

Administrative Approval Action

Case File / Name: ASR-0044-2020 DSLC - North Shore Condominiums

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on the NCSU Centennial Campus. It is zoned OX-5-CU (Z-5-87)

and within an SRPOD overlay district. It is located at the end of Campus Shore

Drive in the Centennial Campus area at 1101 Capability Drive.

REQUEST: This is a REVISION to the previously approved plan. This original approved plan

consisted of six proposed residential condominium buildings in an overall development of 19 residential condominium buildings and associated infrastructure. (13 buildings are existing and 6 are proposed). The revisions to this approval include an increase in the total number of dwelling units from the approved 168 units to 178 units, slight revisions to building #14, slight revisions to grading, drainage and stormwater, parking configuration and TCA. Slight revisions to water, fire, and sewer services for buildings 63-78 as well. The sunset date is

unchanged.

Reference - previously approved as GH-1-13 and ASR-74-2018 (went to inactive

due to no new submittals).

DESIGN ADJUSTMENT(S)/

ALTERNATES, ETC: SPR-0229-2020: DSLC - Site Permitting Review/Major [Signature Set]

SUR-0153-2021: DSENG - Surety/Infrastructure

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 28, 2020 by J DAVIS

ARCHITECTS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

2. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



Administrative Approval Action

Case File / Name: ASR-0044-2020 **DSLC - North Shore Condominiums**

City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

☑ BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. Building plans demonastrate compliance with UDO Articles 9.3 & 11.4.6 for construction within a floodprone area.

Urban Forestry

A tree conservation permit must be obtained for the approved replanting of trees in the Neuse Buffer Zone 2 Tree Conservation Areas. This development proposes 57 shade trees.

The following are required prior to issuance of building occupancy permit:

General

- 1. All street lights and street signs required as part of the development approval are installed.
- 2. Copies of certified inspection reports for internal streets and access ways are submitted to the Raleigh Transportation Infrastructure Inspections Division and are constructed in accordance with the construction standards specified in the Raleigh Street Design Manual.
- 3. Final inspection of all tree conservation areas and tree plantings within Neuse Buffer Zone 2 Tree Conservation Areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 4, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building



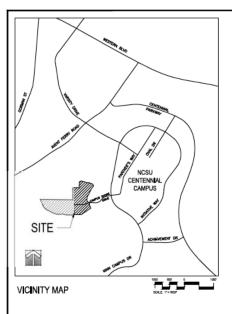
Administrative Approval Action

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City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
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permits have been issued.

I hereby co	hereby certify this administrative decision.									
Signed: _	Daniel L. Stegall	Date:	09/07/2023							
	Development Services Dir/Designee	_								
Staff Coo	rdinator: Michael Walters									



REFERENCE: Z-5-87, ICP (375357), FINAL SITE (375797)

Administrative Site Review

1st Submittal: June 19, 2020 2nd Submittal: July 31, 2020 3rd Submittal: August 28, 2020

