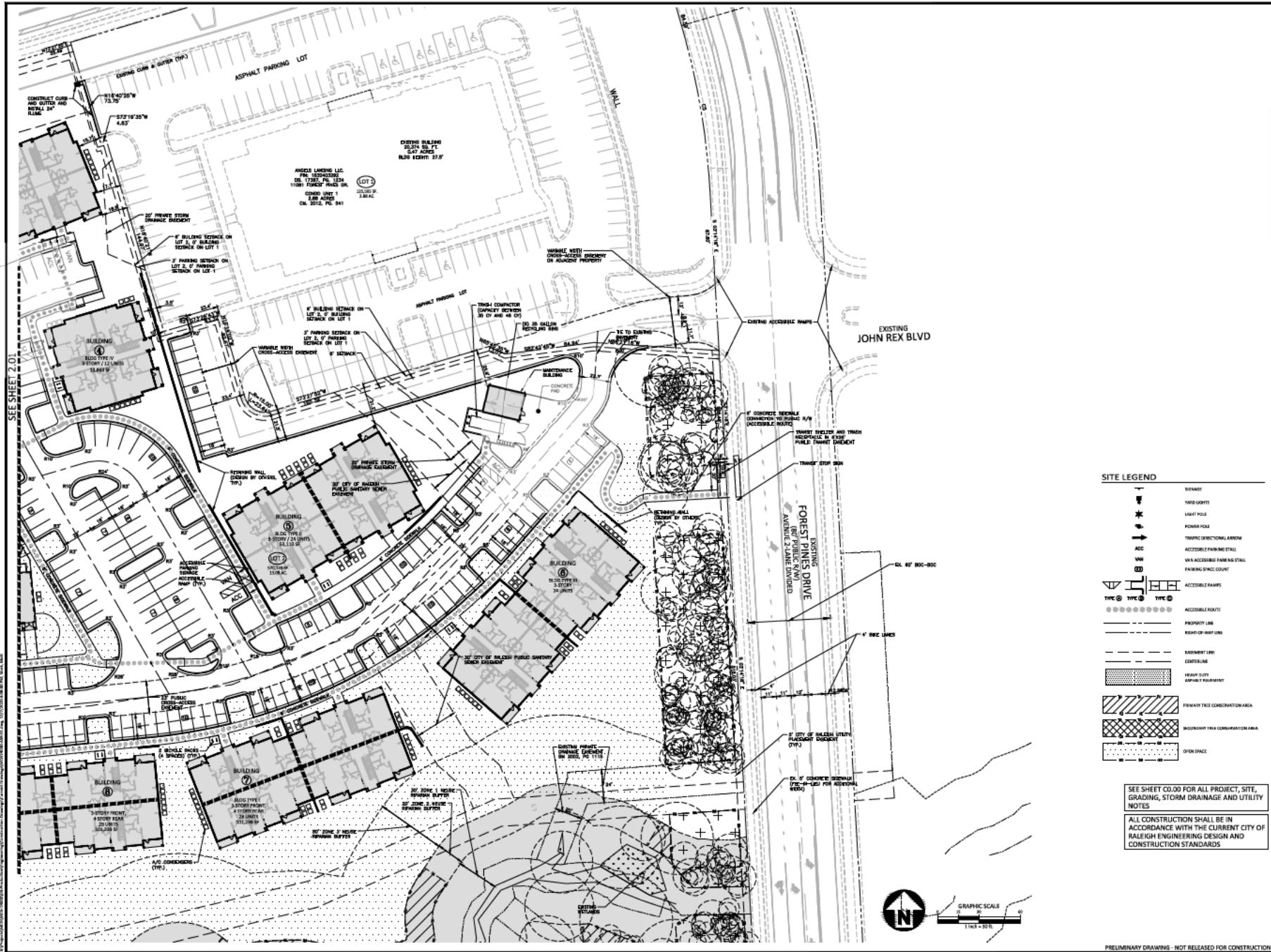
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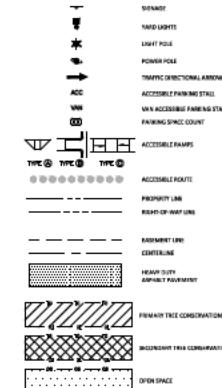
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MADISON
CAPITAL GROUP

WAKEFIELD APARTMENTS II
ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD
RALEIGH, NORTH CAROLINA 27614



SITE LEGEND



REVISIONS

1. 08.10.2020 PER CITY OF RALEIGH 127-AIR COMMENTS
2. 11.16.2020 PER CITY OF RALEIGH 2ND REVIEW
3. 12.19.2020 PER CITY OF RALEIGH 3RD REVIEW

SEE SHEET CO.00 FOR ALL PROJECT, SITE,
GRADING, STORM DRAINAGE AND UTILITY
NOTES

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS

PLAN INFORMATION

PROJECT NO.: MCG-19000
FILE NAME: MCG-19000-S1
CHECKED BY: CHT
DRAWN BY: MOS
SCALE: 1"-00'
DATE: 06.19.2020

SITE PLAN

(EAST)

C2.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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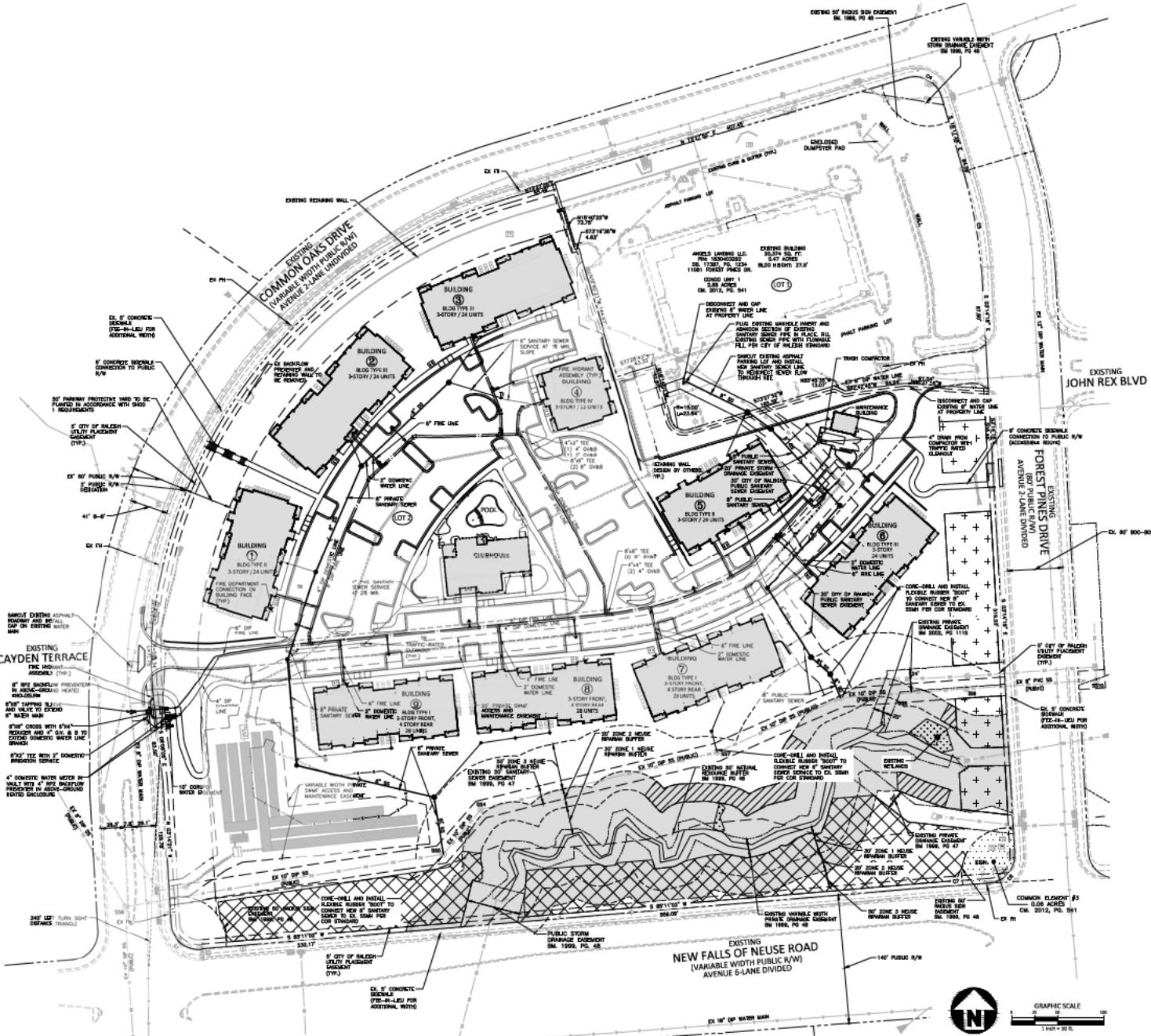
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WAKEFIELD APARTMENTS II

ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD

RALEIGH, NORTH CAROLINA 27614



SITE INVENTORY

S1	TOP-274.71'	INV-N-200.77' STDP 500
S2	TOP-284.06'	INV-N-200.52' STDP 500
S3	TOP-284.05'	INV-N-200.50' STDP 500
S4	TOP-258.85'	INV-N-200.50' STDP 500
S5	TOP-254.05'	INV-N-200.50' STDP 500
S6	TOP-232.89'	INV-N-200.50' STDP 500
S7	TOP-244.85'	INV-N-200.50' STDP 500
S8	TOP-245.37'	INV-N-200.50' STDP 500
S9	TOP-257.21'	INV-N-200.50' STDP 500
S10	TOP-277.20'	INV-N-200.50' STDP 500
S11	TOP-287.54'	INV-N-200.50' STDP 500

UTILITY LEGEND

→	HIGH HYDRANT ASSEMBLY
↔	HYDRANT CONNECTION [NOZ]
WATER VALVE	
METER & VALVE	
BURROWING PREVENTER	
REDUCER	
PLUG	
BLOW-OFF ASSEMBLY	
SANITARY SEWER MANHOLE	
SEWER CLEAN-OUT	
SEWER PISUM DIRECTION	
ARROW	
VINYL LIGHT	
LIGHT POLE	
POWER POLE	
LINE BREAK SYMBOL	
WATERLINE [TIN]	
WATER LINE [DOMESTIC]	
SANITARY SEWER	
SEWER SERVICE LINE	
GAS LINE	
OVERHEAD UTILITY	
UNDERGROUND UTILITY	
TELEPHONE	
—	PARCEL LINE
■	PRIMARY TREE CONSERVATION AREA
▨	SECONDARY TREE CONSERVATION AREA

REVISIONS

1. 04.06.2020 PER CITY OF RALEIGH 1ST AMENDMENT
2. 15.11.2020 PER CITY OF RALEIGH 2ND REVIEW
3. 12.16.2020 PER CITY OF RALEIGH 3RD REVIEW

PLAN INFORMATION

PROJECT NO. MCG-19000
FILE NAME MCG19000-U1
CHECKED BY CHT
DRAWN BY MOS
SCALE 1"-00'
DATE 06.19.2020

SHEET

OVERALL UTILITY PLAN

C4.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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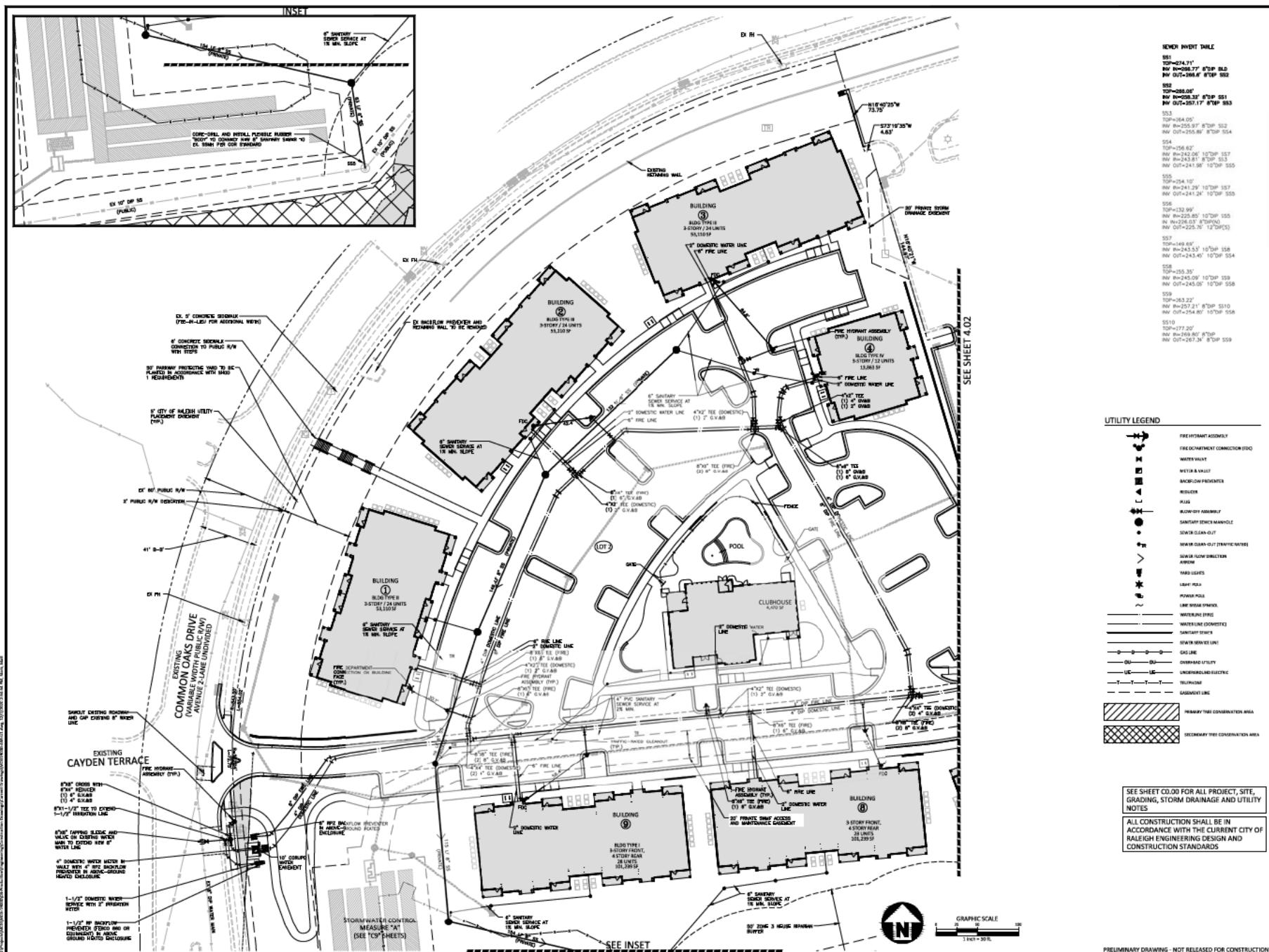
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MADISON CAPITAL GROUP

