



Administrative Approval Action

Case File / Name: ASR-0046-2019
5925 FALLS OF NEUSE ROAD

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the west of Falls of Neuse Road, north of the intersection of Falls of Neuse Road and Falls Church Road, with a common street addresses of 5925 Falls of Neuse Road.

REQUEST: Change of use from general office to medical with associated site improvements, including right-of-way dedication, ADA improvements, parking lot modifications and new dumpster enclosure; no building expansion is proposed at this time. The property is approximately 1.4 acres zoned OX-3-GR.

Design Adjustment (A-158-19) approved granting relief from the cross-access requirement set forth in Section 8.3.5.D to eliminate cross access to PINS 1716294307, 1716292764 and 1716295176.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 6, 2020 by Williams & Daily Dental.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. Slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Urban Forestry

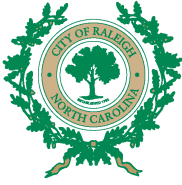
4. A public infrastructure surety for 5 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for 1' of sidewalk width across the entire shall be paid to the City of Raleigh (UDO 8.1.10).



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2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Falls of Neuse Road.

The following are required prior to issuance of building occupancy permit:

General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Urban Forestry

2. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

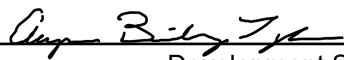
3-Year Expiration Date: April 16, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

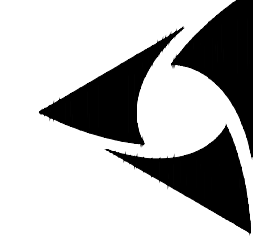
I hereby certify this administrative decision.

Signed:  Date: 04/16/2020
Development Services Dir/Designee

Staff Coordinator: Ryan Boivin

ADMINISTRATIVE SITE REVIEW PLAN FOR: 5925 FALLS OF NEUSE ROAD CITY OF RALEIGH, NC

PABST DESIGN GROUP, PA Engineering | Consulting



404-B Glenwood Avenue, Raleigh, North Carolina 27603 Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3911

PREPARED FOR: WILLIAMS & DAILY DENTAL 6837 FALLS OF NEUSE RD. STE. 200 RALEIGH, NC 27615 DATE: 7/8/2019 PROJECT ENGINEER: PJP PROJECT CADD DESIGNER: WMP PROJECT SURVEYOR: NEWCOMB LAND SURVEYORS, PLLC

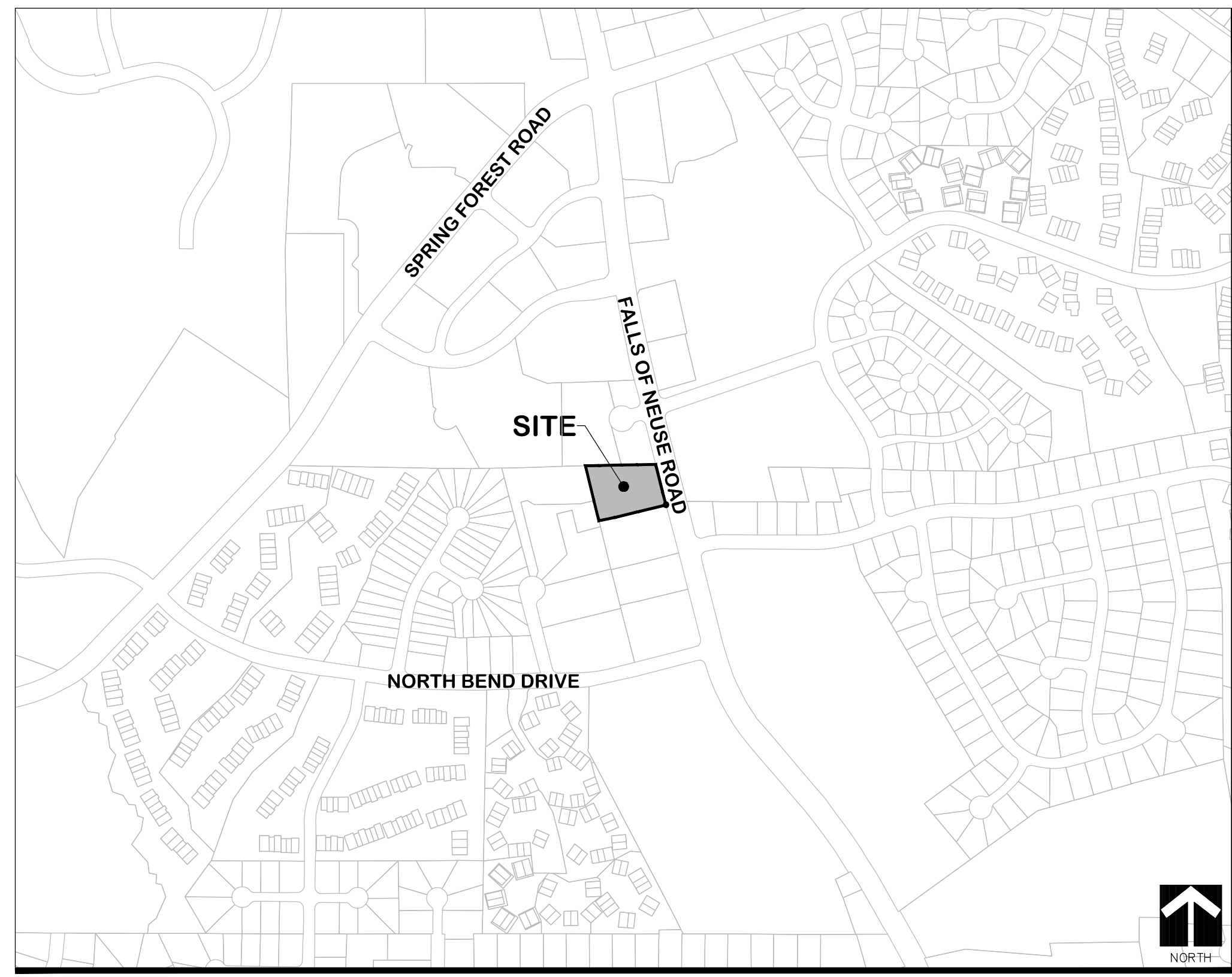
5925 FALLS OF NEUSE ROAD CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW COVER SHEET

Table with columns: NO., DATE, REVISION, REVISED PER COR COR COMMENTS

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DRAWING SHEET C-0.0 PROJECT NUMBER 441-19

Administrative Site Review Application form with sections: DEVELOPMENT SERVICES, Office Use Only, Building Type, Site Transaction History, GENERAL INFORMATION, and signature block.



VICINITY MAP 1" = 500'

OWNER/APPLICANT: W&D ASSETS, LLC 3700 GLENWOOD AVENUE, SUITE 250 RALEIGH, NC 27612 CIVIL ENGINEER: PABST DESIGN GROUP, PA 404-B GLENWOOD AVENUE RALEIGH, NC 27603 SURVEYOR: NEWCOMB LAND SURVEYORS, PLLC 7008 HARPS MILL ROAD STE 105 RALEIGH, NC 27615 ARCHITECT: 310 ARCHITECTURE + INTERIORS, PA 302 JEFFERSON STREET SUITE 250 RALEIGH, NC 27605

DEVELOPMENT TYPE + SITE DATE TABLE and SIGNATURE BLOCK section of the application form.

