

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input type="checkbox"/>
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Building and Development Type (Check all that apply)	Site Transaction History		
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top; padding: 5px;"> <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot </td> <td style="width: 50%; vertical-align: top; padding: 5px;"> <input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option </td> </tr> </table>	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option		

GENERAL INFORMATION

Development name:

Inside City limits? Yes <input type="checkbox"/> No <input type="checkbox"/>

Property address(es):

Site P.I.N.(s):

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company:	Title:
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Address:

Phone #:	Email:
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Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner’s authorized agent <input type="checkbox"/> Easement holder

Company:	Address:
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Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

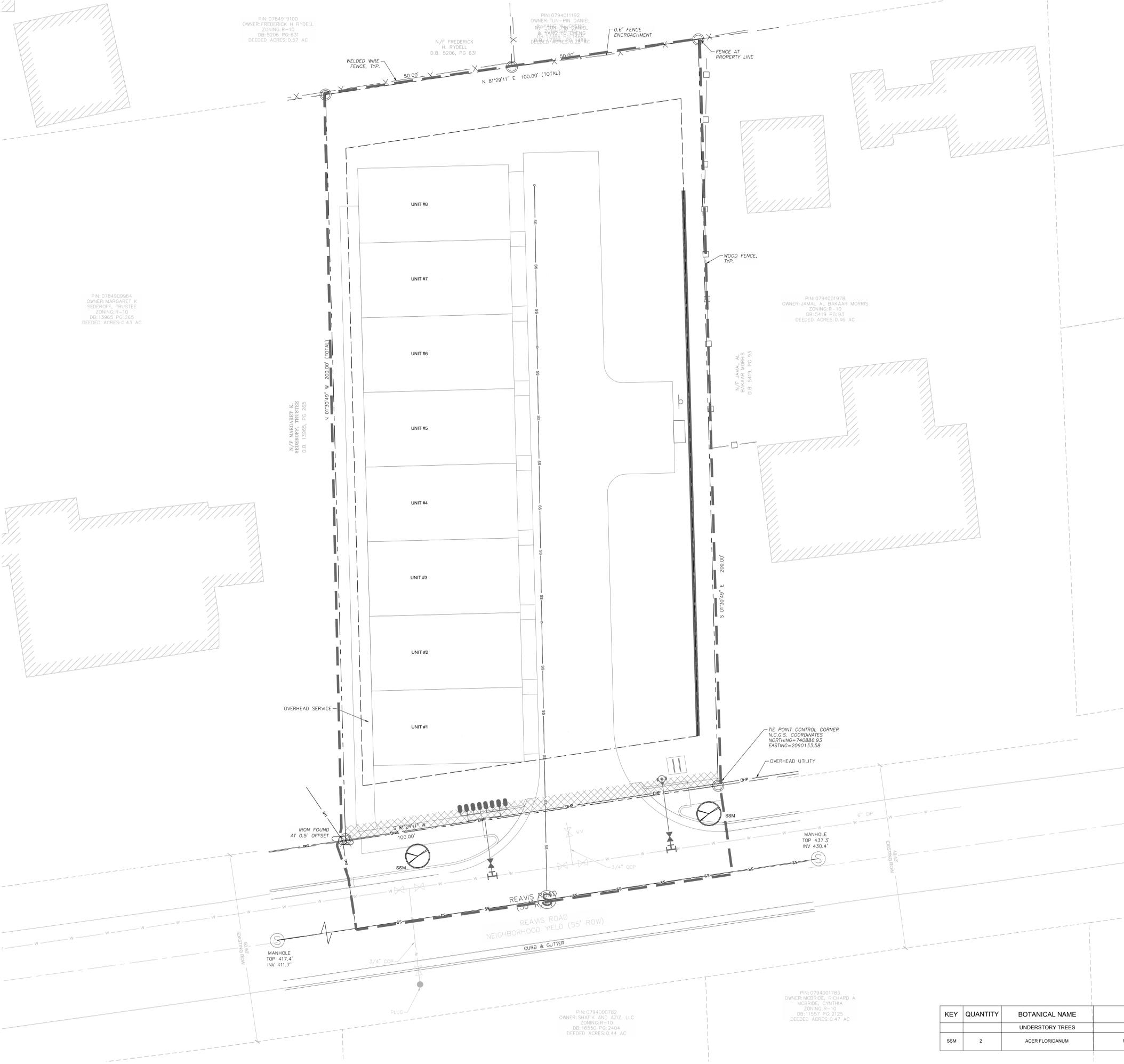
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	



