



Administrative Approval Action

Case File / Name: ASR-0044-2020
DSLC - North Shore Condominiums

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on the NCSU Centennial Campus. It is zoned OX-5-CU (Z-5-87) and within an SRPOD overlay district. It is located at the end of Campus Shore Drive in the Centennial Campus area at 1101 Capability Drive.

REQUEST: This is a REVISION to the previously approved plan. This original approved plan consisted of six proposed residential condominium buildings in an overall development of 19 residential condominium buildings and associated infrastructure. (13 buildings are existing and 6 are proposed). The revisions to this approval include an increase in the total number of dwelling units from the approved 168 units to 178 units, slight revisions to building #14, slight revisions to grading, drainage and stormwater, parking configuration and TCA. Slight revisions to water, fire, and sewer services for buildings 63-78 as well. The sunset date is unchanged.

Reference - previously approved as GH-1-13 and ASR-74-2018 (went to inactive due to no new submittals).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0229-2020: DSLC - Site Permitting Review/Major [Signature Set]
SUR-0153-2021: DSENG - Surety/Infrastructure

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 28, 2020 by J DAVIS ARCHITECTS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

2. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plans, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. Building plans demonstrate compliance with UDO Articles 9.3 & 11.4.6 for construction within a floodprone area.

Urban Forestry

2. A tree conservation permit must be obtained for the approved replanting of trees in the Neuse Buffer Zone 2 Tree Conservation Areas. This development proposes 57 shade trees.

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.
2. Copies of certified inspection reports for internal streets and access ways are submitted to the Raleigh Transportation Infrastructure Inspections Division and are constructed in accordance with the construction standards specified in the Raleigh Street Design Manual.
3. Final inspection of all tree conservation areas and tree plantings within Neuse Buffer Zone 2 Tree Conservation Areas by Urban Forestry Staff.

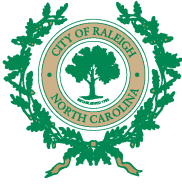
EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 4, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building



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permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 09/07/2023
Development Services Director/Designee
Staff Coordinator: Michael Walters



OVER	1.01	SITE PARKING LAYOUT DETAILS
OPEN SPACE EXISTING	1.02	SITE DETAILS
RECORDED MAP (M 2019, PG 00009)	1.03	SITE DETAILS
RECORDED MAP (M 2081, PG 2002)		SITE DETAILS
RECORDED MAP (M 2082, PG 2002)		SITE DETAILS
EXISTING CONDITIONS	1.04	SHADING & STORM DRAINAGE
THREE CONSECUTIVE SOIL PLANS	1.05	STORM WATER MANAGEMENT
WATER PLAN	1.06	PERM FLOODPLAIN IMPACT
PERM ACCESS PLAN	1.07	

[illegible]

OWNER NC State University Centennial Campus Development Office 1017 Main Campus Drive, Suite 3200 Raleigh, North Carolina 27606 919.513.7960 919.513.7965 (fax) HenJan_Stallford@ncsu.edu	DEVELOPER White Oak Properties 21 Glenwood Avenue Cooper Square Raleigh, North Carolina 27603 919.821.4465 919.821.2465 (fax) Roland@whiteoakinc.com
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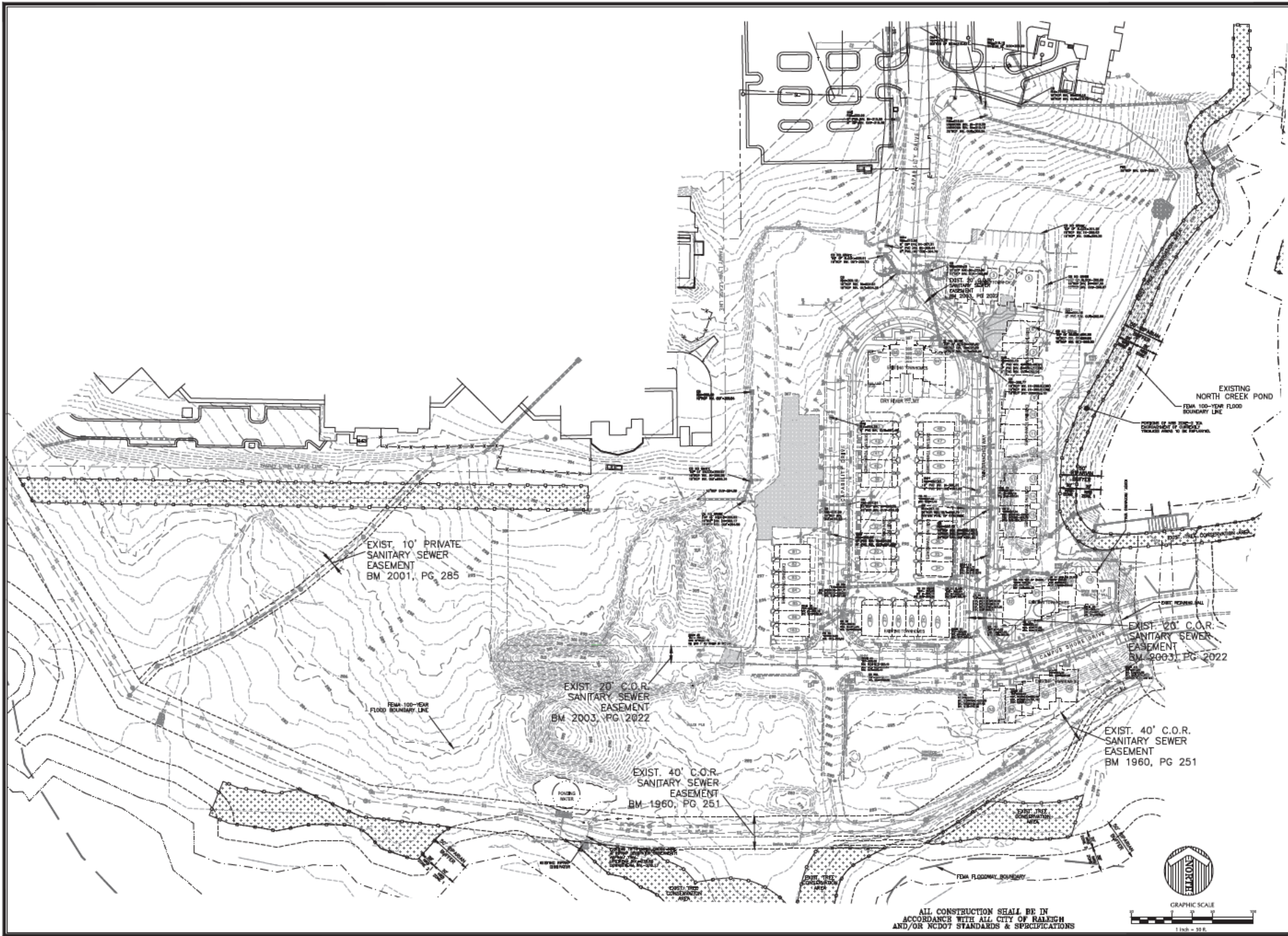
NCSU Centennial Campus , Raleigh, North Carolina 27695

