

Administrative Approval Action

Case File / Name: ASR-0045-2020
DSLC - Brier Creek Land Bay U2

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** The site is generally located on the north side of Collingdale Way, west of the intersection of Collingdale Way and Auldbury Way, with a common street address of 9506 Collingdale Way.
- REQUEST:** Development of two apartment buildings containing approximately 47,060 gross square feet and 46 dwelling units combined. The subject property is approximately 6.5 acres zoned R-10.
- DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 18, 2022 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

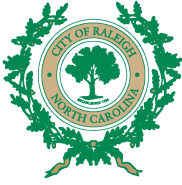
General

1. Demonstrate compliance with UDO Section 7.4 (Site Lighting).
2. Demonstrate compliance with the maximum building height of 3 stories not to exceed 45 feet (UDO Section 2.2.4.D1 Height).
3. Update the BOA variance approval date provided on the plan set; according to the meeting minutes, the variance requested were considered and approved at the April 19, 2021 BOA meeting, and the variance approval document was signed on May 10, 2021.

Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
5. All Raleigh Water recommendations associated with ASR approval shall be incorporated into SPR design

Stormwater



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6. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Public Access Deed of Easement Required

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots identified as PINs 0758654777 and 0758666274 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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2. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

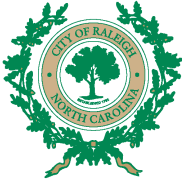
Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. Permanent protected undisturbed open space (PPUOS) area used for reduced nitrogen loading export must be recorded and fenced per UDO 9.2.2.F

Urban Forestry



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4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.238 acres of tree conservation area

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas by Urban Forestry Staff.
2. Outfall A shall be inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 4, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alycia Bailey Taylor Date: 04/07/2022
Development Services Dir/Designee

Staff Coordinator: Kasey Evans

LAND BAY U2 AT BRIER CREEK

9506 COLLINGDALE WAY RALEIGH, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW PLAN

PROJECT NUMBER: TOL-20000
CASE NUMBER: ASR-0045-2020
DATE: JUNE 23, 2020
REVISED: NOVEMBER 16, 2020
REVISED: NOVEMBER 17, 2021
REVISED: FEBRUARY 18, 2022



McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919.361.5000
fax 919.361.2269
license number: C-0293
www.mcadamsco.com

CONTACT

JEREMY V. FINCH
jfinch@mcadamsco.com
919.361.5000

CLIENT

ISE OF NORTH CAROLINA, PC
2310 T.W. ALEXANDER DRIVE
RALEIGH, NORTH CAROLINA 27617
GLENN PHILLIPS, PE
P: 919.355.0706, C: 919.733.6336
E: gphillips@esconsultants.com

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Place, Suite 403 • Raleigh, NC 27601 • (919) 998-9000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.3. Please check the appropriate building types and indicate the plan checklist document when submitting.

Office Use Only: Transaction #	Building Type	Planning Commission	Site Transaction History
	<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction # _____
	<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Special transaction # _____
	<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificates of Appropriateness # _____
	<input type="checkbox"/> Townhome	<input type="checkbox"/> Civic	Board of Adjustment # _____
			Ordinance Case # _____
			Administrative Alternate # _____

GENERAL INFORMATION

Development name: Briar Creek Land Bay U2
 Inside City limits: Yes No
 Property address: 9506 Collingdale Way
 Site P.I.N. (or) 0758696274
 Please describe the scope of work, include any additions, expansions, and change of use. Extension of private street, Helmsford Way, to serve two buildings containing a total of 46 condominium units.

Current Property Owner/Developer Contacted Name: Ryan Switzer
 NOTE: please attach purchase agreement when submitting this form.
 Company Toll at Briar Creek Limited Partnership: Title: App
 Address: 202 Cimballar Road Hopkirk, VA 15044-2703
 Phone #: 919.351.4100 Email: rswitzer@tollbrothers.com
 Applicant Name: Jeremy Finch, PE Address: 2905 Meridian Parkway Durham, NC 27713
 Company: McAdams Email: jfinch@mcadamsco.com
 Phone #: 919-361-5000

DEVELOPMENT TYPE & SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 6.50 acres	New gross floor area: 47,000
# of parking spaces required: 76	Total # of gross (to remain and new): 47,000
# of parking spaces proposed: 116	Proposed # of buildings: 2
Overlay District (if applicable): N/A	Proposed # of stories for each: 3 w/p, 4 w/p
Existing use (UDO § 1.4): Vacant	
Proposed use (UDO § 1.4): Residential (Condominium)	

STORMWATER INFORMATION

Existing Impervious Surface: Acre: 0.14 Square Feet: 6,148	Proposed Impervious Surface: Acre: 2.55 Square Feet: 110,879
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Flood map: FEMA Map Panel #: _____	Neveer River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voids <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

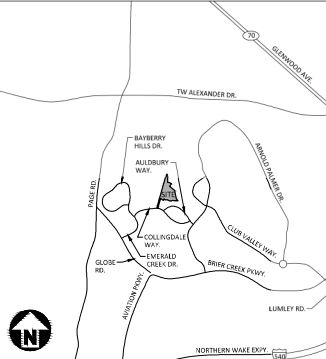
RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 46	Total # of hotel units: 0
# of bedroom units: 1st: 0 2nd: 28 3rd: 18 4th or more: 0	
# of lots: 1	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK

I, the undersigned, as the duly authorized representative of the applicant, hereby certify that the information provided in this application is true and correct and that the applicant is conforming to all application requirements applicable to the proposed development. I acknowledge that this application is subject to the filing calendar and substantial policy, which state applications will expire after 180 days of inactivity.

