



Administrative Approval Action

Case File / Name: ASR-0047-2020
DSLC - Sunnybrook Office Building

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site comprised of four parcels is generally located on the east side of Sunnybrook Road south of New Bern Avenue, with common street addresses of 213, 217, 221 and 223 Sunnybrook Road. Part of the site is outside the city limits.

REQUEST: Development of an approximately 42,326 square foot office building and associated surface parking on approximately 3.24 acres zoned OX-3-PL-CU.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0104-2021: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 23, 2020 by PIEDMONT LAND DESIGN, LLP (primary).

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

4. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Slope Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Public Utilities

5. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.325 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots into a single tract.

Engineering

2. A fee-in-lieu for 2' width of road section along Sunnybrook Road frontage shall be paid to the City of Raleigh (UDO 8.1.10).
3. A fee-in-lieu for 1' width of sidewalk for Sunnybrook Road frontage shall be paid to the City of Raleigh (UDO 8.1.10).

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
8. A public infrastructure surety for 19 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 19 street trees along Sunnybrook Road.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater



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2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 20, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysin Bailey Taylor Date: 01/21/2021
Development Services Dir/Designee

Staff Coordinator: Kasey Evans



PRELIMINARY
NOT FOR CONSTRUCTION

**SUNNYBROOK
OFFICE BUILDING**

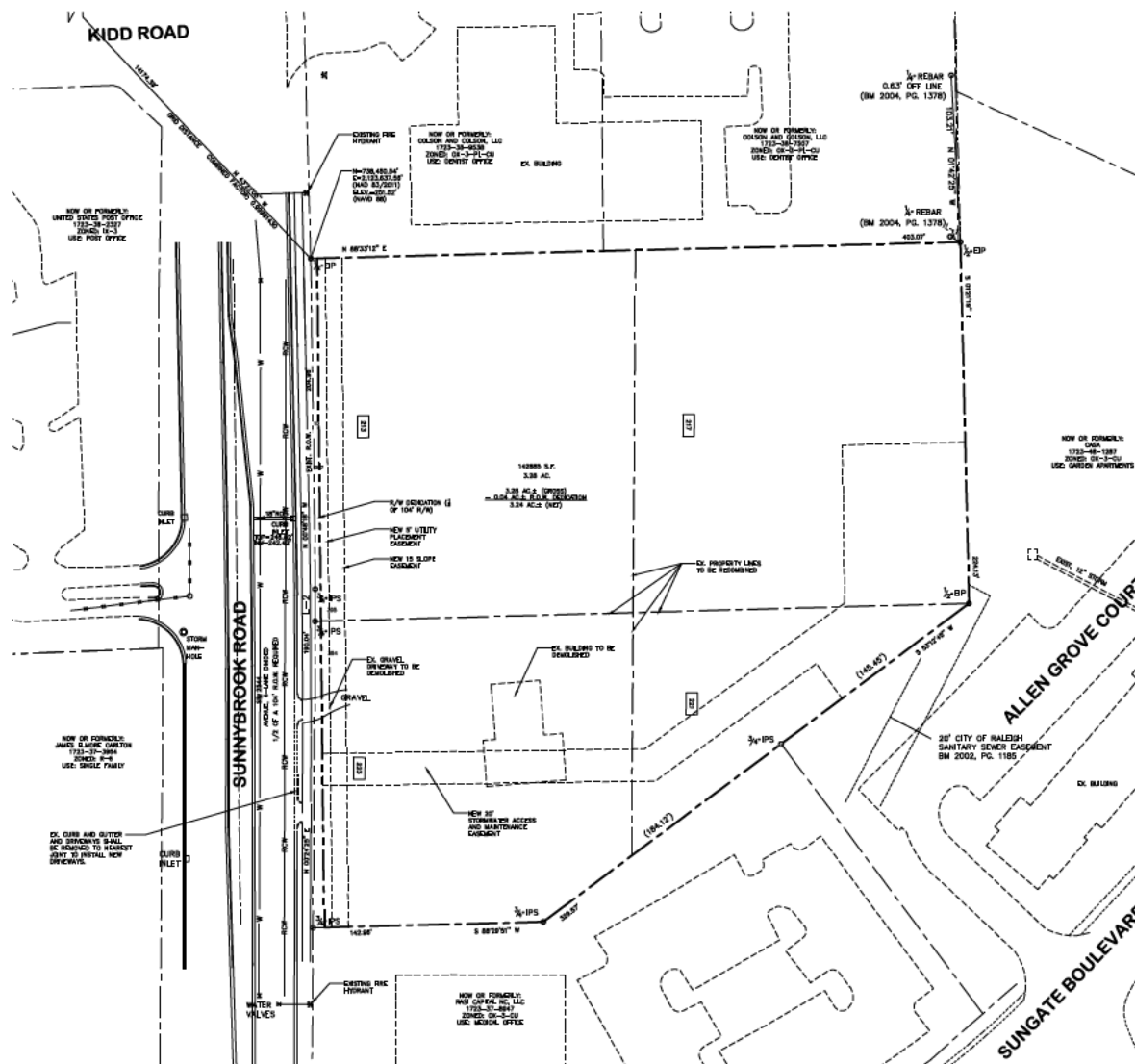
ISSUED: 1 DEC 2020

REVISIONS:

