#### **Administrative Site Review Application**



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: Planner (print): Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.) Site Plan Tier: Tier Two Site Plan Tier Three Site Plan **Building and Development Type Site Transaction History** (Check all that apply) Detached General Subdivision case #: Scoping/sketch plan case #: Attached Mixed use Certificate of Appropriateness #: Townhouse Civic Board of Adjustment #: Apartment **Cottage Court** Zoning Case #: \_\_\_\_\_ Tiny house Frequent Transit Design Alternate #: \_\_\_\_\_ **Development Option** Open lot **GENERAL INFORMATION** Development name: Inside City limits? Yes No Property address(es): Site P.I.N.(s): Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). **Current Property Owner(s):** Title: Company: Address: Phone #: Email: Applicant Name (If different from owner. See "who can apply" in instructions): Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder Company: Address:

Phone #:	Email:				
NOTE: please attach purchase agreement	or contrac	t, lease or easement when submitting this form.			
Developer Contact:					
Company:		Title:			
Address:					
Phone #:	Email:				
Applicant Name:					
Company:	Address:				
Phone #:	Email:				
DEVE	DMENT T	VDE - OLTE DATE TABLE			
		/PE + SITE DATE TABLE p all developments)			
SITE DATA	ppcoo.co	BUILDING DATA			
Zoning district(s) (please provide the acreage	e of each):	Existing gross floor area (not to be demolished):			
Gross site acreage:		Existing gross floor area to be demolished:			
# of parking spaces proposed:		New gross floor area:			
Max # parking permitted (7.1.2.C):		Total sf gross (to remain and new):			
Overlay District (if applicable):		Proposed # of buildings:			
Existing use (UDO 6.1.4):		Proposed # of stories for each:			
Proposed use (UDO 6.1.4):		Proposed # of basement levels (UDO 1.5.7.A.6)			
STORMWATER INFORMATION					
Imperious Area on Parcel(s):  Existing (sf) Proposed total (sf)		Impervious Area for Compliance (includes ROW):			
		Existing (sf) Proposed total (sf)			
DECIDENTIAL	OVEDNIC	HT LODGING DEVELORMENTS			
	x OVERNIG	Total # of hotal hadrooms:			
Total # of dwelling units:  # of bedroom units: 1br 2br	3hr	Total # of hotel bedrooms:			
# of lots:	_ 551 _	4br or more  Is your project a cottage court?  Yes  No			
		1 7 1 17 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			

Continue to Applicant Signature Block on Page 4.

A frequent transit development?

) No

) Yes

#### APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

<b>λ</b> /	
Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	 

# 4204 REAVIS ROAD

4204 REAVIS ROAD RALEIGH, NC 27606

CITY OF RALEIGH SUBMITTAL ASR-XXXXXXXXX

SUBMITTED ON: 06.28.2024

0.2.8. Please check the		ude the plan checklist document when submitting.		
Office Use Only: Case	e#:	Planner (print):		
	tion request can be submitted online	an tier. If assistance determining a Site Plan Tier is needed e via the Permit and Development Portal. (Note: There is a		
Site Plan Tier: Tier	Two Site Plan Tier Three	e Site Plan 🗸		
<u> </u>	and Development Type ck all that apply)	Site Transaction History		
Detached	General	Subdivision case #:		
Attached	Mixed use	Scoping/sketch plan case #:		
Townhouse	Civic	Certificate of Appropriateness #:		
✓ Apartment	Cottage Court	Board of Adjustment #:		
Tiny house	Frequent Transit	Zoning Case #: Design Alternate #:		
Open lot	Development Option			
	GENERAL II	NFORMATION		
Development name: 42	204 REAVIS ROAD			
Inside City limits?	Yes 🗸 No			
Property address(es): <sub>/</sub>	4204 REAVIS ROAD, RALEIGH	I NC 27606		
Site P.I.N.(s): 0794000987				
	ope of work. Include any additions, e	expansions, and uses (UDO 6.1.4). e apartments and associated infrastructure.		
Current Property Owr	ner(s): MIND OVER METHOD L	.LC		
Company: MIND OVI	ER METHOD LLC	Title:		
Company. Will AD CVI	OOD ST, RALEIGH NC 27601			
, ,		TO LANANAY/DODOOM		
Address: 216 HAYW	91 Email: MAT	T@JAMMYPOP.COM		
Address: 216 HAYW0 Phone #: 860-836-48	91 Email: MAT			
Address: 216 HAYWO Phone #: 860-836-48 Applicant Name (If dif	fferent from owner. See "who can			

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form. **Developer Contact: MATT TOMASULO** Company: MIND OVER METHOD LLC Title: MANAGING MEMBER Address: 216 HAYWOOD ST, RALEIGH NC 27601 Email: MATT@JAMMYPOP.COM Phone #: 860-836-4891

Applicant Name:

Phone #:

**DEVELOPMENT TYPE + SITE DATE TABLE** BUILDING DATA SITE DATA Zoning district(s) (please provide the acreage of each): Existing gross floor area (not to be demolished): Gross site acreage: Existing gross floor area to be demolished: 0.46 AC New gross floor area: 19,200 SF # of parking spaces proposed: 10 Total sf gross (to remain and new): 19,200 SF Max # parking permitted (7.1.2.C): Overlay District (if applicable): TOD Proposed # of buildings: 1 Proposed # of stories for each: 3 Existing use (UDO 6.1.4): SINGLE FAMILY Proposed use (UDO 6.1.4): MULTI FAMILY Proposed # of basement levels (UDO 1.5.7.A.6) 0 Imperious Area on Parcel(s): Impervious Area for Compliance Existing (sf) 2,971 Proposed total (sf) 11,783 Existing (sf) 3,356 Proposed total (sf) 12,387 **RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS** Total # of hotel bedrooms: 0 Total # of dwelling units: 8 # of bedroom units: 1br \_ 3br <u>8</u> 4br or more \_ Is your project a cottage court? Yes No

Continue to Applicant Signature Block on Page 4.

A frequent transit development? 