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ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD
RALEIGH, NORTH CAROLINA 27614



SEWER INVERT TABLE

S51
TOP=274.71'
INV=250.77' 8'DP S51
INV=250.66' 8'DP S52

S52
TOP=258.04'
INV=250.77' 8'DP S51
INV=250.66' 8'DP S53

S53
TOP=254.10'
INV=243.55' 10'DP S57
INV=241.54' 10'DP S55

S54
TOP=242.06' 10'DP S57
INV=243.81' 8'DP S53
INV=241.86' 10'DP S53

S55
TOP=254.10'
INV=243.55' 10'DP S57
INV=241.54' 10'DP S55

S56
TOP=232.99'
INV=232.06' 10'DP S55
INV=229.03' 8'DP S50

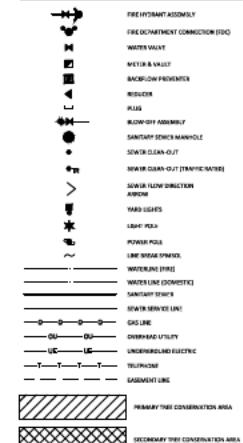
S57
TOP=249.03'
INV=243.55' 10'DP S58
INV=243.45' 10'DP S54

S58
TOP=255.35'
INV=243.09' 8'DP S59
INV=243.05' 10'DP S58

S59
TOP=263.22'
INV=251.21' 8'DP S510
INV=251.24' 10'DP S59

S510
TOP=277.20'
INV=269.87' 8'DP
INV=269.34' 10'DP S59

UTILITY LEGEND



REVISIONS

1. 08.06.2020 PER CITY OF RALEIGH 137 AMENDMENTS
2. 25.10.2020 PER CITY OF RALEIGH 130 REVIEW
3. 12.01.2020 PER CITY OF RALEIGH 130 REVIEW

PLAN INFORMATION

PROJECT NO.: MCG-19000
FILE NAME: MCG-19000-US
CHECKED BY: CHT
DRAWN BY: MOS
SCALE: 1"-00'
DATE: 06.19.2020
SHEET: C4.01

UTILITY PLAN (WEST)

C4.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

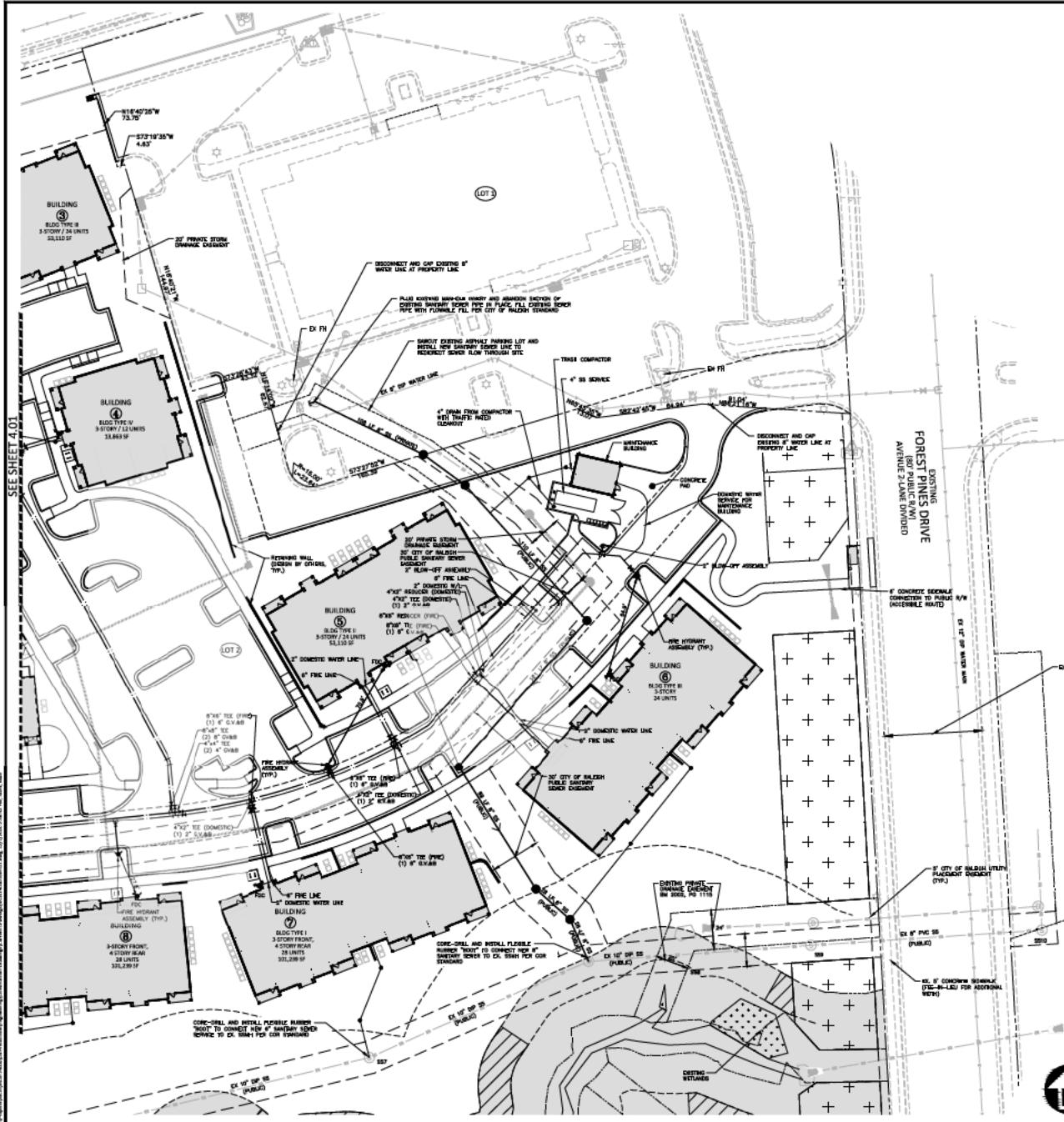


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MADISON
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WAKEFIELD APARTMENTS II ADMINISTRATIVE SITE REVIEW 14301 FALLS OF NEUSE ROAD RALEIGH, NORTH CAROLINA 27614

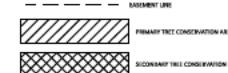


NEWER INVERT DATE

S01	TOP=274.71'
	RW=363.77' RTOP 500
	RU=274.50' RTOP 500
S02	TOP=283.05'
	RW=363.33' RTOP 501
	RW=273.17' RTOP 503
S03	TOP=291.07'
	RW=363.03' RTOP 502
	RW=272.97' RTOP 504
S04	TOP=299.82'
	RW=362.96' RTOP 507
	RW=272.81' RTOP 507
S05	TOP=294.10'
	RW=362.39' RTOP 507
	RW=272.24' RTOP 505
S06	TOP=262.99'
	RW=346.85' RTOP 505
	RW=245.93' RTOP 506
S07	TOP=264.49'
	RW=347.53' RTOP 506
	RW=245.45' RTOP 504
S08	TOP=263.35'
	RW=346.09' RTOP 509
	RW=245.06' RTOP 508
S09	TOP=263.22'
	RW=346.21' RTOP 500
	RW=245.16' RTOP 508
S10	TOP=271.23'
	RW=349.85' RTOP
	RW=247.87' RTOP 508