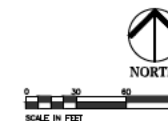
DRAWN BY: CRP
CHECKED BY: JDL
PROJECT: SBO

RECOMBINATION
PLAN

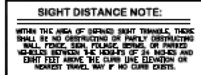
DWG. NO. **PA.3**

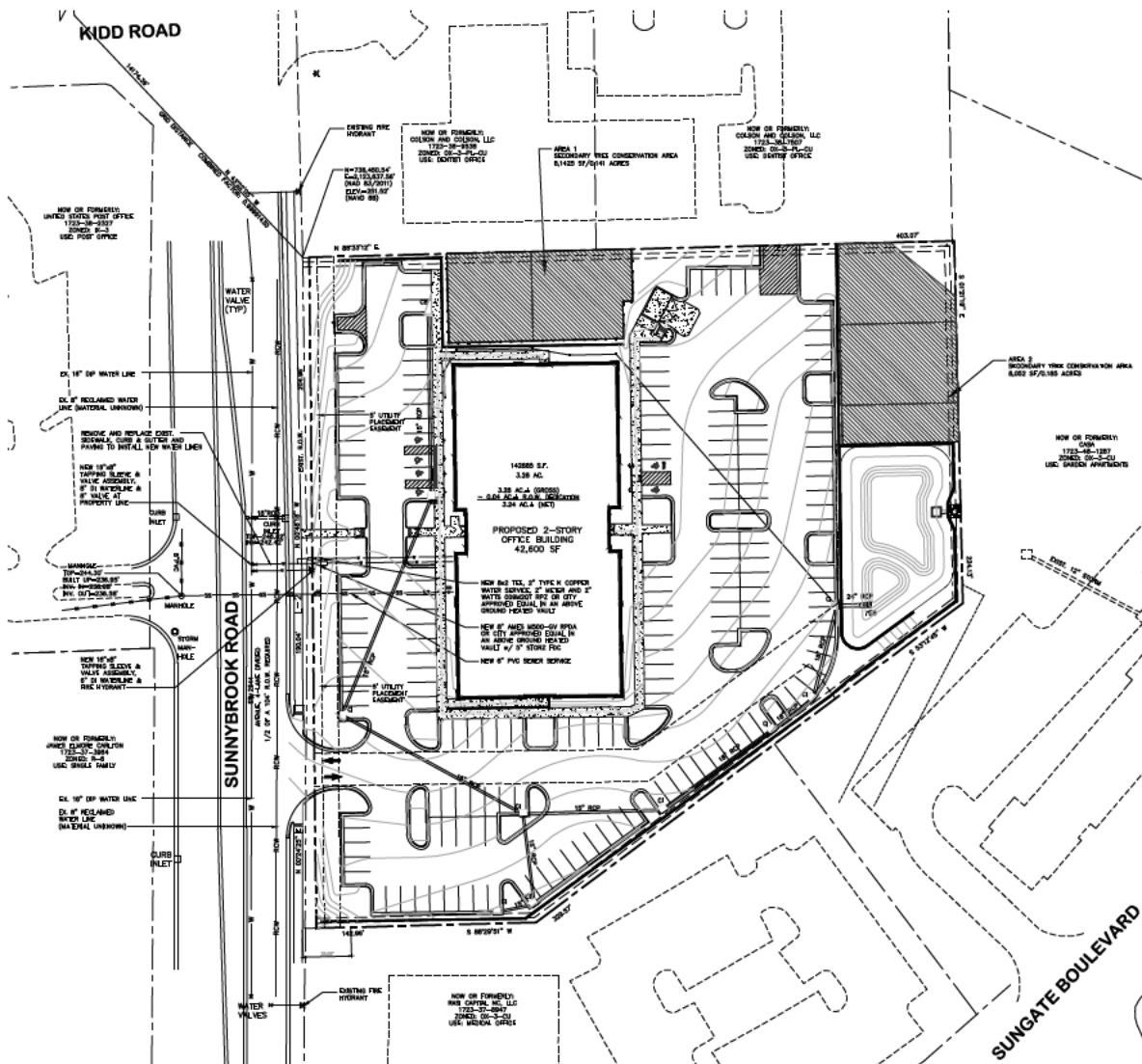


TIE LINE DATA		
NUMBER	BEARING	DIST
1-1	N 62°50'55" W	2.6



ASR-0047-2020

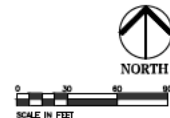




CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (METRIC/US CUSTOMARY UNITS, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY POINT OF PUBLIC WATER SUPPLY SYSTEMS SUCH AS AN UNBARRICADED SEWER USED AS A SOURCE OF DRINKING WATER. IF ASSURED LEAKAGE SEVERITY CAN BE AVOIDED, MINIMUM SEPARATION SHALL BE 12" SHALL BE MAINTAINED & INSTALLED TO INTERLINE INTERFERENCE. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 18" FROM A PRIVATE WELL OR 30" FROM A PUBLIC WELL.
 - WHEN INTERLINE WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE MINIMUM ALLOWED IS THE WATER MAIN IN A PORTABLE TRENCH WITH THE ELONGATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER MAIN. THE MINIMUM SEPARATION SHALL BE MAINTAINED AT ALL OTHER LOCATIONS. ALL SEWER MAINS ARE REQUIRED TO BE MAINTAINED TO EXISTING SECTIONS.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, THE WATERMAIN OR SEWER ENCLOSURE EXTENDING 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 3.0' MINIMUM VERTICAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER PIPES. UNLESS OTHERWISE NOTED, IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & STORM SEWER CROSSINGS. SEPARATION OF 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & STORM SEWER CROSSINGS. WHERE SEPARATION CANNOT BE MAINTAINED, SEPARATION OF 18" MIN. VERTICAL SEPARATION AT ALL OTHER LOCATIONS. ALL SEWER MAINS ARE REQUIRED TO BE MAINTAINED TO EXISTING SECTIONS & A CONCRETE SEWER MAIN 18" MIN. DIAMETER (FOR CROSSING DETAILS 18"-41" & 41"-60").