North Shore Lofts - Condominiums

NCSU Centenial Campus, Raleigh, North Carolina 27695

SITE PARKING LAYOUT DETAIL BUILDING 18 ELEVATIONS COVER______OPEN SPACE EXHIBIT_ SITE DETAILS BUILDING 18 ELEVATIONS RECORDED MAP (MI 2019, PG 00009) RECORDED MAP (MI 2019, PG 2022) RECORDED MAP (MI 2003, PG 2022) RECORDED MAP (MI 2003, PG 2022) EMESTING CONDITIONS LS3.2 LS3.3 LS3.4 LS3.5 LANDSCAPE DETAILS AND SPECIFICATIONS BUILDING 16 ELEVATIONS LIGHTING PLAN LIGHTING PLAN - CLEAN BUILDING 13 ELEWATIONS TREE CONSERVATION PLAN GRADING & STORM DRAINAGE BUILDING 13 ELEVATIONS BUILDING 19 ELEVATIONS BUILDING 14 IILIIVATION FEMA FLOCOPLAIN IMPACT EXHIST BUILDING 14 ELEVATIONS Notes GENERAL NOTES ALL HETMON WILL SET OR ORGENTIAN WEBST TO NELLEC WITTING, OR FIRST. THE WARRING COSSING CLARING FROM THE CURBLE OF INTERSCEND STREETS SHALL BUT LLAST DIRECT FROM THE POINT OF TANGENCY OF THE CURB. IN THE PROPERTY SHALL PROPERTY AND PROPERTY OF THE SHAPE PROPERTY SHAPE FROM CEPARISHT SHARKERS, PROVING THE WARRING STREETS AND ADMINISTRATION OF THE COST OF THE PROPERTY OF THE PROPERTY SHAPE FROM CEPARISHT SHARKERS, PROVING THE WARRING STREETS AND ADMINISTRATION. THE CONTRACTOR SHALL GOLDLOTTIE WOOKEN A SAFE MARKET AND WITH A BINNAM ARROLAT OF INCOMPRENEET O THE MATCH (MAST CURRENT ENRIGHE.) THE CONTRACTOR SHALL BE RESPONDING FOR ALL TRAFFIC CONTROL AND BHALL REHIEVE TO THE PROVIDENCE OF THE MATCH (MAST CURRENT ENRIGHE). LEGEND: PRIOR TO START OF NORM, A PRE-CONSTRUCTON MEETING HUST BE SETUP WITH THE CONTRACTOR AND CITY OF RAUBBH TRANSPORTATION FILE SERVICES STAFF, CONTACT ENGINEERING INSTRUCTIONS AT 919-001-940 TO SET UP THE MEETING. WINNESS ON LODGED TO AND MODE AND CONTRACT AND STATE CONTRACT. THE CONFINCTION SHALL REPAIR ANY DAMAGES TO ACJACIENT PROPERTIES AND RESTORS IF TO PREVIOUS OR SETTER CONDITION. та каке пильмом режим перемент отколого по должной изменения менежному по имейном оне втитилосийся. «В деромень маке и должных по тереном чене деньми премером менежному перементами и должных прементыми и деньментами деньментами и деньментами деньментами и деньментам Ī FIRE DEPARTMENT NOTES THE WOMEN AND ADDRESS ADDRESS OF HER ADDRESS AND THE PAPER OF HER ADDRESS ADDRE E CONSTRUCTOR PLANS FOR PURIC AND PRIMATE STREETS OR UTILITIES SHOWN ON THIS PLAN HIS REQUISION. THEY MUST SE APPROVED BY THE PURIC WORLD DENOTHING THE PURIC STREETS OF PROVIDING THE PURIC PURIC STREET OF THE STREET PURIC PEED ADJUSTMENTS TO THIS PLAN NAY OF REQUIRED OF CITY OF NALEDO INSPECTION ASSESSED DURING CONTINUETRIA. ALL SERVICE PROBANZIAN PROBLECCE TO LOUGH AND SIECES ET WITH FERRANDING IN CORP., MOSTH CARD, MA IN DICTOR, FORMAT, SERVICEMENTAL. REPRESENTATIONS CONTAINED THOSE AND CONTOUR. -----в гомпистом на обтявает повыме соот так. «Не в тем распистом на обтявает повыме соот так не повыме на пред тем распистом на повыме на THE FLOW MAKENES WHEN THE PROVIDED THE OF BULLDAN PROMISES THE RESIDENCE, SE SOLL DI WAS THE IN SEPECITION IS STATEMENTED. SOLD MAKENE SERVICES MEET TO BE PROVIDED BY THE CITY OF MALEBON. HOURS AND LECKARY MITH ALL RECORDERANCES HET PORT HIS THE SOLD AND THE MAKENES. THE PROVIDED THIS COMMUNICATION SECULIA WATER AND COMMUNITIES FOR EMPLICATIONS HED. THE PROVIDED THIS COMMUNICATION SECULIA WATER AND COMMUNICATION OF BROAD AND THE PROVIDED THE PROVIDED HIS TOP THE PROVIDED THE P PROP. BULDING SETBAC PROP. THEE PROTECTIO PROP. BULD TO USE PROP. WATER USE PROP. STORMWATER 4. TREE CONSERVATION NOTE RIGHT IN A RIGHT HIGHT OF ANY. ON OTHER TORS THE COURT HIGH VERY ALL DISTRICT BETTER TO LOCATION HIGH EXPORT MY EXCEPTANCES TO LACEGUES AND FIRST THE CONTROL OF THE COURT HIGH TO AN OTHER COURT HIGH TO AND OTHER COURT HIGH TO AN OTHER COURT HIGH TO AN OTHER COURT HIGH THE COURT HIGH TO AN OTHER COURT HIGH TO AN OTHER COURT HIGH THE C