Signature: Jeremy Finch Date: 6/23/2020
 Printed Name: Jeremy Finch



Alternate Material, Design or Methods Application

Transaction No. ARR-0045-2020
 Design Professional: Brad Rhinehart Phone #: 919-361-5000
 Signature: Brad Rhinehart
 Building Address: 9506 Collingdale Way

I am requesting review of an alternate or modification to the provisions of Section 5.1.1 of the UDO. This code section requires: Approved fire apparatus access roads shall have turn around which maintain the current code. Proposed Alternate: The proposed development to include the use of a Green Fleet reinforced shoulder and reasonable curb as shown on the attached exhibit to allow for the proposed turn around at the end of Helmsford Road.

Date Received: 6/14/2020
 Evaluation of Proposal by: 9070 Office of the Fire Marshal
 Suitability: _____
 Strengths: _____
 Effectiveness: _____
 Fire Resistance: _____
 Durability: _____
 Safety: _____
 Sanitation: _____
 Recommended Action: APPROVE DENY By: John DeMa
 Conditions: _____

Additional Information on Proposed Alternate:
 Approved by: Brad Rhinehart Date: 1-18-2022



CONTRACTOR SHALL NOTIFY NCR111 (811) OR (1-800-832-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NCR111. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

RESIDENTIAL INFILL APPLICABILITY (UDO SEC. 2.2.2.B)

- THE STANDARDS CONTAINED WITHIN THIS SECTION APPLY TO ANY BUILDING IN AN R-1, R-4, R-8 OR R-10 DISTRICT WHERE ALL OF THE FOLLOWING ARE PRESENT:
 - A. THE TOTAL SITE AREA IS 5+ ACRES OR LESS;
 - IF THE SUBJECT LOTS PRIMARY FRONTAGE IS ON A STREET SECTION THAT WAS PLATTED FOR AT LEAST 20 YEARS INCLUDING SUBSEQUENT RIGHT-OF-WAY DESIGNATIONS;
 - IF A COMPARATIVE SAMPLE CAN BE DEFINED AND AT LEAST FOUR OF THE PRINCIPAL BUILDINGS ON THE PRIMARY STREET FRONTAGE OF THE SUBJECT LOT CONTAINED IN THE CORNER LOT, CONTAINED IN THE CORNER LOT, THAT HAS BEEN PLATTED FOR AT LEAST 20 YEARS INCLUDING SUBSEQUENT RIGHT-OF-WAY DESIGNATIONS; THE COMPARATIVE SAMPLE IS DERIVED ON THE FOUR CLOSEST PRINCIPAL BUILDINGS ON THE CORNER LOT, ALONG THE SAME BLOCK FACE OF THE STREET WITHIN 500 FEET OF THE CORNER LOT.
 - IF THESE RULES DO NOT APPLY TO LOTS WHERE MORE THAN ONE OF THE PRIMARY STREET FRONTS ARE 20+ FEET DEEP AND THESE LOTS SHALL NOT COUNT AS PART OF A COMPARATIVE SAMPLE FOR OTHER LOTS.
 - IF WHERE AN ADDITION IS PROPOSED TO A DETACHED OR DETACHED HOUSE, THE EXISTING PRINCIPAL BUILDING ON THE LOT SHALL BE CONSIDERED AN ADDITION TO THE COMPARATIVE SAMPLE.
 - IF WHERE AN OFFICIAL SURVEY DEMONSTRATES THE LOCATION OF A DETACHED HOUSE AND THAT STRUCTURE HAS BEEN IN THAT LOCATION WITHIN THE LAST 20 YEARS, THE PROPOSED PRINCIPAL BUILDING MAY BE CONSIDERED AS THE EXISTING DETACHED OR ATTACHED BUILDING ON OR AS PROVIDED BY THE RULES IN SEC. 2.2.2.C, WHICHEVER THE APPLICANT CHOOSES.
 - IF WHERE A DETACHED HOUSE OR A PRINCIPAL BUILDING HAS BEEN OBTAINED ON A LOT, THAT LOT SHALL BE CONSIDERED AN ADDITION FOR THE PURPOSES OF DETERMINING A COMPARATIVE SAMPLE. IF A PRINCIPAL BUILDING HAS BEEN OBTAINED FOR A PRINCIPAL BUILDING ON A LOT, THAT BUILDING SHALL BE CONSIDERED FOR THE PURPOSES OF DETERMINING A COMPARATIVE SAMPLE.
- WHEN A LOT IS SUBJECT TO THE RESIDENTIAL INFILL COMPATIBILITY STANDARDS AND THE LOT IS LOCATED WITHIN A NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT THAT REGULATES ANY COMPONENT HEREIN, THE NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT REGULATION SHALL APPLY FOR THE SPECIFIC COMPONENT.
- THESE INFILL COMPATIBILITY RULES DO NOT APPLY IN HISTORIC DISTRICTS, STREET SIDE HISTORIC OVERLAY DISTRICTS, OR TO HISTORIC LANDMARKS.

NOTES:

- THIS PROJECT MEETS THE EXEMPTION FROM THE BLOCK PERMETER REQUIREMENTS BASED ON UDO SECTION 8.3.2.A.1.b & c.
- THE RALEIGH BOARD OF ADJUSTMENT APPROVED USE PERMITS (UDO 000-001) ON 08/25/2020. THIS PROVIDES A VARIANCE FOR THE MINIMUM LOT WIDTH REQUIREMENT (UDO SEC. 2.2.4.A.2) A VARIANCE FOR THE 10' 0" PRIMARY STREET BUILD-TO REQUIREMENT (UDO SEC. 2.2.4.11) AND A VARIANCE FOR THE 70% BUILDING WIDTH IN PRIMARY BUILD-TO REQUIREMENT (UDO SEC. 2.2.4.13).