181.9	UTILITY PLAN	CSJ1	BUILDING 18 ELEVATIONS	A3.05
181.1	LANDSCAPE PLAN	LP1.1	BUILDING 18 ELEVATIONS	A3.06
182.2	LANDSCAPE DETAILS AND SPECIFICATIONS	LP1.1	BUILDING 18 ELEVATIONS	A3.07
182.3	LIGHTING PLAN		BUILDING 17 ELEVATIONS	A3.07A
182.4	LIGHTING PLAN - GLENN		BUILDING 18 ELEVATIONS	A3.08
182.5	BUILDING 15 ELEVATIONS	ASJ1	BUILDING 15 ELEVATIONS	A3.09
182.6	BUILDING 13 ELEVATIONS	ASJ1	BUILDING 13 ELEVATIONS	A3.10
182.7	BUILDING 14 ELEVATIONS	ASJ2		
182.8	BUILDING 14 ELEVATIONS	ASJ3		
182.9	BUILDING 14 ELEVATIONS	ASJ4		

[illegible]

ARCHITECT JDavis Architects, PLLC 510 South Wilmington Street Raleigh, NC 27601 919.338.1500 919.338.1510 (fax) Linda@jdavisarchitects.com	LANDSCAPE ARCHITECT JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.338.1500 919.338.1510 (fax) Kent@jdavisarchitects.com	ENGINEER WithersRavenel 137 S. Wilmington Street, Suite 200 Cary, North Carolina 27501 919.469.2340 919.467.2008 (fax) Raulde@withersravenel.com	SURVEYOR WithersRavenel 115 Macdonald Drive Cary, North Carolina 27511 919.469.2340 919.467.2008 (fax) MTM@withersravenel.com
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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS & SPECIFICATIONS

DESIGN NO.	021605-20-00	DATE	05/14/2020
DESIGNER	WRS	DATE	05/14/2020

**PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION**

REVISION	DATE	BY
1	08/05/2020	WRS
2	08/28/2020	WRS



Know what's below.
Call before you dig.

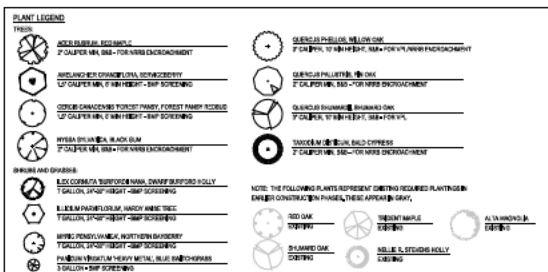
City of Raleigh UDO Landscape & Screening Requirements
Project: North Shore Condominiums
Date: 08/02/2018 (Rev. 06.15.2020)

Street Protective Yards:
 Private Access Drives: No EPI Required
 Transition Protective Yard:
 Proposed medium density residential within Contained Campus with a base limit, No TPY required
 Adjacent use to MAP of subject property is low impact use, no EPI required
 Use of Reverse Buffer: None & Encouraged:

Area of decrease:			113004	2
Shade Trees Required (per ac. per 300 sq ft)	113041	200	55.8	0
Shade Trees Provided			55	0
Vehicular Parking Loss				
VPI: Area			169239	5
Shade Trees Required (per 100 sq ft, 10 ac. @ 2,000 ac)	168225	2000	84.6	0
Existing Trees Under Construction			0	0
Existing Trees to be removed during construction			0	0
New Trees			29	0
Total Shade Trees Provided			139	0

PLANT LIST-THIS SHEET ONLY							
QTY	SYN	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	REMARKS
T R E E S							
10	AG	Amelanchier Grandiflora	Serviceberry	1.5" MIN	6 MIN		BMP Screening
10	AT	Acer rubrum	Red Maple	2" MIN			NRRS Encasement
10	CC	Cornus canadensis	Spice Shrub	1.5" MIN	6 MIN		BMP Screening
17	NO	Nyssa sylvatica	Black Gum	2" MIN			NRRS Encasement
12	QP	Quercus phellos	Willow Oak	3" MIN	10 MIN	B&S	VPL
10	QP	Quercus prinus	Willow Oak	2" MIN			NRRS Encasement
10	QPU	Quercus pauciflora	Pink Oak	2" MIN			NRRS Encasement
11	QS	Quercus shumardii	Shumard Oak	3" MIN	10 MIN	B&S	VPL
10	TD	Taxodium distichum	Bald Cypress	2" MIN	8 MIN		NRRS Encasement
S H R U B S / G R A S S E S							
15	KB	Kalmia latifolia Burdicki Nival	Dwarf Barbel Holly	24" X 30"	7 Galon		BMP / VPL Screening
19	IP	Ipomoea peltata	Hardy Annual Tropa	24" X 30"	7 Galon		BMP Screening
38	MP	Melicope perfoliata	Northern Gayberry	24" X 30"	7 Galon		BMP Screening
154	POH	Panicum virgatum Heavy Mat	Blue Switchgrass	3 Galon			BMP Screening

NOTE: LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSTALLING PLANT MATERIAL AS PER CITY OF FALCON STANDARDS AND SPECIFICATIONS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE PLANTING SPECIFICATIONS.