Yes

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement. Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request. By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

APPLICANT SIGNATURE BLOCK

Revision 03.01.24

Date: 6-28-24

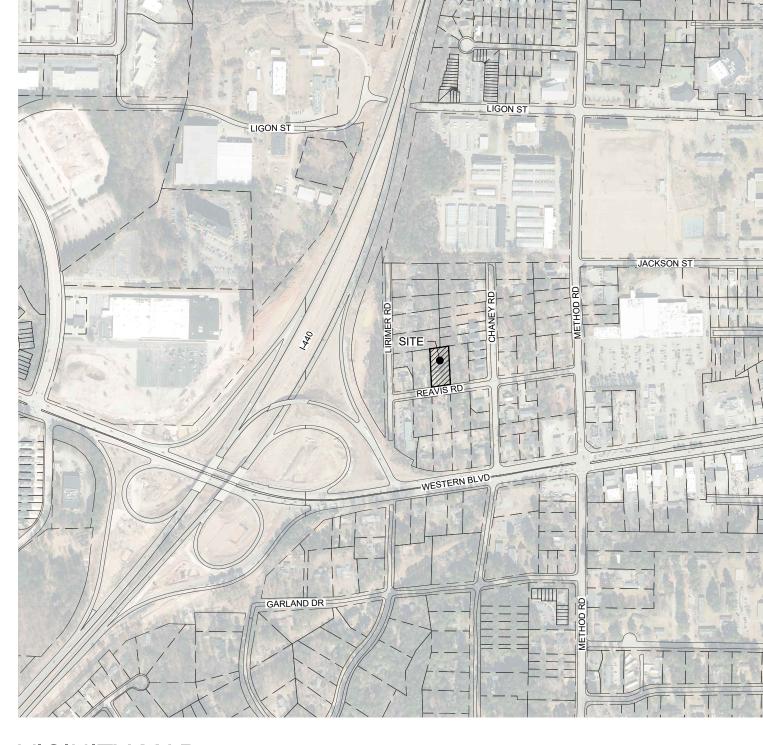
Date:

#### SHEET INDEX

SHEET TITLE **COVER SHEET GENERAL NOTES** SURVEY - PLAT **EXISTING CONDITIONS PLAN** DEMOLITION PLAN SITE LAYOUT

GRADING AND DRAINAGE PLAN UTILITY PLAN SITE DETAILS PLANTING PLAN

ARCHITECTURAL ELEVATIONS ARCHITECTURAL ELEVATIONS



**VICINITY MAP** 



1. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.

2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.

A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH

THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL. 4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH

THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.

5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND

STANDARDS, INCLUDING BUT NOT LIMITED TO: 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)

5.2. PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);

5.3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS 5.4. RALEIGH STREET DESIGN MANUAL (RSDM).

6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE

MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

#### GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.

ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S

REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE

RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.

7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.

8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.

COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK. 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO

COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE

11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS

ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

SOLID WASTE TO BE HANDLED VIA ROLL OUT CART. CARTS ARE TO BE STORED IN GARAGES AND ROLLED OUT TO CURB ALONG PROPERTY FRONTAGE OF PUBLIC STREET

### SITE DATA

PROJECT NAME: 4204 REAVIS ROAD SITE ADDRESS: 4204 REAVIS ROAD RALEIGH, NC 27606 COUNTY: PARCEL PIN #: 0794000987 0.46 AC / 19,851 SF GROSS SITE AREA: RIGHT-OF-WAY DEDICATION: 0.003 AC / 399 SF 0.45 AC / 19,452 SF NET SITE AREA: ZONING (CURRENT): ZONING (PROPOSED): TRANSIT OVERLAY DISTRICT OVERLAY DISTRICT(S) LAND USE (EXISTING): SINGLE FAMILY RESIDENTIAL LAND USE (PROPOSED) MULTI FAMILY RESIDENTIAL FEMA MAP PANEL #: FIRM PANEL: 3720079400K, EFFECTIVE DATE: 7/18/2022 RIVER BASIN: DEVELOPMENT TYPE: APARTMENT BUILDING HEIGHT (MAX ALLOWED): 45' / 3-STORIES BUILDING HEIGHT (PROPOSED): PROPOSED NUMBER OF LOTS: TREE CONSERVATION AREA:: TOTAL LIMITS OF DISTURBANCE:: 0.52 AC / 22,553 SF 0.29 AC / 12,644 SF (65%) ALLOWED IMPERVIOUS AREA:

IMPERVIOUS AREA (EXISTING): ON PARCEL: FOR COMPLIANCE (INCLUDES ROW): IMPERVIOUS AREA (PROPOSED):

ON PARCEL: FOR COMPLIANCE (INCLUDES ROW): AMENITY AREA REQUIRED: AMENITY AREA PROVIDED: PARKING DATA:

VEHICULAR PARKING PROPOSED: TOTAL PARKING: BIKE PARKING REQUIRED: BIKE PARKING PROVIDED: BUILDING SETBACKS:

VEHICULAR PARKING REQUIRED:

FROM PRIMARY STREET

FROM SIDE STREET (MIN)

FROM SIDE LOT LINE (MIN)

FROM REAR LOT LINE (MIN)

FROM ALLEY, GARAGE ONLY (MIN)

FROM PRIMARY STREET FROM SIDE STREET (MIN) FROM SIDE LOT LINE (MIN) FROM REAR LOT LINE (MIN) FROM ALLEY (MIN)

PARKING SETBACKS

0.27 AC / 11,783 SF (61%) 0.28 AC / 12,387 SF (64%) 0.05 AC / 1,945 SF (10%) 0.05 AC / 1,945 SF (10%) NO MAXIMUM 10 SPACES 10 SPACES 4 SPACES

0.07 AC / 2,971 SF (15%)

0.08 AC / 3,356 SF (17%)

FREQUENT TRANSIT DEVELOPMENT OPTION

FREQUENT TRANSIT DEVELOPMENT OPTION

RALEIGH NC 27601

FIRM LICENSE: P-2187







#### GENERAL NOTES

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- 2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY SWIFT PARTNERS, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- WITHOUT ALL UTILITIES BEING LOCATED.

  4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S
- 5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- 7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- 8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- 11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

#### **EXISTING CONDITION NOTES:**

- 1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
- 2. HORIZONTAL DATUM IS NAD 83-2011 AND VERTICAL DATUM IS NAVD88.

REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

- 3. THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
- 4. UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION / MARKING SERVICES PERFORMED BY STEWART INC, AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- 5. SURVEY INFORMATION COLLECTED BY NEWCOMB LAND SURVEYORS PLLC
- 6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
- 7. NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.

#### DEMOLITION NOTES:

- THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
- 2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
- 3. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE.
- 4. ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.
- 5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" (TELEPHONE 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."
- 6. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 7. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
- 8. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
- REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
   ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR
- 10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES O REQUIREMENTS.
- 11. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION
- 12. EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO BEGINNING DEMOLITION.
- 13. ITEMS DESIGNATED TO BE SALVAGED AND/OR RE-USED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.

EXECUTE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE, AND 1 FOOT BELOW. CLEAN

14. WHERE UTILITIES ("TO BE REMOVED") IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL

- SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

  15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH
- 15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM OF THE SYSTEM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
- SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.

  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING

16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN

- LOT, SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION VIDEO OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.

  18. ALL MATERIALS FURNISHINGS LITHLITIES AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE
- 18. ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 19. WHERE UTILITIES ARE SHOWN TO BE "REMOVED", CONTRACTOR SHALL INCLUDE NECESSARY PLUG OR VALVES TO ENSURE UTILITY LINES TO REMAIN WILL CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.
- 20. CONTRACTOR SHALL PROVIDE PEDESTRIAN INGRESS / EGRESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD

#### MATERIALS AND FURNISHINGS NOTES:

- 1. ABBREVIATIONS FOR SPECIFIC HARDSCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDSCAPE & FURNISHINGS PLANS, PAVING PATTERN PLANS AND SITE DETAILS.
- REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE
- 3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

#### SITE NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
- ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.

  2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN
- 3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM REAVIS ROAD UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.

WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.

- 4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- 5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF
- CURB UNLESS OTHERWISE NOTED.6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
- 7. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
- 8. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS.
- 9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- 10. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN
- 11. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
- 12. ALL CURB TAPERS ARE SIX (6') FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.
- 13. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. TIE NEW SIDEWALKS INTO NEAREST EXISTING PAVEMENT JOINT; MATCH WIDTH OF EXISTING WALKWAY.
- 14. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 6.5' WIDE AS MEASURED FROM THE FACE OF CURB.
- 15. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL
- 16. SIGHT TRIANGLES NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.
- 17. THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL
- 18. HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.11 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SPOT ELEVATIONS, IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE 1/12 FOR 6-FEET OR A MAXIMUM CROSS SLOPE OF 1:48 AND A 36" MINIMUM LANDING, THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- 19. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

#### GRADING AND STORM DRAINAGE NOTES:

- 1. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- 2. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP.
- 3. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.
- 5. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM. (BOTH PUBLIC AND PRIVATE). THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CO.
- 6. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION
- 7. INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT.
- 8. INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING.
- 9. TIE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND STORM SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATE AND INSTALL WHERE POSSIBLE OR AS SHOWN ON PLANS. WHERE ROOF LEADERS DAYLIGHT AT GRADE A SPLASH BLOCK APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED.
- 10. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY DIRECTION.
- 11. PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY.
- 12. PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.
- 13. SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL SLOPE NOT LESS THAN 1/20 AWAY FOR MINIMUM DISTANCE OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERT WATER AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED AWAY A MINIMUM OF 2% AWAY FROM BUILDING.
- 14. CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
- 15. CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.
- 16. TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CAP, UNLESS OTHERWISE NOTED.17. BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.

#### PAVING PATTERN NOTES:

- END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF SIZE PAVER UNLESS OTHERWISE NOTED. USE OVERSIZE PAVERS WHERE PATTERN ENDS ON A UNIT SMALLER THAN HALF SIZE.
- 2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN. REFERENCE LAYOUT PLANS FOR FURTHER PAVING LAYOUT INFORMATION.
- 3. PAVERS ABUTTING TRUNCATED DOMES SHALL BE A CONTRASTING COLOR.
- ALIGN ALL TRUNCATED DOME PAVER JOINTS WITH ABUTTING PAVER JOINTS.
   PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN BACK OF CURB AND ADJOINING PAVEMENT.
- 6. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT.
- 7. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.
- 8. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
- 9. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
- 10. ALIGN ALL JOINTS, CORNERS AND EDGES AS SHOWN.11. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT.

## SIGNAGE, STRIPING AND MARKING NOTES:

PERPENDICULAR TO THE ROADWAY / DRIVE LANE.

- ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY PER DOT STANDARDS
- 2. ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
- 3. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR
- 4. ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE

#### CITY OF RALEIGH STANDARD UTILITY NOTES:

FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS:
  A. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN
- INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  B. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP

OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED

- C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- D. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- E. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- 5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT
- BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

  8. INSTALL 3/4" COPPER\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT
- IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC\* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- 12. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- 14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- 15. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER THE PROJECT MUST BE PUBLICLY BID.

#### SEWER NOTES:

- SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING
- 2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
- 3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE.
  MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED
  SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION
- 4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
   4" SEWER SERVICE 2.00% SLOPE
   6" SEWER SERVICE 1.00% SLOPE
   8" SEWER SERVICE 0.50% SLOPE

SHALL HAVE WATERTIGHT, BOLTED LIDS.

5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.