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE ORDINANCE.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE CONTRACTOR.
- INDIVIDUAL ROLLOUT CARTS WILL BE PROVIDED AND WILL BE STORED IN REAR GARAGES.

HORIZONTAL DATUM: NAD 83
 VERTICAL DATUM: NAVD 88

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCSDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 998-2409, and the Public Utilities Department at (919) 998-4543 at least twenty-four hours prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and/or Possible Exclusion from future work in the City of Raleigh.

Kasey Evans
 City of Raleigh
 PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SITE DATA

LOT NUMBER: 0758696274	SECTION: 04
PLAT NUMBER: 0758696274	SECTION: 04
OWNER: JEREMY FINCH	SECTION: 04
ADDRESS: 9506 COLLINGDALE WAY	SECTION: 04
CITY: RALEIGH	SECTION: 04
STATE: NC	SECTION: 04
COUNTY: DURHAM	SECTION: 04
ZIP CODE: 27601	SECTION: 04
PROPERTY TYPE: RESIDENTIAL	SECTION: 04
PROJECT NUMBER: TOL-20000	SECTION: 04
CASE NUMBER: ASR-0045-2020	SECTION: 04
DATE: 6/23/2020	SECTION: 04

PARKING DATA

PROVIDED	REQUIRED	REMARKS
116	76	EXCEEDS REQUIRED BY 40 SPACES
0	0	REQUIRE 2 TOP-LOADING BAYS ONLY 15% SPACE
0	0	REQUIRE 40% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 5% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 10% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 15% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 20% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 25% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 30% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 35% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 40% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 45% OF TOTAL PARKING SPACES TO BE COVERED
0	0	REQUIRE 50% OF TOTAL PARKING SPACES TO BE COVERED

OUTDOOR AMENITY AREA	TREE CONSERVATION AREA
REQUIRED OUTDOOR AMENITY AREA: 0.65 AC (1.0%)	REQUIRED TREE CONSERVATION AREA: 0.65 AC (1.0%)
PROVIDED OUTDOOR AMENITY AREA: 0.77 AC (11.8%)	PROVIDED TREE CONSERVATION AREA: 0.24 AC (3.7%)

* SEE ATTACHED TREE CONSERVATION REPORT FOR DETAILED INFORMATION. REPORT PROVIDED BY GAC.

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C4.01	FIRE ACCESS PLAN
C8.00	SITE DETAILS
C8.01	STORM DRAINAGE DETAILS
C8.02	WATER DETAILS
C8.03	SANITARY SEWER DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS
L6.00	LIGHTING PERFORMANCE PLAN
SHEET 1 OF 2	BUILDING 1 - FIRST FLOOR PLAN
SHEET 2 OF 2	BUILDING 2 - FIRST FLOOR PLAN
A-1.0 - A-6.0	BUILDING ELEVATIONS

SPECIAL CONDITIONS OF SUBDIVISION APPROVAL

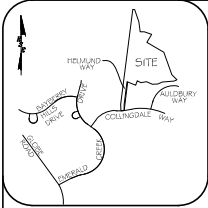
PROJECT DIRECTORY



REVISIONS

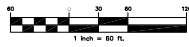
NO.	DATE	DESCRIPTION
1	11.18.2020	PER CITY COMMENTS
2	11.17.2021	PER CITY COMMENTS
3	02.18.2022	PER CITY COMMENTS

ADMINISTRATIVE SITE REVIEW PLAN FOR LAND BAY U2 AT BRIER CREEK RALEIGH, NC PROJECT NUMBER: TOL-20000



VICINITY MAP
NOT TO SCALE

- LEGEND:**
- IRON PIPE FOUND
 - IRON PIPE SET
 - COMPUTED POINT
 - RIGHT-OF-WAY
 - REED BOOK
 - BOOK OF MAPS
 - CONCRETE
 - UTILITY POLE
 - SANITARY SEWER CLEANOUT
 - SANITARY SEWER MANHOLE
 - WATER MANHOLE
 - FIRE HYDRANT
 - WATER VALVE
 - STORM DRAIN CURB INLET
 - STORM DRAIN MANHOLE
 - EXISTING TREELINE
 - EXISTING OVERHEAD ELECTRIC



I, CHARLES E. WHITE, PLS., CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACCURATE FIELD SURVEY UNDER MY SUPERVISION. THAT THE DIMENSIONS NOT SURVEYED ARE INDICATED BY DASHED LINES, THAT THE DIMENSIONS NOT SURVEYED ARE ACCURATE TO GREATER THAN 1/10000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA BY NCEC, 2010.

CHARLES E. WHITE, PLS. _____ LOCAL REGISTRATION NO. _____ DATE _____

ESE CONSULTANTS
 CONSULTANTS • SURVEYORS • ENGINEERS • ARCHITECTS

LUCILLE F. COOPER, P.C.
 2310 T.W. Alexander Dr., Suite J
 Raleigh, NC 27617
 TEL: 919-271-4800 FAX: 919-271-2800

#	DATE	REVISIONS
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EXISTING CONDITIONS ASBUILT SURVEY
 FOR
TOLL AT BRIER CREEK LMTD PTRNSHIP
BRIER CREEK COUNTRY CLUB LAND BAY U2
LOT 17 - 9506 COLLINGDALE WAY