LANDSCAPE NOTES

- [illegible]



1997

REFERENCE: Z-5-87

ICP (375357)

SITE (375797)

$$c_{11} = \sqrt{0.00017}$$



ASR-0044-2020

TRANSACTION NO: 565210 (Admin, Site Review)

Administrative Site Review

White Oak Properties, Inc.

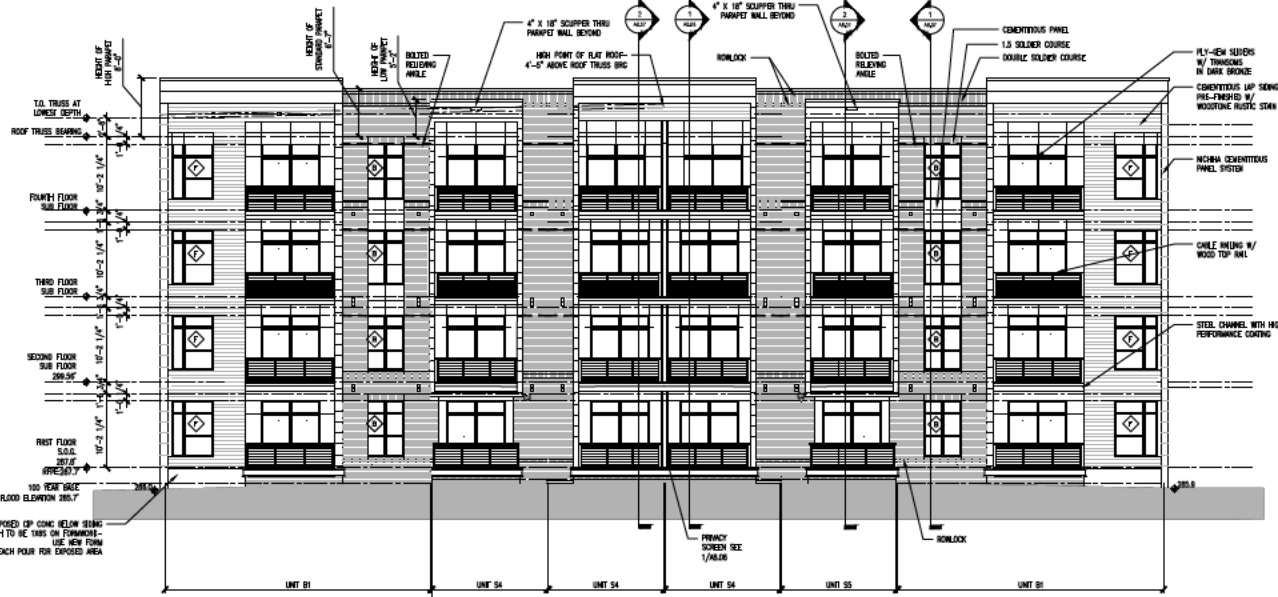
North Shore - Condominiums

NCSU Centennial Campus

Raleigh, North Carolina

LP1.1

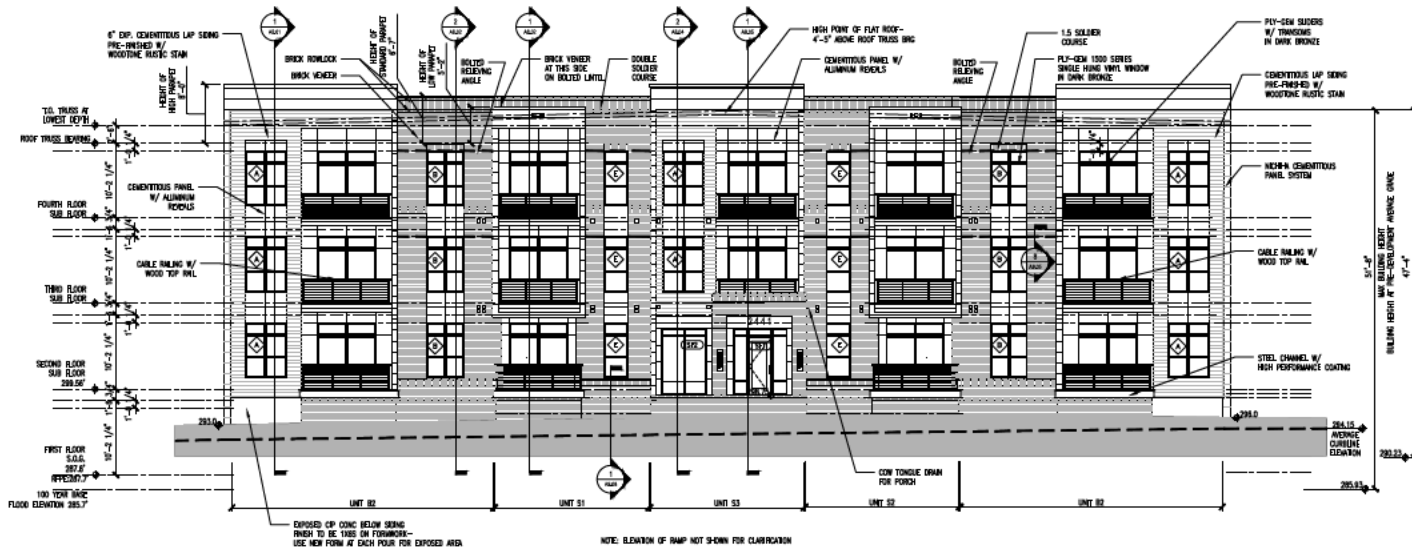
BUILDING HEIGHT AT IMPROVED AVERAGE GRADE



BUILDING 13 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

2



BUILDING 13 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1

GENERAL NOTES - ELEV.

