



# Administrative Approval Action

Case File / Name: ASR-0045-2022  
DSLCL - Hammell Drive Mixed-Use (SUB)

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 3.5 acre site zoned CX-20-UL CU is located on the east side of Lake Wheeler Road on the northeast and southeast corners of the intersection of Lake Wheeler Road and Hammell Drive at 1201 & 1209 Lake Wheeler Road and 1008 Hammell Drive.

**REQUEST:** Two mixed use buildings consisting of both residential and retail with a total of 1,106,548 square feet of building space and 675 dwelling units.

- DA-13-2022 (APPROVED 09.01.2022) - DESIGN ALTERNATE FROM REQUIREMENTS SET FORTH IN UDO RELATED TO DRIVEWAY SPACING, BACKING INTO OR OUT OF THE RIGHT-OF-WAY AND STEPBACK RELIEF RELATED TO BUILDING MASSING FOR BLDG A.

APPROVED WITH THE FOLLOWING CONDITIONS:  
CHANGE IN MATERIAL OR COLOR AT BLDG B DRIVEWAY FROM HAMMELL DRIVE TO ALERT PEDESTRIANS OF THE DRIVEWAY.  
BLDG B OPERATOR TO PROVIDE BLDG STAFF MEMBER ON-SITE WHEN BACKING MOVEMENT INTO OR OUT OF THE RIGHT-OF-WAY OCCURS.  
PROVIDE CITY TRANSPORTATION REVIEW STAFF WITH TURNING TEMPLATE FOR VEHICLES BACKING FROM THE RIGHT-OF-WAY FOR THEIR APPROVAL.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 18, 2022 by McAdams.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. That the SPR review reflects the addendum to the final TIA recommendations. The TIA recommendation diagram and mitigations must be shown on the SPR plan along with the necessary work on South Saunders Street.



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2. That an approved SPR for all road construction and improvements in the right-of-way and an infrastructure surety as outlined by SUB-0026-2022 is in place.

## Engineering

3. An encroachment submittal for any privately maintained items within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
4. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Public Utilities

5. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

## Stormwater

6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Stormwater

1. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
2. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

### General

1. Comply with all conditions of Z-60-20.
2. All conditions of approval for the accompanying subdivision case SUB-0026-2022 creating the lots and street right of way as shown on this plan shall be met and the subdivision plat be recorded.

### Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

### Urban Forestry

4. Tree impact permits must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 10 street trees along Hammell Drive, 6 street trees along Curfman Street, and 8 street trees along Lake Wheeler Road for a total of 24 street trees.

***The following are required prior to issuance of building occupancy permit:***

### General

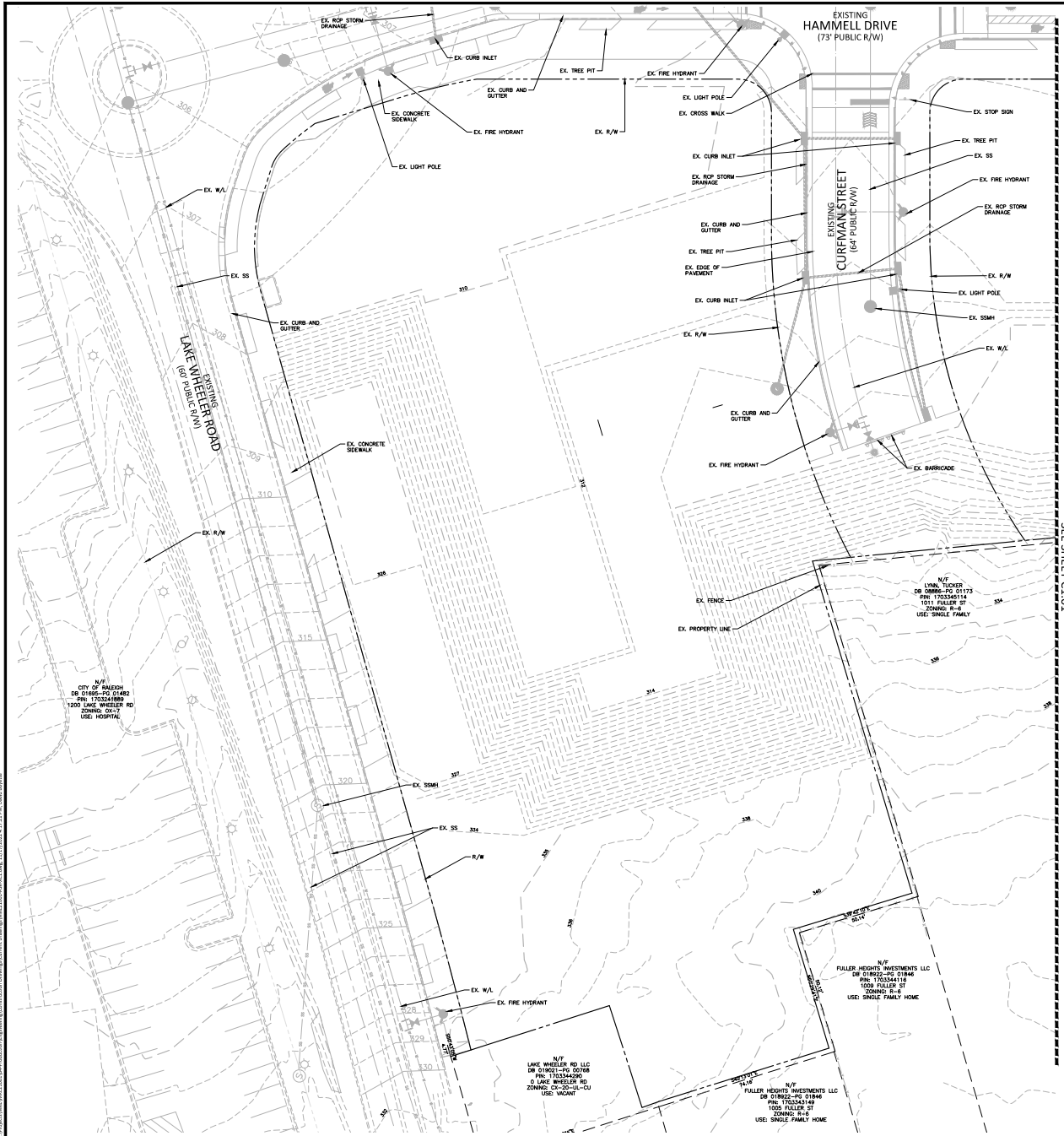
1. All street lights and street signs required as part of the development approval are installed.
2. That the development has provided and installed a location on the property or adjacent right-of-way to accommodate a City bikeshare station with no fewer than 8 docks, which shall be installed by the property owner, subject to approval of an encroachment agreement for such work by the City of Raleigh. (Condition 4 of Z-060-2020).
3. Final inspection of right-of-way street trees by Urban Forestry Staff.

### Stormwater









**LEGEND**

● EXISTING IRON PIPE	⊕ ACCESSIBLE PARKING
○ IRON PIPE SET	⊕ FLOOD CONTROL VALVE
▲ CALCULATED POINT	⊕ MAIL BOX
○ BORE HOLE	⊕ MONITORING WELL
⊕ SANITARY SEWER MANHOLE	⊕ SAME-LEVEL CONNECTION
⊕ SANITARY SEWER CLEANOUT	⊕ SIENH
⊕ WATER VALVE	⊕ WELL
⊕ WATER METER	⊕ WATER MANHOLE
⊕ FIRE HYDRANT	⊕ LIGHT SINGLE
⊕ TELEPHONE PEDESTAL	⊕ LIGHT DOUBLE
⊕ TELEPHONE MANHOLE	⊕ CABLE BOX
⊕ ELECTRIC BOX	⊕ FIBER OPTIC VAULT
⊕ LIGHT POLE	⊕ SPRINKLER HEAD
⊕ POWER POLE	⊕ STORM DRAIN PIPE
⊕ CURB INLET	⊕ OVERHEAD UTILITY LINES
⊕ STORM DRAINAGE MANHOLE	⊕ WATER LINE
⊕ YARD INLET	⊕ SANITARY SEWER LINE
⊕ AIR CONDITIONER	⊕ TELEPHONE LINE
⊕ ADDRESS BOX	⊕ GAS LINE
⊕ BOLLARD	⊕ UNDERGROUND ELECTRIC
⊕ FIRE CONNECTION	⊕ UNDERGROUND TELEPHONE
⊕ FIBER OPTIC MARKER	⊕ FENCE LINE
⊕ GREASE PIT	

**EXISTING CONDITIONS NOTES:**

- EXISTING CONDITIONS SHOWN HERE ARE A COMBINATION OF THE EXISTING CONDITIONS SURVEY OF THE SITE, WORK PROPOSED WITH MASS GRADING PERMIT MASS-008-2022 (APPROVAL PENDING), THE PRELIMINARY SUBDIVISION PERMIT SUB-002-2022 (APPROVAL PENDING) AND THE CURRENT DESIGN PROVIDED BY THE CITY OF RALEIGH FOR THE LAKE WHEELER ROAD IMPROVEMENTS.



**CLIENT**  
MACK REAL ESTATE GROUP  
60 COLUMBUS CIRCLE, 20TH FLOOR  
NEW YORK, NEW YORK 10023  
PHONE: 212.484.0068

**HAMMELL DRIVE MIXED USE  
ADMINISTRATIVE SITE REVIEW  
1008 HAMMELL DRIVE  
RALEIGH, NC. 27603**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07.18.2022	CITY OF RALEIGH COMMENTS
2	08.15.2022	CITY OF RALEIGH COMMENTS
3	10.03.2022	CITY OF RALEIGH COMMENTS
4	11.15.2022	CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