APPLICATION Raleigh DEVELOPMENT SERVICES Administrative Site Review Application General Subdivision transaction #. Sietch transaction #. Certificate of Appropriaters Certificate of Adjustment #. Zoning Case #. 26-180 Amministrative Alternase #. Detached Attached E Apartment Development name: North Shore Condominiums Inside City limits? Yes No 1101 Capability Drive, Raleigh, NC Please describe the scope of work. Include any additions, expansions, and change of use. Development of 19 residential condo buildings containing 168 DL 13 buildings are existing and 5 are proposed. Site is located on NCSU Centernial Campus and was previously approved as GH-1-13. Phone #: 919-835-1500 SITE DATA Existing gross floor area to be demolished: o.SF OX-5-CU New gross floor area: 142,070 Total of gross (to remain and next): 235,714 Proposed # of buildings: 6 osed use (UDO 6.1.4); Multi-unit Bring RESIDENTIAL DEVELOPMENTS Total # of develling units: 160 bU Folia # of host units: 4# of bedroom units: 1th: 65 2th: 75 2th: 33 4th or ness: 4# of total: 2 h



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Condominiums

White Oak Properties, Inc. North Shore - (

ISSUE: Administrative Site Review 06.19,2020

Administrative Site

NCSU Centennial Campus Raleigh, North Carolina

L0.1

Project Team

Sheet Index

NC State University Centennial Campus Development Office 1017 Main Campus Drive, Suite 3200 Raleigh, North Carolina 27606 919.513.7960 919.513.7965 (fax) Herlen_Stefford@ncsu.edu

DEVELOPER White Oak Properties 21 Glenwood Avenue Cooper Square Raleigh, North Carolina 27603 919.821.4665 919.832.6965 (fax) Roland @ white caking con

ARCHITECT JDavis Architects, PLLC 510 South Wilmington Street Raleigh, NC 27501 919,835,1500 919-835-1510 (box) LindaL@jdavisarchitects.com ANDSCAPE ARCHITECT JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fee) KenT@jdavisarchitects.com

ENGINEER WithersRavenel 137 S Wilmington Street, Suite 200 Cary, North Carolina 27601 919,469,3340 919.467.8008 (fex)

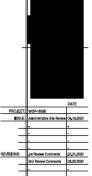
HEAVY DUTY CONCINETE

WithersRavenel 115 MacKenan Drive Cary, North Carolina 27511 919:467:6008 (fex) Mtimblin@withersravenel.com

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ASR-0044-2020

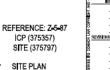






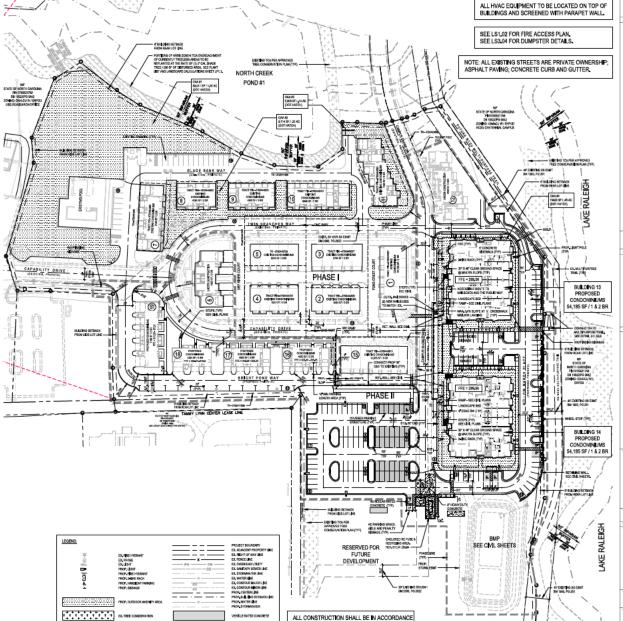
CONTENT: OVERALL SITE PLAN

LS1.1









WITH ALL CITY OF RALEIGH AND/OR NCDOT

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160 / 20 =

GENERAL NOTES

- FIELD ACLUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALBER INSPECTOR AS MERCED DURING CONSTRUCTION. ALL SURVEY INFORMATION PROVIDED TO JOANS ARCHITECTS BY MITHERSERVENER, IN CARY, HOTTH CARCLING IN SIGNAL FORMAT, SUPPLEMENTAL INFORMATION WAS DETAINED FROM WAYS COUNTY OR.
- WITHIN THE EIGHT TRIVINGLES OF GRINN ON THE PLAN, NO CHOTHLUTEN BETWEEN 2 PEET AND RICE! IN HEIGHT ADDIE THE CARBLE. BEAMFOR BALL IS LOCATED IN WHALE OR WAS CHOSTINGTEN BOULDE BUT ARE DYT LIMITED TO JANY 6898, FOLIAGE, PENCE, WALL, WAS CAT MAKED VEHICLE.
- 13. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO DADK OF CLESS.
- OROLNEL HOLATED MECHANICAL EQUIPMENT NUT ADHERE TO THE SCREENING REQUIREMENTS OF SECTLANDA AND IS NOT ONLY LIMITE TO REING WINDLE FROM THE PUBLIC MIDHT OF WAY.