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER PIPES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PERMIT BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENTIAL & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORWARDS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IF IS THE DEVELOPER'S RESPONSIBILITY TO MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES NOT SHOWN USED IN DEVELOPMENT OF A CITY UTILITIES DEPARTMENT DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THE DEVELOPER'S RESPONSIBILITY TO MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES SHALL BE MAINTAINED TO EXISTING SECTIONS & A CONCRETE SEWER MAIN 18" MIN. DIAMETER (FOR CROSSING DETAILS 18"-41" & 41"-60").
- INSTALL 1.5' WATER & 1.5' COVER WATER SERVICE WITH COVER LOCATED AT NOW OR WITHIN A 1' MIN. INSTALLING GROUND SURVEILLANCE MONITOR (GSM) IF IT IS THE DEVELOPER'S RESPONSIBILITY TO MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES. THE DEVELOPER SHALL MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES WITHIN 1.5' OF THE POINT OF ENTRY.
- INSTALL 1.5' WATER & 1.5' COVER WATER SERVICE WITH COVER LOCATED AT NOW OR WITHIN A 1' MIN. INSTALLING GROUND SURVEILLANCE MONITOR (GSM) IF IT IS THE DEVELOPER'S RESPONSIBILITY TO MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES. THE DEVELOPER SHALL MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES WITHIN 1.5' OF THE POINT OF ENTRY.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDC, USACE &/OR FEMA FOR ANY SPILLAGE BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NEEDY / INLAND ENVIRONMENTAL AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR INLAND NOW PRIOR TO CONSTRUCTION.
- SHOULD INTERFERE / OR WATER SEPARATION BEING CALCULATED & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORRESPONDING PROGRAM COMMISSIONER PRIOR TO AWARD OF A BUILDING PERMIT. CONTACT THE BUREAU OF PUBLIC UTILITIES (BPU) AT (919) 998-2324 OR TOWNSHIP/LOCAL/STATE/DEPARTMENT FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON SUSPECTED HEALTH HAZARD (BASED ON LATEST INFORMATION) OF THE RALEIGH WATERSHED PUBLIC WATER SYSTEM IN NORTH CAROLINA.