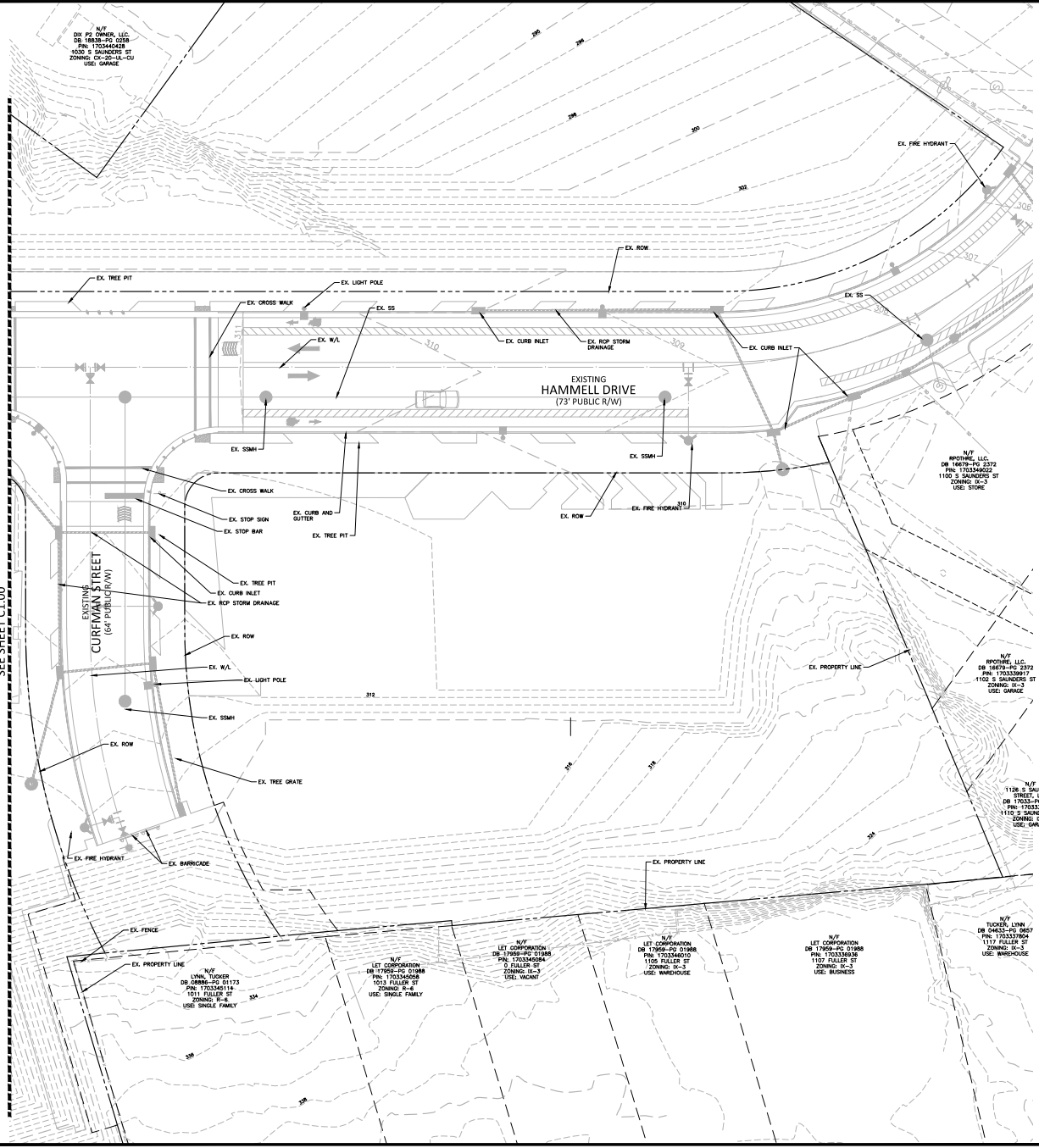
PROJECT NO. MRE-21001  
FILENAME: MRE21001-ASR-XC1  
CHECKED BY: DB  
DRAWN BY: JJ  
SCALE: 1" = 20'  
DATE: 05.20.2022

**EXISTING CONDITIONS  
AREA "A"  
C1.00**

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION



SEE SHEET C1.00

LEGEND

- |                           |                            |
|---------------------------|----------------------------|
| ● EXISTING IRON PIPE      | ⊠ ACCESSIBLE PARKING       |
| ○ IRON PIPE SET           | ⊠ IRRIGATION CONTROL VALVE |
| ▲ CALCULATED POINT        | ⊠ FLOOD LIGHT              |
| ⊘ BORE HOLE               | ⊠ MAIL BOX                 |
| ⊙ SANITARY SEWER MANHOLE  | ⊠ MONITORING WELL          |
| ⊙ SANITARY SEWER CLEANOUT | ⊠ SIGN                     |
| ⊙ WATER VALVE             | ⊠ SIDEWALK CONNECTION      |
| ⊙ WATER METER             | ⊠ WELL                     |
| ⊙ FIRE HYDRANT            | ⊠ WATER MANHOLE            |
| ⊠ TELEPHONE PEDESTAL      | ⊠ LIGHT SINGLE             |
| ⊠ TELEPHONE MANHOLE       | ⊠ LIGHT DOUBLE             |
| ⊠ ELECTRIC BOX            | ⊠ CABLE BOX                |
| ⊠ LIGHT POLE              | ⊠ FIBER OPTIC VAULT        |
| ⊠ POWER POLE              | ⊠ SPRINKLER HEAD           |
| ⊠ CURB INLET              | ⊠ STORM DRAIN PIPE         |
| ⊠ STORM DRAINAGE MANHOLE  | ⊠ OVERHEAD UTILITY LINES   |
| ⊠ YARD INLET              | ⊠ WATER LINE               |
| ⊠ AIR CONDITIONER         | ⊠ SS SANITARY SEWER LINE   |
| ⊠ ADDRESS BOX             | ⊠ T TELEPHONE LINE         |
| ● BOLLARD                 | ⊠ G GAS LINE               |
| ⊠ FIRE CONNECTION         | ⊠ U UNDERGROUND ELECTRIC   |
| ⊠ FIBER OPTIC MARKER      | ⊠ UT UNDERGROUND TELEPHONE |
| ⊠ GREASE PIT              | ⊠ X FENCE LINE             |

EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS SHOWN HERE ARE A COMBINATION OF THE EXISTING CONDITIONS SURVEY OF THE SITE, WORK PROPOSED WITH MASS GRADING PERMIT MASS-2022 APPROVAL PENDING AND THE PRELIMINARY SUBDIVISION PERMIT SUB-0026-2022 (APPROVAL PENDING).



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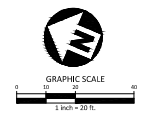
**HAMMELL DRIVE MIXED USE  
ADMINISTRATIVE SITE REVIEW  
1008 HAMMELL DRIVE  
RALEIGH, NC 27603**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07.08.2022	CITY OF RALEIGH COMMENTS
2	08.16.2022	CITY OF RALEIGH COMMENTS
3	10.03.2022	CITY OF RALEIGH COMMENTS
4	11.15.2022	CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO.	MRE-21001
FILENAME	MRE21001-ASR-XC1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 20'
DATE	05.20.2022



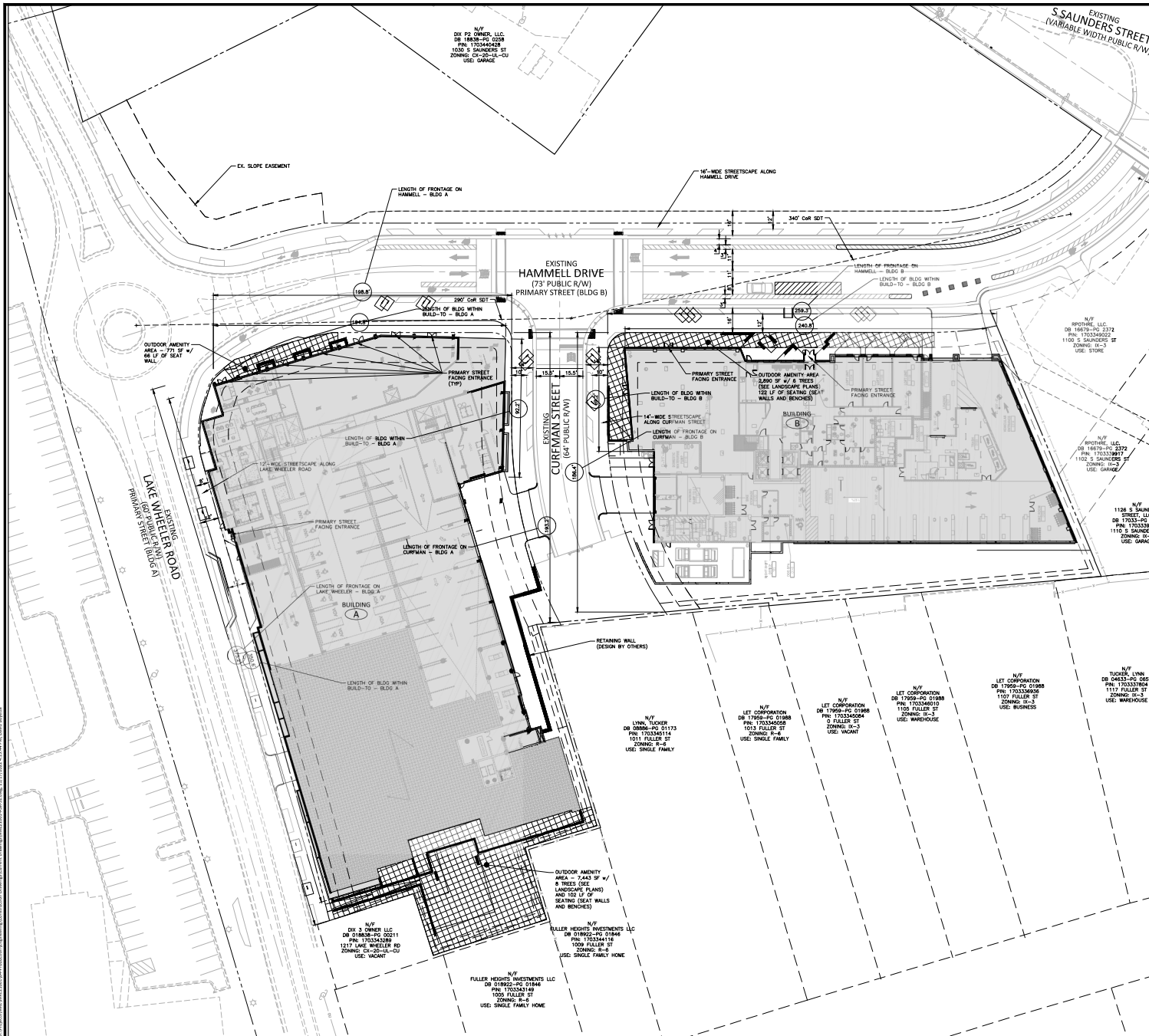
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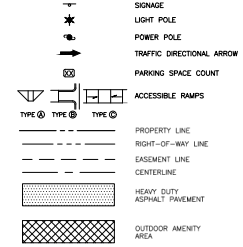
PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

**EXISTING CONDITIONS  
AREA "B"  
C1.01**





**SITE LEGEND**



**REQUIRED OPEN SPACE LOT 1 (BLDG A):**  
 TOTAL SITE AREA: 76,594 SF (31.73 AC)  
 10% OF SITE AREA: 7,659 SF (31.73 AC)  
 PER IOD SEC. 5.3.5.C.1.4 AN ADDITIONAL 10% OF OAS IS REQUIRED FOR STORES ABOVE 7  
 20 STORES - 7 STORES = 13 STORES = 650 ADDITIONAL SF  
 TOTAL REQUIRED OAS = 7,659 + 650 = 8,309 SF  
 PER IOD SEC. 5.3.5.C.1.1 MEN SON MUST BE AT GRADE (4,074 SF)  
 PROVIDED:  
 AT GRADE: 8,278 SF (31.79 AC)  
 ABOVE GRADE: 61 SF (0.26 AC)  
 TOTAL PROVIDED OUTDOOR AMENITY AREA: 8,339 SF (31.84 AC)