UTILITY LEGEND

PF HYDRANT ASSEMBLY
PFV DRAINVENTURE CONNECTION (TP)
METER VALUE
METER VALVE
FACILOUT PREVENTER
REDUCER
PIPE
ELBOW-DYK SECTION
SANITARY SEWER MANHOLE
SEWER CLEAN-OUT
SEWER CLEAN-OUT (TRAFFIC RATED)
SEWER FLOW DIRECTION
YARD LIGHTS
LIGHT ROSE
POWER POLE
LINE ENDING SYMBOL
WATERLINE END
WATERLINE DOMEQ
SANITARY SEWER
SEWER SERVICE LINE
SA LINE
GU LINE
OVERHEAD UTILITY
ULC
UNDERGROUND ELECTRIC
TELEPHONE
RAISEMENT LINE
RAISEMENT LINE



REVISIONS

1	10.10.2020	PER CITY OF RALEIGH 127 ARE COMMENTS
2	11.11.2020	PER CITY OF RALEIGH 130 REVIEW
3	12.01.2020	PER CITY OF RALEIGH 130 REVIEW

PLAN INFORMATION

PROJECT NO.: MCG-19000
 FILE NAME: MCG-19000-US
 CHECKED BY: CHT
 DRAWN BY: MOS
 SCALE: 1"-50'
 DATE: 06.19.2020

SEE SHEET

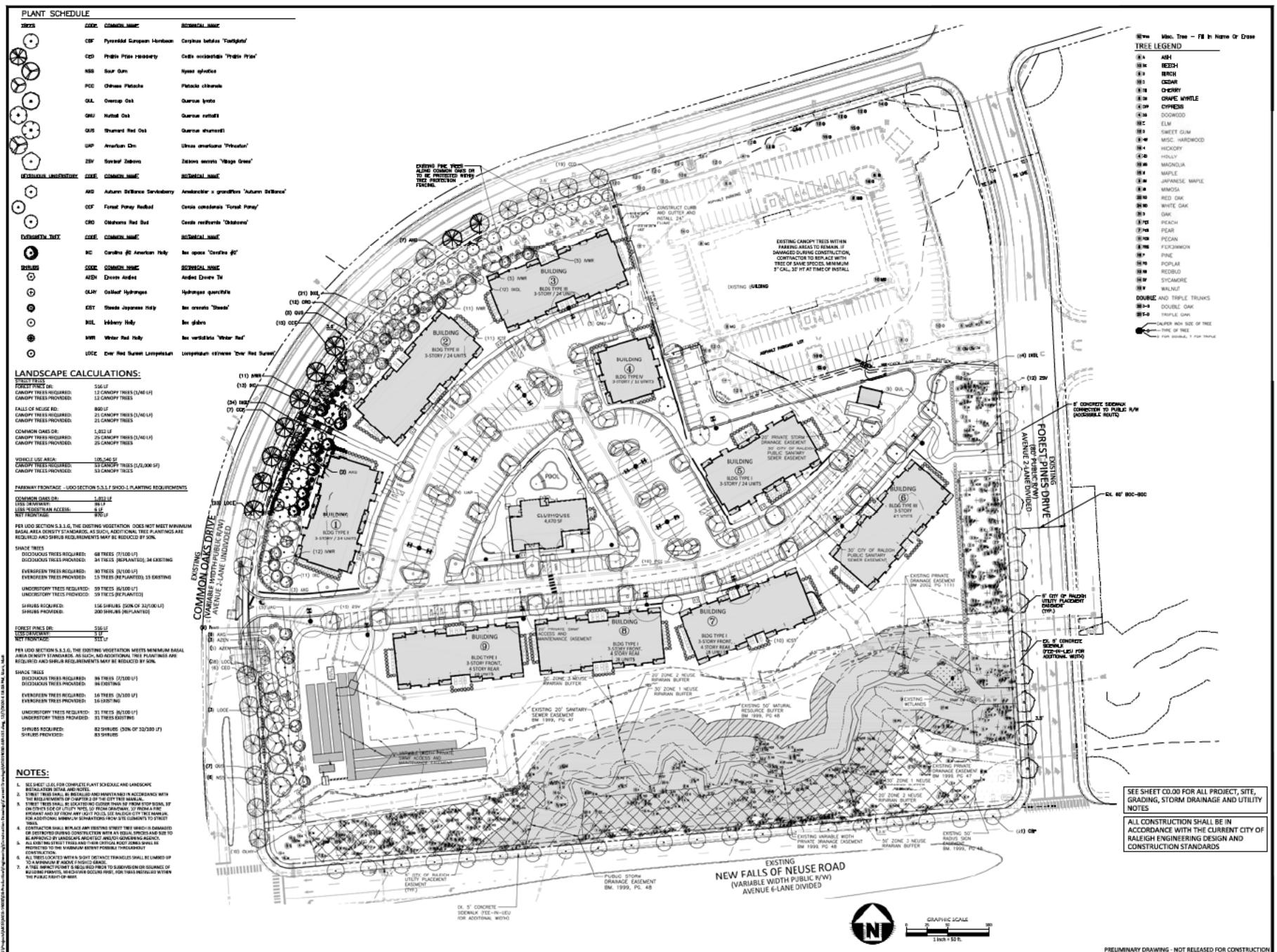
**UTILITY PLAN
(EAST)**

C4.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



GRAPHIC SCALE
1 INCH = 50 FT



The John R. McAdams Company, Inc.
 One Greenwood Avenue
 Suite 201
 Raleigh, NC 27603
 phone 919.823.4300
 fax 919.823.4301
 license number: C-0193, C-147
www.mcadamsco.com

MADISON CAPITAL GROUP

WAKEFIELD APARTMENTS II
ADMINISTRATIVE SITE REVIEW
14301 FALLS OF NEUSE ROAD
RALEIGH, NORTH CAROLINA 27614



1. 04.11.2020 PER CITY OF RALEIGH 1ST CH COMMENTS
 2. 05.15.2020 PER CITY OF RALEIGH 2ND REVIEW
 3. 12.10.2020 PER CITY OF RALEIGH 3RD REVIEW

NOTES:
 SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

GRAPHIC SCALE

1 inch = 50 ft.

L5.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

This drawing is provided by Narmour Wright, Inc. and is subject to the terms and conditions of the contract under which it was prepared. It is the responsibility of the user to determine its suitability for the intended purpose. Any application for a building permit shall be made to the appropriate government agency.