THESE GUIDELINES ARE THE STANDARD REQUIREMENTS. THE DEVELOPER SHALL MEET AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARDS IF BE IN THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL. THE DEVELOPER SHALL BE ADVISED AND TESTED WITHIN 18" MIN. AND PROPOSED EXISTING TRENCHES IN ACCORDANCE WITH THE DEVELOPER'S RESPONSIBILITY TO MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES. THE DEVELOPER SHALL MAINTAIN OR REPAIR EXISTING WATER & SEWER SERVICES WITHIN 1.5' OF THE POINT OF ENTRY. CONTACT THE BUREAU OF PUBLIC UTILITIES (BPU) AT (919) 998-2324 OR TOWNSHIP/LOCAL/STATE/DEPARTMENT FOR MORE INFORMATION.



ASR-0047-2020

PRELIMINARY
 NOT FOR CONSTRUCTION

SUNNYSBROOK OFFICE BUILDING
 213-223 SUNNYSBROOK ROAD
 RALEIGH, NORTH CAROLINA

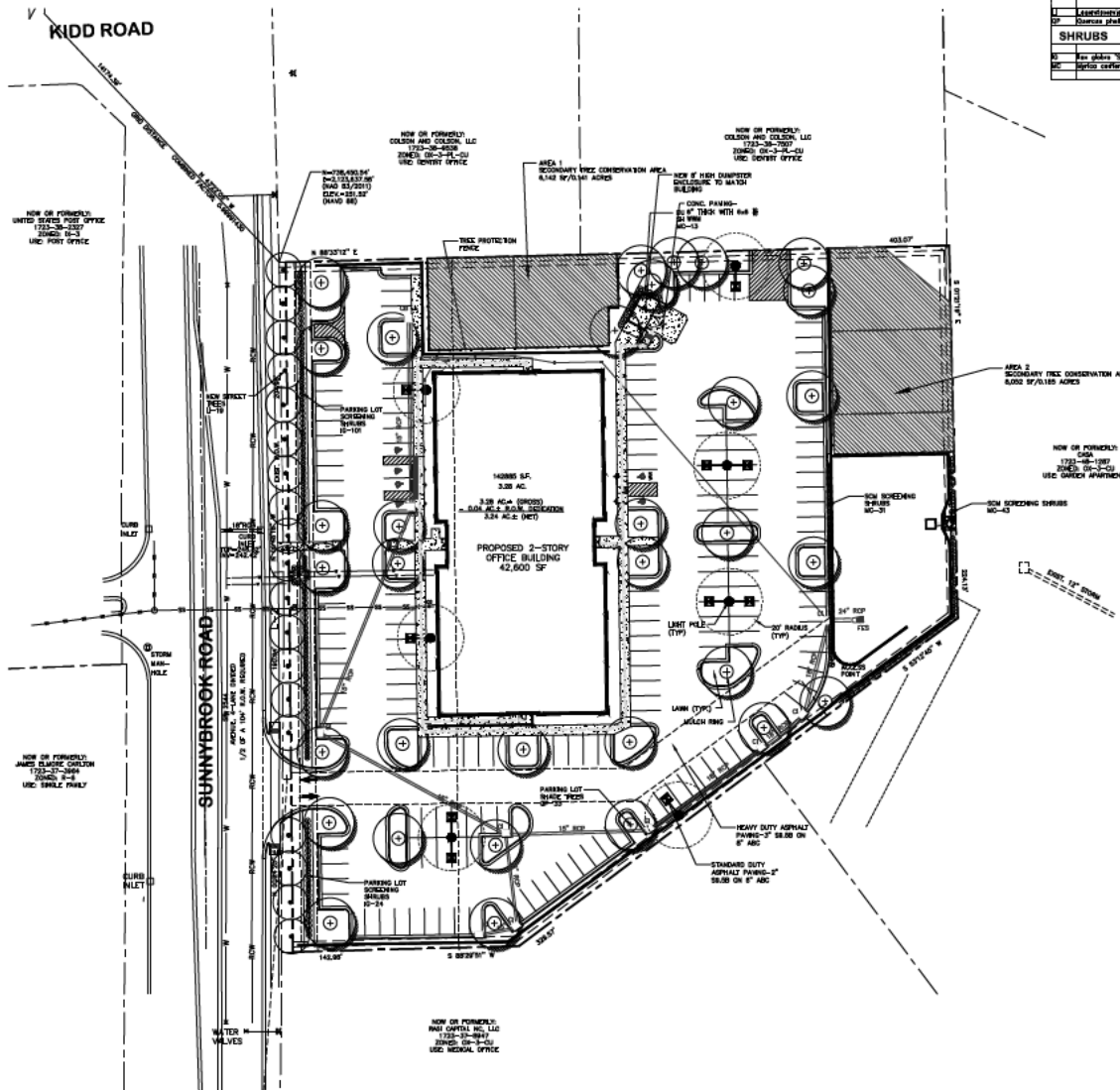
ISSUED: 8 JUL 2020

REVISIONS:
2 OCT 2020
PER REVIEW COMMENTS
1 DEC 2020
PER REVIEW COMMENTS

DRAWN BY: CRP
 CHECKED BY: JDL
 PROJECT: SBO

UTILITY PLAN

DWG. NO. PA.7

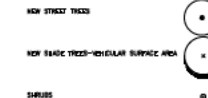


KEY	PLANT LIST		QUAN.	CULTIVAR / PLANTING	PLANT SIZE (H x W x D)	REMARKS
	BOTANICAL NAME	COMMON NAME				
TREES						
1	Landscaping Plant 'Pink Pearl'	Pink Pearl Maple	10	1"	10/20/20	UNDERSTORY TREE/SHRUB TREE
2	Quercus prinus	White Oak	10	1"	10/20/20	SHRUB TREE
SHRUBS						
3	Forsteria 'Mammillaria'	Mammillaria	10	1"	10/20/20	SHRUB
4	Forsteria 'Mammillaria'	Mammillaria	10	1"	10/20/20	SHRUB

LANDSCAPE CALCULATIONS

STREET TREES:	1 TREE/50 LF (UNDERSTORY POWER LINES)
SUNNYBROOK ROAD:	360 LF/50 LF = 18 UNDERSTORY TREES