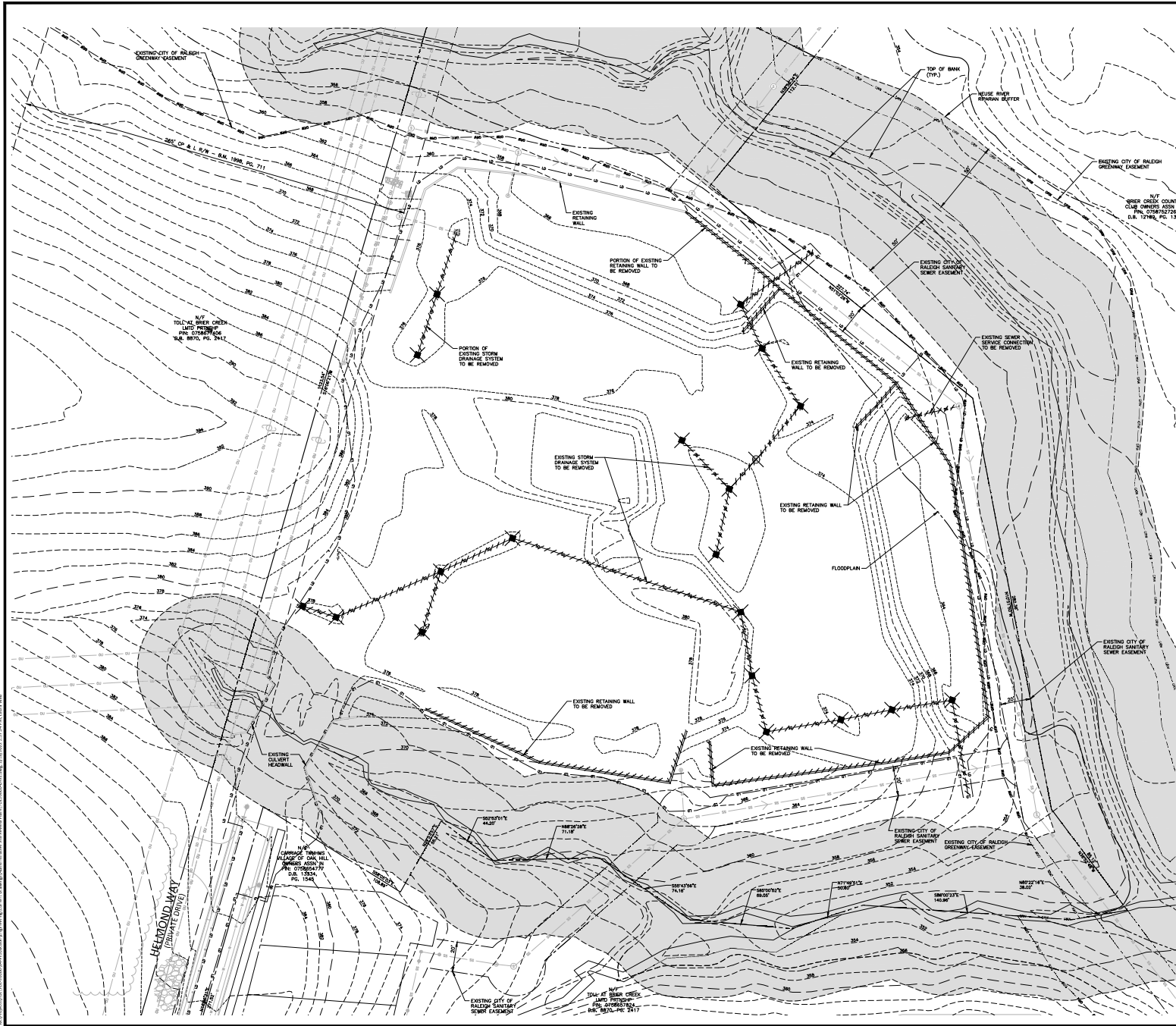
SCALE: 1"=60'
 PROJECT NUMBER:
 DATE: 06/19/20
 DRAWN BY:
 CHECKED BY: C/W/ST
 SHEET NUMBER:

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 05°09'57" W	73.30'
L2	N 77°35'35" W	22.00'
L3	S 53°40'17" E	45.29'
L4	S 63°13'23" E	93.03'
L5	S 36°24'48" E	85.12'
L6	S 80°22'16" W	38.02'
L7	N 71°48'51" E	50.60'
L8	S 53°00'52" E	69.05'
L9	S 53°43'56" E	74.16'
L10	N 68°26'25" E	71.19'
L11	S 52°23'01" E	44.19'
L12	N 22°27'27" E	55.21'
L13	N 08°33'03" E	63.79'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	350.00'	39.69'	39.67'	N44°41'53"W	6°29'50"



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- STREAM BUFFER
- STRUCTURE TO BE REMOVED

GRAPHIC SCALE
1" = 50'

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
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license number: C-02933, C-187
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GLENN PHILLIPS, PE
P: 919.555.9706, C: 919.723.6336
E: gphillips@esiconsultants.com

LAND BAY U2 AT BRIER CREEK
ADMINISTRATIVE SITE REVIEW PLAN
RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
1	11.16.2020	PER CITY COMMENTS
2	11.17.2021	PER CITY COMMENTS
3	02.18.2022	PER CITY COMMENTS