INDEX TO PLANS: C-0.0 COVER SHEET, C-1.0 AS BUILT SURVEY, C-2.0 EXISTING CONDITIONS AND DEMOLITION PLAN, C-2.1 SITE LAYOUT PLAN, C-2.2 TRASH TRUCK INGRESS / EGRESS PLAN, C-2.3 FIRE TRUCK INGRESS / EGRESS PLAN, C-2.4 SIGHT TRIANGLE PLAN, C-3.0 UTILITY PLAN, C-4.0 GRADING AND STORM DRAINAGE PLAN, D-1.0 SITE DETAIL SHEET, D-1.1 SITE DETAIL SHEET, D-2.0 UTILITY DETAIL SHEET, L-1.0 LANDSCAPE PLAN, SL-1 SITE LIGHT PHOTOMETRIC PLAN, SL-2 LIGHT FIXTURE CUT SHEETS, SL-3 LIGHT FIXTURE CUT SHEETS, SL-4 LIGHT FIXTURE CUT SHEETS, A4.01 FIRST FLOOR NEW WORK FLOOR PLAN, A4.02 DEMOLITION EXTERIOR ELEVATIONS, A4.03 NEW WORK EXTERIOR ELEVATIONS, A4.04 SITE ENCLOSURE DETAILS

NOTES: 1. NO SITE LIGHTING IS PROPOSED FOR THIS PROJECT. IF OWNER DECIDES TO ADD LIGHTING, A LIGHTING PLAN MEETING CITY OF RALEIGH LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.

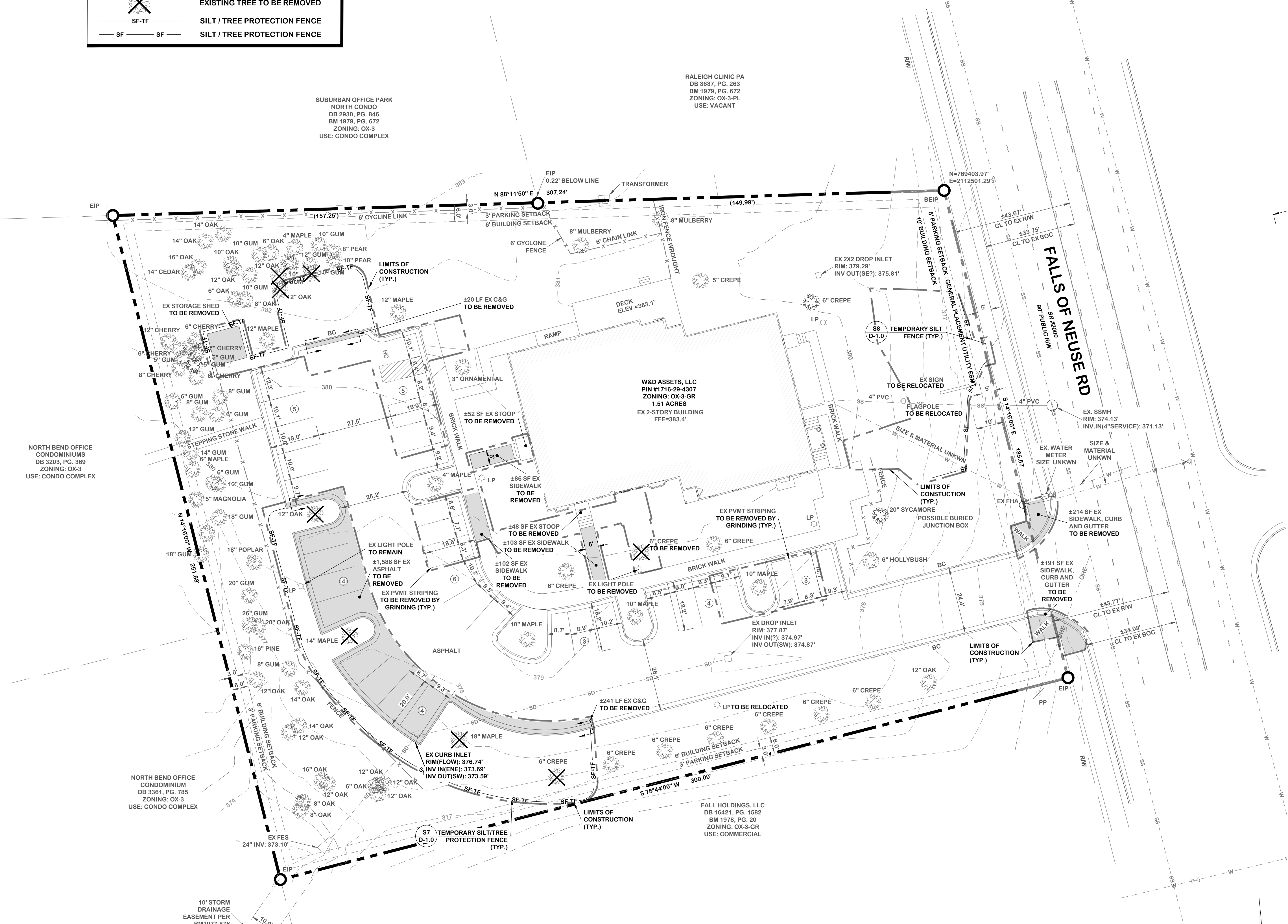
FOR REVIEW ONLY NOT FOR CONSTRUCTION

A-800-00-120100: Resolution: Block perimeter request withdrawn re-adoption of TC-19 adopted 12/10/19. W&D ASSETS, LLC, property owner, requests a 6,850-foot design adjustment from the 3,000-foot maximum block perimeter requirement set forth in Section 8.3.2.A of the Unified Development Ordinance...

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- SURVEY LEGEND**
- EIP --- EXISTING IRON PIN
 - BEIP --- BURIED EX IRON PIN
 - R/W --- RIGHT-OF-WAY
 - CONC. --- CONCRETE
 - LP --- LIGHT POLE
 - PP --- POWER POLE
 - DI --- STORM DROP INLET
 - CB --- STORM CATCH BASIN
 - FES --- FLARED END SECTION
 - FH --- FIRE HYDRANT
 - BC --- BACK OF CURB
 - C&G --- CURB AND GUTTER

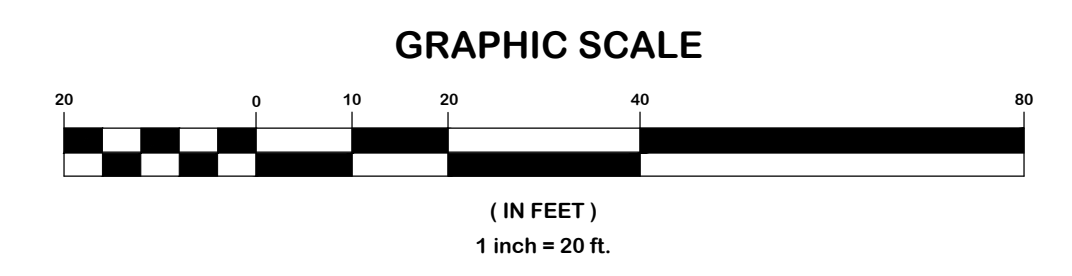
- LEGEND**
- LIMITS OF CONSTRUCTION
 - X-X-X- EXISTING FENCE
 - OHE- EXISTING EASEMENT
 - SS- EXISTING OVERHEAD UTILITY
 - SS- EXISTING SEWER MAIN
 - W- EXISTING WATER MAIN
 - SD- EXISTING STORM PIPE
 - STRUCTURE TO BE REMOVED
 - ✕ EXISTING TREE TO BE REMOVED
 - SF-TF SILT / TREE PROTECTION FENCE
 - SF-SF SILT / TREE PROTECTION FENCE



- DEMOLITION NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
 2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
 3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET. ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
 5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
 8. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
 9. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
 10. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 11. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
 12. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
 13. ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
 14. ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 15. EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
 16. SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
 17. ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
 18. ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
 19. THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
 20. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 21. UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
 22. ALL EXISTING UTILITIES TO REMAIN ACTIVE AND UNDISTURBED.
 23. SERVICE LATERALS AND CO TO BE LOCATED.