**REQUIRED OPEN SPACE LOT 2 (BLDG B):**  
 TOTAL SITE AREA: 10,904 SF (31.73 AC)  
 10% OF SITE AREA: 1,090 SF (31.73 AC)  
 PER IOD SEC. 5.3.5.C.1.4 AN ADDITIONAL 50% OF OAS IS REQUIRED FOR STORES ABOVE 7  
 20 STORES - 7 STORES = 13 STORES = 650 ADDITIONAL SF  
 TOTAL REQUIRED OAS = 1,090 + 650 = 1,740 SF  
 PER IOD SEC. 5.3.5.C.1.1 MEN SON MUST BE AT GRADE (2,875 SF)  
 PROVIDED:  
 AT GRADE: 2,893 SF (10.96 AC)  
 ABOVE GRADE: 2,857 SF (10.96 AC)  
 TOTAL PROVIDED OUTDOOR AMENITY AREA: 5,750 SF (20.92 AC)

**SIGHT TRIANGLE NOTES:**  
 1. WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF JUNCTIONS AND 1 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURB EXISTS.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	07.28.2022	CITY OF RALEIGH COMMENTS
2	08.11.2022	CITY OF RALEIGH COMMENTS
3	10.03.2022	CITY OF RALEIGH COMMENTS
4	11.02.2022	CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

PROJECT NO. MRE-21001  
 FILENAME: MRE21001-ASR-S1  
 CHECKED BY: DB  
 DRAWN BY: JJ  
 SCALE: 1" = 30'  
 DATE: 05.20.2022

**OVERALL SITE PLAN**

**C2.00**

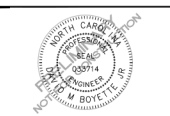
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**MACK** REAL ESTATE GROUP

**HAMMELL DRIVE MIXED USE  
 ADMINISTRATIVE SITE REVIEW  
 1008 HAMMELL DRIVE  
 RALEIGH, NC 27603**



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**HAMMELL DRIVE MIXED USE  
ADMINISTRATIVE SITE REVIEW  
1008 HAMMELL DRIVE  
RALEIGH, NC 27603**



**REVISIONS**

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3	10.03.2022	CITY OF RALEIGH COMMENTS
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**PLAN INFORMATION**

PROJECT NO.	MRE-21001
FILENAME	MRE21001-ASR-S1
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DRAWN BY	JJ
SCALE	1" = 20'
DATE	05.20.2022

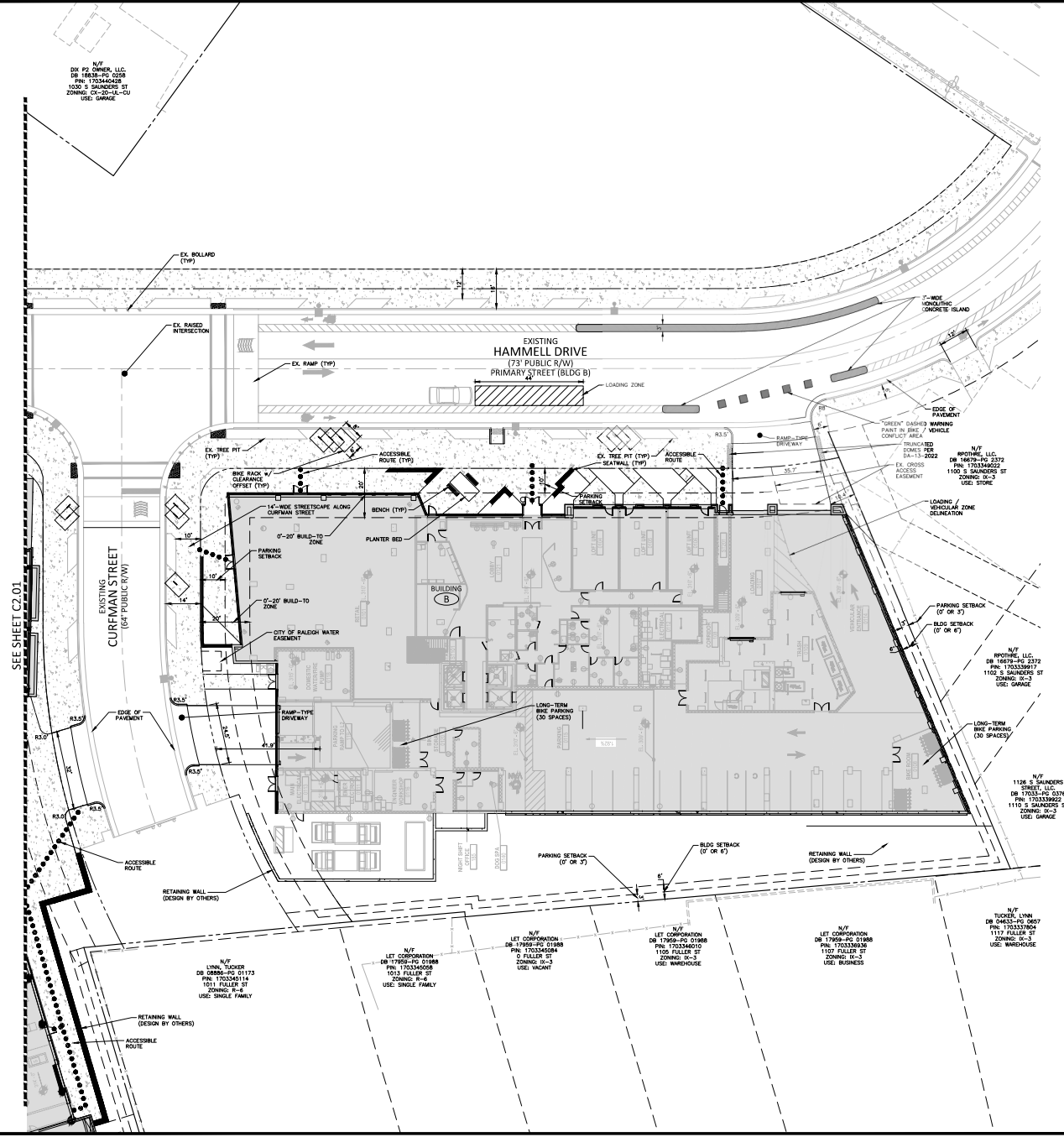
**SHEET**

**SITE PLAN  
AREA "B"**

**C2.02**

**SITE LEGEND**

- SIGNAGE
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTERLINE
- ▨ HEAVY DUTY ASPHALT PAVEMENT



SEE SHEET C2.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

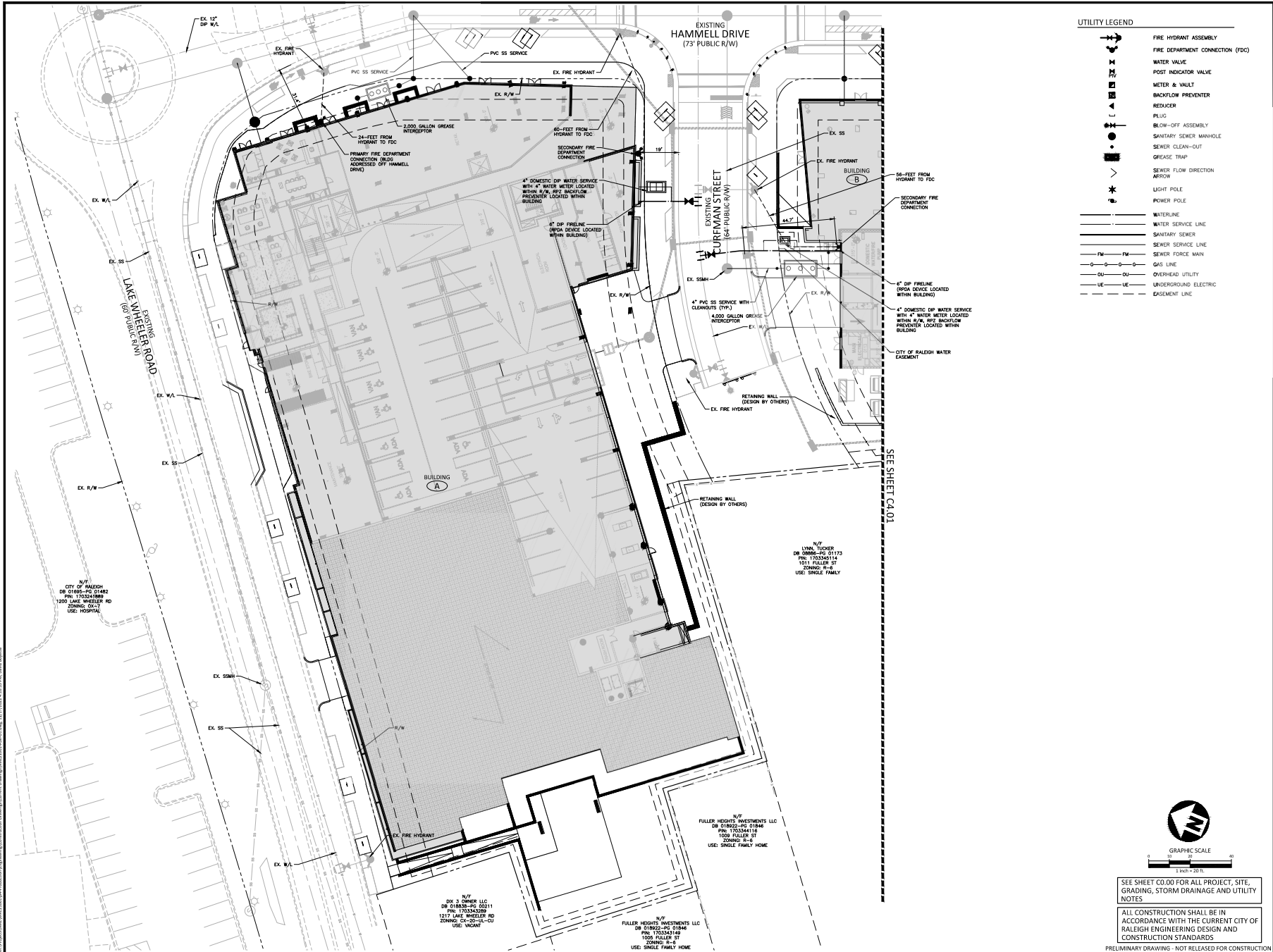
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PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

SEE SHEET C2.01

DATE PLOTTED: 05/20/2022 11:58:11 AM; PLOTTER: HP DesignJet T1100PS; PLOT SCALE: 1"=20'; PLOT SHEET: C2.02





**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER VALVE
- POST INDICATOR VALVE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- LIGHT POLE
- POWER POLE
- WATERLINE
- WATER SERVICE LINE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- EASEMENT LINE

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**REVISIONS**

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3	10.03.2022	CITY OF RALEIGH COMMENTS
4	11.02.2022	CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**

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FILENAME	MRE21001-ASR-U1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 20'
DATE	05.20.2022