- TO PROMOVE OR OTHER TO SEA.

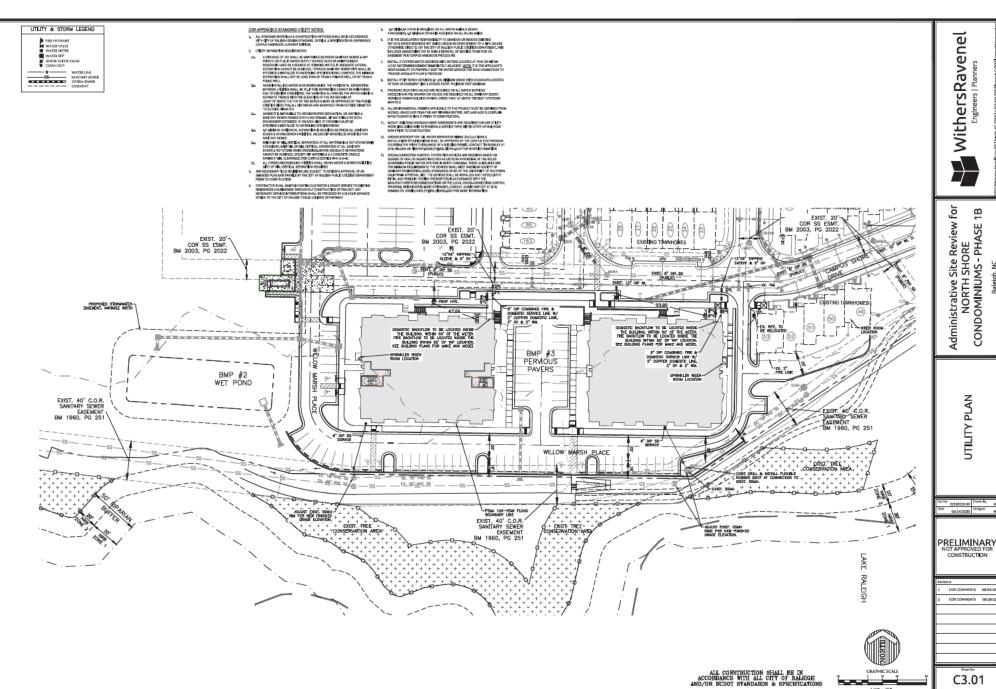
 ALL MOVE GROUND WITH TYPE PROCEST TO BICLUSE SIT NOT LIMITED TO TRUSH HER MY CHARLE FROM THE ELECTRICAL TRANSPORMENT, BROWN LAW SHAPE OF THE SEAL SE CONSIDERS FROM OFFICIAL SHAPE OF THE SEAL SEAL SEAL SHAPE OF THE SEA

PARISTNO NOTES

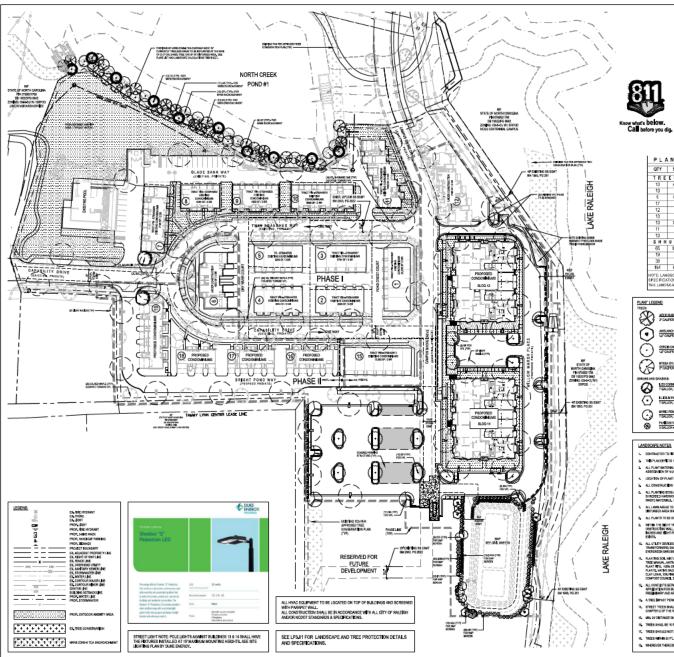
PHASE 2 CONSISTS OF BUILDING #5 6, 12-14 AND 16-1 WITH 118 UNITS TOTAL COLLECTIVELY THERE ARE 16 BEDROOMS REQUIRING 104 SPACES PLUS 11 VISITOR (10% OF 113 UNITS) TOTALING 177 REQUIRED PARKING SPACES, PHASE 2 HAS 216 PARKING SPACES PROVIDED