6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH

GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW:

4" SEWER SERVICE - SCH 80

6" SEWER SERVICE - SCH 80

8" SEWER SERVICE - SDR-35

7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH

IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN

THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY

8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

# WATER NOTES:

- 1. AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM B88. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C-900; CLASS 200.
- ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
   TESTING NOTES:

SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

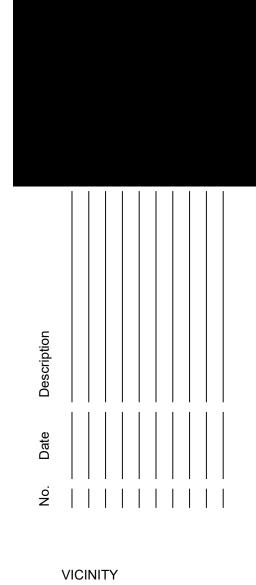
- PRESSURE:
  LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600.
  MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION.
  BACTERIOLOGICAL:
  TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS
  APART. IF CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING
- 4. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER
- 5. PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

# SWAFT SWAFT PARTNERS



RALEIGH NC 27601

FIRM LICENSE: P-2187



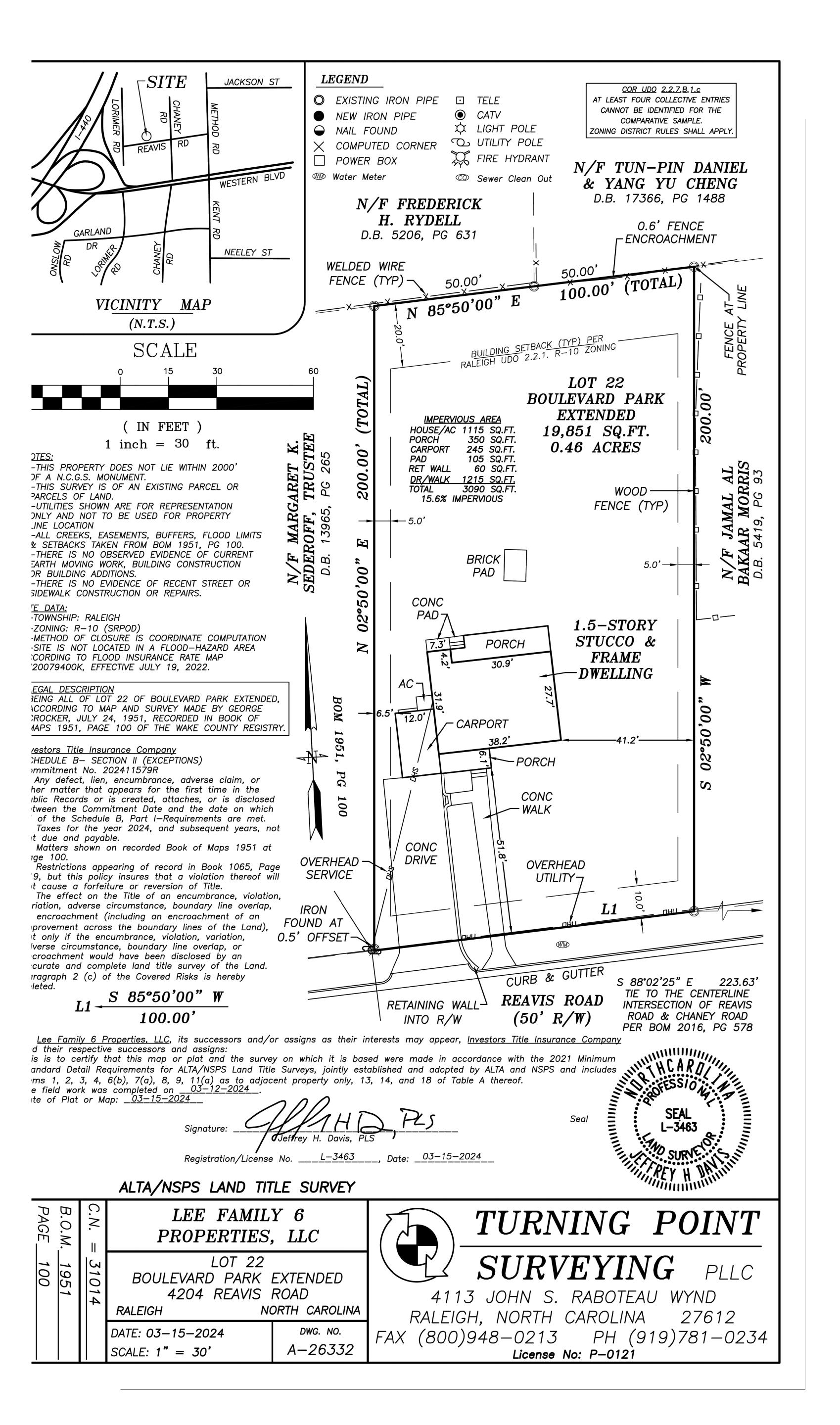
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ARROW

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DRAWN BY: RS
PROJECT: 4204 REAVIS ROAD
PROJECT #: C202410
SHEET TITLE

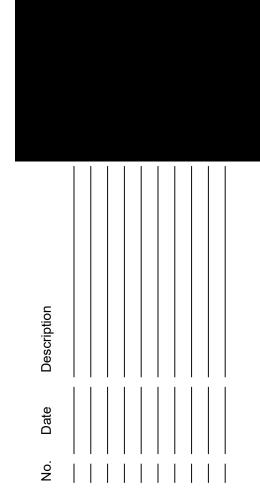
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SWIFT
PARTNERS



424 S. DAWSON STREET RALEIGH NC 27601 FIRM LICENSE: P-2187



VICINITY

SCALE

NOT TO SCALE

ARROW

PROJECT: 4204 REAVIS ROAD
PROJECT #: C202410
SHEET TITLE
SURVEY - PLAT

C1.00

<u>LEGEND</u>

EXISTING IRON PIPE

X COMPUTED CORNER

NEW IRON PIPE

NAIL FOUND

POWER BOX

WWW WATER METER

TELE

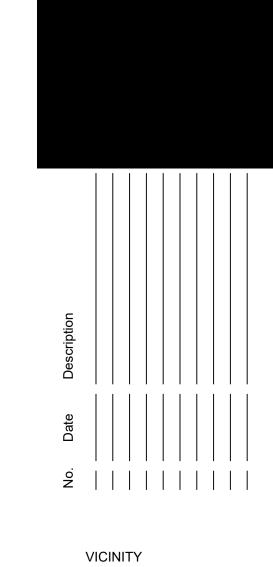
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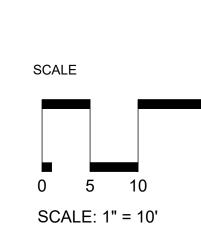
C LIGHT POLE