**UTILITY PLAN  
AREA "A"  
C4.00**

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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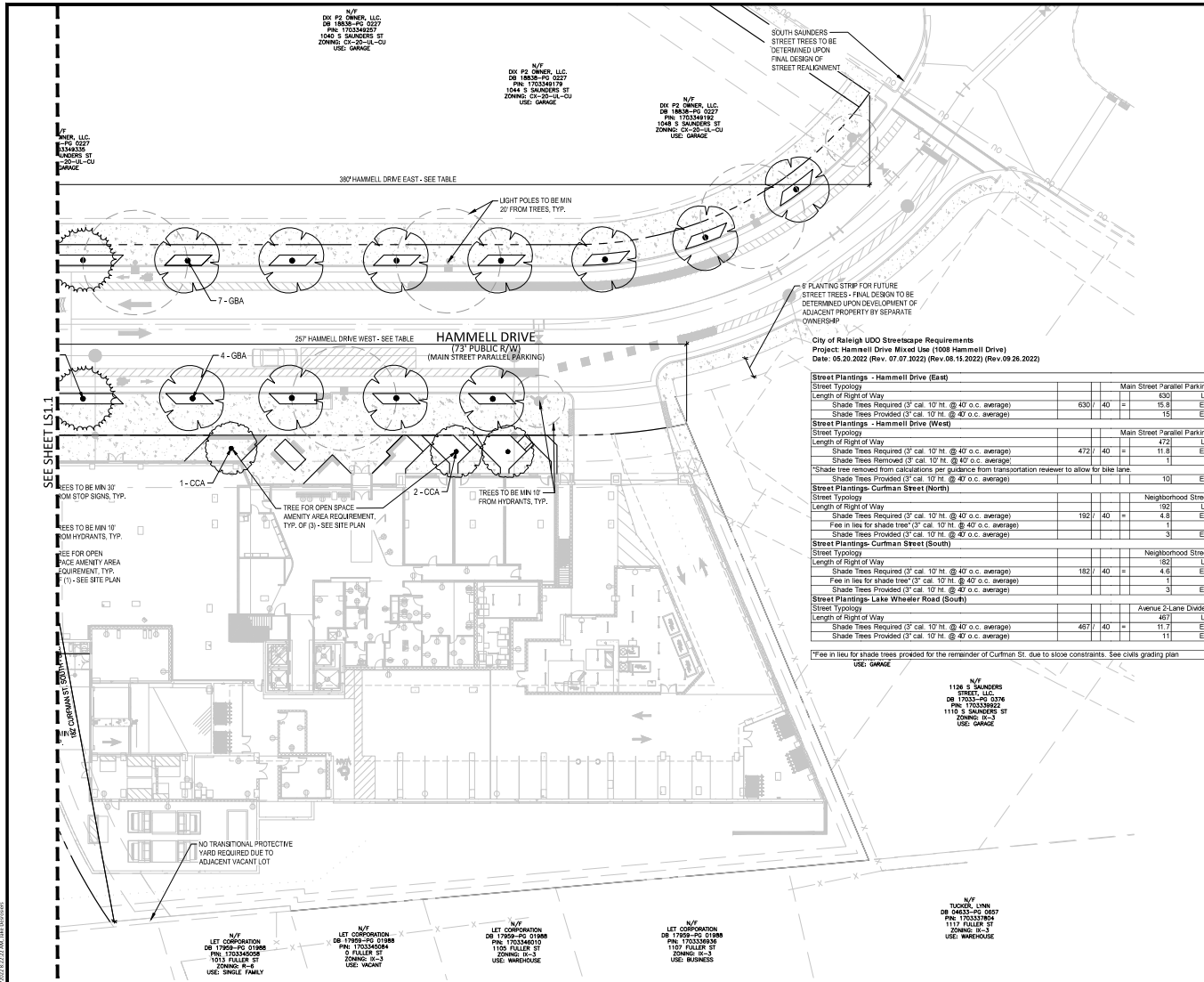
PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

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 User: jboyette





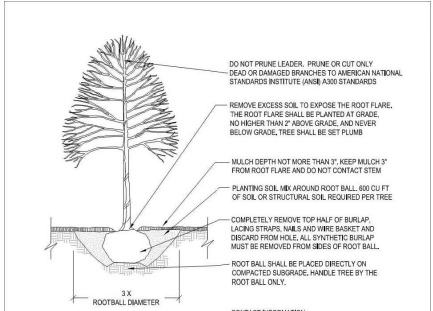




**City of Raleigh UDO Streetscape Requirements**  
 Project Hammell Drive Mixed Use (1008 Hammell Drive)  
 Date: 05.20.2022 (Rev. 07.07.2020) (Rev.08.15.2022) (Rev.09.26.2022)

Street Typology	Length of Right of Way	Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)	Main Street Parallel Parking	LF	EA
<b>Street Plantings - Hammell Drive (East)</b>	630' / 40' =	15.75	15			
<b>Street Plantings - Hammell Drive (West)</b>	472' / 40' =	11.8	1			
<b>Street Plantings - Curman Street (North)</b>	192' / 40' =	4.8	1			
<b>Street Plantings - Curman Street (South)</b>	182' / 40' =	4.55	1			
<b>Street Plantings - Lake Wheeler Road (South)</b>	457' / 40' =	11.425	11			

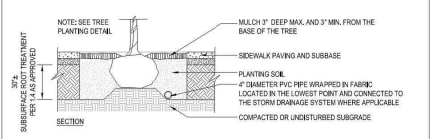
\*Free in lieu for shade trees provided for the remainder of Curman St. due to slope constraints. See civils grading plan USE: GARAGE



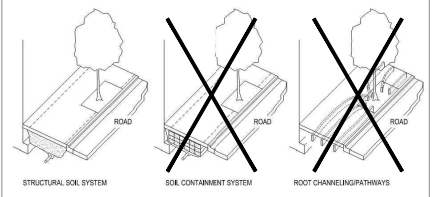
**CONTACT INFORMATION:**  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTRY  
 TREES@RALEIGH.GOV  
 WWW.RALEIGH.GOV

- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM PITS.
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPLANT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IS ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

REVISIONS	DATE	BY	DESCRIPTION
			TREE PLANTING DETAIL



- NOTES:**
- A SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSURE THAT:
    - EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIBLE SOIL VOLUME OF 800 CUBIC FEET.
    - THE TREE ROOT AREA BENEATH THE SIDEWALK IS EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPACE UNDER THE PAVEMENT.
    - CONNECT SOIL SPACE FOR ROOT EXPANSION WHERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO OVERLAP AND COLLECT A SHARED SOIL SPACE.
    - ANY COMBINATION OF STRUCTURAL SOIL, SOIL CONTAINMENT SYSTEM (e.g. SILVA CELL) OR ROOT CHANNELING (e.g. SOIL STRIP DRAINAGE) SYSTEM THAT PERFORMS AS SPECIFIED IS ACCEPTABLE.
    - 42" X 6" MINIMUM APPLIES TO BOTH STRUCTURAL SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEMS.
    - SUBSURFACE APPLICATION SHALL BE REVIEWED AND APPROVED BY CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES URBAN FORESTRY DIVISION PRIOR TO INSTALLATION.



REVISIONS	DATE	BY	DESCRIPTION
			TREE PLANTING IN SIDEWALK WITHIN ROW

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL.	SIZE
	CCA	12	Carpinus caroliniana / American Hornbeam	888	3"	10' MIN
	GBA	19	Gingko biloba 'Autumn Gold' TM / Autumn Gold Mandarin Tree	888	3"	10' MIN
	NSA	6	Nyssa sylvatica 'White' / White Tupelo	888	3"	10' MIN
	QNH	11	Quercus nuttallii 'QNF1A' TM / Highpoint Nuttall Oak	888	3"	10' MIN
	TDI	6	Taxodium distichum / Bald Cypress	888	3"	10' MIN

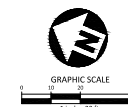
**PLANTING NOTES:**

- SEE LS1.2 FOR STANDARD CITY OF RALEIGH PLANTING DETAILS
- PLANT TYPES AND QUANTITIES SHOWN IN THE SCHEDULE ARE FOR THE ENTIRE PLANTING PLAN - SEE PLAN AND TABLE FOR SPECIFIC AREA QUANTITIES

**TREE CONSERVATION AREA PLAN:**

- TCA PLAN IS NOT APPLICABLE AS NO TREES ON SITE QUALIFY FOR TREE CONSERVATION PER UDO 9.1

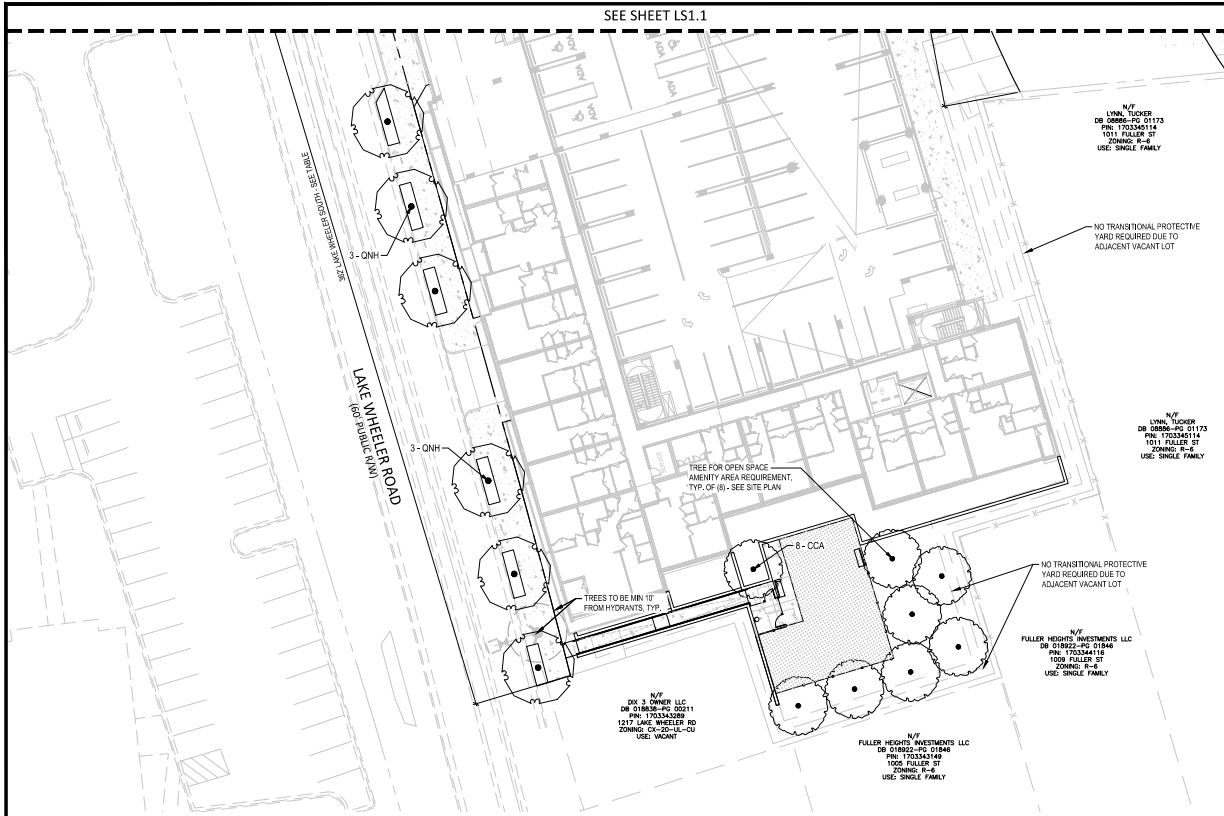
**CONTACT INFORMATION:**  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT  
 URBAN FORESTRY: TREES@RALEIGH.GOV  
 WWW.RALEIGH.GOV