Administrative Site



C3.01





QTY	SYN	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	REMARKS
TRE	E S						
10	AGA.	Amelianchier Grandillora	Serviceberry	1.5" MIN	6"NN		BMP Screening
10	AR.	Aper uprum	Red Maple	2" MN			NRRB Engagaghmen
5	CCF	Cercis canadensis	Eastern Redbud	1.5" JUIN	6' NN		BMP Screening
17	NS.	Nyasa sylvatica	Black Gum	2" MN			NRRB Encreachmen
12	QP	Querous phellos	Willow Oak	3" MIN	10' MIN	BYB	VPL
10	QP	Quercus phellos	Willow Oak	2" MN			NRR8 Engloachine i
10	QPU	Querous palustris	Pin Cek	2" MN			NRRB Engreachmen
11	QS	Quercus shumardii	Shumantiii Oak	3" MN	10' MIN	848	VPL
10	TD	Taxodium disfoum	Beld Cypress	2" MN			NRRB Engradhmen
SHR	U B \$	GRASSES					•
65	ICSN	lex comula 'Buford'i Nana'	Dwarf Burford Holly		24"-39" Ht	7 Gallon	BMP / VPL Screening
19	P	Bicium parviforum	Hardy Aniso Titze		24"-30" Ht	7 Gallon	BMP Screening
38	MP	Myrica persylvanica	Nothern Baybery		24"-50" Ht.	7 Gallon	BMP Streening
154	PVH	Panicum virgatum 'Heavy Meta'	Blue Switchgrass			3 Gallon	BMP Screening



LANDSCAPE NOTES

- CONTRACTOR TO RELIGHEREP LOCKTON AND DEPTH OF LITE THE PRIOR TO INSTALLATION
- THE PLANCEPICTE PLANTINGS REQUIRED BY THE CITY OF RALEBHIUDG.
- ALL PLANT INSTERIOR, TO COMPLY WITH AMERICAN STANDARD FOR NUMBERY STOCK BY THE AMERICAN ASSOCIATION OF NUMBERSHIPS, INC.
- LOCATION OF DEALT WATERING TO BE REMEMBED BY LAWRENCE MONITORY TO BE TO INSTALL ATTOM.
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEBIA.

- 13. A TIME MAKET PERMIT BEREQUIRED PRIOR TO BISUANCE OF ANY BUILDING PERMITS.
- 15. MIN, 39 DETANDE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE T
- 16. TREES SHALL BE 10 FT MIN FROM DRIVEWAYS AND LITE ITY POLES.
- 16. TREES WITHOUGH FT, OF POWER LINE(S), SHALL BE LINESPRITORY TREES.

LANDSCAPE PLAN



REFERENCE: Z-5-87 ICP (375357) SITE (375797)

DAVI

ASR-0044-2020 TRANSACTION NO: 565210 (A

Condominiums North Shore - Condorr NCSU Centennial Campus Raleigh, North Carolina White Oak Properties, Inc.

Administrative Site

ISSUE: Administrative Site Review 06.19,2020 REVISIONS: 1st Review Comments 07_31_2020 2nd Review Comments 08,28,2020 DRAWN BY: CHK

PROJECT: WOP-16098

CHECKED BY: KI CONTENT: CODE COMPLIANT

_P1,1



White Oak Properties, Inc.

North Shores Condominiums

NCSU Centennial Campus Raleigh, North Carolina

DATE

PROJECT , SIX Con
1950: STATO

Administrate Six Societ July 10, 202

Administrate Six Societ July 10

A3.01





PROJEC

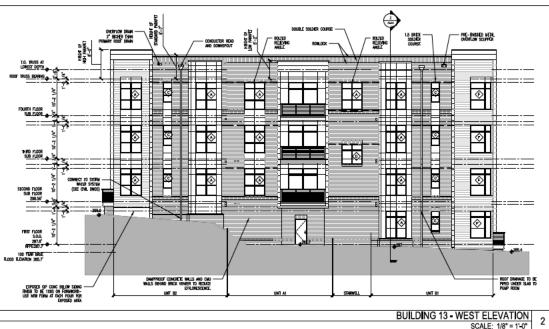
REVISIONS:

DRAWN BY:

EXTERIOR ELEXATIONS

A3.02

CHECKED BY



BUILDING ELEVATIONS PREDECEMENT STATE

LOW PICH A/G.