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



PAST DESIGN GROUP, PA
Engineering | Consulting
404-S Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919 846 4599 | Fax: 919 846 4595 | LIC LICENSE NUMBER: C-3811

PREPARED FOR:
WILLIAMS & DAILY DENTAL
8637 FALLS OF NEUSE RD, STE. 200
RALEIGH, NC 27615

DATE: 7/8/2019

PROJECT ENGINEER:
PJP

PROJECT CADD DESIGNER:
MMP

PROJECT SURVEYOR:
MMP

UTILITY SURVEYOR:
MMP

5925 FALLS OF NEUSE ROAD
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW
EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS SHOWN

NO.	REVISION	DATE
1	REVISED PER COR COMMENTS	3/16/20
2	REVISED PER COR COMMENTS	

DRAWING SHEET

C-1.0

PROJECT NUMBER
439-19

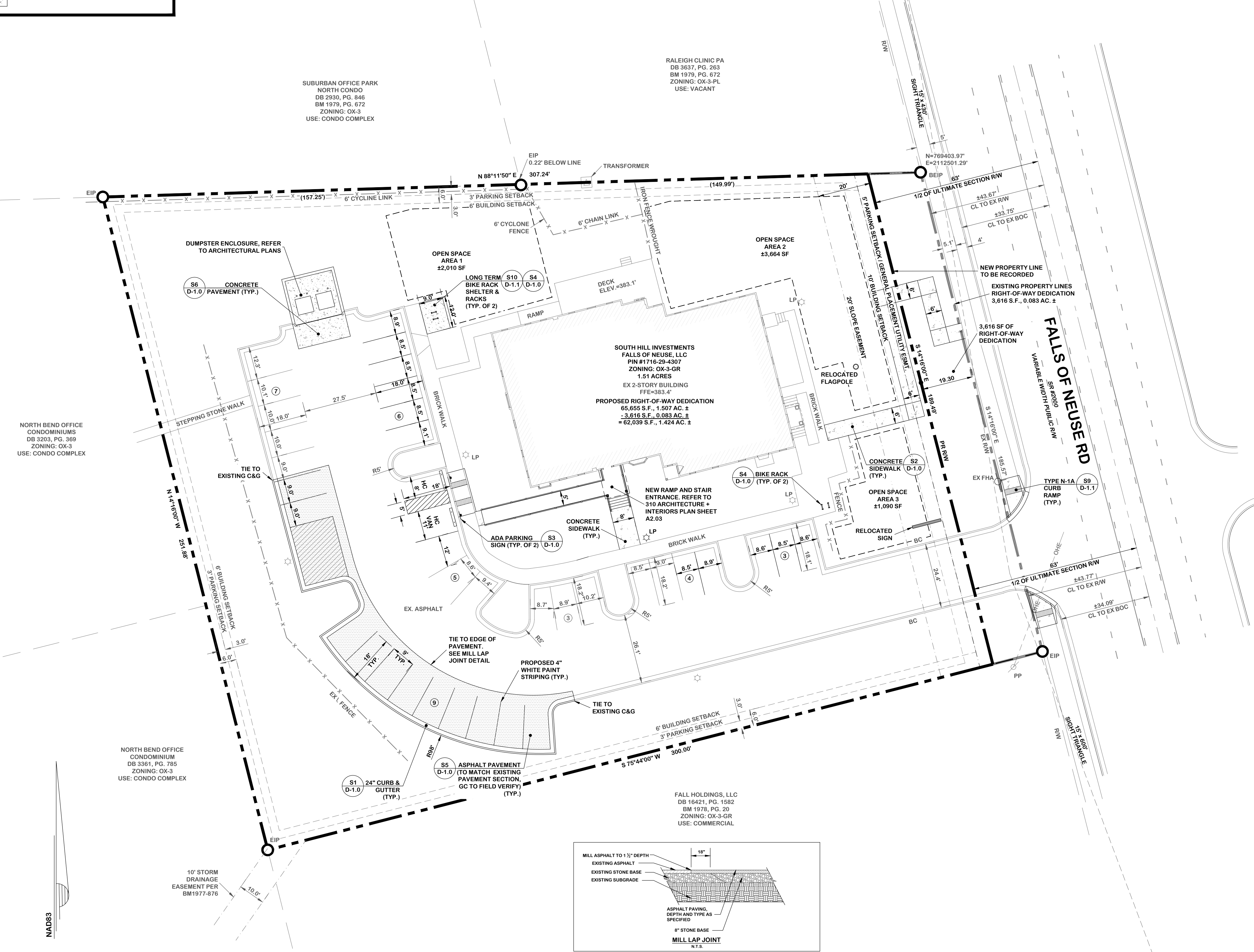
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LEGEND

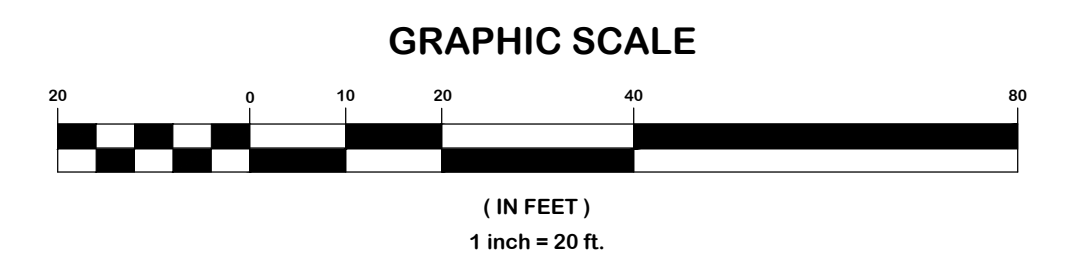
- EXISTING FENCE
- EXISTING EASEMENT
- EXISTING OVERHEAD UTILITY
- PROPOSED SLOPE EASEMENT
- PROPOSED ACCESS EASEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE

SIGHT TRIANGLE NOTES:

- FALLS OF NEUSE ROAD IS A 5-LANE UNDIVIDED ROAD W/ SPEED LIMIT OF 45 MPH.
- SITE INGRESS DOES NOT REQUIRE SIGHT TRIANGLE. SITE EGRESS REQUIRES SIGHT TRIANGLE FOR BOTH LEFT AND RIGHT TURNING TRAFFIC.
- PER CITY OF RALEIGH STREET DESIGN MANUAL, SIGHT TRIANGLE IS CALCULATED AS THE FOLLOWING:
LEFT TURN = 15' X 600'
RIGHT TURN = 15' X 430'



- LAYOUT NOTES**
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADI DIMENSIONS TO BACK OF CURB.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
 - ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE. ALL STRIPING WITHIN THE SITE TO BE WHITE PAINT.
 - ALL RADII TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
 - ALL LANDSCAPED ISLANDS SHALL HAVE RAISED CURB AND GUTTERING.
 - VERIFY ALL SETBACKS WITH LOCAL CODES.
 - A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NOT CURBING EXISTS.
 - CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - GC SHALL LOCATED EXISTING WATER, SEWER LATERAL CONNECTIONS, CLEANOUTS AND BACKFLOWS PRIOR TO C/O AND SHALL DOCUMENT THESE LOCATIONS WITH THE CITY OF RALEIGH.
 - AMALGAM SEPARATOR IS REQUIRED FOR DENTAL HYGIENE/PRACTICE OFFICES.
 - BACKFLOW PREVENTER IS LOCATED INSIDE THE BUILDING.



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NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT, AND MUTCD STANDARDS & SPECIFICATIONS.