MADISON CAPITAL

WAKEFIELD APARTMENTS
RALEIGH, NC

PROJECT NUMBER:
20-00-07
ISSUE DATE:
11-21-2020
DRAWN LH, HK
CHECKED BY: KK

PERMIT SET

Revision Schedule		
#	Description	Date
1	1ST ASR REVIEW COMMENTS	8/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020



MADISON CAPITAL

WAKEFIELD APARTMENTS

RALEIGH, NC

BUILDING 2 ELEVATIONS - UDO

A.202

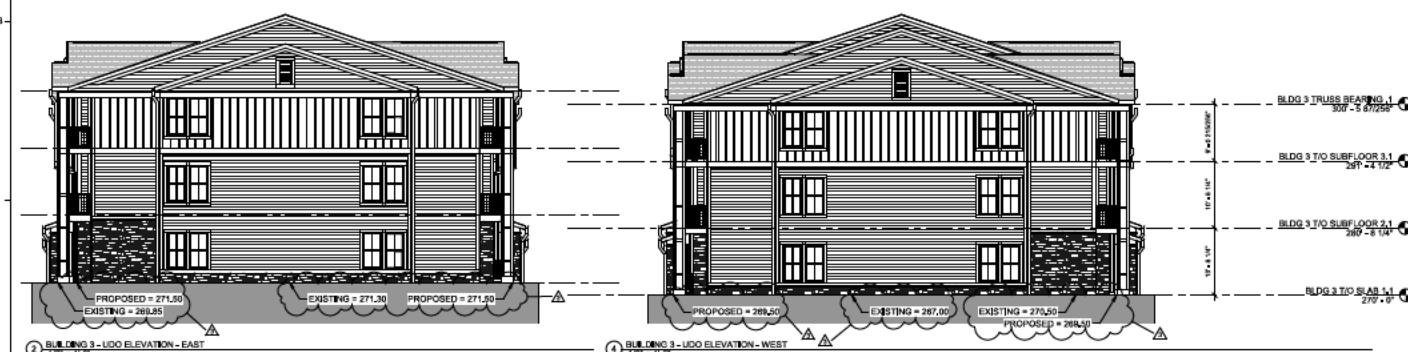


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MADISON CAPITAL

WAKEFIELD APARTMENTS
RALEIGH, NC

NOTE: GRADE LEVEL PLANES ARE SHOWN AS ACTUAL GRADE.

BLANK WALL AREA COMPLIANCE - UDO 1.6.10:
NO BLANK WALL AREAS THESE ELEVATIONSBLANK WALL AREA COMPLIANCE - UDO 1.6.10:
NO BLANK WALL AREAS THESE ELEVATIONSBLANK WALL AREA COMPLIANCE - UDO 1.6.10:
NO BLANK WALL AREAS THESE ELEVATIONS

PROJECT NUMBER:
20-00-01
ISSUE DATE:
15-21-2020
DRAWN LH, HK
CHECKED BY: KK

PERMIT SET

Revision Schedule		
#	Description	Date
1	1ST ASR REVIEW COMMENTS	6/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

BUILDING 3
ELEVATIONS - UDO

A.203

MASS GRADING		PROPOSED				
HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE	
NORTH PLANE	270.13	267.90	269.30	271.50	269.58	270.50
WEST PLANE	270.53	267.00	268.75	269.50	269.58	269.50
SOUTH PLANE	271.00	268.10	269.55	271.50	269.58	270.50
EAST PLANE	271.33	269.85	270.58	271.50	271.58	271.50

MOST RESTRICTIVE CONDITION OCCURS IN THE MASS GRADED CONDITION WITH AN AVERAGE GRADE OF = 269.47

UDO ARTICLE 1A, REQUIREMENT, EXCEPTIONS & GENERAL RULES OF
UDO 1.6.10
HEIGHT
5'-0" MAXIMUM HEIGHT
5'-0" FOR ANY BUILDING THAT IS ZONED OR A MAXIMUM OF THREE STOREYS, WHERE A
LOT SLOPES DOWNWARD FROM ANY PRIMARY STREET, ONE STORY THAT
IS LOCATED ON THE HIGHEST POINT OF THE LOT, NO CONSTRUCTION OF STOREYS MAY BE BUILT ON THE
LOWER PORTION OF THE LOT.
TRANSMISSIONS/COMMS
UDO 1.6.1
UPPER STORY (S) 25%
UPPER STORY (S) 15%
BLANK WALL AREA (S) 32%
BLANK WALL TO BOTH A VERTICAL AND HORIZONTAL DIRECTION

MADISON CAPITAL
WAKEFIELD APARTMENTS
RALEIGH, NC

BUILDING 4
ELEVATIONS - UDO

A.204



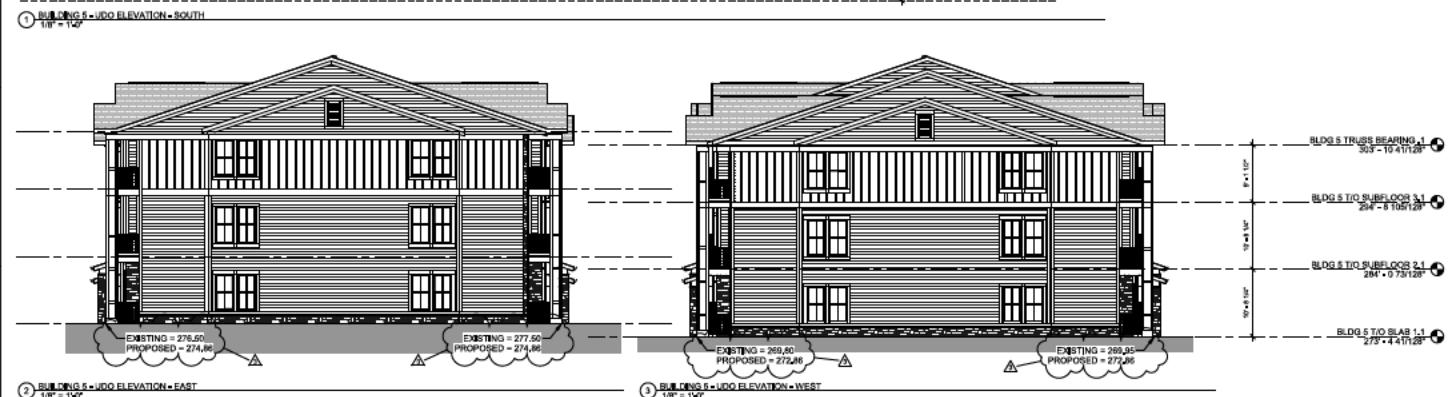
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MADISON CAPITAL

WAKEFIELD APARTMENTS
RALEIGH, NC

NOTE:
GRADE LEVEL PLANES ARE SHOWN AS ACTUAL GRADE.

BLANK WALL AREA COMPLIANCE - UDO 1 & 10:
NO BLANK WALL AREAS THESE ELEVATIONS



BLANK WALL AREA COMPLIANCE - UDO 1 & 10:
NO BLANK WALL AREAS THESE ELEVATIONS



BLANK WALL AREA COMPLIANCE - UDO 1 & 10:
NO BLANK WALL AREAS THESE ELEVATIONS

UDO ARTICLE 1.0: MEASUREMENT, EXCEPTIONS & GENERAL RULES OF APPLICABILITY
SECTION A: BUILDING HEIGHT
1. FOR ANY BUILDING THAT IS ZONED OR A MAXIMUM OF THREE STOREYS, WHERE A MAXIMUM NUMBER OF STOREYS MAY BE BUILT ON THE PRIMARY STREET, ONE STORY THAT IS ADDITIONAL TO THE SPECIFIED MAXIMUM NUMBER OF STOREYS MAY BE BUILT ON THE ADJACENT STREET.