289.90 289.90 289.90 289.90

281.90 289.90 289.79

281.90 289.90 289.79

283.90 289.90 289.79

er section 1.5.7.4.2 (TC-17-36) of the UDC, building height is measured from the average grade to th

rage grade is determined by calculating the average of the highest and lowest elevation along a pr elogment grade or improved grade (whichever is most restrictive) along each building elevation

CURBLINE ELEVATIONS

296.85 294.35 308.95 306.95 306.90 210.90

ore restrictive condition occurs in the pre-development grade condition

CURBINE (IVATION)

CURBINE (IVATION)

LOW HIGH AVG.
293.30 296.00 294.15
290.50 294.20 202.35
200.00 302.70 301.35
202.50 385.60 304.55
202.50 385.60 304.55
202.50 385.60 304.55
202.50 385.60 304.55

BUILD NG

TACE

PRONT (Campus Shore Drive) SIDE (Eviz) SIDE (West)

Laveraging all elevations

 GRADE
 IMPROVED GRADE

 AVG.
 LGW
 HIGH
 AV

 287.29
 295.00
 276.00
 274.

 285.00
 286.00
 286.00
 286.

 285.79
 286.00
 276.00
 271.

 285.90
 286.00
 286.00
 286.

 285.90
 286.00
 285.
 286.00
 286.

FROPOSED FINISH FLOOR 259.56 259.56 303.30-305.35 306.69-306.13 SEE 67-310.0 311.38-312.00

AVG 294,50 386,45 291,00 285,95

HYCK ROWLOCK
PRE-FINISHED ALLUMBUM
GLITTER AND DOWNSPOUT Y ALUMBUM REVEALS OVERILOW DRAW OVERFLOW DRAIN BRICK VENEER T.O. TRUSS AT LOWEST DEPTH CEMENTITIOUS LAP STOING PRE-FINISHED W/ TWOODTONE RUSTIC STAIN TRUSS BEVENS ❖ 0 ⊗ - Nichha Cenentitous Panel W/ Allminum Revols THEO ROOK SUB ROOK - CENENTTOUS PANEL W/ ALLMINUM REVENUS ❖ ⊗ 0 0 CABLE RALING W/ SECOND FLOOR 12 SUB FLOOR 12 259.56 **⊗** Ÿ RRST FLOOR 5.0.0. 287.8 RPRE287.7 100 YEAR BASE 1,000 ELEWINON 285.7 VENT CAPS SEE 3/A3.02 ROOF DRAWAGE TO BE PIPED UNKER SLAD TO PUMP ROOM (1)

BUILDING 13 - EAST ELEVATION

SCALE: 1/8" = 1'-0"



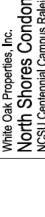
White Oak Properties, Inc.

North Shores Condominiums

NCSU Centennial Campus Raleigh, North Carolina

DATE istrativo Sita Review June 19, 2020 t Review Comments 67/01/2820 EXTERIOR ELEXATIONS





2



Start Date DATE inistrative Site Review June 19, 2020. REVISIONS: st Review Comments 07/01/2020 DRAWN BY: CHECKED BY EXTERIOR ELEXATIONS

A3.04

BUILDING ELEVATIONS BUILDING PRE-DEVELOPMENT GRADE IMPROVED GRADE BLDG 14 LOW LOW HIGH AVG FACE HIGH AVG. FRONT (Campus Shore Drive) 291.00 291.00 291.00 291.00 295.50 293.25 SIDE (East) 283.30 291.00 287.15 286.00 295.50 290.75 SIDE (West) 282.30 291.00 286.65 286.20 291.00 288.50 REAR | Lake Side) 282.30 283.30 282.80 286.00 286.20 286.10 AVG. OF ALL FACES 286.90 289.68

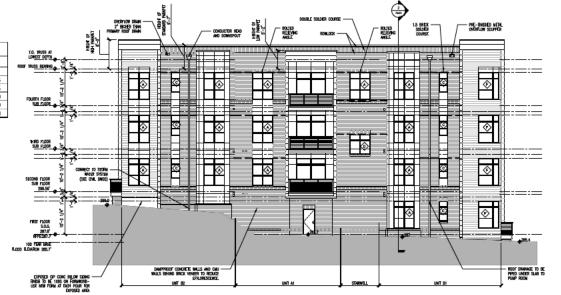
> Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along a pre development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