SEE CIVIL SHEETS FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

SEE SHEET LS1.1



**JDAVIS**  
 510 South Wilmington St., Raleigh, NC 27601 | Tel 919.835.1500  
 1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | Tel 215.452.0121

**MCADAMS**  
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 phone 919.823.4300  
 fax 919.361.2269  
 license number: C-0293, C-187  
 www.mcadamsco.com

**CLIENT**  
 MACK REAL ESTATE GROUP  
 60 COLUMBUS CIRCLE, 20TH FLOOR  
 NEW YORK, NEW YORK 10023  
 PHONE: 212.484.0068

**MACK** REAL ESTATE GROUP

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	CCA	12	Carpinus caroliniana / American Hornbeam	888	3"	10' MN
	GBA	19	Ginkgo biloba 'Autumn Gold' TM / Autumn Gold Maidenhair Tree	888	3"	10' MN
	NSW	6	Nyssa sylvatica 'Wilfire' / Wilfire Tupelo	888	3"	10' MN
	QNH	11	Quercus nuttallii 'NFTA' TM / Highpoint Nuttall Oak	888	3"	10' MN
	TDI	6	Taxodium distichum / Bald Cypress	888	3"	10' MN

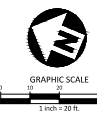
City of Raleigh UDO Streetscape Requirements  
 Project: Hammell Drive Mixed Use (1008 Hammell Drive)  
 Date: 05.20.2022 (Rev. 07.07.2022) (Rev. 08.15.2022) (Rev. 09.26.2022)

Street Typology	Length of Right of Way	Shade Trees Required (3" cal. 10' ht. @ 47' o.c. average)	Shade Trees Provided (3" cal. 10' ht. @ 47' o.c. average)	Free in lieu for shade trees (3" cal. 10' ht. @ 47' o.c. average)	Notes
<b>Street Plantings - Hammell Drive (East)</b>					
Street Typology					Main Street Parallel Parking
Length of Right of Way					630'
Shade Trees Required (3" cal. 10' ht. @ 47' o.c. average)		630'	40	=	15.8 EA
Shade Trees Provided (3" cal. 10' ht. @ 47' o.c. average)					15 EA
<b>Street Plantings - Hammell Drive (West)</b>					
Street Typology					Main Street Parallel Parking
Length of Right of Way					472'
Shade Trees Required (3" cal. 10' ht. @ 47' o.c. average)		472'	40	=	11.8 EA
Shade Trees Provided (3" cal. 10' ht. @ 47' o.c. average)					1 EA
Free in lieu for shade trees (3" cal. 10' ht. @ 47' o.c. average)					1 EA
<b>Street Plantings - Curman Street (North)</b>					
Street Typology					Neighborhood Street
Length of Right of Way					192'
Shade Trees Required (3" cal. 10' ht. @ 47' o.c. average)		192'	40	=	4.8 EA
Shade Trees Provided (3" cal. 10' ht. @ 47' o.c. average)					1 EA
Free in lieu for shade trees (3" cal. 10' ht. @ 47' o.c. average)					3 EA
<b>Street Plantings - Curman Street (South)</b>					
Street Typology					Neighborhood Street
Length of Right of Way					182'
Shade Trees Required (3" cal. 10' ht. @ 47' o.c. average)		182'	40	=	4.6 EA
Shade Trees Provided (3" cal. 10' ht. @ 47' o.c. average)					1 EA
Free in lieu for shade trees (3" cal. 10' ht. @ 47' o.c. average)					3 EA
<b>Street Plantings - Lake Wheeler Road (South)</b>					
Street Typology					Avenue 2-Lane Divided
Length of Right of Way					467'
Shade Trees Required (3" cal. 10' ht. @ 47' o.c. average)		467'	40	=	11.7 EA
Shade Trees Provided (3" cal. 10' ht. @ 47' o.c. average)					11 EA

\*Free in lieu for shade trees provided for the remainder of Curman St. due to slope constraints. See civils grading plan.

**PLANTING NOTES:**  
 1. SEE LS1.2 FOR STANDARD CITY OF RALEIGH PLANTING DETAILS  
 2. PLANT TYPES AND QUANTITIES SHOWN IN THE SCHEDULE ARE FOR THE ENTIRE PLANTING PLAN - SEE PLAN AND TABLE FOR SPECIFIC AREA QUANTITIES

**TREE CONSERVATION AREA PLAN:**  
 1. TCA PLAN IS NOT APPLICABLE AS NO TREES ON SITE QUALIFY FOR TREE CONSERVATION PER UDO 9.1



SEE CIVIL SHEETS FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**HAMMELL DRIVE MIXED USE ADMINISTRATIVE SITE REVIEW**  
 1008 HAMMELL DRIVE  
 RALEIGH, NC, 27603



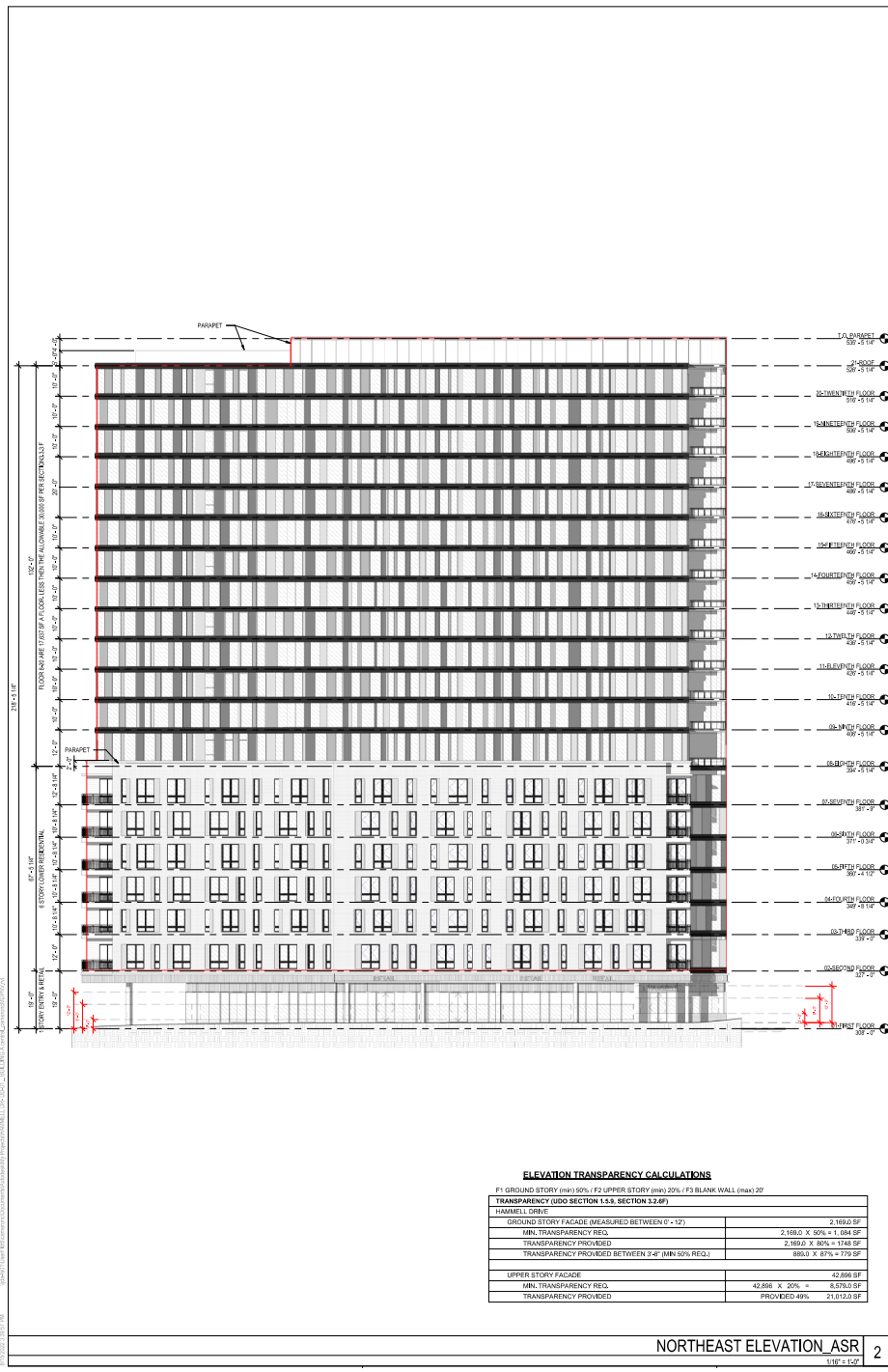
**REVISIONS**

NO.	DATE	DESCRIPTION
1	07.08.2022	CITY OF RALEIGH COMMENTS
2	08.16.2022	CITY OF RALEIGH COMMENTS
3	10.03.2022	CITY OF RALEIGH COMMENTS

**PLAN INFORMATION**  
 PROJECT NO. 21200  
 FILENAME: 21200\_CODE REQUIRED\_ASR\_08  
 CHECKED BY JEA  
 DRAWN BY JEA  
 SCALE 1" = 20'  
 DATE 05.20.2022