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Phone: 919 846 4399 | Fax: 919 846 4395 | NC LICENSE NUMBER: C-3811

PREPARED FOR:	WILLIAMS & DAILY DENTAL
PROJECT:	8637 FALLS OF NEUSE RD, STE. 200 RALEIGH, NC 27615
DATE:	7/8/2019
PROJECT ENGINEER:	PHD
PROJECT CAD DESIGNER:	MMP
PROJECT SURVEYOR:	UNLICENSED
PROJECT NUMBER:	C-3811

5925 FALLS OF NEUSE ROAD
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW
SITE LAYOUT PLAN

NO.	DATE	REVISION
1	3/16/20	REVISED PER COR COMMENTS
2		REVISED PER COR COMMENTS

DRAWING SHEET
C-2.0
PROJECT NUMBER
441-19

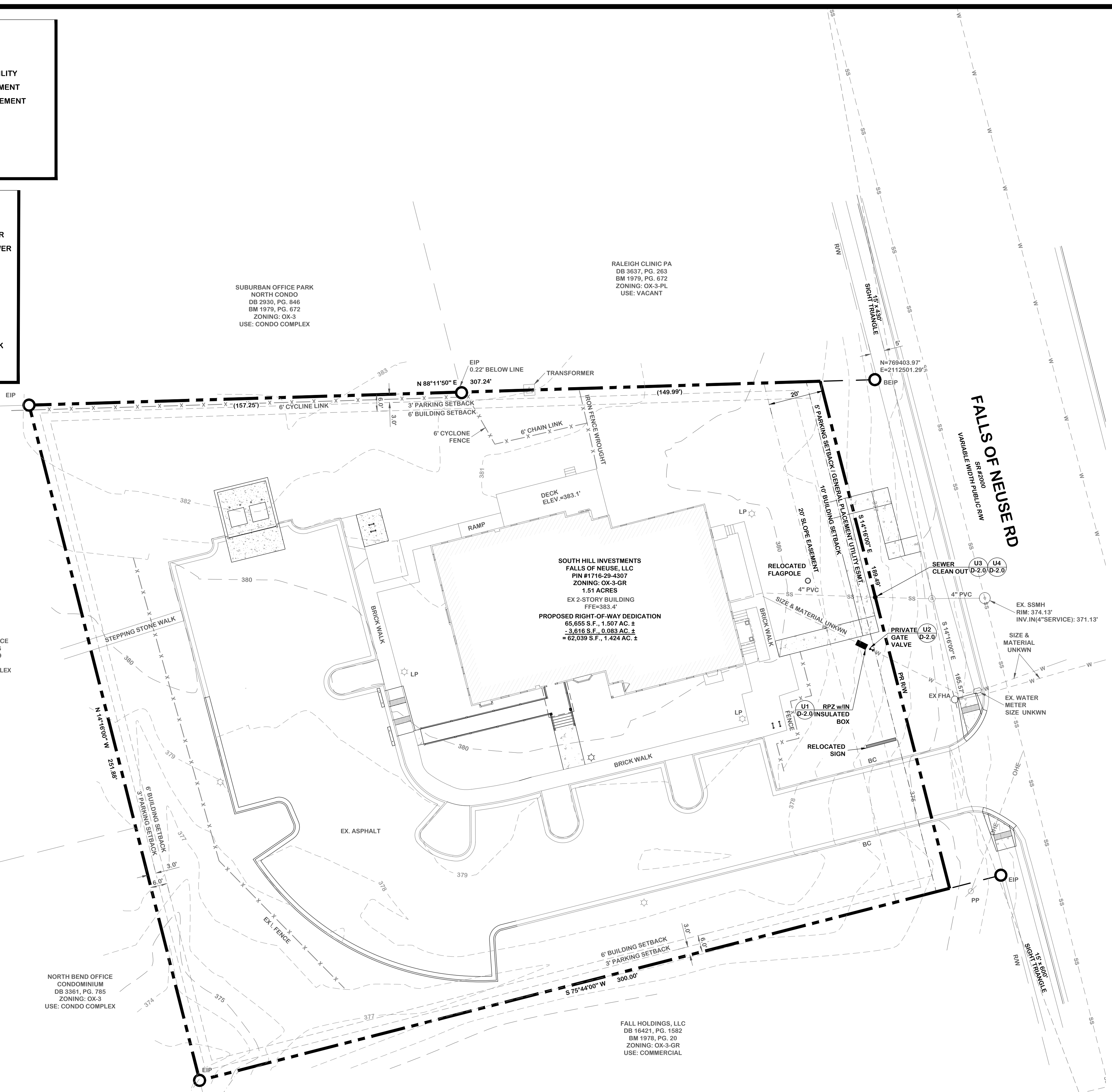
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LEGEND

- X-X-X- EXISTING FENCE
- - - - - EXISTING EASEMENT
- OHE- EXISTING OVERHEAD UTILITY
- - - - - PROPOSED SLOPE EASEMENT
- - - - - PROPOSED ACCESS EASEMENT
- [Hatched Box] PROPOSED ASPHALT
- [Dotted Box] PROPOSED CONCRETE

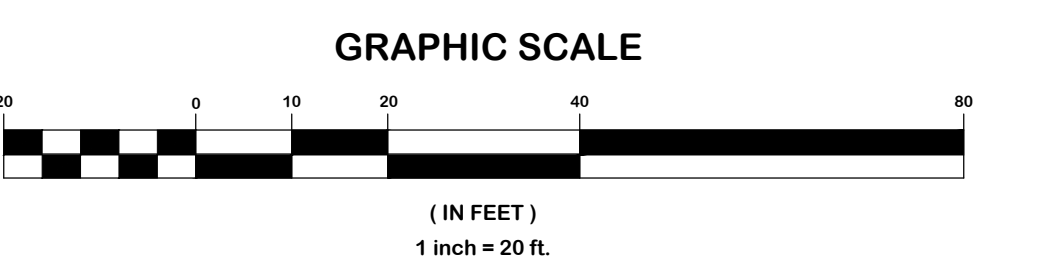
UTILITY LEGEND

- - - - - LIMITS OF CONSTRUCTION
- SS- EXISTING SANITARY SEWER
- SS- PROPOSED SANITARY SEWER
- W- EXISTING WATER LINE
- W- PROPOSED WATER LINE
- WF- PROPOSED FIRE LINE
- ⊕ PROPOSED GATE VALVE
- PROPOSED FDC
- PROPOSED PIV
- ▶ PROPOSED THRUST BLOCK
- PROPOSED FIRE HYDRANT
- PROPOSED METER



- STANDARD CITY OF RALEIGH UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS CONNECTION AT CROSS.CONNECTION@RALEIGHNC.GOV OR 919-996-2747 TO OBTAIN A CERTIFICATE OF COMPLIANCE FOR PROPOSED BFP DEVICES.

- GENERAL NOTES:**
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
 - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. "ONE CALL" AT 1-800-632-4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
 - ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE PROJECT FOR CITY APPROVAL.
 - ALL SANITARY SEWER SERVICES SHALL BE SDR 35 UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDOT, AND MUTCD STANDARDS & SPECIFICATIONS.