1. THE ARCHITECTURAL DRAWINGS MUST BE USED IN CONJUNCTION WITH THE O&M, INSTALLATION, AND PRECISION FINISHING AND OPERATING. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION DETAILS. THE ARCHITECT'S RESPONSIBILITIES SHALL BE LIMITED TO THE ATTENTION OF THE ARCHITECT.
2. DESIGN AND FINISH CHANGES SHALL BE SUBMITTED FROM THE ARCHITECT FOR THE ARCHITECT'S REVIEW.
3. PROVIDE SOLAR SHIELDING MATERIALS TO PROTECT FROM SOLAR RADIATION AND HEAT GAIN. PROVIDE SOLAR SHIELDING MATERIALS TO PROTECT FROM SOLAR RADIATION AND HEAT GAIN. PROVIDE SOLAR SHIELDING MATERIALS TO PROTECT FROM SOLAR RADIATION AND HEAT GAIN.
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6. PROVIDER SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS. THE ARCHITECT'S RESPONSIBILITIES SHALL BE LIMITED TO THE ATTENTION OF THE ARCHITECT.
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12. PROVIDER SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS. THE ARCHITECT'S RESPONSIBILITIES SHALL BE LIMITED TO THE ATTENTION OF THE ARCHITECT.
13. PROVIDER SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS. THE ARCHITECT'S RESPONSIBILITIES SHALL BE LIMITED TO THE ATTENTION OF THE ARCHITECT.

LEGEND

ROOFING MATERIALS, SEE
SECTIONAL DRAWINGS



PROJECT	ISSUE	DATE
Administrative Site Review	June 15, 2020	
1st Review Comments	June 15, 2020	
2nd Review Comments	June 15, 2020	
3rd Review Comments	June 15, 2020	
4th Review Comments	June 15, 2020	
5th Review Comments	June 15, 2020	
6th Review Comments	June 15, 2020	
7th Review Comments	June 15, 2020	
8th Review Comments	June 15, 2020	
9th Review Comments	June 15, 2020	
10th Review Comments	June 15, 2020	

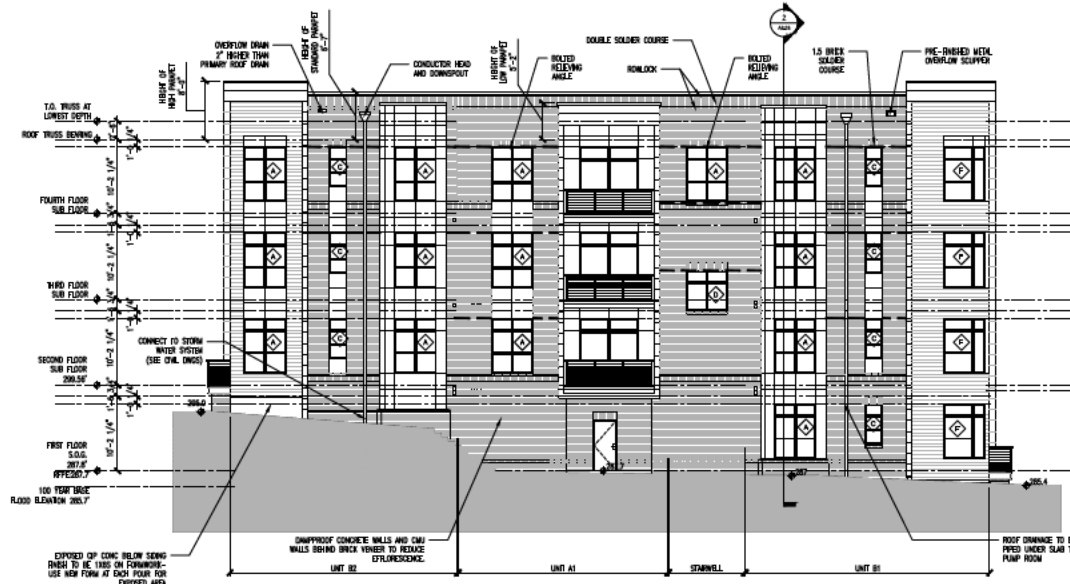
BUILDING ELEVATIONS						
BUIDG 13	BUILDING	FACE	PRE-DEVELOPMENT GRADE		IMPROVED GRADE	
			LOW	HIGH	LOW	HIGH
	PROPERTIES (3400 Drive)		289.10	289.00	290.00	290.00
	1000 (Bldg)		289.10	289.00	290.00	290.00
	500 (Bldg)		289.10	289.00	290.00	290.00
	1000 (Bldg)		289.10	289.00	290.00	290.00
	AVG. OF ALL FACES		289.10	289.00	290.00	290.00

Per section 1.5.7.A.2 (17-17.80) of the UDC, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along a pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