UDO ARTICLE 2.0: BLANK WALLS
1. GROUND STORY (MIN) 30%
2. 1ST STORY (MIN) 10%
3. BLANK WALL (MAX) 10%
APPLIES TO BOTH A VERTICAL AND HORIZONTAL LOCATION

MASS GRADING			PROPOSED			
HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE	
NORTH PLANE	277.50	269.80	273.45	274.86	272.86	273.36
WEST PLANE	269.95	269.80	269.88	272.86	272.86	272.36
SOUTH PLANE	276.50	269.95	273.23	274.86	272.86	273.36
EAST PLANE	277.50	276.50	277.00	274.86	274.86	274.36

BUILDING AVERAGE OF WALL PLANES 273.44 273.36
MOST RESTRICTIVE CONDITION OCCURS IN THE EXISTING CONDITION WITHIN AVERAGE GRADE OF = 273.44'

PROJECT NUMBER:
20-09-37
ISSUE DATE:
11-21-2020
DRAWN LH, HK
CHECKED BY: KK

PERMIT SET

Revision Schedule		
#	Description	Date
1	1ST ASR REVIEW COMMENTS	8/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

BUILDING 5
ELEVATIONS - UDO

SGA

NarmourWright
DESIGN1815 S. Tryon St., Suite A
Charlotte, NC 28203
p 704.352.1208
www.narmourwright.com

MADISON CAPITAL

WAKEFIELD APARTMENTS RALEIGH, NC

PROJECT NUMBER:
20-007-31
ISSUE DATE:
11-21-2020

DRAWN
CHECKED BY:

PERMIT SET

Revision Schedule

#	Description	Date
1	1ST ASR REVIEW COMMENTS	8/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

BUILDING 6 ELEVATIONS - UDO

A.206

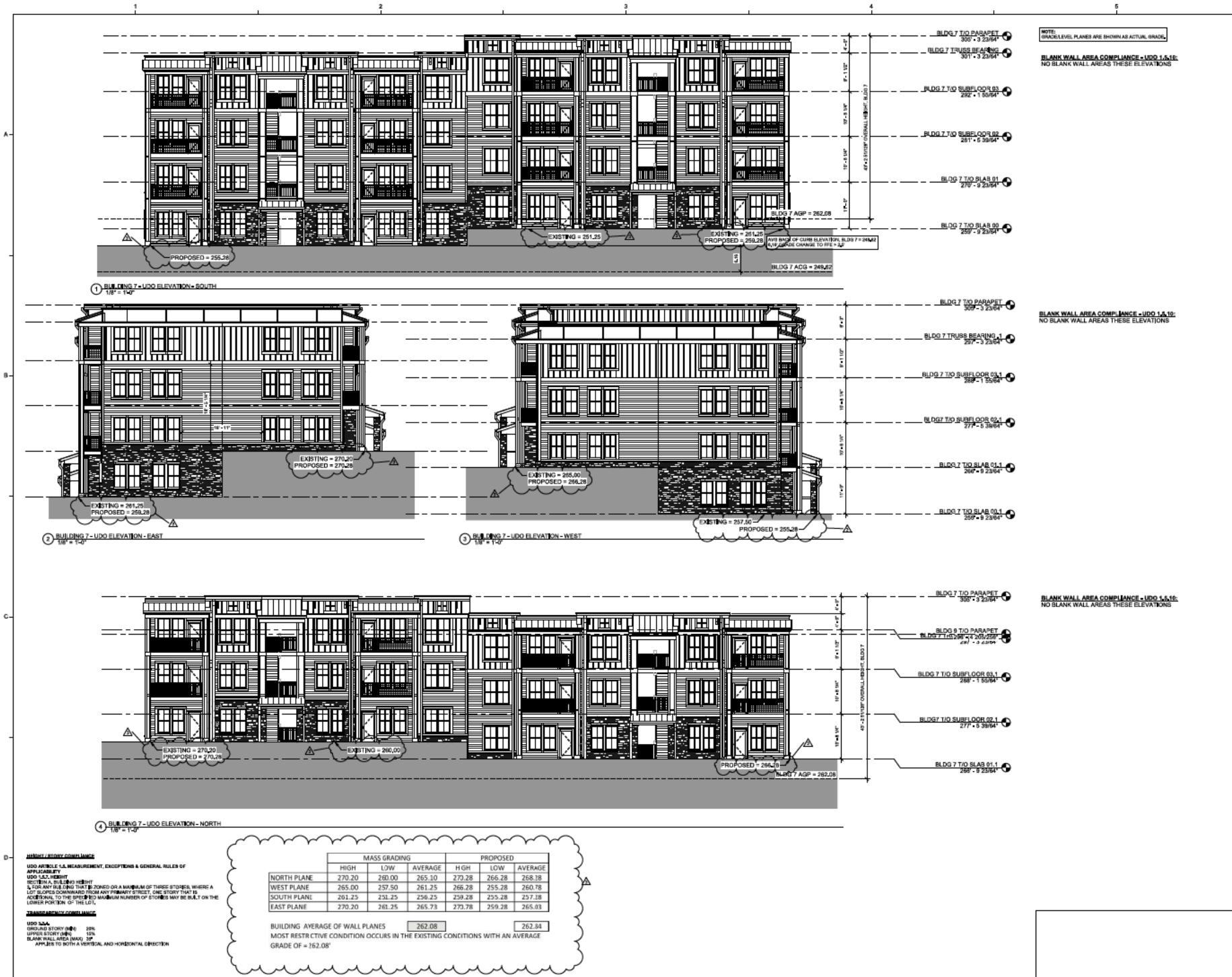


MADISON CAPITAL

WAKEFIELD APARTMENTS RALEIGH, NC

BUILDING 7 ELEVATIONS - UDO

A.207



PROJECT NUMBER:
20-00-37
ISSUE DATE:
11-21-2020
DRAWN
CHECKED BY:

PERMIT SET

Revision Schedule

#	Description	Date
1	1ST ASR REVIEW COMMENTS	6/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

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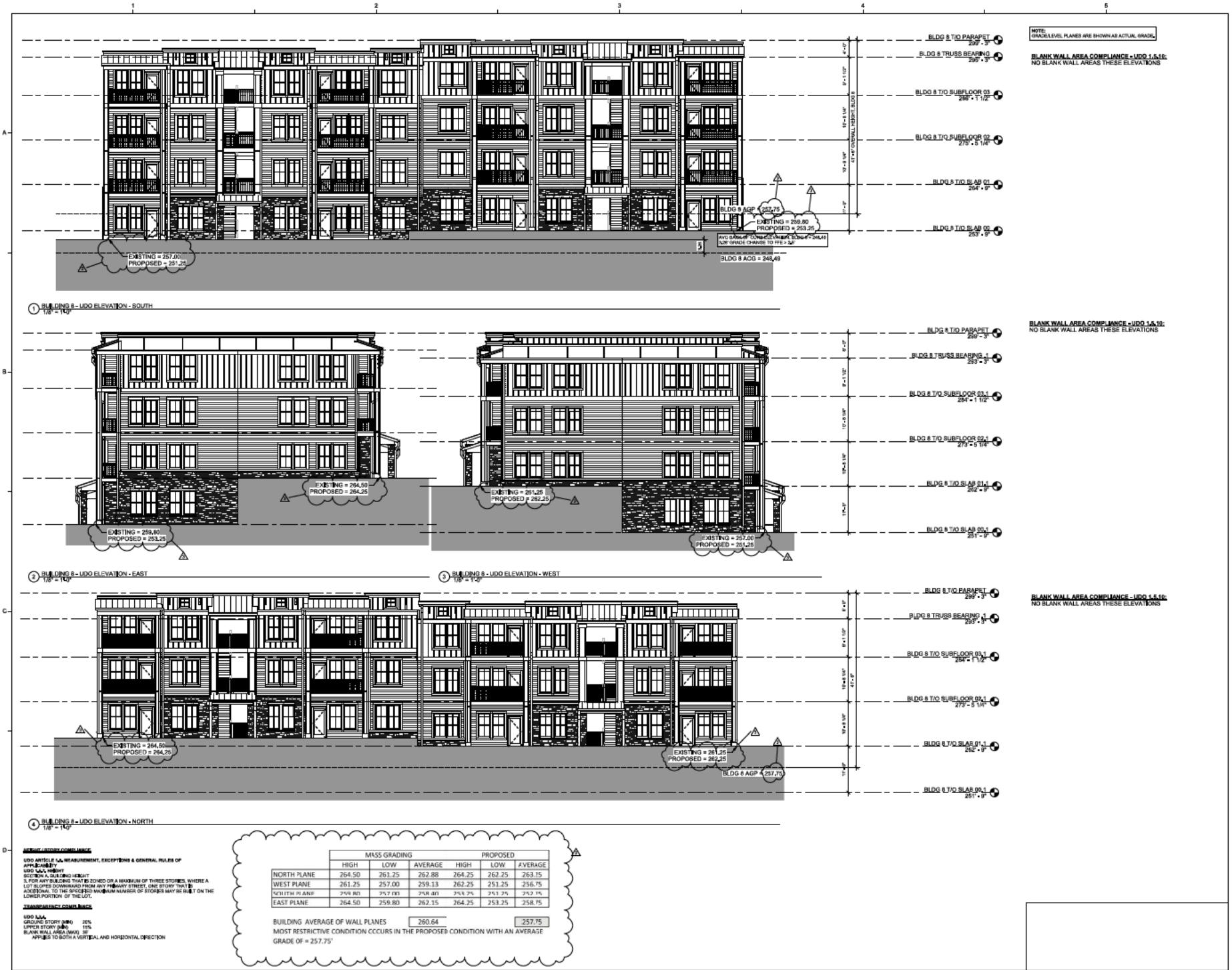
MADISON CAPITAL