PABST DESIGN GROUP, PA
Engineering | Consulting
404-S Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919 846 4399 | Fax: 919 846 4395 | LIC LICENSE NUMBER: C-3011

5925 FALLS OF NEUSE ROAD
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW
UTILITY PLAN

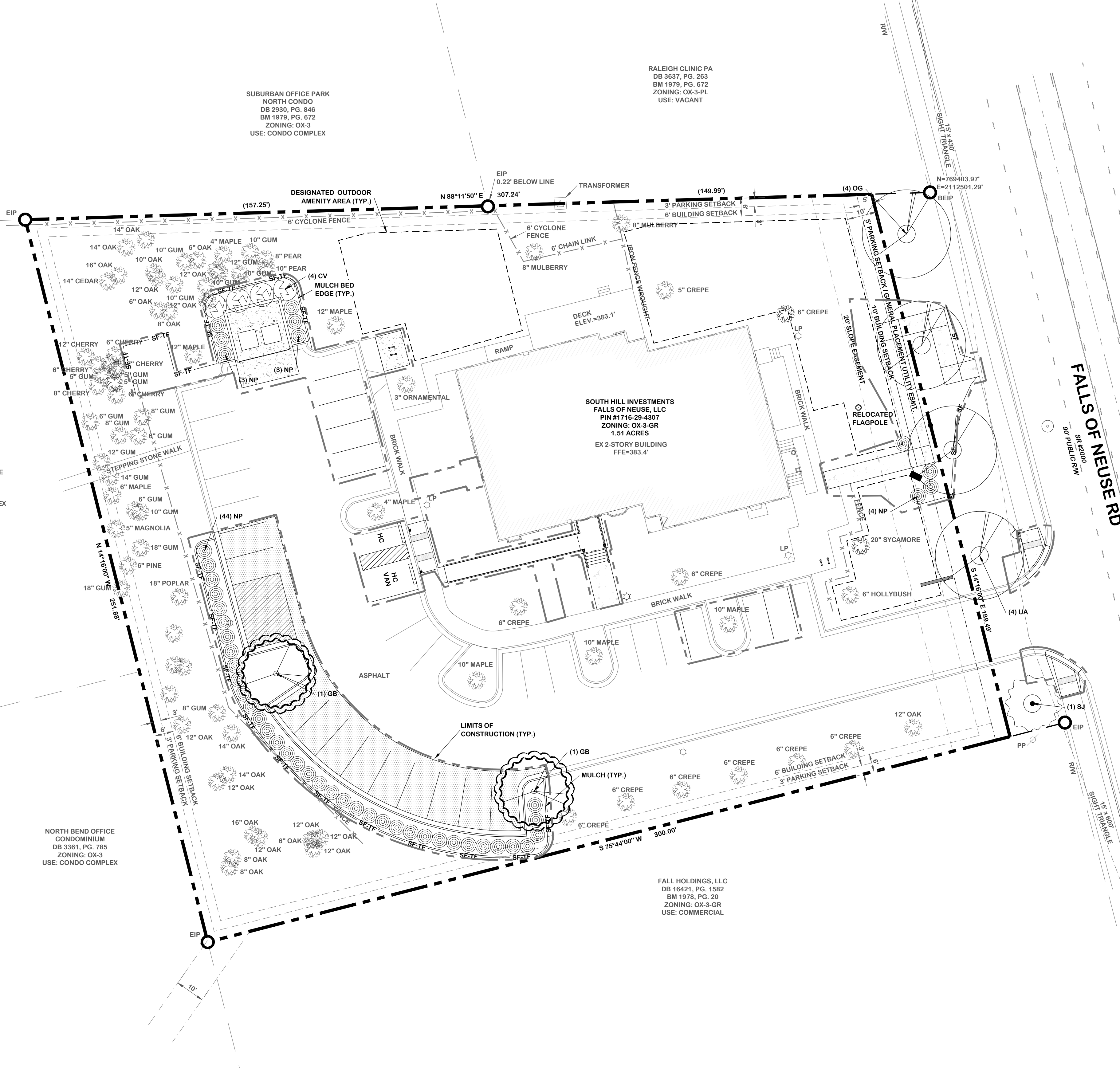
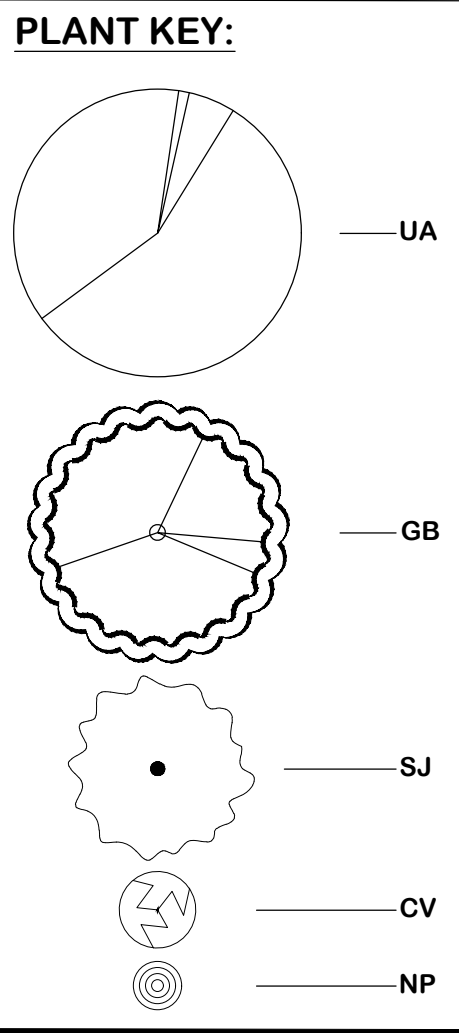
DATE: 3/16/2020
SCALE: 1"=20'

NO.	REVISION	DATE
1	REVISED PER COR COMMENTS	3/16/20
2	REVISED PER COR COMMENTS	3/16/20

DRAWING SHEET
C-3.0
PROJECT NUMBER
441-19

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LEGEND	
SF-TF	SILT / TREE PROTECTION FENCE
X - X - X	EXISTING FENCE
- - - - -	EXISTING EASEMENT
OHE	EXISTING OVERHEAD UTILITY
SD	EXISTING STORM PIPE
- - - - -	DESIGNATED AMENITY AREA
[Hatched Box]	PROPOSED ASPHALT
[Dotted Box]	PROPOSED CONCRETE

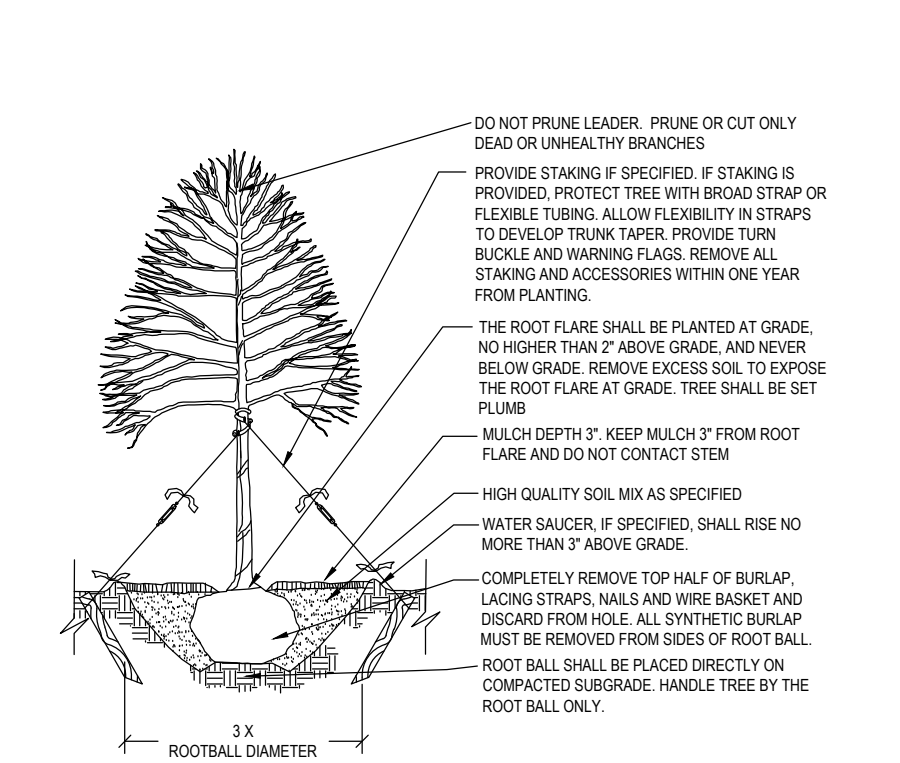


- GENERAL PLANTING NOTES:**
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'.
 - PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
 - CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
 - METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
 - ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS LAWN WITH "REBEL IV", CONFEDERATE PLUS OR LESCO TALL TURF TYPE FESCUE FOR IN ALL AREAS IN RIGHT OF WAY UP TO THE ROAD.
 - ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDDED HARDWOOD MULCH AT A THICKNESS OF 3".
 - ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
 - ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFLON GRANULES).
 - ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
 - VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
 - OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
 - PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.