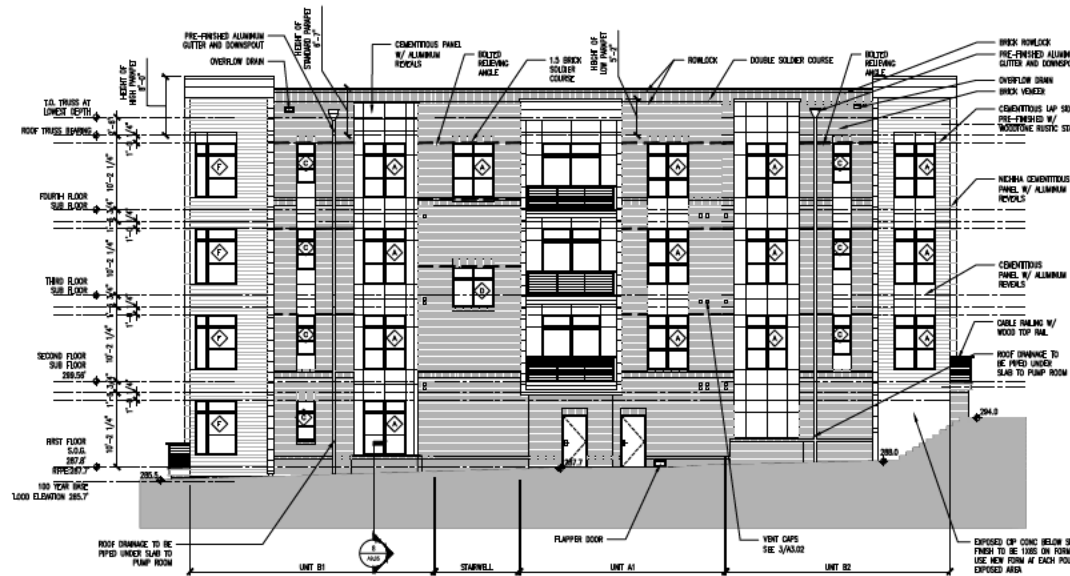
The most restrictive condition occurs in the pre-development grade condition with an average grade of 289.00.

CURBLINE ELEVATIONS				
BUILDING	CURBLINE ELEVATION	MIN. GROUND FLOOR FLOOR FLOOR	PROPOSED FLOOR FLOOR	
13	289.10	289.10	289.10	289.10
14	290.00	290.00	290.00	290.00
15	300.00	300.00	300.00	300.00
16	300.00	300.00	300.00	300.00
17	300.00	300.00	300.00	300.00
18	300.00	300.00	300.00	300.00
19	300.00	300.00	300.00	300.00



BUILDING 13 - WEST ELEVATION
SCALE: 1/8" = 1'-0"

2



BUILDING 13 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

1



PROJECT	DATE
ISSUE	Start Date
REVISION	DATE
1st Review Comments	ED010000
DRAWN BY	
CHECKED BY	
CONTENT	EXTERIOR ELEVATIONS



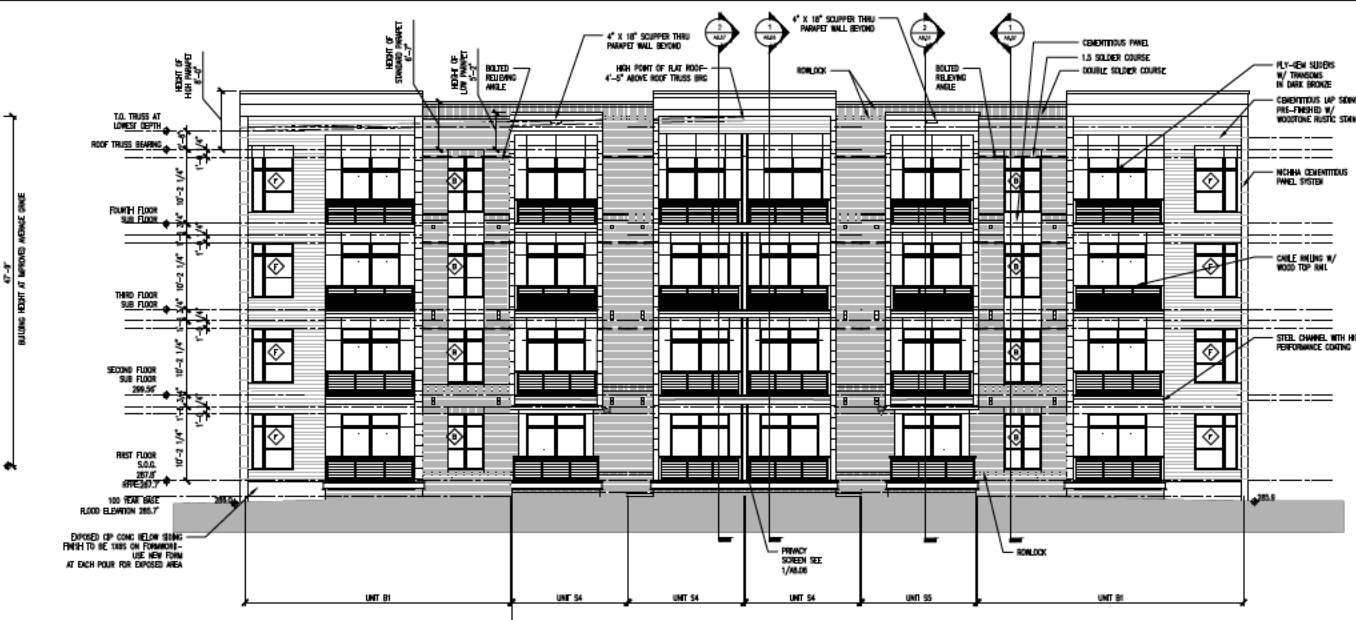
PROJECT:	ISSUE:	DATE:
Administration Site Review	June 15, 2020	
REVISIONS:	1st Review Comments	ED010000
DRAWN BY:	CHECKED BY:	CONTENT:
		EXTERIOR ELEVATIONS

GENERAL NOTES - ELEV.