SITE LEGEND:

SYMBOL	DESCRIPTION
[Hatched Box]	PROPOSED BUILDING
[Dotted Box]	PROPOSED CONCRETE SIDEWALK
[Cross-hatched Box]	PROPOSED BRICK SIDEWALK
[Dark Hatched Box]	PROPOSED HEAVY DUTY PAVEMENT
[Light Hatched Box]	PROPOSED CONCRETE PAVERS
[Stippled Box]	PROPOSED GRAVEL
[Dashed Line]	PROPOSED CURB & GUTTER
[Thick Solid Line]	PROPOSED STOP BAR
[Diagonal Lines]	PROPOSED CROSSWALK
[Thin Solid Line]	PROPOSED 6' WIDE STANDARD CROSSWALK
[Thick Solid Line]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
[Circle with X]	PROPOSED SIGN
[Circle with H/C]	PROPOSED ADA PARKING SPACE
[Thick Solid Line]	PROPOSED KEYSTONE WALL
[Dotted Line]	PROPOSED CIP WALL
[Thick Solid Line]	PROPOSED WHEEL STOP
[Stippled Area]	PROPOSED GRAVEL TRAIL
[Dark Hatched Area]	PROPOSED ASPHALT TRAIL
[X on Line]	PROPOSED FENCE
[X on Line]	PROPOSED VEHICLE GATE (X' WIDE)
[Circle with X]	PROPOSED LIGHT
[Circle with X]	PROPOSED BIKE RACK
[Dashed Line]	LIMITS OF DISTURBANCE

- NOTES:**
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
 - THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
 - THE SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSS ACCESS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.3.0.5.A. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS PLLC.
 - PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720172300J DATED MAY 2, 2006.
 - NO ONSITE WETLANDS OR STREAMS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.

LANDSCAPING REQUIREMENTS:

REAVIS ROAD (NEIGHBORHOOD YIELD)

REQUIREMENT: 1 SHADE TREE PER 40 LF = 100 LF / 40 LF = 2 TREES

PROVIDED: 2 TREES

- THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2 TREE CONSERVATION APPLICABILITY.
- THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPING NOTES:

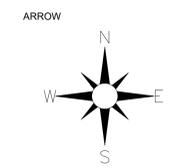
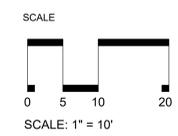
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-003.
- STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS REQUIREMENTS.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

SWIFT PARTNERS

424 S. DAWSON STREET
RALEIGH NC 27617
FIRM LICENSE: P-2187

No.	Date	Description

VICINITY



KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING	CONTAINER	MATURE
SSM	2	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	10'-0"	3.00"	B&B 50'-0" 60'-0"
		UNDERSTORY TREES				

DATE: 06/28/2024
DRAWN BY: RSM
PROJECT: 4204 REAVIS ROAD
PROJECT #: C202410
SHEET TITLE: **PLANTING PLAN**
SHEET NO.: **L1.00**