- SIGHT TRIANGLE NOTES:**
- FALLS OF NEUSE ROAD IS A 5-LANE UNDIVIDED ROAD W/ SPEED LIMIT OF 45 MPH.
 - SITE INGRESS DOES NOT REQUIRE SITE TRIANGLE. SITE EGRESS REQUIRES SIGHT TRIANGLE FOR BOTH LEFT AND RIGHT TURNING TRAFFIC.
 - PER CITY OF RALEIGH STREET DESIGN MANUAL, SIGHT TRIANGLE IS CALCULATED AS THE FOLLOWING:
LEFT TURN = 15' X 600'
RIGHT TURN = 15' X 430'

LANDSCAPE CALCULATIONS

COMMERCIAL STREETScape	
FRONTAGE:	189.50 LF
REQUIRED:	1 TREE / 40 LF
	189.50 / 40 = 4.7 TREES
PROVIDED:	5 SHADE TREES 40' O.C. AVG.
NEW VEHICLE SURFACE AREA	
REQUIRED:	1 TREE PER EVERY 2,000 SF OF PARKING AREA
	2,493 / 2,000 = 1,247 TREES
PROVIDED:	2 CANOPY TREES
PERIMETER ISLAND LF: 64 LF	
REQUIRED:	30 SHRUBS PER 100 LF OF PERIMETER ISLAND THAT IS ALONG PRIMARY INTERNAL ACCESS DRIVES.
	146.5 / 100 = 1.465 X 30 SHRUBS = 43.95 SHRUBS
PROVIDED:	44 SHRUBS

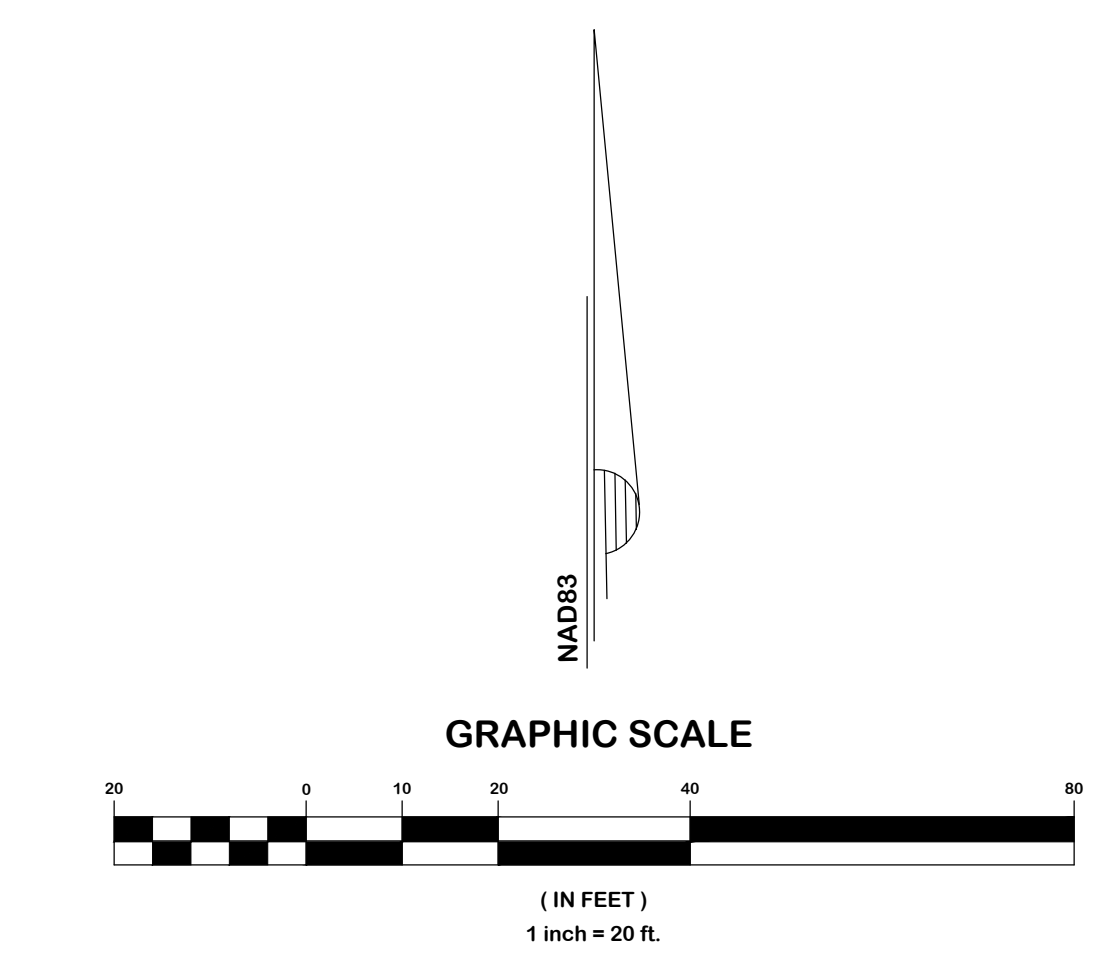


NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH STANDARD DETAIL

DATE: 03/20/20
DRAWN BY: JACB
CHECKED BY: JACB
DATE: 03/20/20
PROJECT: 5925 FALLS OF NEUSE RD
SHEET: TTP-03



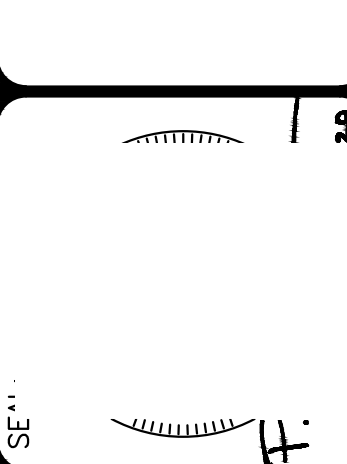
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PAST DESIGN GROUP, PA
Engineering | Consulting
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Phone: 919 846 4399 | Fax: 919 846 4395 | LIC LICENSE NUMBER: C-3811

PREPARED FOR:
WILLIAMS & DAILY DENTAL
8637 FALLS OF NEUSE RD, STE. 200
RALEIGH, NC 27615
DATE: 7/8/2019
PROJECT ENGINEER:
PROJECT CAD: DESIGNER:
PROJECT SURVEYOR:
WILLIAMS & DAILY DENTAL, PLLC

5925 FALLS OF NEUSE ROAD
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
**ADMINISTRATIVE SITE REVIEW
LANDSCAPE PLAN**