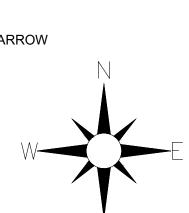
UTILITY POLE

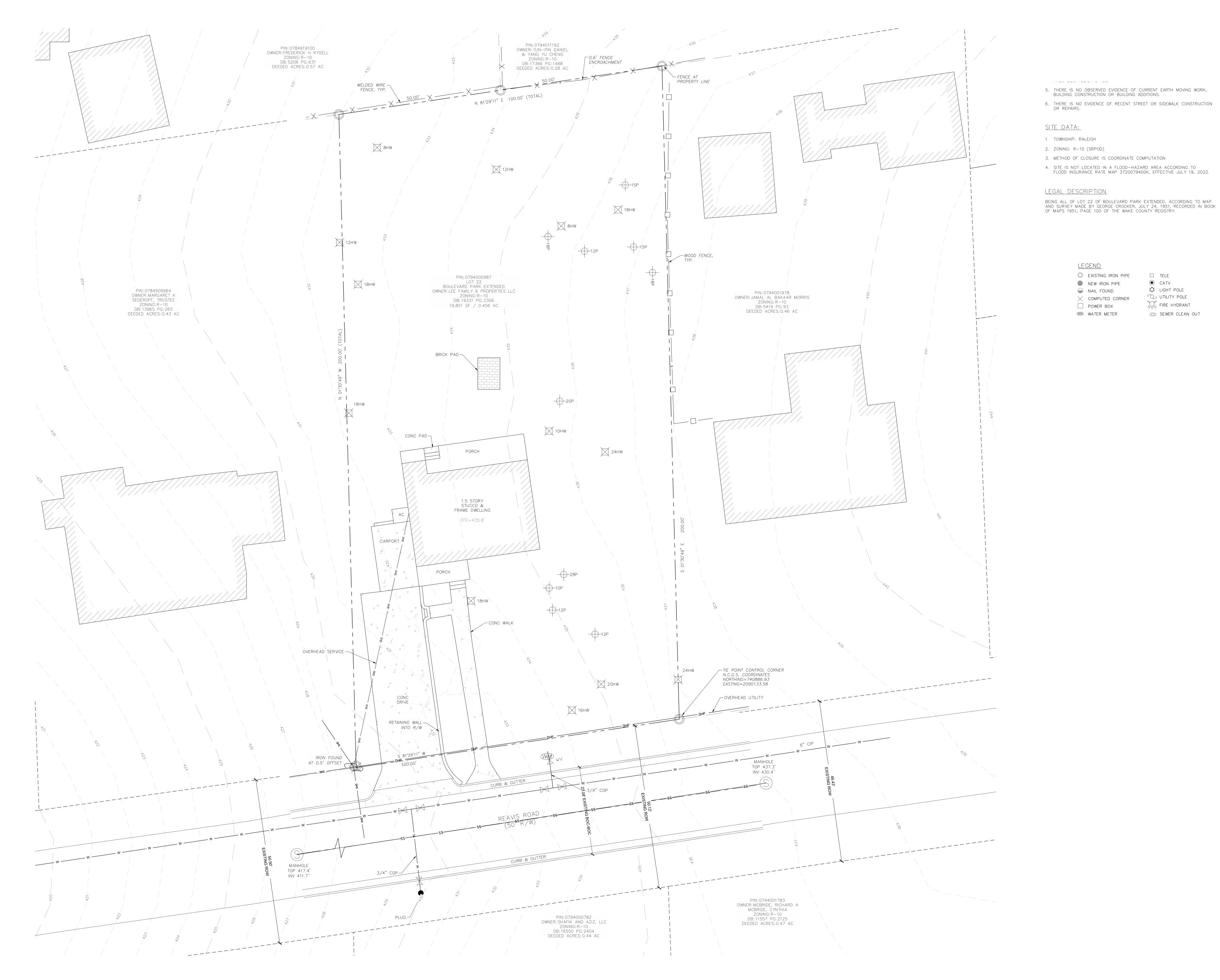
FIRE HYDRANT

SEWER CLEAN OUT









#### **DEMOLITION LEGEND:** KEY SYMBOL DESCRIPTION REMOVE BUILDING MILL & OVERLAY ASPHALT REMOVE GRAVEL REMOVE BRICK WALKWAY REMOVE CONCRETE REMOVE RIPRAP REMOVE VEGETATION W REMOVE WATER LINE SS REMOVE SANITARY SEWER LINE REMOVE STORM DRAINAGE REMOVE FENCE 12 — TP — TREE PROTECTION FENCE 13 LIMITS OF DISTURBANCE 14 COORDINATE LIGHT POLE REMOVAL REMOVE TREE ----- REMOVE TREELINE REMOVE WHEEL STOP REMOVE CURB & GUTTER

#### NOTES:

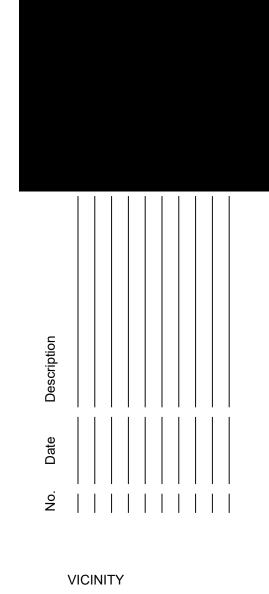
1. SEE SHEET C0.10 FOR GENERAL AND DEMOLITION NOTES.