PIN: 0784919100
OWNER: FREDERICK H. RYDELL
ZONING: R-10
DB: 5206 PG. 631
DEEDED ACRES: 0.57 AC

PIN: 0794011192
OWNER: TUN-PIN DANIEL
ZONING: R-10
DB: 5206 PG. 631
DEEDED ACRES: 0.18 AC

PIN: 0794001978
OWNER: JAMAL AL BAKAR MORRIS
ZONING: R-10
DB: 5419 PG. 93
DEEDED ACRES: 0.46 AC

PIN: 0784909964
OWNER: MARGARET K. SEDEROFF, TRUSTEE
ZONING: R-10
DB: 13965 PG. 265
DEEDED ACRES: 0.43 AC

N/F MARGARET K. SEDEROFF, TRUSTEE
D.B. 13965, PG. 265

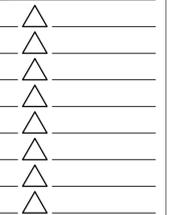
N/F JAMAL AL BAKAR MORRIS
D.B. 5419, PG. 93

PIN: 0794000782
OWNER: SHAFIK AND AZIZ, LLC
ZONING: R-10
DB: 16550 PG. 2404
DEEDED ACRES: 0.44 AC

PIN: 0794001783
OWNER: MCBRIDE, RICHARD A. MCBRIDE, CYNTHIA
ZONING: R-10
DB: 11537 PG. 2125
DEEDED ACRES: 0.47 AC

NOT FOR CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- 6/28/24 BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT



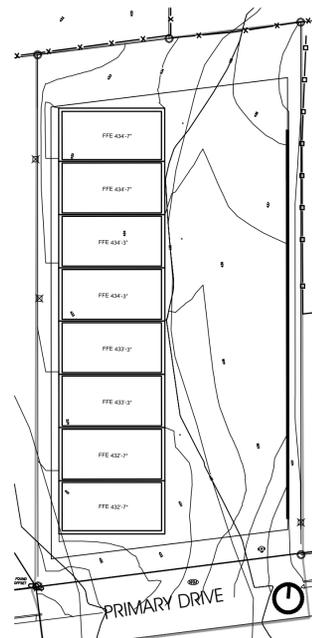
THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

Reavis Townhomes
4204 Reavis Rd
Raleigh, NC

DESIGNER : CLB
DRAWN : CG
CHECKED : CLB
SCALE : AS SHOWN
JOB NUMBER : 8344

SHEET TITLE
Exterior Elevations

SHEET NUMBER
A-201



3 Reference Plan
SCALE: 1/32"=1'-0"



2 South Elevation
SCALE: 1/8"=1'-0"



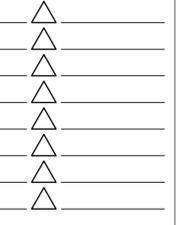
1 East Elevation
SCALE: 1/8"=1'-0"

PROGRESS SET

June 28, 2024

NOT FOR CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- 6/28/24 BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT



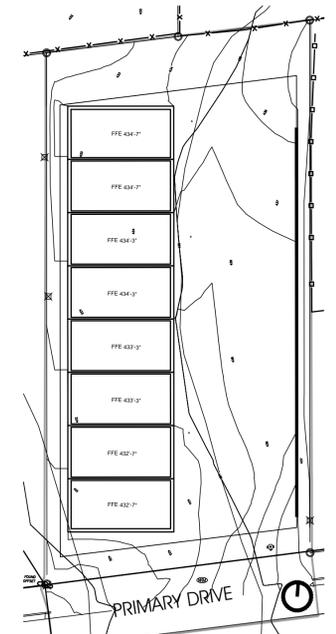
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Reavis Townhomes
4204 Reavis Rd
Raleigh, NC

DESIGNER : --
DRAWN : --
CHECKED : --
SCALE : AS SHOWN
JOB NUMBER : 8344
SHEET TITLE

Exterior Elevations

SHEET NUMBER
A-202



3 Reference Plan
A202 SCALE: 1/32"=1'-0"



2 North Elevation
A202 SCALE: 1/8"=1'-0"



1 West Elevation
A202 SCALE: 1/8"=1'-0"

PROGRESS SET