STREET PROTECTIVE VARIETY (TYPIC 0-3)	30 SHRUBS/100 LF x 360 LF = 108 SHRUBS REQUIRED/PROVIDED
PARKING AREA TREES (1.17)	108 SHRUBS/100 LF = 108 SHRUBS REQUIRED/PROVIDED
SOM BORDERS:	1 0-500/4 LF = 74 SHRUBS REQUIRED/PROVIDED

PLANT LEGEND



LANDSCAPE NOTES

- CONTRACTOR SHALL PROVIDE ALL NECESSARY CONSTRUCTION ITEMS, ETC., IN LANDSCAPE AREAS DETERMINED BY CONSTRUCTION. LANDSCAPE ITEMS SHALL BE SUBMITTED TO A 50% OF 1" AND SHOWN SMOOTH TO ALLOW FOR FUTURE DRAINAGE.
- ALL NEW TREES AND SHRUBS ARE TO BE COMPLETELY COVERED WITH HANDMADE BRICKS/BRICKS TO A MINIMUM DEPTH OF FOUR (4) INCHES BY 100 PINE TRUNKS.
- THINNING SHRUBS IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASES.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE PLANTING AND AFTER INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MAINTAINED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, ETC. APPROPRIATE TO BE MADE AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO WEEDING, SPRINKLING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN FULL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE PLANT MATERIAL INSTALLED ON FOR PRIVATE PROPERTY FOR A PERIOD OF ONE YEAR (OR AS NOTED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN "UNDERSTORY TREES FOR RESIDENT STREET" HEREIN, INCLUDING WEEDING, SPRINKLING, FERTILIZING, ETC., SHALL BE THE QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TOP-25 CITY CITY STANDARDS SET FORTH IN "UNDERSTORY TREES FOR RESIDENT STREET" HEREIN, INCLUDING WEEDING, SPRINKLING, FERTILIZING, ETC., SHALL BE THE QUALITY REQUIREMENTS FOR PLANT MATERIAL.