PLAN INFORMATION

PROJECT NO.	TOL-20000
FILENAME	TOL20000.DM1
CHECKED BY	JCM
DRAWN BY	LAW / RAD
SCALE	1"=30'
DATE	06.23.2020

DEMOLITION PLAN
C1.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

LEGEND

- TREE CONSERVATION AREA
- OUTDOOR AMENITY SPACE
- STREAM BUFFER

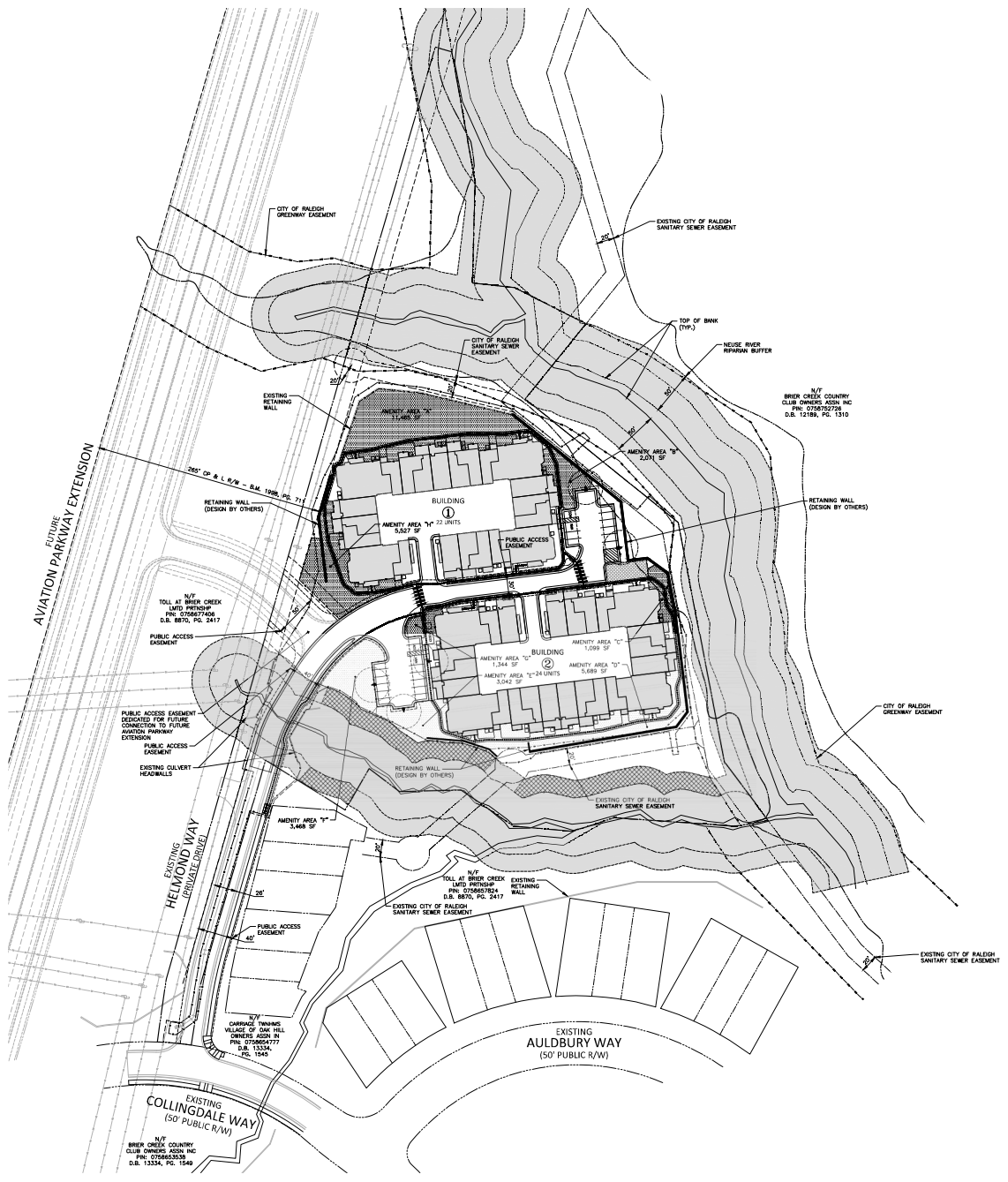


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LAND BAY U2 AT BRIER CREEK
ADMINISTRATIVE SITE REVIEW PLAN
RALEIGH, NORTH CAROLINA



GRAPHIC SCALE
0 30 60 90 120
1 INCH = 60 FT.

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REVISIONS

NO.	DATE	REVISION
1	11.19.2020	PER CITY COMMENTS
2	11.17.2021	PER CITY COMMENTS
3	02.18.2022	PER CITY COMMENTS

PLAN INFORMATION

PROJECT NO.	TOL-20000
FILENAME	TOL20000-0A51
CHECKED BY	JCM
DRAWN BY	LAW / RAD
SCALE	1"=60'
DATE	06.23.2020

OVERALL SITE PLAN
C2.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

D:\Projects\2020\TOL-20000\TOL-20000-0A51\Drawings\Site\Plan\TOL-20000-0A51-C2.00.dwg
 PLOT DATE: 06/23/2020 10:11:31 AM
 PLOT BY: JCM



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**LAND BAY U2 AT BRIER CREEK
ADMINISTRATIVE SITE REVIEW PLAN**
RALEIGH, NORTH CAROLINA

SITE LEGEND

- SIGNAGE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- TREE CONSERVATION AREA
- OUTDOOR AMENITY SPACE
- STREAM BUFFER