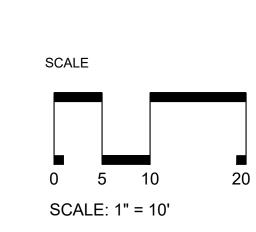
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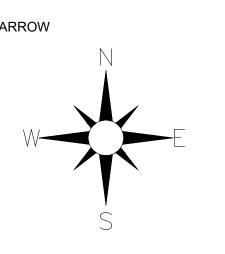




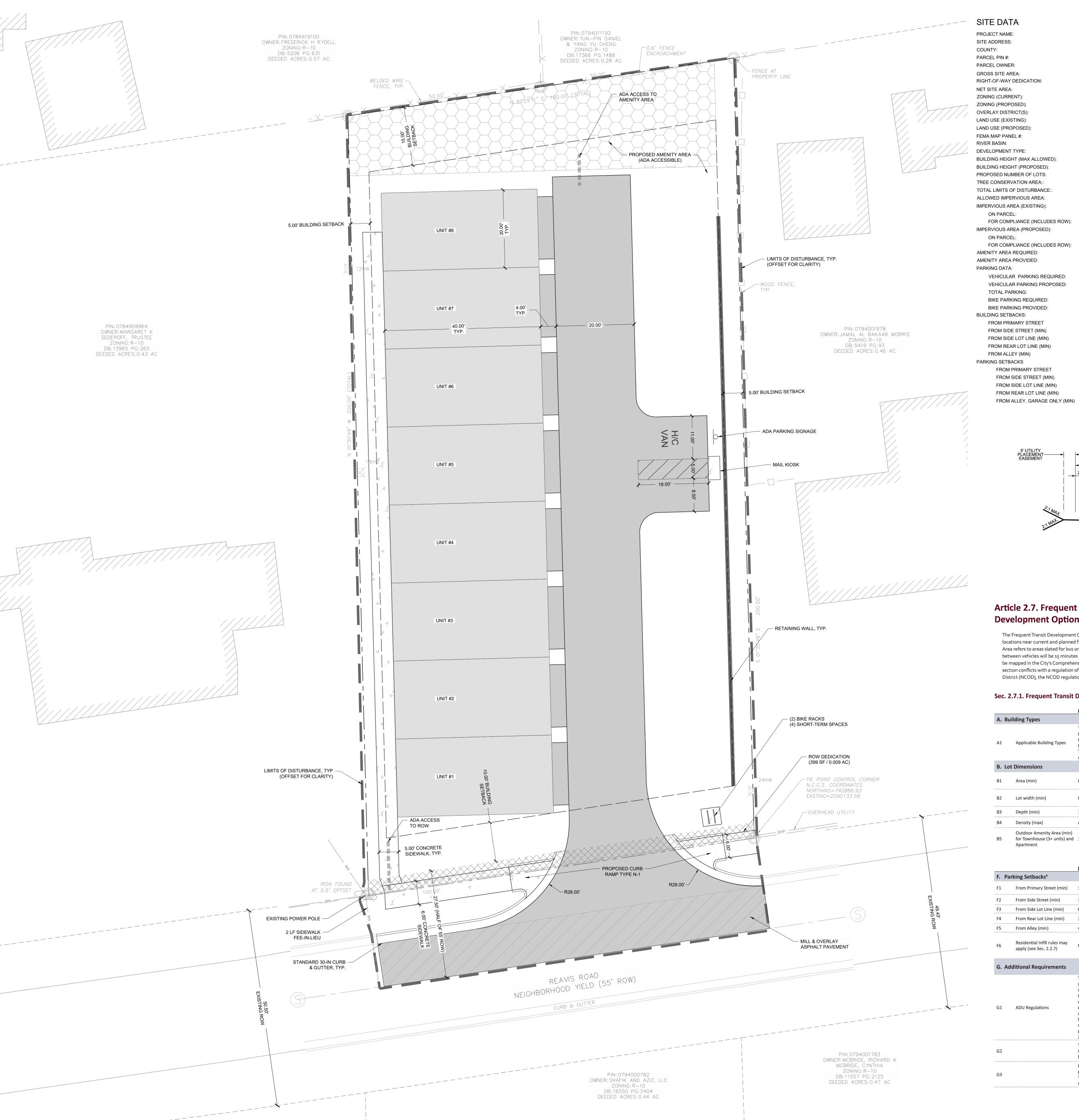
424 S. DAWSON STREET RALEIGH NC 27601 FIRM LICENSE: P-2187











SITE DATA 4204 REAVIS ROAD 4204 REAVIS ROAD RALEIGH, NC 27606 WAKE 0794000987 LEE FAMILY 6 PROPERTIES LLC 0.46 AC / 19,851 SF GROSS SITE AREA: RIGHT-OF-WAY DEDICATION: 0.003 AC / 399 SF 0.45 AC / 19,452 SF ZONING (CURRENT): R-10 ZONING (PROPOSED): R-10 OVERLAY DISTRICT(S): TRANSIT OVERLAY DISTRICT LAND USE (EXISTING): SINGLE FAMILY RESIDENTIAL LAND USE (PROPOSED): MULTI FAMILY RESIDENTIAL FEMA MAP PANEL #: NEUSE DEVELOPMENT TYPE: APARTMENT BUILDING HEIGHT (MAX ALLOWED): 45' / 3-STORIES BUILDING HEIGHT (PROPOSED): PROPOSED NUMBER OF LOTS: TREE CONSERVATION AREA:: TOTAL LIMITS OF DISTURBANCE:: 0.52 AC / 22,553 SF ALLOWED IMPERVIOUS AREA: 0.29 AC / 12,644 SF (65%) IMPERVIOUS AREA (EXISTING): ON PARCEL: 0.07 AC / 2,971 SF (15%) FOR COMPLIANCE (INCLUDES ROW): 0.08 AC / 3,356 SF (17%) IMPERVIOUS AREA (PROPOSED): 0.27 AC / 11,783 SF (61%) ON PARCEL: 0.28 AC / 12,387 SF (64%) FOR COMPLIANCE (INCLUDES ROW): AMENITY AREA REQUIRED: 0.05 AC / 1,945 SF (10%) 0.05 AC / 1,945 SF (10%)

AMENITY AREA PROVIDED: VEHICULAR PARKING REQUIRED: VEHICULAR PARKING PROPOSED: TOTAL PARKING: BIKE PARKING REQUIRED: BIKE PARKING PROVIDED:

BUILDING SETBACKS: FROM PRIMARY STREET FROM SIDE STREET (MIN) FROM SIDE LOT LINE (MIN) FROM REAR LOT LINE (MIN) FROM ALLEY (MIN)

PARKING SETBACKS FROM PRIMARY STREET FROM SIDE STREET (MIN) FROM SIDE LOT LINE (MIN) FROM REAR LOT LINE (MIN)

FIRM PANEL: 3720079400K, EFFECTIVE DATE: 7/18/2022

NO MAXIMUM 10 SPACES 10 SPACES

4' OR 20'