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ISSUED: 8 JUL 2020

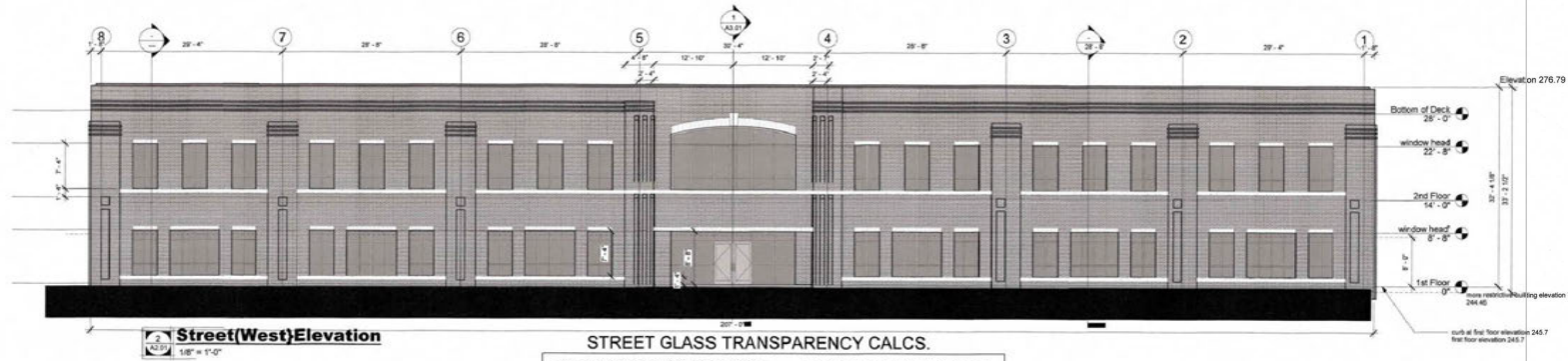
REVISIONS:	
1	2 OCT 2020
2	PER REVIEW COMMENTS
3	1 DEC 2020
4	PER REVIEW COMMENTS

DRAWN BY: CRP
 CHECKED BY: JDL
 PROJECT: SBO

LANDSCAPE
 PLAN

DWG. NO. PA.8

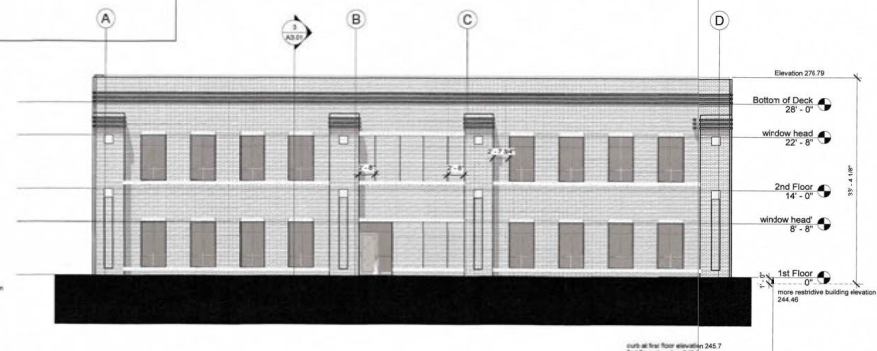
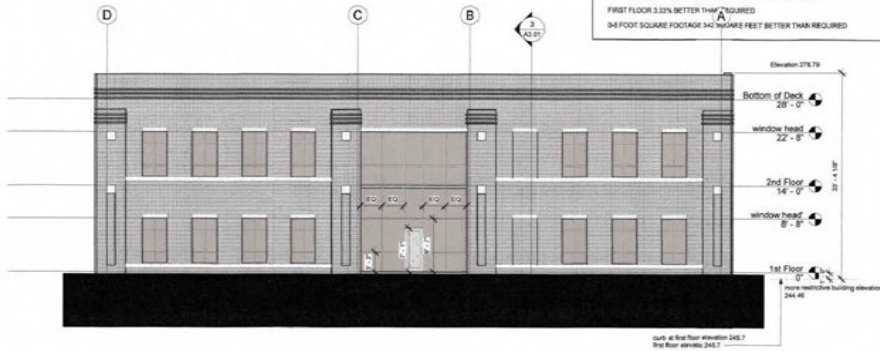
DRAWINGS ARE
FOR REVIEW ONLY
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STREET GLASS TRANSPARENCY CALCS.