NO.	REVISION	DATE
1	REVISED PER COG COMMENTS	3/16/20
2	REVISED PER COG COMMENTS	

DRAWING SHEET
L-1.0
PROJECT NUMBER
441-19

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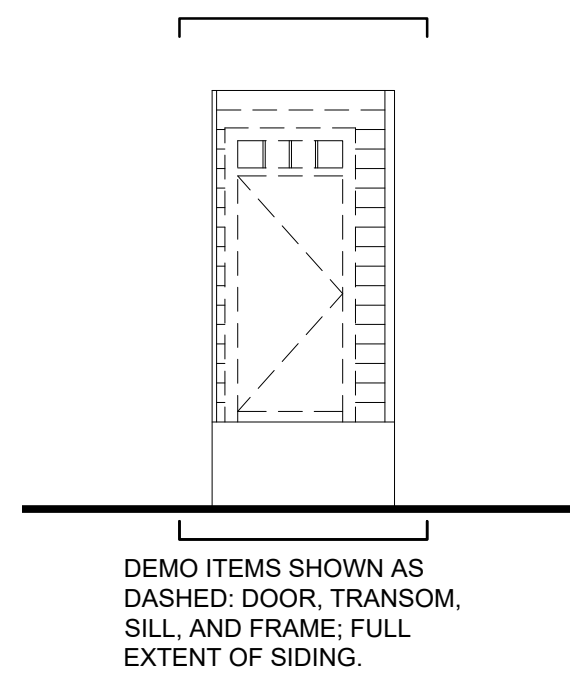
PROGRESS SET
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DEMOLITION EXTERIOR ELEVATION - SOUTH

Scale: 3/16" = 1'-0"

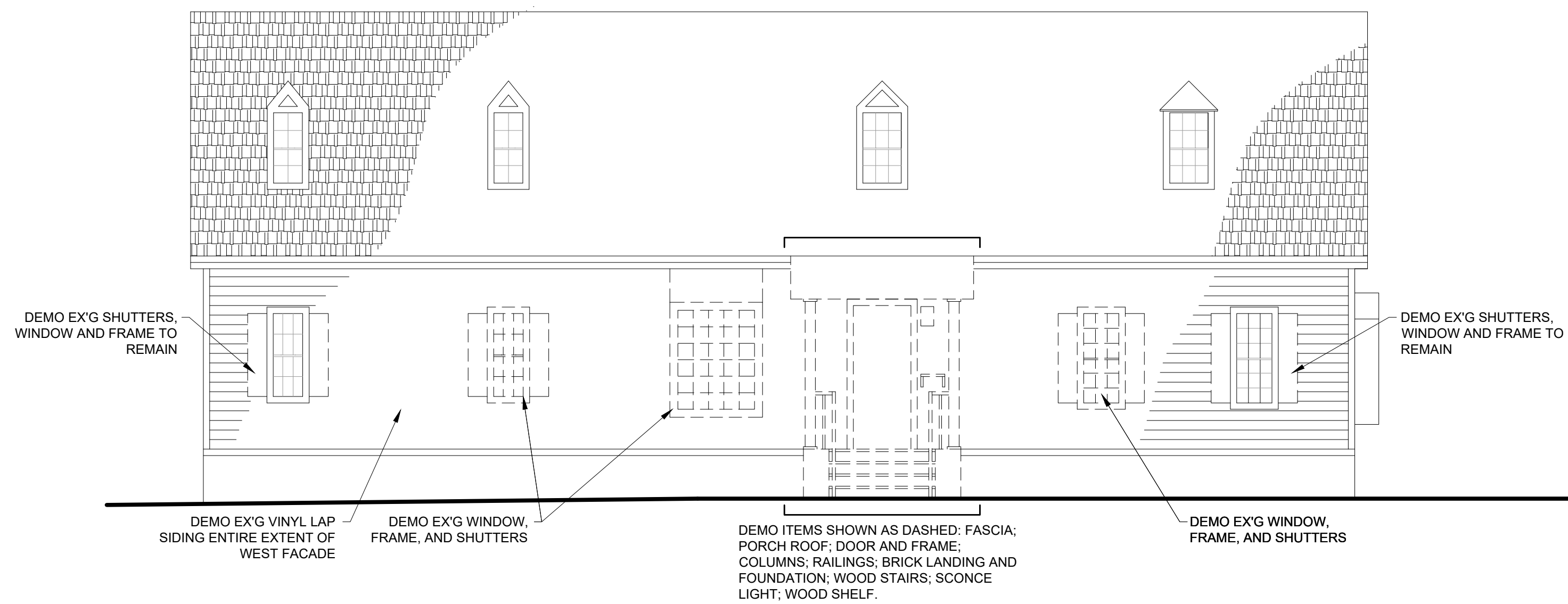
03



DEMOLITION EXTERIOR PARTIAL ELEVATION - WEST

Scale: 3/16" = 1'-0"

04



DEMOLITION EXTERIOR ELEVATION - WEST

Scale: 3/16" = 1'-0"

02

GENERAL ELEVATION DEMOLITION NOTES:

1. DEMOLISH ONLY THOSE COMPONENTS SHOWN AND AS NECESSARY FOR INSTALLATION OF NEW CONSTRUCTION. DEMOLITION IN EXCESS OF THAT SHOWN SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
2. RECYCLE DEMOLISHED MATERIALS TO GREATEST EXTENT POSSIBLE AND AS REQUIRED BY LOCAL GOVERNING AUTHORITIES. REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM AS REQUIRED.
3. DO NOT DEMOLISH BUILDING COMPONENTS THAT POTENTIALLY CONTAIN ASBESTOS OR OTHER HAZARDOUS MATERIALS. NOTIFY ARCHITECT IMMEDIATELY IF SUCH MATERIALS ARE SUSPECTED OR ENCOUNTERED.
4. REFER TO PME & FP DRAWINGS FOR DEMOLITION AND/OR RELOCATION OF UTILITIES.
5. MAINTAIN BUILDING IN WEATHERTIGHT CONDITION THROUGHOUT CONSTRUCTION DURATION.
6. DO NOT DEMOLISH OR ALTER ANY BUILDING COMPONENTS NECESSARY TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING.
7. NO WORK IS PROPOSED ON THE EAST (STREET-FACING) FACADE OF THE BUILDING AND THEREFORE THE EXISTING TRANSPARENCY IS NOT CHANGING.