The more restrictive condition occurs in the pre-development grade condition

with an average grade of 286.90'

	CURBLINE ELEVATIONS											
BUILDING	CURE	BLINEELVA	TION	MIN. GROUND	PROPOSED							
BUILDING	LOW	HIGH	AVG.	FLOOR PER JDO	FINISH FLOOR							
1.3	293.30	295.00	294.15	295.15	299.56							
14	290.50	294.20	292.35	294.35	299.56							
16	300.00	302.70	301.35	303.35	303.35-305.35							
17	303.50	305.50	304.55	306.55	306.68-308.33							
18	306.00	307.00	306.50	306.50	308.67-310.0							
19	307.30	310.30	308.80	310.80	311.33-312.00							



BUILDING 14 - WEST ELEVATION SCALE: 1/8" = 1'-0"



BUILDING 14 - EAST ELEVATION SCALE: 1/8" = 1'-0"

100 YEAR BASE 1,000 ELEWITON 285.7

IUE DATE ministrativa Ste Review June 19, 2029 DRAWN BY CHECKED BY: BUILDING 18 CONTENT: FRONT & REAR ELEVATIONS

A3.05

BUILDING 18 - REAR ELEVATION

SCALE: 3/16" = 1'-0"

2

	BU	LDING ELE	VATIONS				
	BUILDING	PRE-DE	VELOPMENT	GRADE	10.4	PROVED GRA	\DE
BLDG 18	FACE	LOW	HIGH	AVG.	LOW	HIGH	AVG
	FRONT (Capability Drive)	307.60	311.10	309.35	307.20	309.00	308.1
	SIDE (North)	311.10	311.10	311 10	309.00	309.60	309.3
	5IDE (South)	307.60	308.00	307.80	307.20	307.60	307.4
	REAR (Bright Pond Way)	308.00	311.10	309.55	307.60	309.60	308.6
	AVG. OF ALL FACES			309.45			306.3

Per section 1.5.7.4.2 (TC-17-16) of the UDC, building height is measured from the average grade to the

erage grade is determined by calculating the average of the highest and lowest elevation along a pre development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

he more restrictive condition occurs in the improved grade condition with an overage grade of 306.30

CURBLINE ELEVATIONS											
BUILDING	CURE	LINE ELVA	TION	MIN. GROUND	PROPOSED						
BULLINIA	TOM	HIGH	AVG.	FLOOR PER UCO	FI NISH FLOOR						
13	293.30	295.00	294.15	296.15	299.56						
14	290.50	294.20	292.35	294.35	299.56						
16	300.00	302.70	301.35	30E.35	308.35-305.35						
17	303.50	305.60	304.55	306.55	306.68-308.33						
18	306.00	307.00	306.50	308.50	308.67-310.0						
10	202.20	210.20	309.86	250.90	241 23 242 00						



BUILDING 18 - FRONT ELEVATION SCALE: 3/16" = 1'-0"





SUE DATE Ininistrative Site Review June 19, 2029 Isolaw Comments 07/31/2020 RONT & REAR ELEVATION

2

DRAWN BY: DHECKED BY: CONTENT: BUILDING 16 & 17 A3.07

BUILDING 16 - FRONT ELEVATION SCALE: 3/16" = 1'-0"

BUILDING 16 - REAR ELEVATION SCALE: 3/16" = 1'-0"

BUILDING ELEVATIONS											
BUILDING PRE-DEVELOPMENT GRADE IMPROVED GRADE											
BLDG 16	FACE	LOW	HIGH	AVG.	LØW	HIGH	AVG				
[FRONT (Capability Drive)	300.20	303.00	301.60	300.20	302.80	301.5				
l l	SIDE (North)	302.50	303.00	302.75	302.80	302.90	302.8				
- [SIDE (South)	300.20	300.60	300.40	300.20	300.60	300.4				
[REAR (Bright Poind Way)	300.60	302.50	301.55	300.60	302.90	301.7				
Ī	AVG. OF ALL FACES			301.58			301.6				

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the op of the highest point of a pitched or flat roof excluding the parapet

Average grade is determined by calculating the average of the highest and lowest elevation along a prodevelopment grade or improved grade (whichever is most restrictive) along each building elevation. nd averaging all elevations.

he more restrictive condition occurs in the pre-development grade condition

with an average grade of 301.58

	CHIDS	SUINE ELVA	TION	MIN, GROUND	PROPOSED
BUILDING	LDW	HIGH	AVG.	FLOOR PER UDO	FINISH FLOOR
13	293.30	295.00	294.15	296.15	299.56
14	290.50	294.20	292.35	294.35	299.56
16	300.00	302.70	301.35	303.35	308.35-305.35
17	303.50	305.60	304.55	306.55	306.68-308.33
18	306.00	307.00	306,50	398,50	308.67-310.0
36	2077.202	212.20	100.00	310.00	211 12 212 00