WAKEFIELD APARTMENTS

RALEIGH, NC

BUILDING 8
ELEVATIONS - UDO

A.208



PROJECT NUMBER:
20-00-37
ISSUE DATE:
11-21-2020

DRAWN
CHECKED BY:

PERMIT SET

Revision Schedule		
#	Description	Date
1	1ST ASR REVIEW COMMENTS	8/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

MADISON CAPITAL

WAKEFIELD APARTMENTS

RALEIGH, NC

BUILDING 9 ELEVATIONS - UDO

A.209

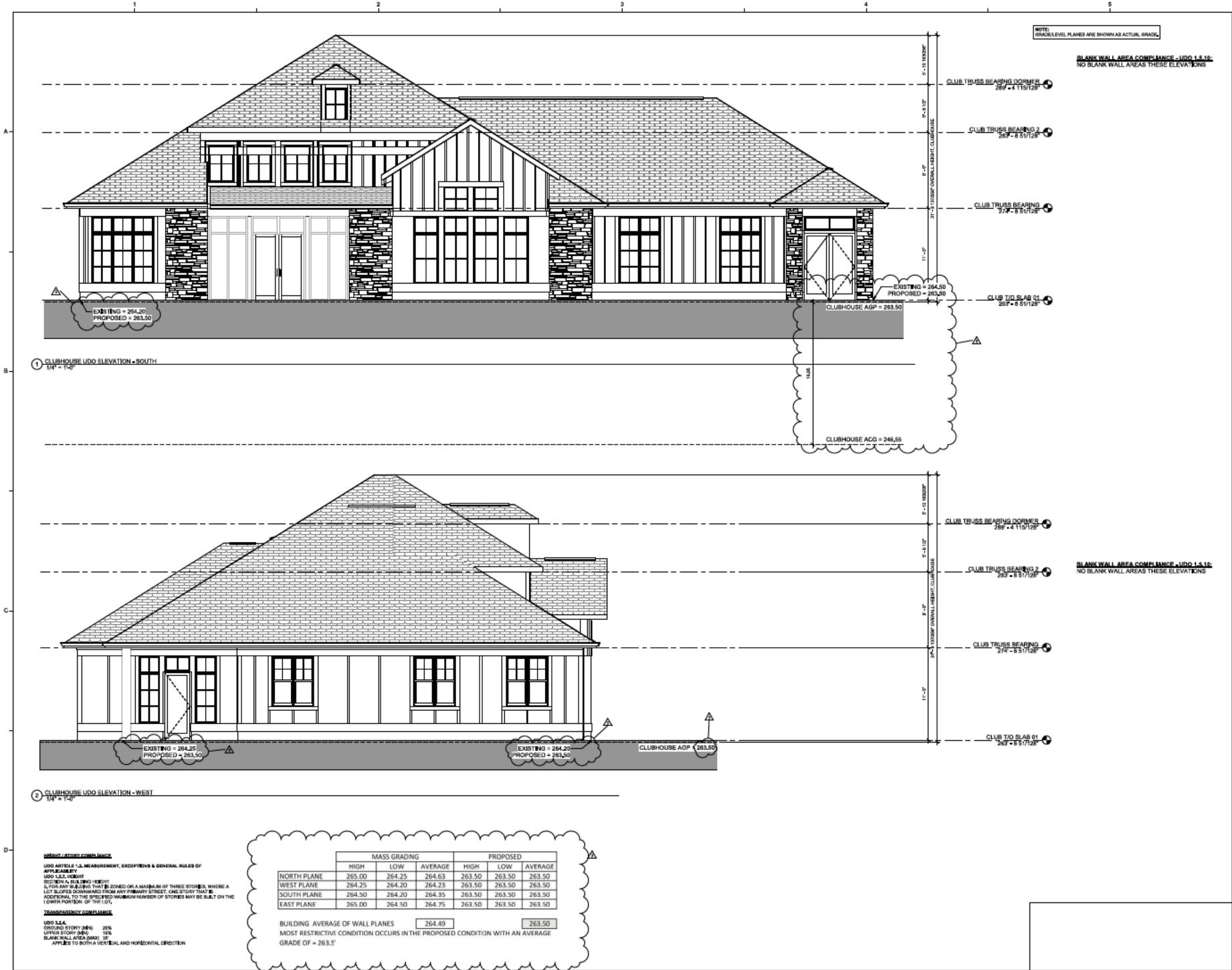


PROJECT NUMBER:
20-00-07
ISSUE DATE:
11-21-2020

DRAWN
CHECKED BY:

PERMIT SET

Revision Schedule		
#	Description	Date
1	1ST ASR REVIEW COMMENTS	6/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020