DEMOLITION NOTES

Scale: -

01

RENOVATIONS FOR

Williams & Daily Dental

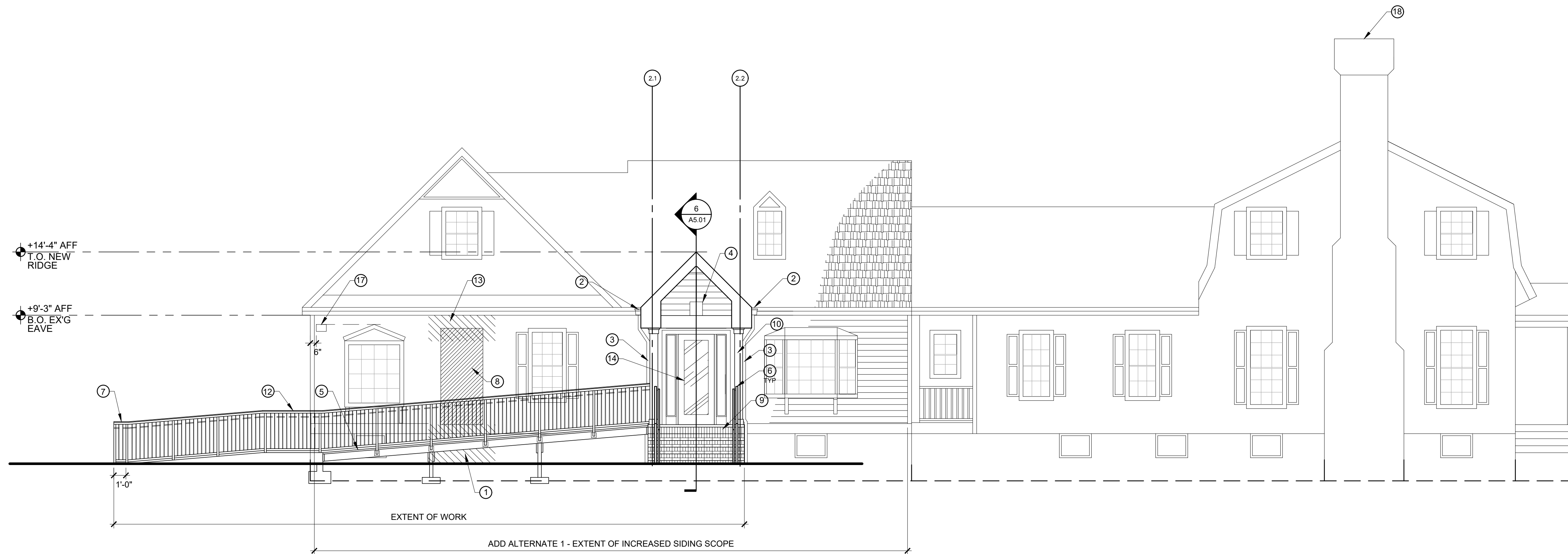
5925 FALLS OF NEUSE ROAD
RALEIGH, NC 27615

PROJECT #	19007	
DATE:	02 . 28. 2020	
DRAWN BY:	WBS	
CHECKED BY:	DBB, WBS	
NO.	REVISION	DATE

DEMOLITION
EXTERIOR
ELEVATIONS

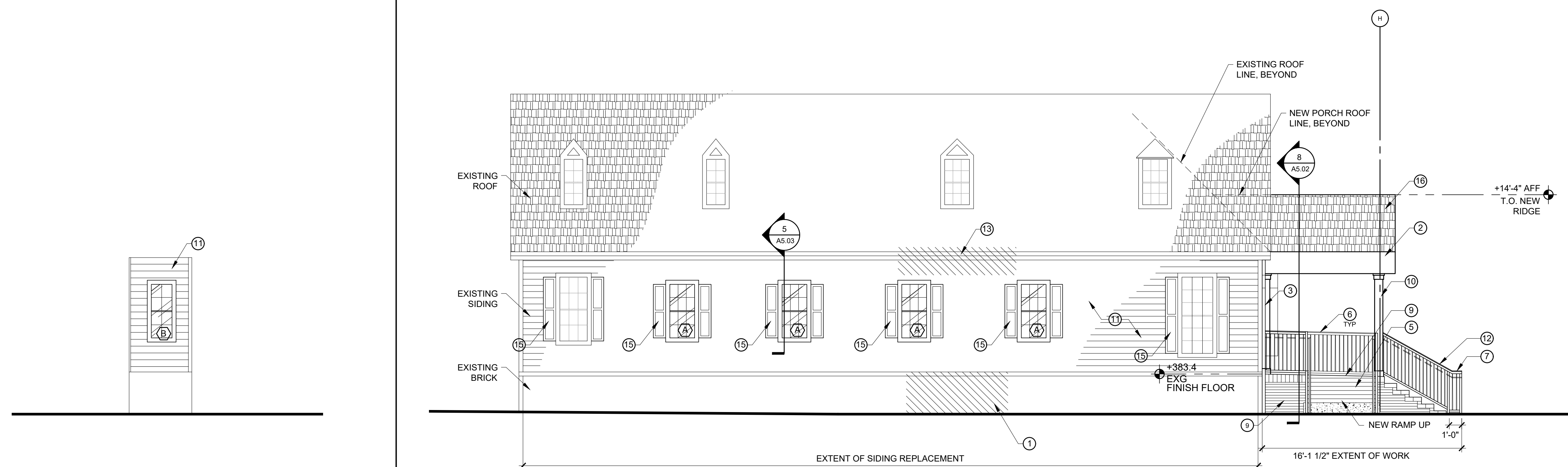
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PROGRESS SET
NOT FOR CONSTRUCTION



NEW WORK EXTERIOR ELEVATION - SOUTH

Scale: 3/16" = 1'-0" 03



NEW WORK EXTERIOR ELEVATION - WEST

Scale: 3/16" = 1'-0" 02

NEW WORK EXTERIOR PARTIAL ELEV. - WEST

Scale: 3/16" = 1'-0" 04

EXTERIOR ELEVATION NOTES

Scale: - 01

GENERAL ELEVATION NEW WORK NOTES:

1. VERIFY LAYOUT OF COMPONENTS PRIOR TO COMMENCING CONSTRUCTION.
2. COLORS AND FINISHES OF EXTERIOR MATERIALS TO MATCH EXISTING MATERIALS AND COLORS, AS APPROVED BY ARCHITECT.
3. PAINT ALL EXPOSED STEEL AND CEMENTITIOUS SIDING, PANELS AND TRIM TO MATCH EXISTING.
4. (T) INDICATES TEMPERED GLASS
5. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION STEPS.
6. NO EXPANSION TO BUILDING HEIGHT PROPOSED
7. ALL NEW MECHANICAL EQUIPMENT WILL BE LOCATED ON THE ROOF AND WILL BE IN COMPLIANCE WITH UDO SECTION 7.2.5.D.

ELEVATION NEW WORK KEYNOTES:

1. WHERE LANDING WAS REMOVED, PATCH AND REPAIR BRICK TO MATCH EXISTING
2. CONTINUOUS 6" X 6" ALUM. GUTTER, WHITE FINISH
3. 4" X 4" ALUM. DOWNSPOUT, WHITE FINISH
4. EXTERIOR PENDANT LIGHT FIXTURE
5. (2X6) PRESSURE TREATED WOOD DECKING
6. PROVIDE GUARDRAIL ON ALL EDGES OF RAMP AND LANDINGS.
7. METAL HANDRAILS SHALL EXTEND FULL LENGTH OF ALL RAMP RUNS, EXTENDING 12" MINIMUM PAST TOP AND BOTTOM OF RUNS.
8. INFILL VINYL SIDING, MATCH SPACING OF EXISTING SIDING AND FEATHER EDGES. REPAIR OR REPLACE TRIM AS NEEDED. OBTAIN ARCHITECT APPROVAL OF PROPOSED PATCHWORK PRIOR TO COMMENCING. IF PATCHWORK IS NOT APPROVED, PROCEED WITH ADD ALTERNATE #1 - INCREASED SIDING SCOPE.
9. BRICK LANDING & STAIRS; MATCH EX'G BRICK COLOR COURSING @ BUILDING FOUNDATION
10. COLUMN, SEE A5.02 FOR MORE INFO
11. PROVIDE NEW VINYL LAP SIDING FULL EXTENT OF WALL. MATCH SPACING OF EXISTING SIDING. REPAIR OR REPLACE TRIM AS NEEDED.
12. BLACK METAL HANDRAIL, SEE A5.00 SHEETS FOR HANDRAIL INFO
13. PATCH AND REPAIR EX'G ROOF, FASCIA, AND DENTAL MOULDING
14. EXTERIOR DOOR & SIDELITES
15. EXTERIOR VINYL SHUTTERS; STYLE TO MATCH EXISTING, BLACK FINISH
16. SHINGLES; STYLE & COLOR TO MATCH EXISTING
17. NEW WALL SCOSNCE, SEE ELEC DRAWINGS, ALIGN WITH TOP OF ADJACENT WINDOW
18. PROVIDE AIRTIGHT SEAL AT CHIMNEY CAP

RENOVATIONS FOR

Williams & Daily Dental

5925 FALLS OF NEUSE ROAD
RALEIGH, NC 27615

PROJECT #	19007	
DATE:	02 . 28. 2020	
DRAWN BY:	WBS	
CHECKED BY:	DBB, WBS	
NO.	REVISION	DATE

NEW WORK
EXTERIOR
ELEVATIONS

A4.02