HIGHEST POINT OF PLAT ROOF 37-4-1/4" BULDING HEIGHT AT PRE-DEVELOPMENT AVERAGE GRADE 27-3 3/4" MAX BULDING HEIGHT BUILDING HEIGHT AT IMPROVED AVERAGE 調 評 301.63 301.35 AVERAGE CURBLINE ELEVATION



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UE DATE skrietzelive Ste Roelow June 19, 2029 Isolaw Comments 07/31/2020

RONT & REAR ELEVATION

A3.07A



BUILDING 17 - REAR ELEVATION SCALE: 3/16" = 1'-0"

CURBLINE ELEVATIONS											
BUILDING	CUR	BLINE ELVA	TION	MIN. GROUND	PROPOSED						
BUILLING	LOW	HIGH	AVG.	FLOOR PER LIDO	FI NISH FLOOR						
13	293.30	295.00	294.15	296.15	299.56						
14	290.50	294.20	292.35	294.35	299.56						
16	300.00	302.70	301.35	303.35	303,35-305,35						
17	303.50	305.60	304.55	306.55	306,68-308,83						
18	305.00	307.00	306.50	306.50	308.67-310.0						
19	307.30	310.30	308.80	310.80	311.33-312.00						

	BUILDING ELEVATIONS												
	BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE								
BLDG 17	FACE	LOW	HIGH	AVG.	LOW	HIGH	AVG						
	FRONT (Capability Drive)	303.80	306.50	305.15	304.20	306.20	305.20						
	SIDE (North)	306.50	307.20	306.85	306.20	306.60	306.40						
	SIDE (South)	303.00	303.80	303.40	304.20	304.50	304.40						
	REAR (Bright Pont Way)	303.00	307.20	305.10	304.60	306.50	305.60						
	AVG. OF ALL FACES			305.13			305.40						

CURBLINE ELEVATIONS										
BUILDING CURBLINE ELVATION MIN. GROUND PROPO										
BUILDING	LCW	HGH	AV6.	FLOOR PER UDO	FI NISH FLOOR					
13	293.30	295.00	294.15	296.15	299.56					
14	190.50	294.20	292.35	294.35	299.56					
16	300.00	302.70	301.35	505.35	303.35-305.35					
17	303.50	305.60	304.55	306.55	305,68-308,33					
18	306.00	307.00	306.50	306.50	308.67-310.0					
19	307.30	310.30	308.80	31-0.80	311.33-312.00					



BUILDING 17 - FRONT ELEVATION SCALE: 3/16" = 1'-0"





PROJECT DATE view June 19, 2020 REVISIONS: DRAWN BY:
CHECKED BY:
CONTENT: BULLDING 19 FRONT & REAR ELEVATION

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310.85

BUILDING 19 - FRONT ELEVATION SCALE: 3/16" = 1'-0"

308.80 AVERAGE CURBLINE ELEVATION

BRICK ROWLOCK WATERTABLE

A3.10

BUILDING 19 - SIDE ELEVATION

note see structural for location of releving angle w/ dupansion joint

SCALE: 3/16" = 1'-0"

CURBLI NE ELEVATI ONS

on section L.E.T.A.2 (TC-17-16) of the UDO, building height is measurighest point of a pitched or flat moderal uding the parapet.

compay grade is determined by calculating the average of the highest and lowest elevation along a per-velopment grade or largerowed grade, (which ever is most restriction) along each trail ding elevation are elevations.

the more restrictive condition occurs in the pre-development grade condition with an average grade of \$10.55°

	BUILDING ELEVATIONS												
	BUILDING PRE-DEVELOPMENT GRADE IMPROVED GRADE												
BLDG 19	FACE	LOW	HIGH	A!/G.	LOW	HIGH	AVS						
	FRONT (South)	308.40	311.20	309.80	310.00	311.10	310.55						
	SIDE (Capability Drive)	308.40	310.50	309.45	310.00	310.60	310.30						
	SIDE (Bright Pond Way)	311.20	311.20	311.20	311.10	311.7U	311.40						
	REAR (Bright Pond Way)	310.50	311.20	310.85	310.60	311.70	311.15						
	AVIG OF ALL FACES			310.33			310.85						



BUILDING 19 - SIDE ELEVATION SCALE: 3/16" = 1'-0"

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