1. THE ARCHITECTURAL DRAWINGS MUST BE USED IN CONJUNCTION WITH THE OAK, DOWNEY, AND THE PROJECT'S FINISHING AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION DETAILS AND FINISHES. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE SUBJECT TO THE ATTENTION OF THE ARCHITECT.
2. DESIGN AND FINISH CHANGES SHALL BE SUBMITTED FROM THE ARCHITECT FOR THE PROJECT'S REVIEW.
3. PROVIDE SOLAR SHIELDING MATERIALS (SHADING DEVICES) TO PROTECT FROM SOLAR RADIATION AND ADJACENT WALL MATERIALS, SOLAR SHIELDING.
4. PROVIDE INSULATION BETWEEN ROOF AND ROOF FRAMES AND ADJACENT WALL MATERIALS, SOLAR SHIELDING.
5. PROVIDE INSULATION BETWEEN ROOF AND ROOF FRAMES AND ADJACENT WALL MATERIALS, SOLAR SHIELDING.
6. CONTRACTOR AND SUB-CONTRACTOR TO FOLLOW CONSTRUCTION DETAILS AND FINISHES AS SPECIFIED IN THE PROJECT'S FINISHING AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE FINISHES.
7. THE PROJECT TEAM AND ARCHITECTURAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE FINISHES.
8. THE PROJECT TEAM AND ARCHITECTURAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALITY OF THE FINISHES.
9. SEE PLUMBING DRAWINGS FOR LOCATIONS OF FINISHES, FINISHES SHALL BE.
10. SEE PLUMBING DRAWINGS FOR LOCATIONS OF FINISHES, FINISHES SHALL BE.
11. LIGHT FIXTURES SHALL BE PLACED AT LEAST 4" OFF THE WALL, IF INSTALLED BETWEEN 2'-0" AND 4'-0" ABOVE THE FLOOR.
12. ALL FINISHES MUST BE PLACED AT LEAST 4" OFF THE WALL, IF INSTALLED BETWEEN 2'-0" AND 4'-0" ABOVE THE FLOOR.
13. ALL FINISHES MUST BE PLACED AT LEAST 4" OFF THE WALL, IF INSTALLED BETWEEN 2'-0" AND 4'-0" ABOVE THE FLOOR.

LEGEND

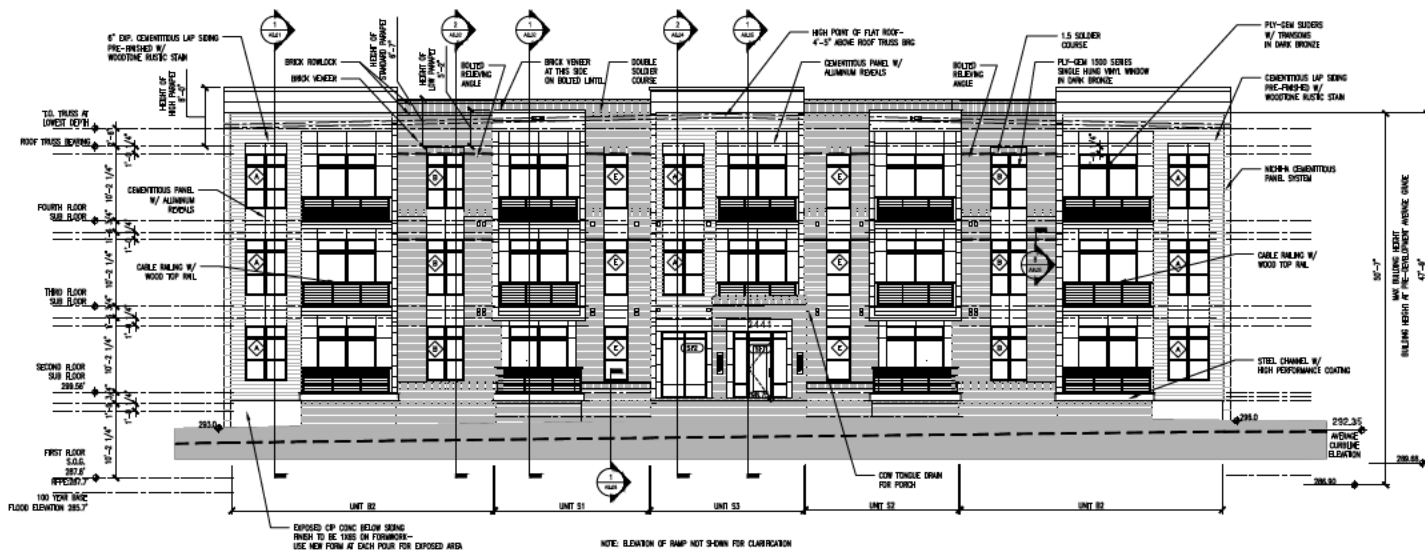
ROOFING MATERIAL, SEE
STRUCTURAL DRAWINGS



BUILDING 14 - REAR ELEVATION

SCALE: 1/8" = 1'-0"

2



BUILDING 14 - FRONT ELEVATION

SCALE: 1/8" = 1'-0"

1

7/2/2020 1:18 PM A:\Projects\10000_South-Shores-condo-250_Site_Schematic\DWG_10000_South-Shores-condo-250_Site_Schematic.dwg