4 SPACES FREQUENT TRANSIT DEVELOPMENT OPTION

4' OR 20' FREQUENT TRANSIT DEVELOPMENT OPTION

SITE LEGEND: SYMBOL DESCRIPTION

> PROPOSED BUILDING PROPOSED CONCRETE SIDEWALK

PROPOSED BRICK SIDEWALK PROPOSED HEAVY DUTY PAVEMENT

PROPOSED CONCRETE PAVERS

PROPOSED GRAVEL PROPOSED CURB & GUTTER

PROPOSED STOP BAR PROPOSED CROSSWALK

PROPOSED 6' WIDE STANDARD CROSSWALK

PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK -- PROPOSED SIGN H/C PROPOSED ADA PARKING SPACE

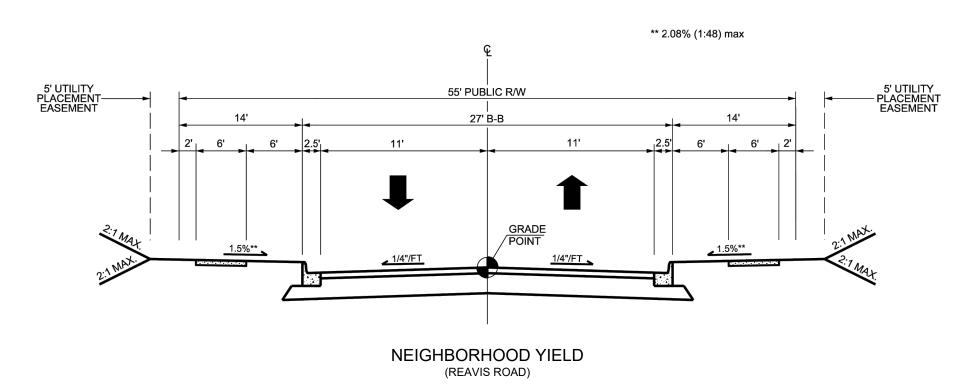
PROPOSED KEYSTONE WALL PROPOSED CIP WALL PROPOSED WHEEL STOP

PROPOSED TREELINE □─● PROPOSED LIGHT

PROPOSED BIKE RACK PROPOSED BENCH PROPOSED BOLLARD

■ LIMITS OF DISTURBANCE

1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



C. Lot Area Required per Unit<sup>1</sup>

C1 Single-unit living (min) 6,500 sf

#### **Article 2.7. Frequent Transit Development Option**

The Frequent Transit Development Option allows for additional housing in locations near current and planned frequent transit service. A Frequent Transit Area refers to areas slated for bus or other transit service where the time between vehicles will be 15 minutes or less during peak service periods and must be mapped in the City's Comprehensive plan as such. Where a regulation in this section conflicts with a regulation of a Neighborhood Conservation Overlay District (NCOD), the NCOD regulation shall control.

#### Sec. 2.7.1. Frequent Transit Development Option

			-	
		R-4	R-6	R-10
A. Bui	Iding Types			
A1	Applicable Building Types	Tiny House, Detached House, Attached House, Townhouse, Apartment	Detached House, Attached House, Townhouse, Apartment	Detached House Attached House, Townhouse, Apartment
B. Lot	Dimensions			
B1	Area (min)	6,500 sf	4,000 sf	2,500 sf
B2	Lot width (min)	65'	50'	45'
В3	Depth (min)	100'	80'	60'
B4	Density (max)	n/a	n/a	n/a
B5	Outdoor Amenity Area (min) for Townhouse (3+ units) and Apartment	10%	10%	10%
		R-4	R-6	R-10
F. Par	king Setbacks <sup>6</sup>			
F1	From Primary Street (min)	10'	10'	10'
F2	From Side Street (min)	10'	10′	10'
F3	From Side Lot Line (min)	0'	0'	0'
F4	From Rear Lot Line (min)	3′	3'	3′
F5	From Alley (min)	4' or 20' min	4' or 20' min	4' or 20' min
F6	Residential Infill rules may apply (see Sec. 2.2.7)	No	No	No

Additional Requirements	
ADU Regulations	There shall be no more than one ADU on the same lot as a principal building unless it is located in a Frequent Transit Area as shown on the City's Comprehensive Plan which would then allow for up to two ADUs on the same lot as a principal dwelling, including attached ADUs. However, in a Frequent Transit Area, only one ADU can be attached or internal to the principal building. In the case of a townhome development only one ADU permitted per principal dwelling. See Sec. 2.6.3 for additional regulations.
	This development option cannot be used in concert with Compact or Conservation Development option.
	Lots utilizing this option shall have at least a portion of each lot within the mapped Frequent

Transit Area in 20 order to take advantage of any

regulations listed herein.