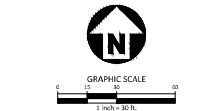
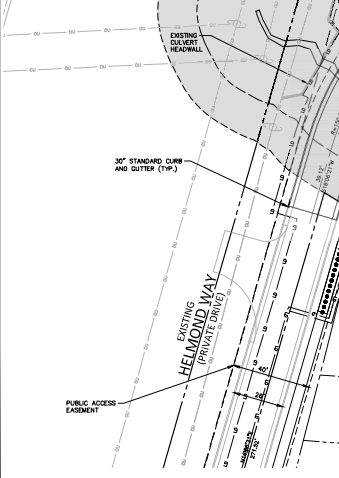
SITE DATA	
PROJECT NUMBER:	1906-000-0000-0000 NORTH CAROLINA
PROJECT NAME:	ESSE/ESSE
CLIENT:	ESSE
DESIGNER:	ESSE
DATE:	06/23/2020
SCALE:	AS SHOWN
PROJECT LOCATION:	2310 T.W. ALEXANDER DRIVE, RALEIGH, NC 27617
PROJECT TYPE:	ADMINISTRATIVE
PROJECT STATUS:	ADMINISTRATIVE SITE REVIEW
PROJECT OWNER:	ESSE OF NORTH CAROLINA, PC
PROJECT ARCHITECT:	ESSE OF NORTH CAROLINA, PC
PROJECT ENGINEER:	GLENN PHILLIPS, PE
PROJECT SURVEYOR:	ESSE OF NORTH CAROLINA, PC
PROJECT LANDSCAPE ARCHITECT:	ESSE OF NORTH CAROLINA, PC
PROJECT CIVIL ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT ELECTRICAL ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT MECHANICAL ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT PLUMBING ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT STRUCTURAL ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT ENVIRONMENTAL ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT HISTORIC ARCHITECTURE:	ESSE OF NORTH CAROLINA, PC
PROJECT TRANSPORTATION ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT WATER RESOURCES ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT WIND ENGINEER:	ESSE OF NORTH CAROLINA, PC
PROJECT SPECIALTY CONSULTANTS:	ESSE OF NORTH CAROLINA, PC

PARKING DATA	
PROPOSED CONSTRUCTION UNIT VEH:	100 VEH/UNIT
PROPOSED CONSTRUCTION UNIT TRUCK:	10 TRUCKS/UNIT
PROPOSED CONSTRUCTION UNIT BUS:	10 BUSES/UNIT
PROPOSED CONSTRUCTION UNIT MOTORCYCLE:	10 MOTORCYCLES/UNIT
PROPOSED CONSTRUCTION UNIT BICYCLE:	10 BICYCLES/UNIT
PROPOSED CONSTRUCTION UNIT PEDESTRIAN:	10 PEDESTRIANS/UNIT
PROPOSED CONSTRUCTION UNIT HORSE:	10 HORSES/UNIT
PROPOSED CONSTRUCTION UNIT OTHER:	10 OTHER/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL:	1000 VEH/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL TRUCK:	100 TRUCKS/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL BUS:	100 BUSES/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL MOTORCYCLE:	100 MOTORCYCLES/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL BICYCLE:	100 BICYCLES/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL PEDESTRIAN:	1000 PEDESTRIANS/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL HORSE:	100 HORSES/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL OTHER:	100 OTHER/UNIT
PROPOSED CONSTRUCTION UNIT TOTAL OTHER:	100 OTHER/UNIT

OUTDOOR AMENITY AREA	
SITE AREA:	6.6 AC
REQUIRED OUTDOOR AMENITY AREA:	0.65 AC (10%)
PROPOSED OUTDOOR AMENITY AREA:	0.77 AC (11.8%)

TREE CONSERVATION AREA	
SITE AREA:	8.6 AC
REQUIRED TREE CONSERVATION AREA:	0.65 AC (10%)
PROPOSED TREE CONSERVATION AREA:	0.24 AC (3.7%)