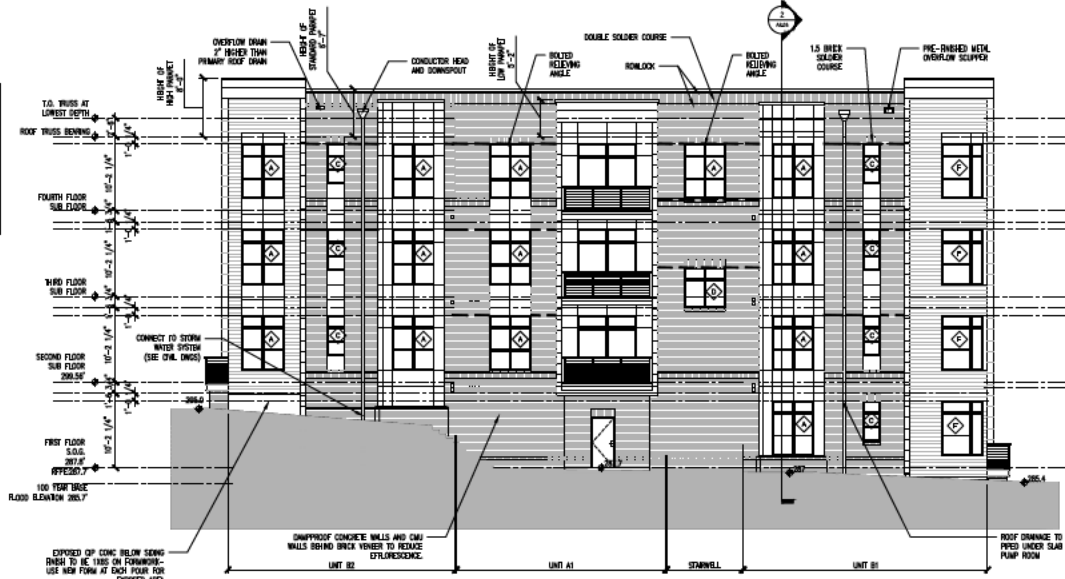
BUILDING ELEVATIONS						
BIDG 14	BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE	
		LOW	HIGH	AVG.	LOW	HIGH
	FACE					
	FRONT (Campus Shore Drive)	291.00	291.00	291.00	291.00	295.50
	SIDE (East)	283.30	291.00	287.15	286.00	295.50
	SIDE (West)	282.30	291.00	286.65	286.20	291.00
	REAR (Lake Side)	282.30	283.30	282.80	286.20	286.10
	AVG. OF ALL FACES			286.90		289.68

Per section 1.5.7.A.2 (TC 17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along a pre development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

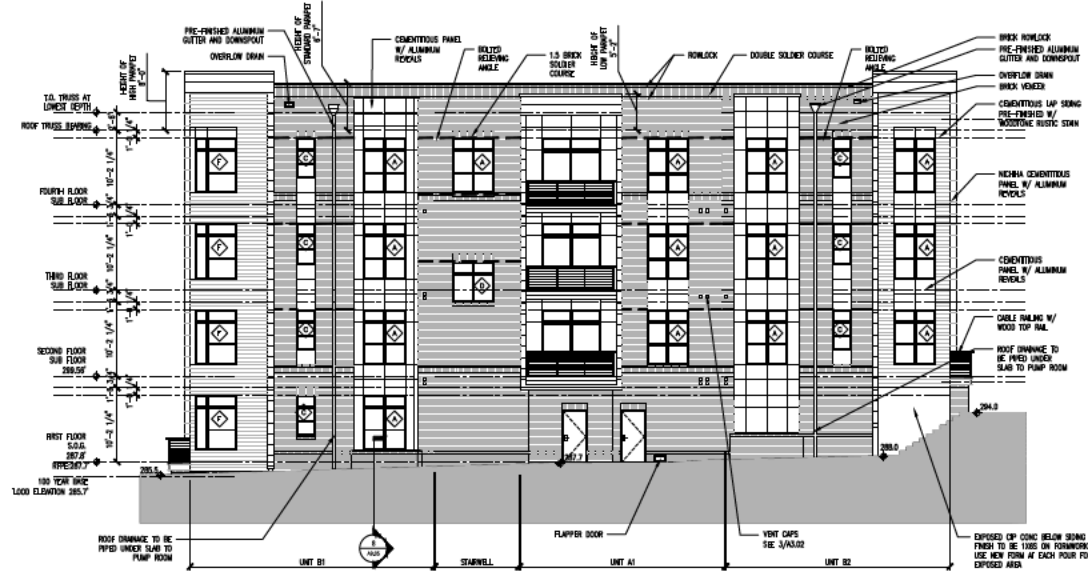
The more restrictive condition occurs in the pre-development grade condition with an average grade of 286.90'

CURBLINE ELEVATIONS				
BUILDING	CURBLINE ELEVATION			PROPOSED FINISH FLOOR
	LOW	HIGH	AVG.	
13	293.30	295.50	294.15	299.56
14	290.50	294.20	292.35	299.56
16	300.00	302.70	301.35	303.35-305.35
17	308.50	305.00	304.55	306.68-308.33
18	306.00	307.50	306.50	308.67-310.0
19	307.30	310.30	308.80	311.33-312.00



BUILDING 14 - WEST ELEVATION
SCALE: 1/8" = 1'-0"

2



BUILDING 14 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

1



PROJECT	DATE
ISSUE	Start Date
REVISION	DATE
1st Review Comments	07/01/2020
DRAWN BY	
CHECKED BY	
CONTENT	EXTERIOR ELEVATIONS



BUILDING 18 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

2

BUILDING ELEVATIONS								
BLDG SR	BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE			
		FACE	LOW	HIGH	AVG.	LOW	HIGH	AVG.
	FRONT (Capacity Drive)		307.60	311.10	309.35		307.60	308.10
	SIDE (North)		311.10	311.10	309.00		309.60	309.30
	SIDE (South)		307.60	308.00	307.80	307.20	307.60	307.40
	REAR (Bright Pond Way)		308.00	311.10	309.45	307.00	309.60	308.60
	AVG. OF ALL PAGES				309.45			308.35

Per section 15.7.A.2 (TC-57-16) of the UBC, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along a pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

The more restrictive condition occurs in the Improved grade condition with an average grade of 308.35'