**LANDSCAPE PLAN AREA "C"**  
**LS1.3**

P:\21200\21200\_Hammell Drive\LS1.3.dwg, 05/20/2022, 2:23:23 PM, JRM, JRM

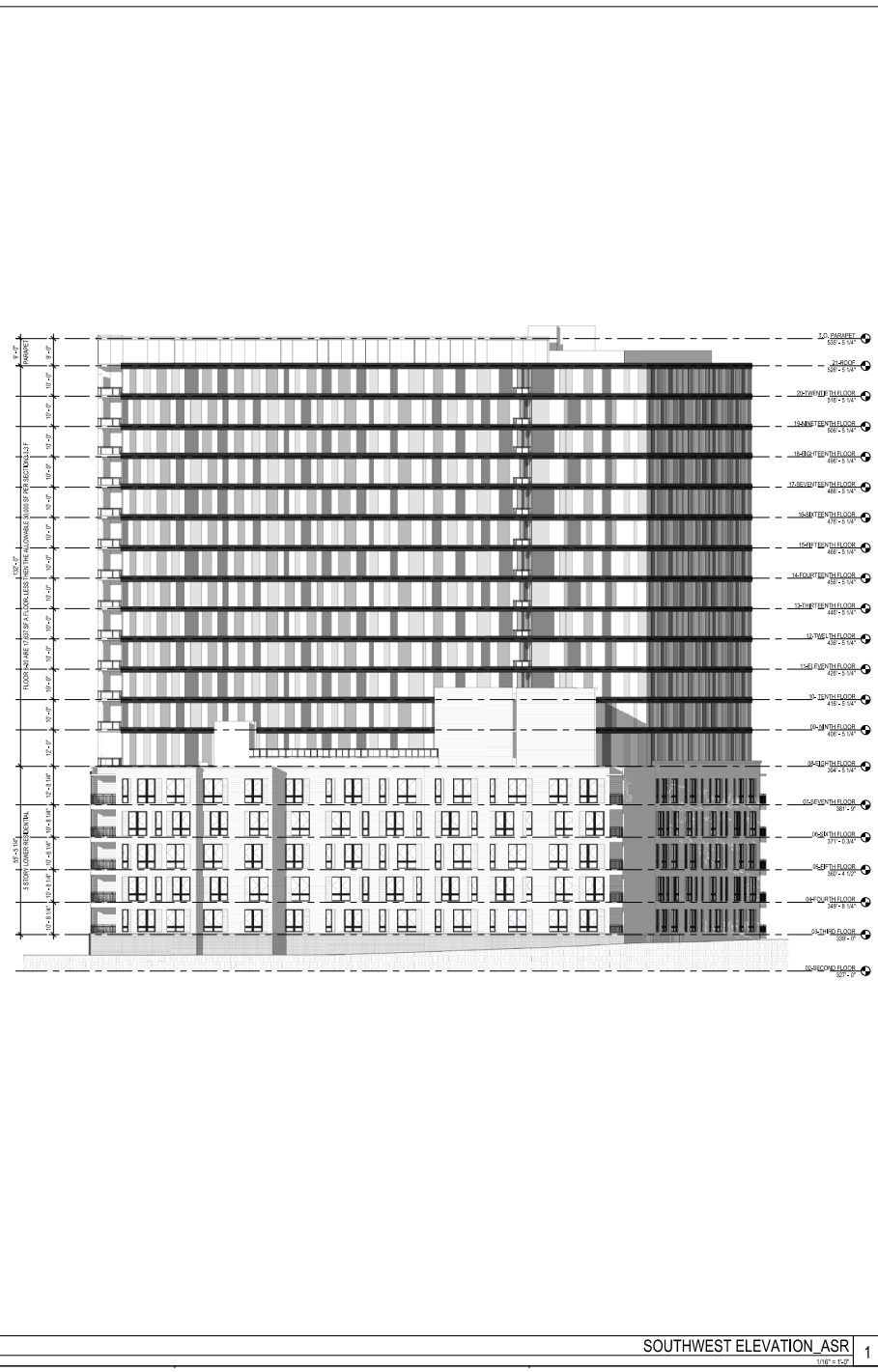


**ELEVATION TRANSPARENCY CALCULATIONS**

F1 GROUND STORY (min) 50% / F2 UPPER STORY (min) 20% / F3 BLANK WALL (min) 20%

TRANSPARENCY (UDO SECTION 1.5.5, SECTION 3.2.6)	
HAMMELL OFFICE	
GROUND STORY FACADE (MEASURED BETWEEN 0' - 12')	2,189.0 SF
MIN. TRANSPARENCY REQ.	2,189.0 X 50% = 1,094.5 SF
TRANSPARENCY PROVIDED	2,189.0 X 90% = 1,970.1 SF
TRANSPARENCY PROVIDED BETWEEN 3'-6" (MIN 50% REQ.)	893.0 X 87% = 776.9 SF
UPPER STORY FACADE	42,888 SF
MIN. TRANSPARENCY REQ.	42,888 X 20% = 8,577.6 SF
TRANSPARENCY PROVIDED	PROVIDED 49% 21,012.0 SF

NORTHEAST ELEVATION\_ASR 2  
1/8" = 1'-0"



SOUTHWEST ELEVATION\_ASR 1  
3/8" = 1'-0"

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MTE:491.005

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1725 Chatham Street, 7th Floor | Philadelphia, PA 19107  
M: 919.533.1500

**MEP ENGINEER**  
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M: 919.858.8781

**STRUCTURAL**  
Structural Engineer  
4208 Six Forks Road | Raleigh, NC 27609  
M: 919.522.2660

**PROJECT** 3100  
**DATE** 09/18/2022  
**ESR#** ADMINISTRATIVE SITE REVIEW  
**REV** 09/19/2022  
**REV ID** 7030602  
**APP-1** 09/19/2022  
**APP-4** 9/20/2022

**REVISIONS**

**DRAWN BY** Author  
**CHECKED BY** Checker  
**CONTENT** NORTHEAST AND SOUTHWEST ELEVATIONS

Mack Real Estate Group | SLI Capital  
Hammell Dr. Bldg. A

SP-201







**ELEVATION TRANSPARENCY CALCULATIONS**

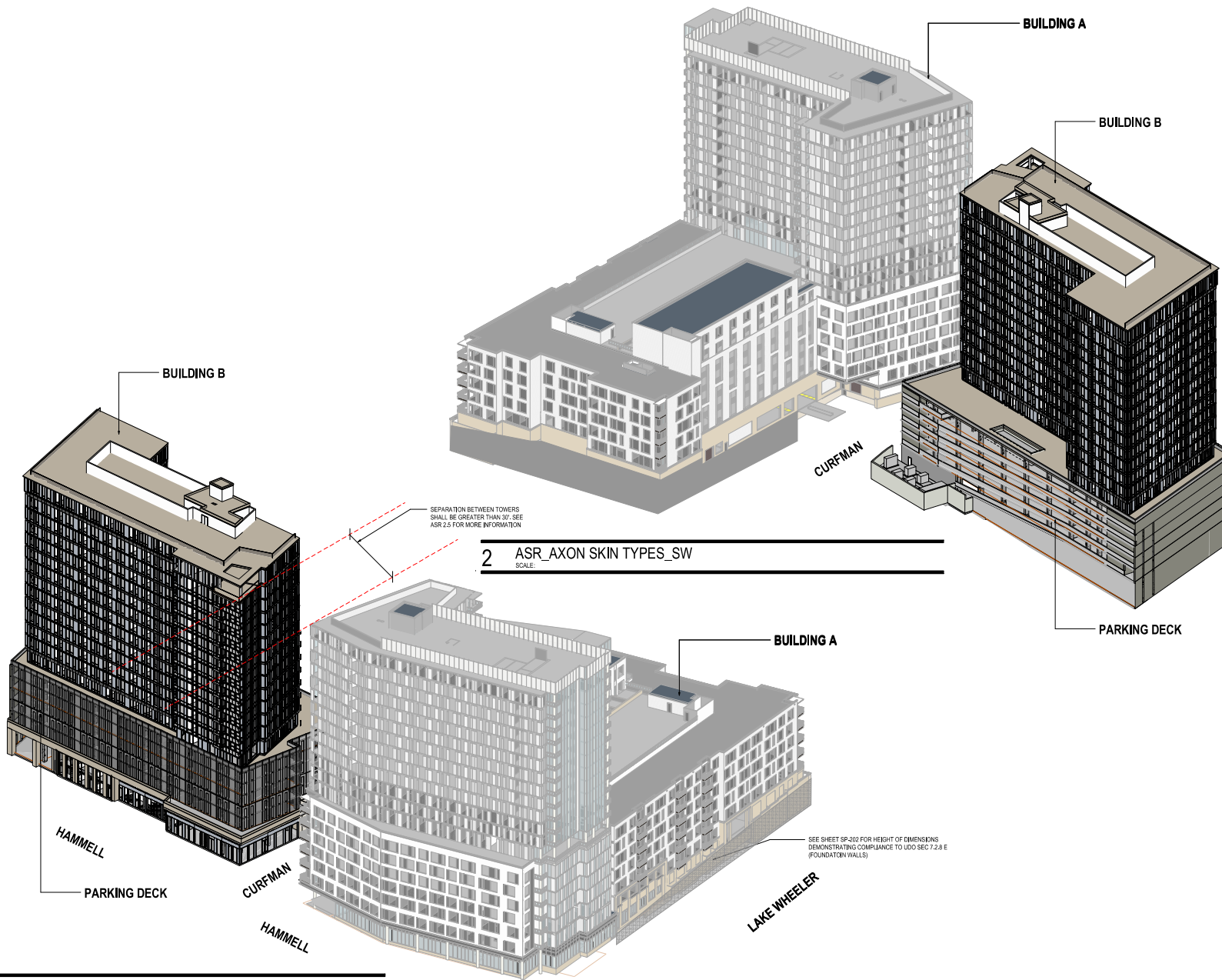
F1 GROUND STORY (min) 50% / F2 UPPER STORY (min) 20% / F3 BLANK WALL (max) 20%  
 TRANSPARENCY (UDO SECTION 1.5.6, SECTION 3.2.6F)

CORNERMAN ST	
GROUND STORY FACADE (MEASURED BETWEEN 0' - 12')	2,667.0 SF
MIN. TRANSPARENCY REQ.	2,667.0 X 50% = 1,333.5 SF
TRANSPARENCY PROVIDED	2,667.0 X 57% = 1,519.1 SF
TRANSPARENCY PROVIDED BETWEEN 3'-4" (MIN 50% REQ.)	912.0 X 56.2% = 513.5 SF
UPPER STORY FACADE	
MIN. TRANSPARENCY REQ.	30,083.0 X 20% = 7,216.6 SF
TRANSPARENCY PROVIDED	PROVIDED 31% 11,426.0 SF

PROJECT	ISSUE	DATE
ADMINISTRATIVE SITE REVIEW	ISSUE	09/18/2022
	ISSUE	09/19/2022
	ISSUE	09/19/2022
	ISSUE	09/19/2022
ISSUE	09/19/2022	09/20/2022

DRAWN BY	Author
CHECKED BY	Checker
CONTENT	SOUTHEAST EXTERIOR ELEVATIONS

2/15/2022 10:51:01 AM Autodesk Civil 3D (R) 2014.1.000 - MREG\_SLI - Plan Tower Architecture - 004973.000 - MREG\_SLI (Plan Tower) 1



**1 ASR\_AXON SKIN TYPES\_NE**  
SCALE:

**2 ASR\_AXON SKIN TYPES\_SW**  
SCALE:

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**Gensler**

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Fax: 919.238.7829



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United States  
Tel: 703.297.6249



**Optima**  
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**JDAVIS**  
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United States  
Tel: 919.835.1494

Date	Description
1 07.28.22	City of Raleigh Comments
2 08.16.22	City of Raleigh Comments
09.28.22	City of Raleigh Comments