* SEE ATTACHED TREE CONSERVATION REPORT DESCRIBING DEFICIENCY REPORT PROVIDED BY SAEC



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REVISIONS

NO.	DATE	DESCRIPTION
1	11.16.2020	PER CITY COMMENTS
2	11.17.2020	PER CITY COMMENTS
3	02.18.2022	PER CITY COMMENTS

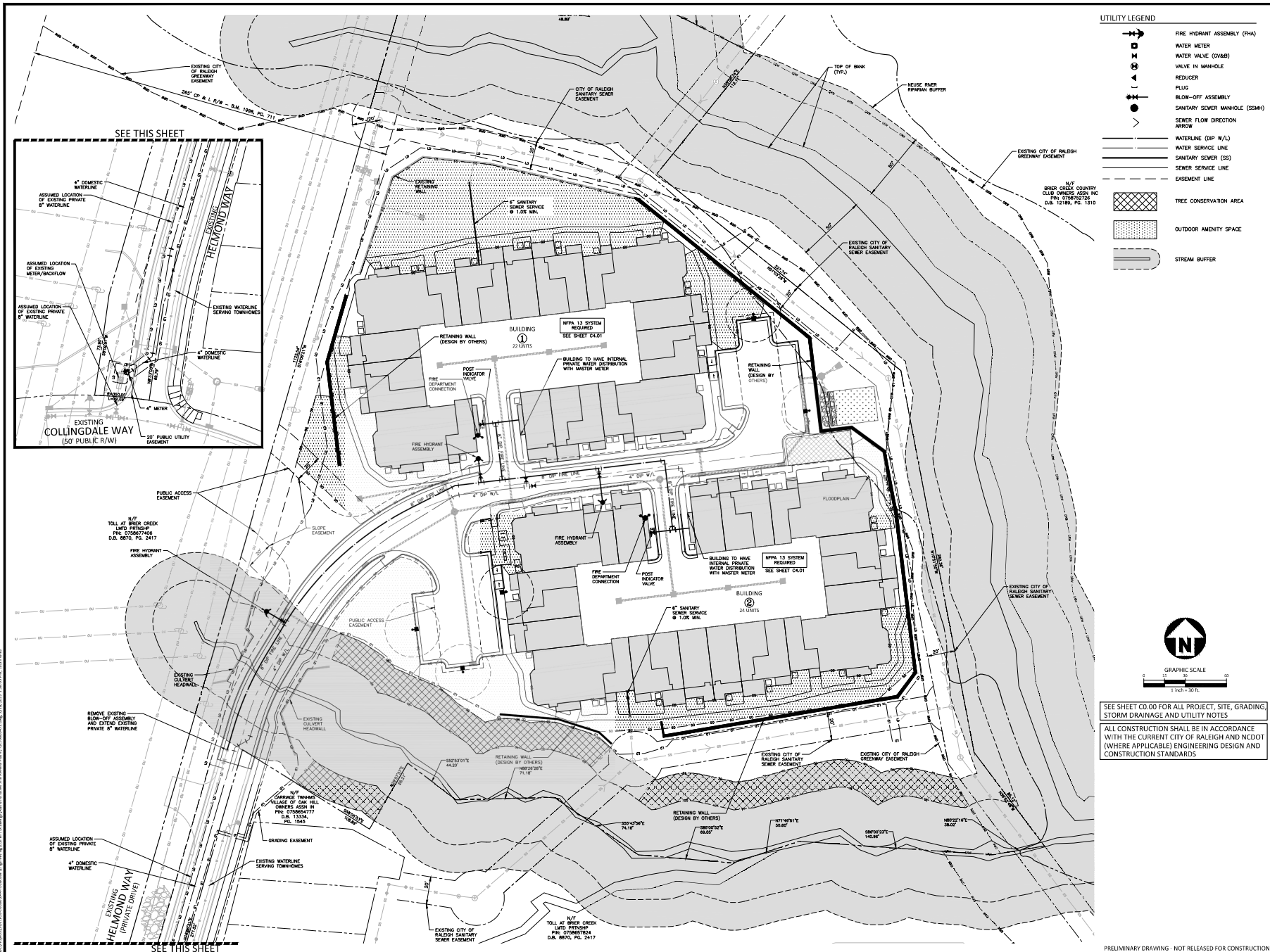
PLAN INFORMATION

PROJECT NO.:	TOL-20000
FILENAME:	TOL20000-51
CHECKED BY:	JCM
DRAWN BY:	LAW / RAD
SCALE:	1"=30'
DATE:	06.23.2020

SHEET

**SITE PLAN
C2.01**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



CLIENT

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**LAND BAY U2 AT BRIER CREEK
 ADMINISTRATIVE SITE REVIEW PLAN**
 RALEIGH, NORTH CAROLINA



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PLANT SCHEDULE

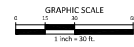
SHADE TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT
	ASL	4	Legacy Sugar Maple	Acer saccharum 'Legacy'	3" min	10' min
	ONS	4	Sangria Nuttall Oak	Quercus nuttallii 'ONSTD'	3" min	10' min
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	SPACING
	AGEE	36	Glossy Abelia	Abelia x grandiflora 'Edward Goucher'	18"	
	KSS2	77	Steeds Japanese Holly	Ilex crenata 'Steeds'	30" min	
	INN	29	Nigra Inkberry	Ilex glabra 'Nigra'	18"	
	LOPD	40	Fringe Flower	Loropetalum chinense 'Purple Diamond'	18"	

SITE LEGEND

- DONOR PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- TREE CONSERVATION AREA
- OUTDOOR AMENITY SPACE
- STREAM BUFFER

LANDSCAPE CALCULATIONS

VEHICLE USE AREA		
PARKING AREA		8,214.52
SHADE TREES REQUIRED:	1/12(2000/54)	
PROVIDED:	8	



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LAND BAY U2 AT BRIAR CREEK
 ADMINISTRATIVE SITE REVIEW PLAN
 RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
1	11.16.2020	PER CITY COMMENTS
2	11.17.2020	PER CITY COMMENTS
3	02.18.2022	PER CITY COMMENTS

PLAN INFORMATION

PROJECT NO.	TOL-20000
FILENAME	TOL20000-151
CHECKED BY	DCI
DRAWN BY	AAL
SCALE	1"=30'
DATE	06.23.2020

LANDSCAPE PLAN
L5.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



A BUILDING 1: NORTH ELEVATION
 Scale: 1/8" = 1'-0"



B BUILDING 1: SOUTH ELEVATION
 Scale: 1/8" = 1'-0"

LOT# BLDG 1 BRIER CREEK COTTAGES - U2

PROJECT: BLDG 1

PROJECT ELEVATION: ASR PLANS: BUILDING 1: ELEVATIONS

TOLL ARCHITECTURE
 A Division of Toll Brothers

PROJECT ELEVATION: BLDG 1

ELEVATION NAME: BUILDING 1: NORTH ELEVATION

SCALE: 1/8" = 1'-0"

DWG BY: TOLL ARCHITECTURE

CITY USE

DATE: 02/18/2022

SCALE: 1/8" = 1'-0"

SHEET NAME: A-1.0

SHEET NUMBER: 1



C BUILDING 1 WEST ELEVATION
 A-2.0 Scale: 1/8" = 1'-0"



D BUILDING 1 EAST ELEVATION
 A-2.0 Scale: 1/8" = 1'-0"

PROJECT ELEMENTS		CITY USE	
PROJECT NAME	BRIDGES	PROJECT NUMBER	
CLIENT NAME		PROJECT DATE	
DATE	2/18/22	PROJECT LOCATION	
DRAWN BY		PROJECT SOURCE	
CHECKED BY		SCALE	
DATE		DATE OF NEXT REVISION	
SHEET DESCRIPTION		LOT # BLDG 1 BRIER CREEK COTTAGES - U2	
ASR PLANS: BUILDING 1: ELEVATION			
RIGHT HAND SET			
SERIAL #			
SHEET NAME		A-2.0	

DATE: Wednesday, November 03, 2021 1:27:05 pm
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REED CHARLESTON ULRICH HERITAGE LYMAN HERITAGE
CC BUILDING 1: EAST COURTYARD ELEVATION
 A-2,0 Scale: 1/8" = 1'-0"