BUILDING	CURBLINE ELEVATION			MIN. GROUND FLOOR PER UO	PROPOSED FINISH FLOOR
	LOW	HIGH	AVG		
13	293.30	295.00	294.15	296.45	299.56
14	290.50	294.20	292.35	294.35	299.56
16	303.00	302.70	301.35	303.45	305.15-306.33
17	303.50	305.60	304.55	306.55	306.66-306.33
18	306.00	307.00	306.50	306.50	307.67-310.0
19	302.30	310.30	306.80	310.80	311.44-312.00



BUILDING 18 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"

1

White Oak Properties, Inc.
North Shores Condominiums
NCSU Centennial Campus Raleigh, North Carolina



		DATE
PROJECT		Start Date
ISSUE	Administrative Site Review	June 19, 2020
REVISIONS		
DRAWN BY		
CHECKED BY		
CONTENT	BUILDING 18	
	SIDE ELEVATIONS	

A3.06



BUILDING 18 - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

2



BUILDING 18 - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

•



BUILDING 16 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

2

BUILDING ELEVATIONS								
BLDG 16	BUILDING	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
			LOW	HIGH	AVG.	LOW	HIGH	AVG.
		FRONT (Capability Drive)	300.20	300.00	300.60	300.20	302.80	301.50
		SIDE (North)	300.20	300.00	300.75	300.60	302.80	301.65
		SIDE (South)	300.20	300.00	300.40	300.20	300.60	300.40
		REAR (Bright Pond Way)	300.60	300.30	301.55	300.60	302.90	301.75
		AVG. OF ALL FACES			301.58			301.63

Per section 15.5.A.2 (TC-17-15) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along a pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

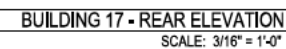
The more restrictive condition occurs in the pre-development grade condition with an average grade of 301.58'

CURBLINE ELEVATIONS					
BUILDING	CURBLINE ELEVATION			MIN. GROUND FLOOR FINISH FLOOR	PROPOSED FINISH FLOOR
	LOW	HIGH	AVG		
13	293.30	295.00	294.15	296.15	299.56
14	295.20	296.20	295.35	296.35	299.56
16	300.00	302.70	301.35	301.35	303.15, 306.15
17	303.93	305.60	304.55	306.55	306.68, 306.33
18	306.00	307.00	306.50	308.50	308.67-310.0
19	307.30	310.30	308.80	310.80	311.38, 312.00

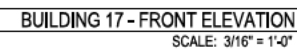


BUILDING 16 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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CURBLINE ELEVATIONS				
BUILDING	CURBLINE ELEVATION			PROPOSED FINISH FLOOR
	LOW	HIGH	AVG	
13	293.39	295.00	294.35	299.56
14	296.54	298.00	297.35	299.56
16	300.00	302.70	301.35	305.35-306.33
17	303.59	305.60	304.55	305.68-306.33
18	306.09	307.00	306.50	308.67-310.0
19	307.39	303.30	308.80	311.34-312.00

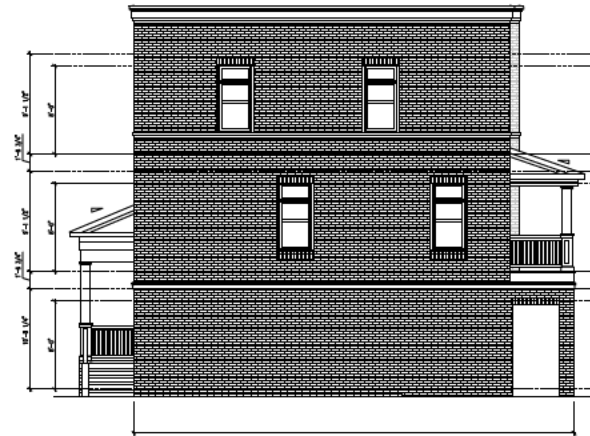
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BUILDING 16 & 17 - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

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BUILDING 16 & 17 - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

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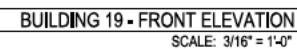
PROJECT		DATE
ISSUE	ISSUE	Start Date
Administrative Site Review		June 15, 2020
REVISIONS:		
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White Oak Properties, Inc.
North Shores Condominiums
NCSU Centennial Campus Raleigh, North Carolina







BUILDING	CURBLINE ELEVATIONS			MIN. REQUIRED FLOOR PERIOD	PROPOSED FINISH FLOOR
	LOW	HIGH	AVG.		
13	293.30	295.00	294.15	296.15	299.56
16	290.50	294.20	292.35	294.35	299.56
16	300.00	302.70	301.35	303.35	307.35-305.15
17	307.50	305.60	304.55	306.55	306.68-308.33
18	309.00	309.00	308.50	308.50	308.67-310.00
19	307.30	310.30	308.80	310.80	311.35-312.00

For section LK 7.4.2 (7C-13-14) of the LDO, building heights increased from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along a pre-development grade or original grade (whichever is most restrictive) along each building elevation and averaging all elevations.

The more restrictive condition occurs in the pre-development grade condition with an average grade of 310.25.

BUILDING ELEVATIONS								
BLDG ID	BUILDING	FACE	PRE-DEMOLITION GRADE			IMPROVED GRADE		
			LOW	HIGH	AVG.	LOW	HIGH	AVG.
15	TIGRIST (South)	SIDE (Capability Drive)	309.40	311.50	309.68	311.10	311.10	310.55
		SIDE (Capability Drive)	308.40	310.50	309.45	310.00	310.60	310.30
		SIDE (Bright Pond Way)	311.30	311.20	311.25	311.10	311.70	311.40
		REAR (Bright Pond Way)	310.50	311.20	310.85	310.60	311.70	311.15
		AVG. OF ALL FACES			310.23			310.85