FIRST FLOOR ELEVATION AREA: 2,472 SQUARE FEET 0-12 FEET
GLASS AREA - ACTUAL 977.33 SQUARE FEET
PERCENTAGE GLASS AREA 39.5 (20% REQUIRED)
FIRST FLOOR GLASS AREA 58 FEET ACTUAL 791 SQUARE FEET
FIRST FLOOR GLASS AREA 58 FEET REQUIRED 977.33 SQUARE FEET
FIRST FLOOR 3.0% BETTER THAN REQUIRED
9-4 FOOT SQUARE FOOTAGE 342 SQUARE FEET BETTER THAN REQUIRED

SECOND FLOOR ELEVATION AREA: 2,884 SQUARE FEET
GLASS AREA: 588 SQUARE FEET
PERCENTAGE GLASS AREA 23.7%



No.	Description	Date

Sunnybrook Rd.
Office Building

Elevations

Project number
Date
Drawn by
Checked by

ISSUE DATE
BS
EJS

A2.01

Scale 1/8" = 1'-0"

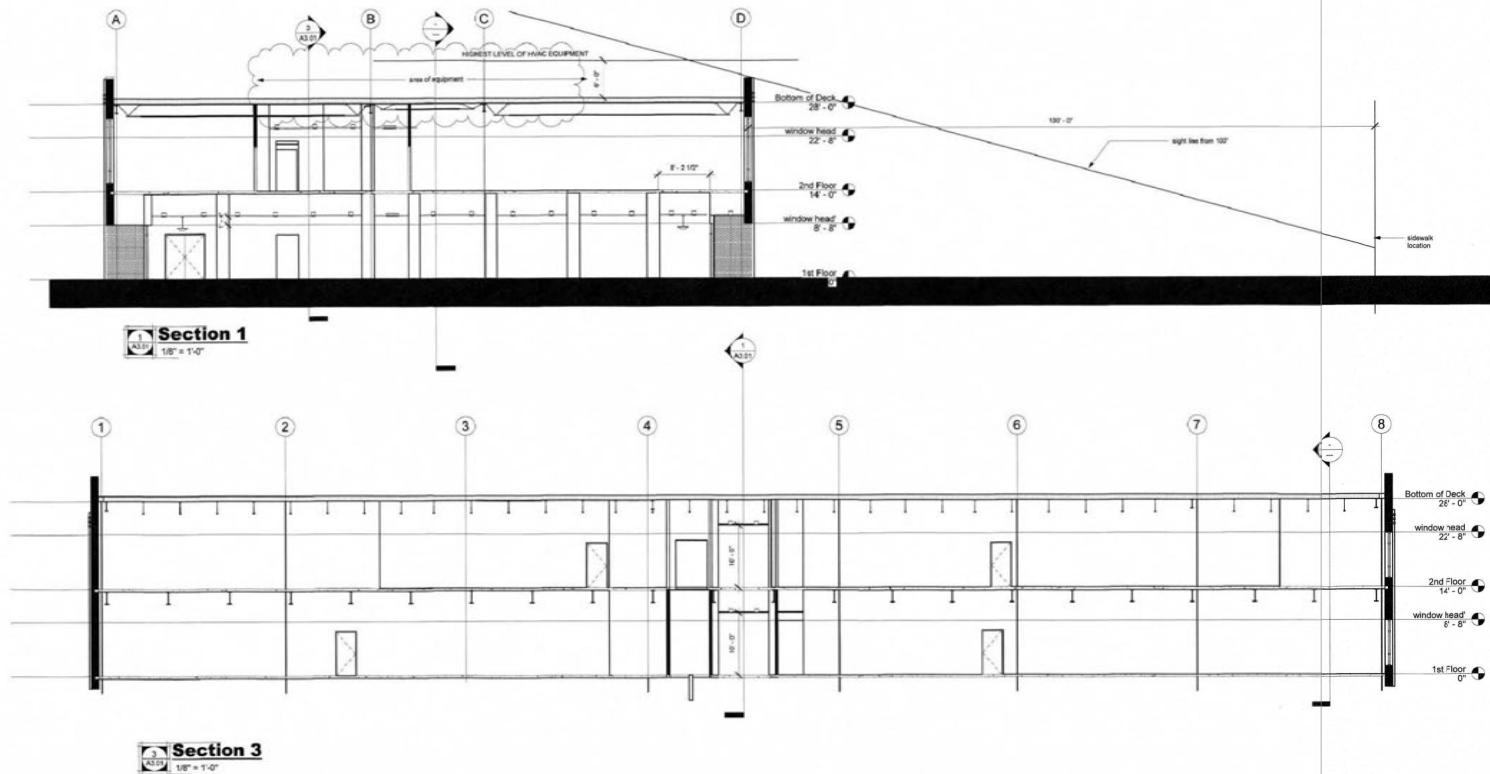


SULTARCHITECTURE
ARCHITECTURE PLANNING INTERIORS

3820 Merton Drive, Ste 218.
Raleigh, NC 27609
(p) 984-200-4436

sultarchitecture.com

**DRAWINGS ARE
FOR REVIEW ONLY
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CONSTRUCTION**



Rev.	Description	Date
1	Revision 1	Oct 1