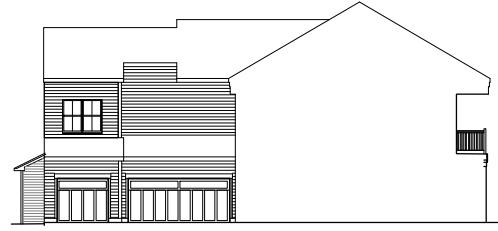
LYMAN HERITAGE ULRICH HERITAGE REED CHARLESTON
DD BUILDING 1: WEST COURTYARD ELEVATION
 A-4,0 Scale: 1/8" = 1'-0"



HAMPSTEAD II HERITAGE BRUNSWICK II HERITAGE LYMAN HERITAGE ULRICH HERITAGE REED CHARLESTON ULRICH HERITAGE LYMAN HERITAGE BRUNSWICK II HERITAGE HAMPSTEAD II HERITAGE
AA BUILDING 1: (NORTH COURTYARD ELEVATION)
 A-3,0 Scale: 1/8" = 1'-0"



HAMPSTEAD II HERITAGE BRUNSWICK II HERITAGE LYMAN HERITAGE ULRICH HERITAGE REED CHARLESTON
BB BUILDING 1: (SOUTH COURTYARD ELEVATION)
 A-3,0 Scale: 1/8" = 1'-0"



BRUNSWICK II HERITAGE HAMPSTEAD II HERITAGE

A/C# ---- LOT# BLDG 1 BRIER CREEK COTTAGES - U2

SHEET DESCRIPTION
ASKR PLANS: BUILDING 1: COURTYARD ELEVATION

RIGHT HAND SET
 SERIAL #

PROJECT/PROJECT
BUILDING 1

ELEVATION NAME
 ELEVATION NAME

SCALE
 SCALE

SHEET NAME
 SHEET NAME

UNIT OF MEASUREMENTS
 UNIT OF MEASUREMENTS

TOLLARCHITECTURE
 A Division of TB Brothers

CITY USE

SHEET NAME
A-3.0



A BUILDING 2: SOUTH ELEVATION
 Scale: 1/8" = 1'-0"



B BUILDING 2: NORTH ELEVATION
 Scale: 1/8" = 1'-0"

CITY USE

PROJECT ELEMENTS	REVISIONS
NO.	DATE
1	02/18/22
2	02/18/22
3	02/18/22
4	02/18/22
5	02/18/22

TOLL ARCHITECTURE
 A Division of Toll Brothers

PROJECT: BLDG 2
 SHEET: ASR PLANS: BUILDING 2: ELEVATIONS
 SCALE: 1/8" = 1'-0"

LOT: BLDG 2
 BRIER CREEK COTTAGES - U2

DATE: 02/18/22

SCALE: **A-4.0**



C BUILDING 2 EAST ELEVATION
 A-5.0 Scale: 1/8" = 1'-0"



D BUILDING 2 WEST ELEVATION
 A-5.0 Scale: 1/8" = 1'-0"

CITY USE	
TOLLARCHITECTURE A Division of Toll Brothers	
PROJECT ELEMENTS:	
REVISIONS:	
DATE:	
BY:	
DATE:	
BY:	
SCALE:	
DRAWN BY:	
CHECKED BY:	
DATE:	
PROJECT:	
LOT #:	
BUILDING NAME:	
ELEVATION NAME:	
SCALE:	
DRAWN BY:	
CHECKED BY:	
DATE:	
AC# ---- LOT# BLDG 2 BRIER CREEK COTTAGES - U2	
SHEET DESCRIPTION	
ASR PLANS: BUILDING 2: ELEVATIONS	
RIGHT HAND SET	
SHEET NAME:	A-5.0
SERIAL #:	----



CC BUILDING 2: EAST COURTYARD ELEVATION

CC A-2.0 Scale: 1/8" = 1'-0"



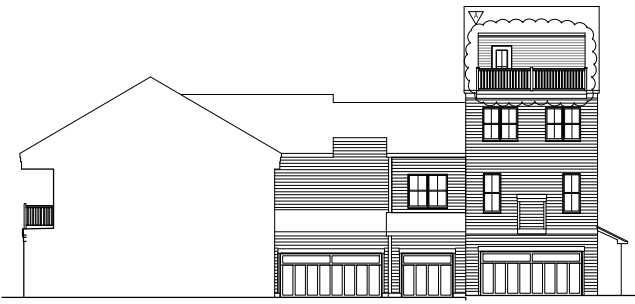
DD BUILDING 2: WEST COURTYARD ELEVATION

DD A-6.0 Scale: 1/8" = 1'-0"



AA BUILDING 2: SOUTH COURTYARD ELEVATION

AA A-3.0 Scale: 1/8" = 1'-0"



BB BUILDING 2: NORTH COURTYARD ELEVATION

BB A-3.0 Scale: 1/8" = 1'-0"



CITY USE

TOLL ARCHITECTURE
A Division of TB Brothers

PROJECT RESIDENTS	REVISIONS
PROJECT ARCHITECT	DATE
PROJECT NAME	BY
ELEVATION NAME	DATE
SCALE	DATE
DATE	DATE

PROJECT RESIDENTS: BLDG 2

PROJECT ARCHITECT: TOLL ARCHITECTURE

PROJECT NAME: BRIER CREEK COTTAGES - U2

ELEVATION NAME: BUILDING 2: ELEVATIONS

SCALE: A-6.0

DATE: 11/10/21

LOT # BLDG 2

SHEET DESCRIPTION: ASR PLANS: BUILDING 2: ELEVATIONS

RIGHT HAND SET

SHEET NAME: A-6.0

SERIAL #