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name

MREG / SLI - Dix Park Bldg B  
Resi Tower

Project Number

90.0479.000

Description

BUILDING B - AXON

Scale

**ASR 2.0**

©2015 Gensler



LEVEL 20 TOTAL WALL AREA	= 1,300 SF (100'-0" X 12'-0")
LEVEL 20 TRANSPARENT AREA	= 832 SF (69'-0" X 12'-0")
LEVEL 20 TRANSPARENCY %	= 64% (20% REQUIRED)
LEVEL 19 TOTAL WALL AREA	= 993 SF (82'-0" X 12'-0")
LEVEL 19 TRANSPARENT AREA	= 546 SF (45'-0" X 12'-0")
LEVEL 19 TRANSPARENCY %	= 55% (20% REQUIRED)
LEVEL 18 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 18 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 18 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 17 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 17 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 17 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 16 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 16 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 16 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 15 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 15 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 15 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 14 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 14 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 14 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 13 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 13 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 13 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 12 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 12 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 12 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 11 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 11 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 11 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 10 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 10 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 10 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 09 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 09 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 09 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 08 TOTAL WALL AREA	= 827 SF (62'-0" X 10'-0")
LEVEL 08 TRANSPARENT AREA	= 446 SF (44'-7" X 10'-0")
LEVEL 08 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 07 TOTAL WALL AREA	= 870 SF (69'-10" X 12'-0")
LEVEL 07 TRANSPARENT AREA	= 621 SF (51'-0" X 12'-0")
LEVEL 07 TRANSPARENCY %	= 64% (20% REQUIRED)
(UDO 1.5.9 & 3.2.6)	
LEVEL 01 TOTAL WALL AREA (AGP TO 12")	= 1,488 SF (74'-11" X 20'-0")
LEVEL 01 TRANSPARENT AREA	= 749 SF (37'-0" X 20'-0")
LEVEL 01 TRANSPARENCY %	= 50% (749 SF)
(UDO 1.5.9 & 3.2.6)	
LEVEL 1 TRANSPARENT AREA (S/F - 30' ABOVE AVERAGE GRADE)	= 418 SF (83'-10" X 5'-0")
50% OF REQUIRED TRANSPARENCY.	= 374 SF (UDO 1.5.9.B.1)
GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE. (UDO 1.5.9, B.4)	

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United States  
Tel: 919.835.1494

Date	Description
05.18.22	ASR Submission
1 07.08.22	City of Raleigh Comments
2 08.16.22	City of Raleigh Comments
09.28.22	City of Raleigh Comments

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name

MREG / SLI - Dix Park Bldg B  
Resi Tower

Project Number

90,0479,000

Description

BUILDING B - NORTH ELEVATION

Scale

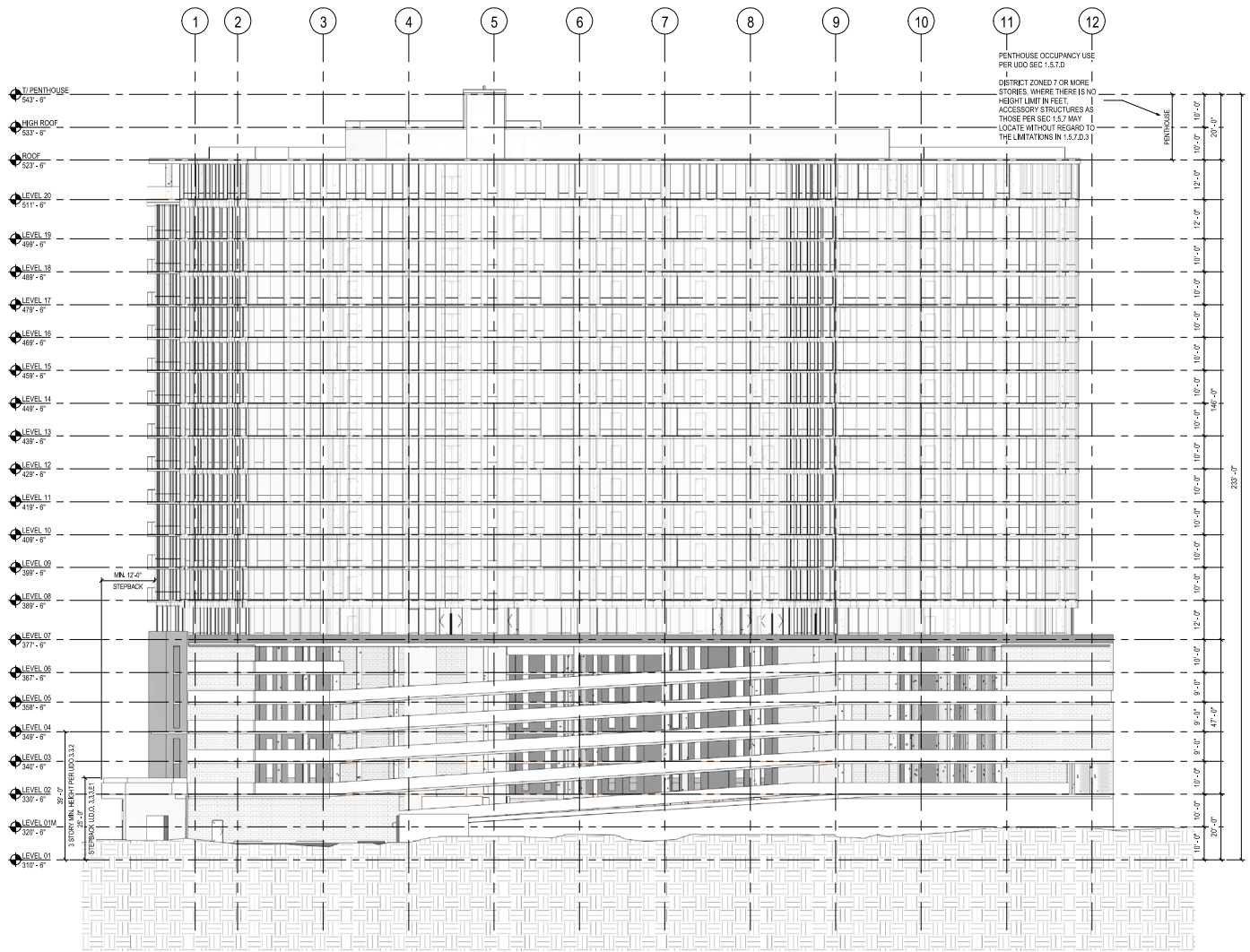
1/16" = 1'-0"

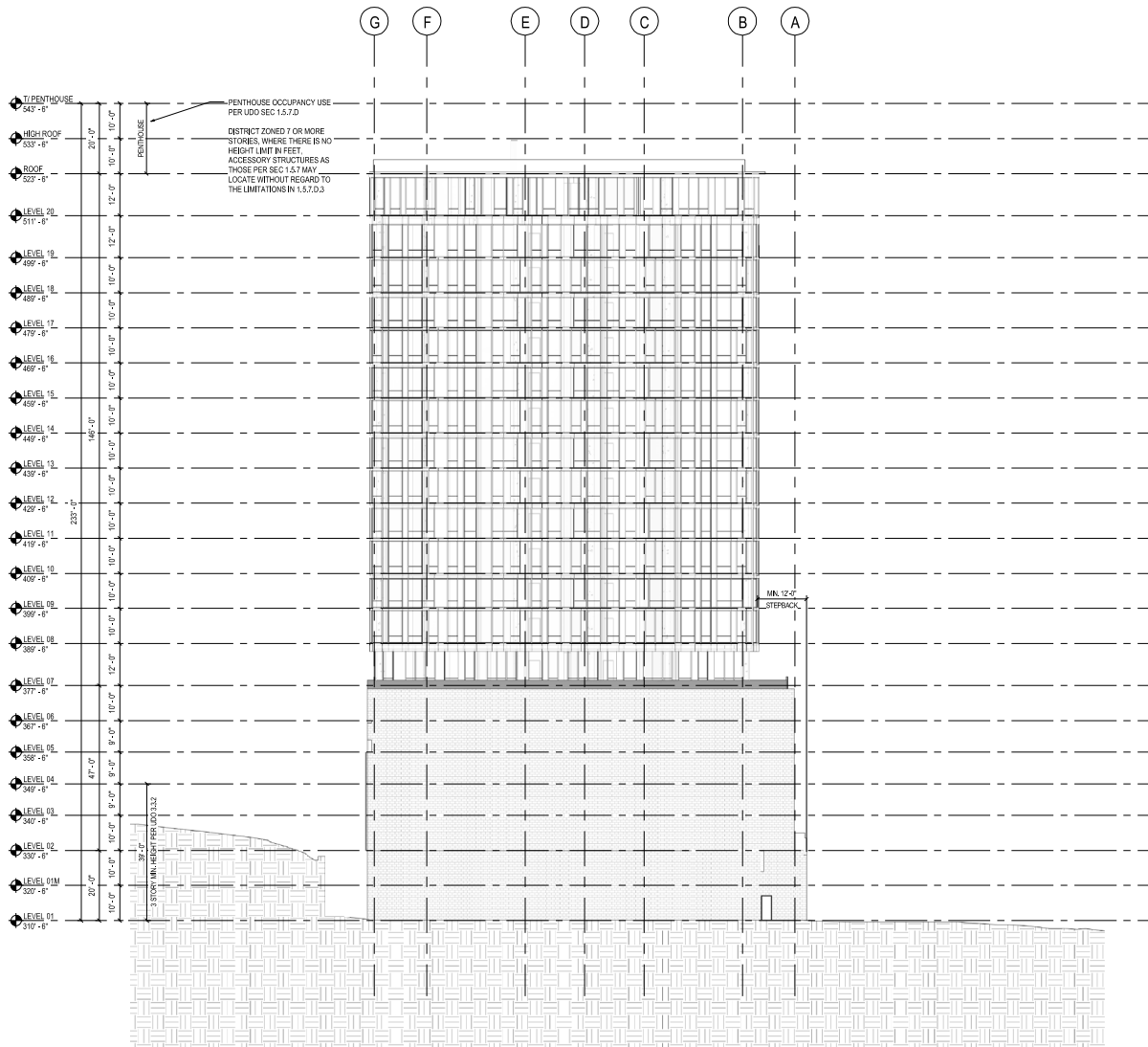
**ASR 2.1**

**1 ASR - NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



2/15/2022 15:31:04 Autodesk Civil 3D (600324) 200 - MREG\_SLI - Rn1 TowerArchitectural - 504913.00 - MREG\_SLI (Rn1 Tower)





**1 ASR - SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

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Date	Description
05.18.22	ASR Submission
1 07.08.22	City of Raleigh Comments
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09.28.22	City of Raleigh Comments