SGA

NarmourWright
DESIGN

1815 S. Tryon St., Suite A
Charlotte, NC 28203
p: 704.332.1868
www.nwarchitects.com



MADISON CAPITAL

WAKEFIELD APARTMENTS
RALEIGH, NC

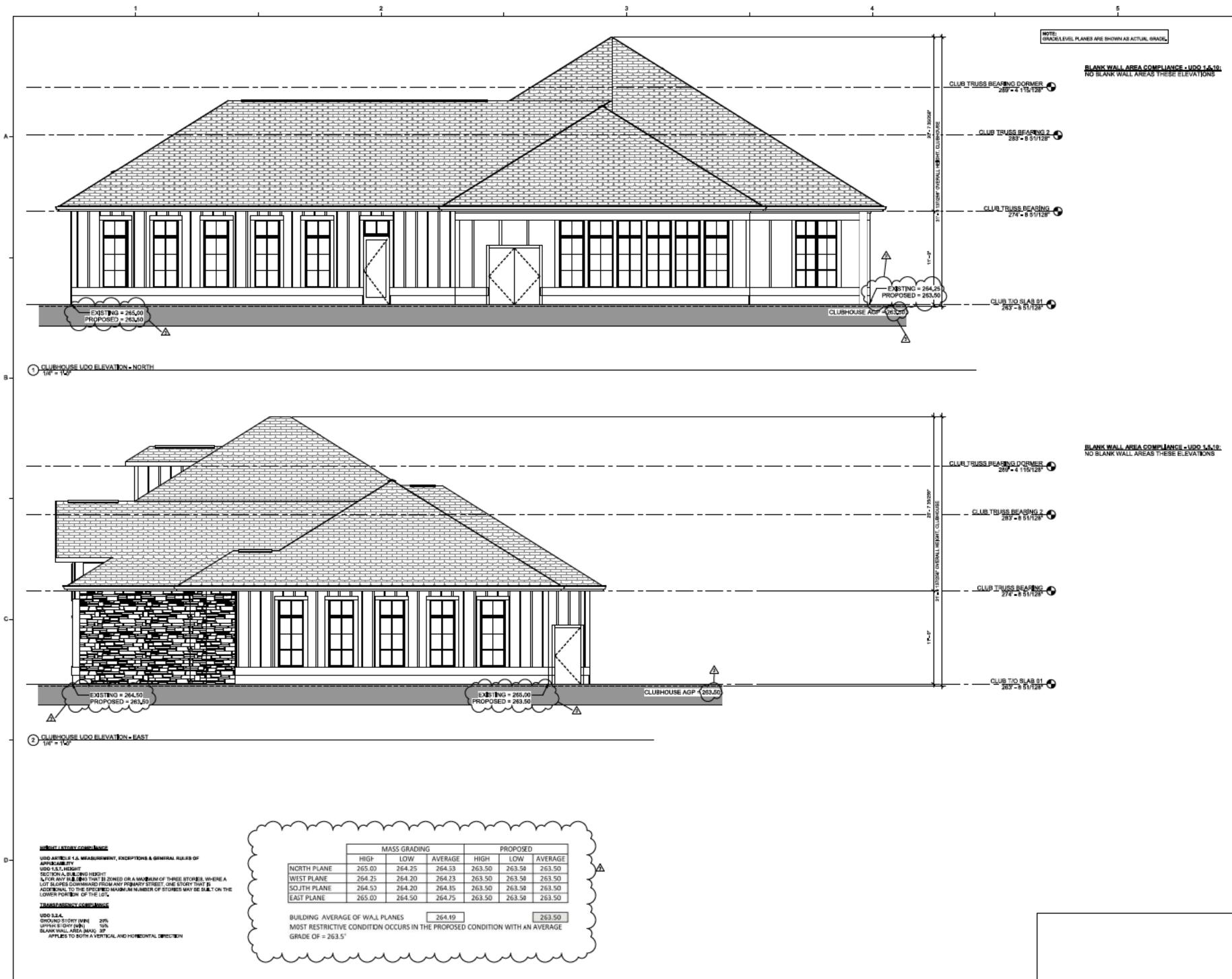
PROJECT NUMBER:
20-00-01
ISSUE DATE:
15-21-2020
DRAWN LH, HK
CHECKED BY: KK

PERMIT SET

#	Description	Date
1	1ST ASR REVIEW COMMENTS	6/4/2020
2	2ND ASR REVIEW COMMENTS	9/3/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

CLUBHOUSE ELEVATIONS - UDO

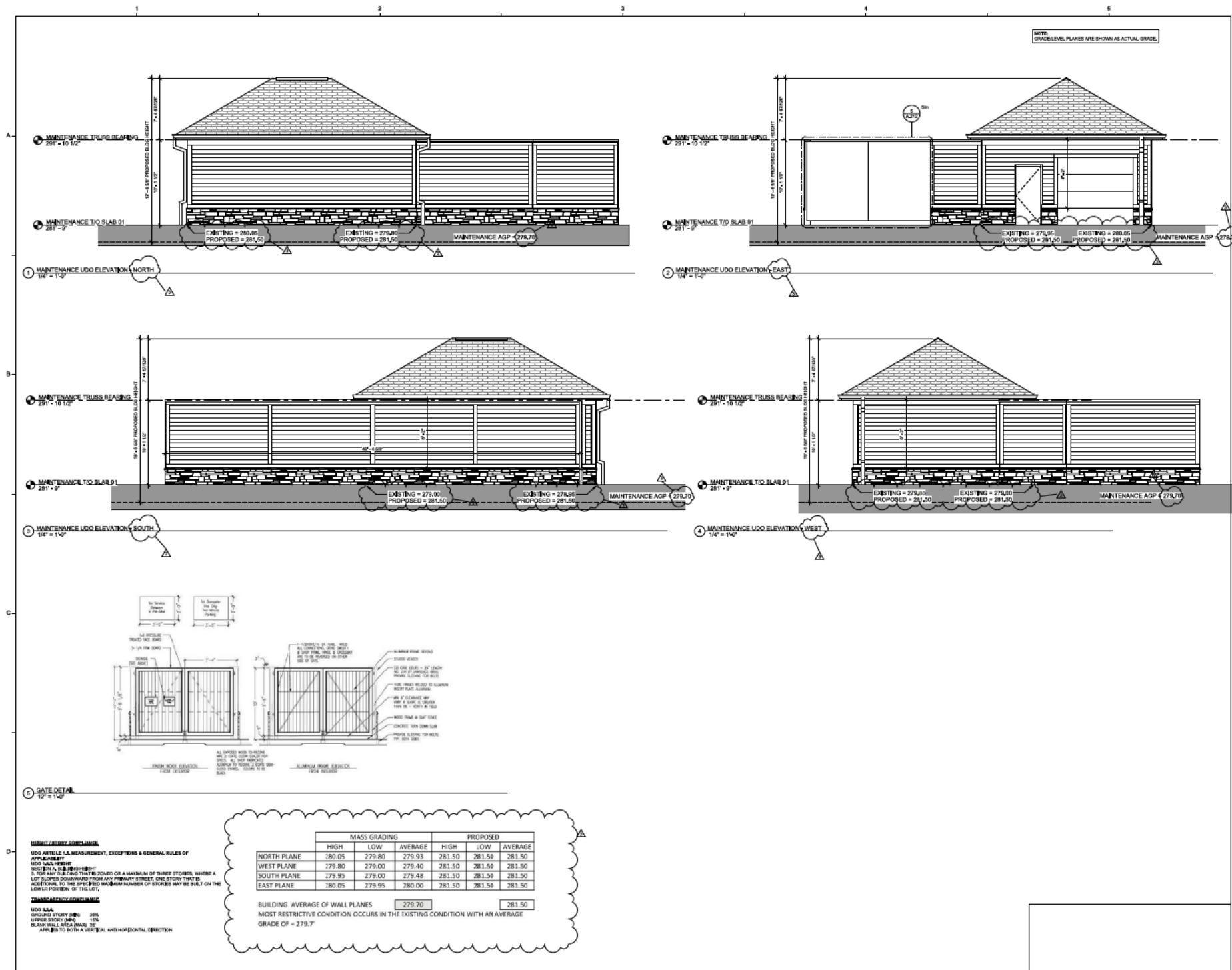
A.211



MADISON CAPITAL

WAKEFIELD APARTMENTS

RALEIGH, NC



PROJECT NUMBER:
20-008-11
ISSUE DATE:
11/23/2020
DRAWN: LH, HK
CHECKED BY: KK

PERMIT SET

Revision Schedule	Description	Date
1	1ST ASR REVIEW COMMENTS	8/4/2020
2	2ND ASR REVIEW COMMENTS	9/23/2020
3	3RD ASR REVIEW COMMENTS	12/4/2020

MAINTENANCE
BUILDING
ELEVATIONS - UDO