Sunnybrook Rd.

Office Building

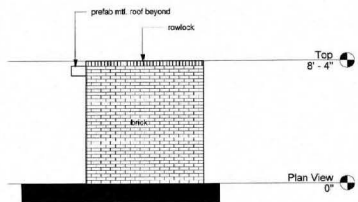
Building Section

Project number
Date
Drawn by
Checked by

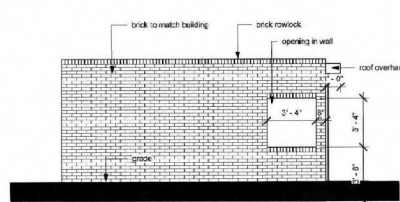
ISSUE DATE
CAB
EJS

A3.01

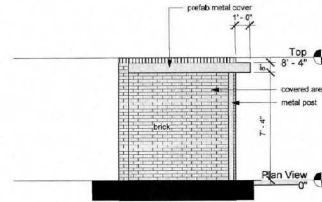
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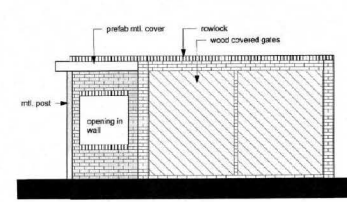
Right Elevation
1/4" = 1'-0"



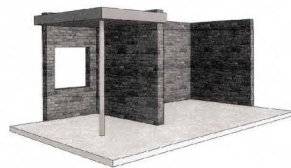
Rear Elevation
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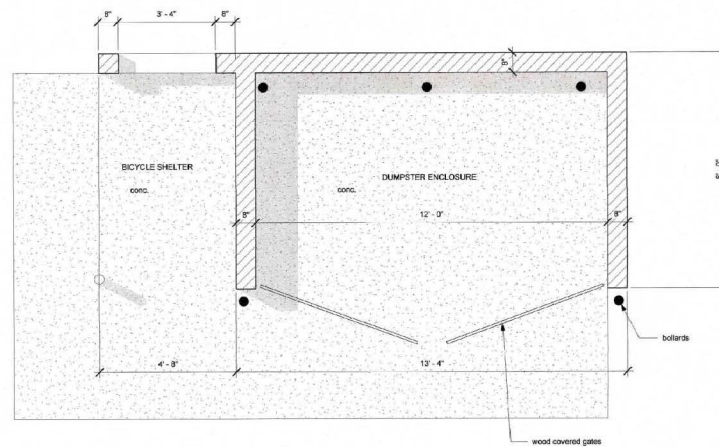
Left Elevation
1/4" = 1'-0"



Front Elevation
1/4" = 1'-0"



3D View 1
1/4" = 1'-0"



Floor Plan
1/2" = 1'-0"



SULTARCHITECTURE
ARCHITECTURE PLANNING INTERIORS

3820 Merton Drive, Ste 218.
Raleigh, NC 27609
(p) 984-200-4486

bsult@sultarchitecture.com



No.	Description	Date

Sunnybrook Dumpster
221 Sunnybrook
Road



Floor Plan

Project number	
Date	ISSUE DATE
Drawn by	CAB
Checked by	EJS

A1.1

Scale As indicated