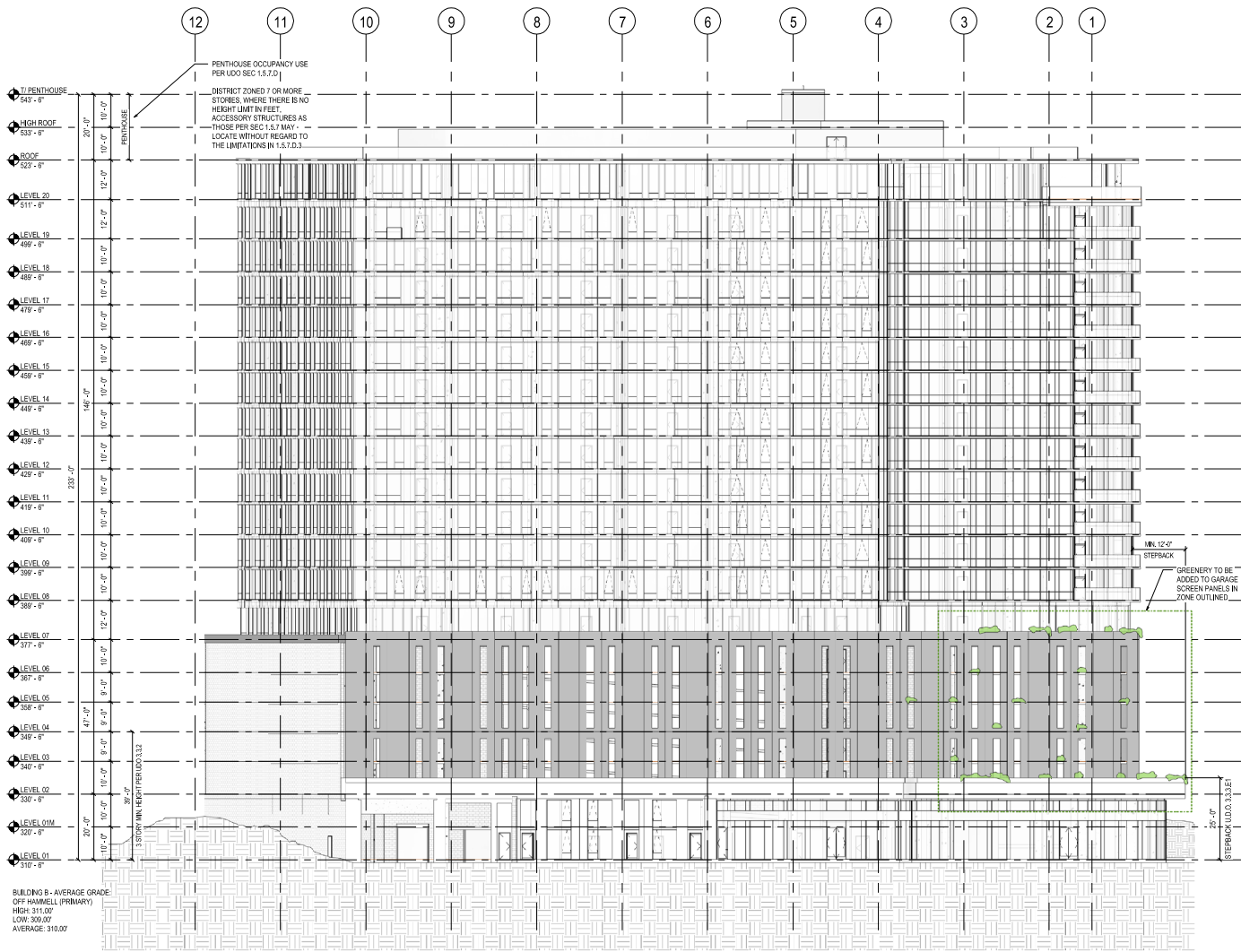
Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
**MREG / SLI - Dix Park Bldg B Resi Tower**  
Project Number  
**90.0479.000**  
Description  
**BUILDING B - SOUTH ELEVATION**

Scale  
1/16" = 1'-0"

**ASR 2.3**



LEVEL 20 TOTAL WALL AREA	= 2,490 SF (207'-8" X 12'-0")
LEVEL 20 TRANSPARENT AREA	= 1,563 SF (132'-3" X 12'-0")
LEVEL 20 TRANSPARENCY %	= 64% (20% REQUIRED)
LEVEL 19 TOTAL WALL AREA	= 2,383 SF (243'-4" X 12'-0")
LEVEL 19 TRANSPARENT AREA	= 1,586 SF (132'-2" X 12'-0")
LEVEL 19 TRANSPARENCY %	= 55% (20% REQUIRED)
LEVEL 18 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 18 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 18 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 17 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 17 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 17 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 16 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 16 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 16 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 15 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 15 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 15 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 14 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 14 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 14 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 13 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 13 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 13 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 12 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 12 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 12 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 11 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 11 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 11 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 10 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 10 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 10 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 09 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 09 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 09 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 08 TOTAL WALL AREA	= 2,403 SF (240'-4" X 10'-0")
LEVEL 08 TRANSPARENT AREA	= 1,297 SF (129'-2" X 10'-0")
LEVEL 08 TRANSPARENCY %	= 54% (20% REQUIRED)
LEVEL 07 TOTAL WALL AREA	= 2,700 SF (225'-0" X 12'-0")
LEVEL 07 TRANSPARENT AREA	= 1,738 SF (144'-2" X 12'-0")
LEVEL 07 TRANSPARENCY %	= 64% (20% REQUIRED) (UDO 1.5.9 & 3.2.6)
LEVEL 01 TOTAL WALL AREA (AGP TO 12")	= 4,272 SF
LEVEL 01 TRANSPARENT AREA	= 2,265 SF
LEVEL 01 TRANSPARENCY %	= 53%
LEVEL 01 TRANSPARENT AREA	= 59% (2,136 SF)
LEVEL 1 TRANSPARENT AREA	= 1,084 SF (216'-0" X 5'-0")
50% OF REQUIRED TRANSPARENCY	= 1,084 SF (UDO 1.5.9.B.1)

BUILDING B - AVERAGE GRADE  
 (D/F HAMMILL (PRIMARY))  
 HIGH: 310.00'  
 LOW: 309.00'  
 AVERAGE: 310.00'

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Date	Description
05.18.22	ASR Submission
1 07.08.22	City of Raleigh Comments
2 08.16.22	City of Raleigh Comments
09.28.22	City of Raleigh Comments

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
**MREG / SLI - Dix Park Bldg B Resi Tower**

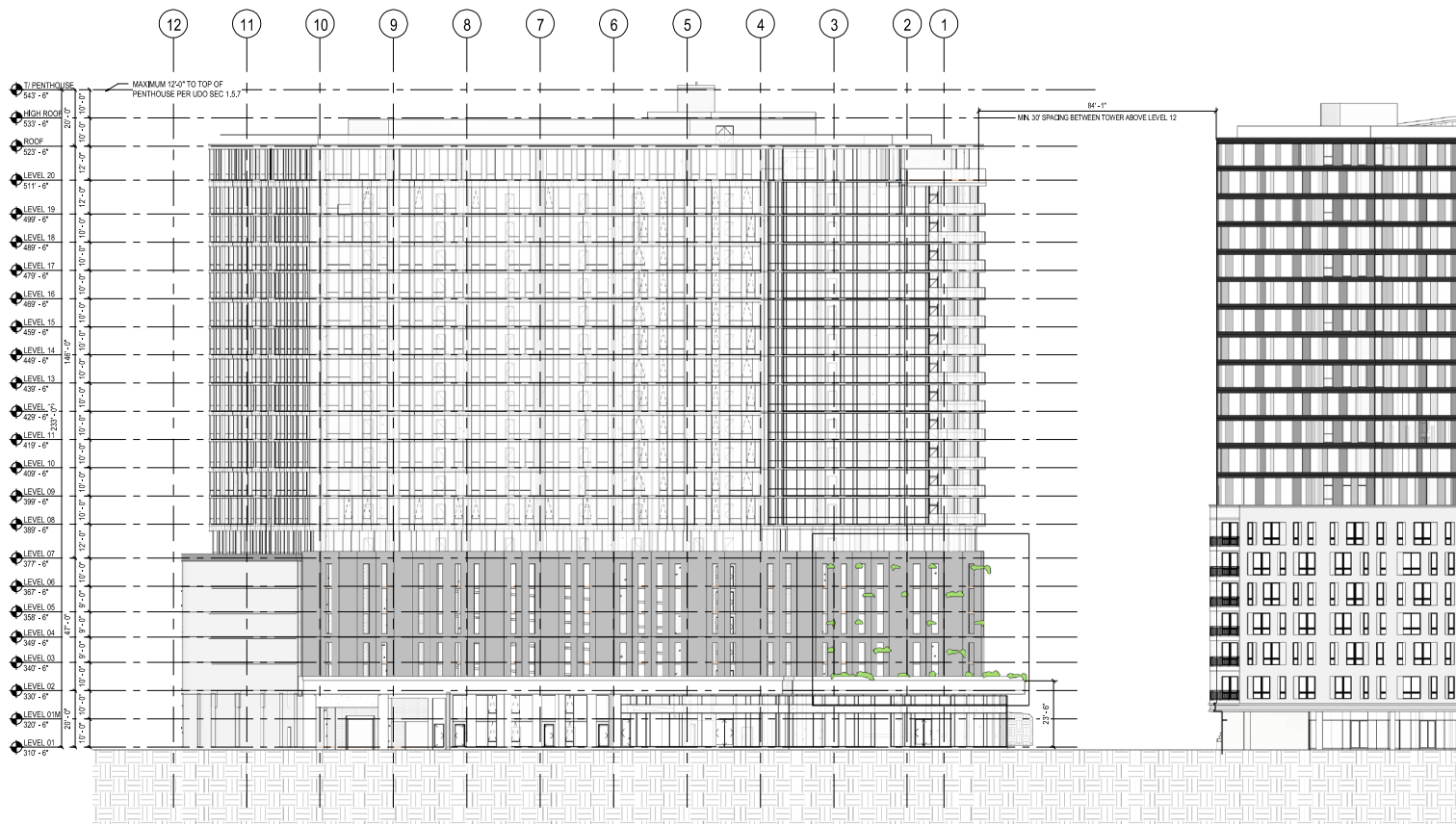
Project Number  
**90,0479,000**

Description  
**BUILDING B - EAST ELEVATION**

Scale  
**1/16" = 1'-0"**

**ASR 2.4**

2/15/2022 12:53 PM Anderson Cross (R000247) 000 - MREG\_SLI - Resi Tower Architecture - 504763.000 - MREG\_SLI (Resi Tower) 1



**1 ASR - EAST ELEVATION + BUILDING A**  
SCALE: 1" = 20'-0"

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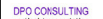
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Date	Description
05.18.22	ASR Submission
07.08.22	City of Raleigh Comments
08.16.22	City of Raleigh Comments
09.28.22	City of Raleigh Comments

Seal / Signature

**NOT FOR CONSTRUCTION**

Project Name  
**MREG / SLI - Dix Park Bldg B Resi Tower**  
Project Number  
**90.0479.000**

Description  
**BUILDING B - EAST ELEVATION WITH BUILDING A**

Scale  
**1" = 20'-0"**

**ASR 2.5**

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