ombie amenana (mm)	-,	.,	_,
Two-unit living (min)	2,500 sf	1,500 sf	1,000 sf
Multi-unit living (min)	2,000 sf	1,200 sf	800 sf
incipal Building Setbacks			
From primary street (min)	10'	10'	10'
From side street (min)	10'	10'	10'
From side lot line (min) <sup>2</sup>	5′	5'	5′
From rear lot line (min) <sup>3</sup>	25'	15'	15'
From Alley (min) <sup>4</sup>	4' or 20'	4' or 20'	4' or 20'
Residential infill rules may apply (see Sec. 2.2.7.) <sup>5</sup>	VOC		yes
eight			
Detached/Attached Principal Building (max)	40'/3 stories	40'/3 stories	40'/3 stories
Townhouse/Apartment Principal Building (max)	45'/3 stories	45'/3 stories	45'/3 stories
Tiny House (max)	26'/2 stories	26'/2 stories	26'/2 stories
Accessory Structure (max)	26'	26'	26'
Residential Infill rules may apply (see Sec. 2.2.7)	No	No	No
	Two-unit living (min)  Multi-unit living (min)  incipal Building Setbacks  From primary street (min)  From side street (min)  From side lot line (min) <sup>2</sup> From rear lot line (min) <sup>3</sup> From Alley (min) <sup>4</sup> Residential infill rules may apply (see Sec. 2.2.7.) <sup>5</sup> eight  Detached/Attached Principal Building (max)  Townhouse/Apartment Principal Building (max)  Tiny House (max)  Accessory Structure (max)  Residential Infill rules may	Two-unit living (min)  2,500 sf  Multi-unit living (min)  2,000 sf  incipal Building Setbacks  From primary street (min)  From side street (min)  From side lot line (min) <sup>2</sup> From rear lot line (min) <sup>3</sup> From Alley (min) <sup>4</sup> 4' or 20'  Residential infill rules may apply (see Sec. 2.2.7.) <sup>5</sup> Pownhouse/Apartment Principal Building (max)  Townhouse (max)  Accessory Structure (max)  25'  Prom Alley (min) <sup>4</sup> 40'/3  Stories  Accessory Structure (max)  Accessory Structure (max)  Pownhouse (max)  Residential Infill rules may	Two-unit living (min) 2,500 sf 1,500 sf  Multi-unit living (min) 2,000 sf 1,200 sf  incipal Building Setbacks  From primary street (min) 10' 10'  From side street (min) 10' 10'  From side lot line (min) <sup>2</sup> 5' 5'  From rear lot line (min) <sup>3</sup> 25' 15'  From Alley (min) <sup>4</sup> 4' or 20' 4' or 20'  Residential infill rules may apply (see Sec. 2.2.7.) <sup>5</sup> yes yes  Peight  Detached/Attached Principal 40'/3 40'/3 stories  Townhouse/Apartment 45'/3 45'/3 yers  Townhouse/Apartment 45'/3 45'/3 stories  Tiny House (max) 26'/2 26'/2 stories  Accessory Structure (max) 26' 26'

A development site utilizing this option in a residential zoning district shall contain no more than twelve (12) residential units; however, a development site may contain additional residential units provided a number of units equal to at least twenty percent (20%) of the residential units over twelve (12) established within the development site shall be affordable for households earning sixty percent (60%) of the Area Median Income or less for a period of no less than 30 years from the date of issuance of a certificate of occupancy.

See Sec. 1.5.4.D "Building Setbacks" for specific building elements requirements.

<sup>1</sup> For Townhouse buildings, this standard shall apply to site area and not lot area.

<sup>2</sup> For Townhouse buildings, C<sub>3</sub> shall only apply to the side site boundary. <sup>3</sup> For Townhouse buildings, C4 shall only apply to the rear site boundary. A permanently recorded

open lot or common area lot of at least 20 feet in width may be used to satisfy Sec.2.5.1.C.4. <sup>4</sup> Garages (or a portion thereof) must either be located 4 feet from the travel lane of an alley or rear access drive or be a minimum of 20 feet from the alley or rear access drive. Where parking spaces are located between the garage and the alley or rear access drive, the garage must be located at

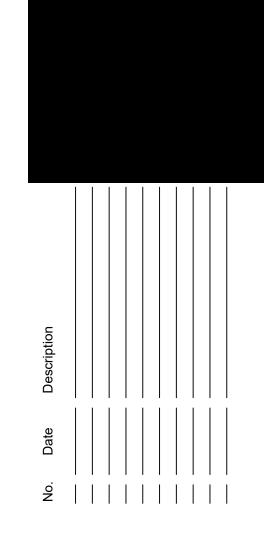
least 20 feet from the travel lane of an alley or rear access drive. <sup>5</sup>The property owner may elect to either adhere to the primary street setback range set forth in Section 2.2.7, if applicable, or follow only the applicable zoning district's minimum primary street setback regulation.

<sup>6</sup> Parking setbacks shall not apply to driveways serving individual dwelling units or shared between two dwelling units.

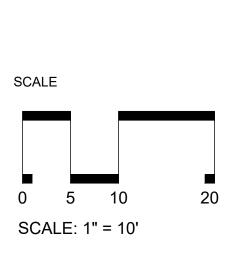
<sup>7</sup>The rent and income limits will follow the Affordable Housing Standards determined annually by the City of Raleigh Housing & Neighborhoods Department. An Affordable Housing Deed Restriction in a form approved by the City shall be filed and recorded in the property's chain of title by the property owner in the Wake County Register of Deeds prior to the project receiving a certificate of occupancy. The property owner of development approved under this section shall provide an annual report to the City to demonstrate compliance with the requirements of this section. The report shall utilize a form prescribed by the City and shall be submitted in accordance with a schedule set by the City. Affordable units used to meet the requirements of this section shall be constructed concurrently with the project's market rate units.

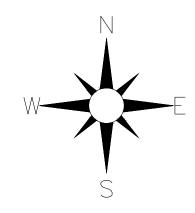


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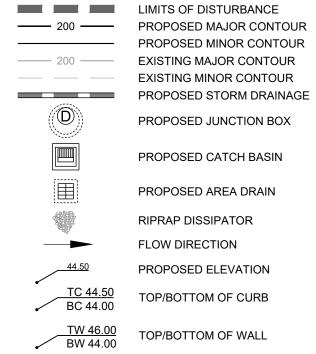
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# GRADING LEGEND:

SYMBOL DE



#### NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

#### AVERAGE GRADE CALCULATIONS

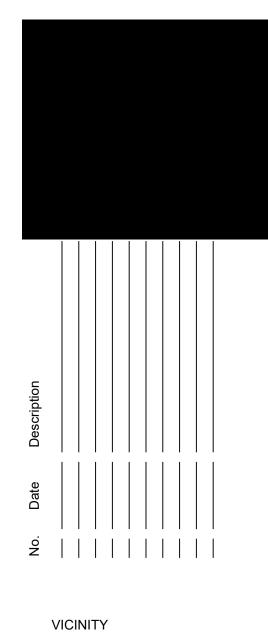
LOWEST PROPOSED GRADE (FT) 431.21 HIGHEST PROPOSED GRADE (FT) 431.26 FINISHED FLOOR ELEVATION (FT) 431.25

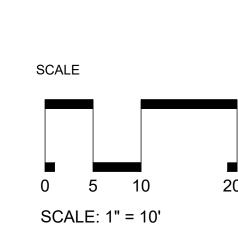
AVERAGE GRADE (FT) 431.24

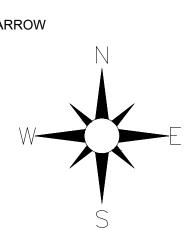




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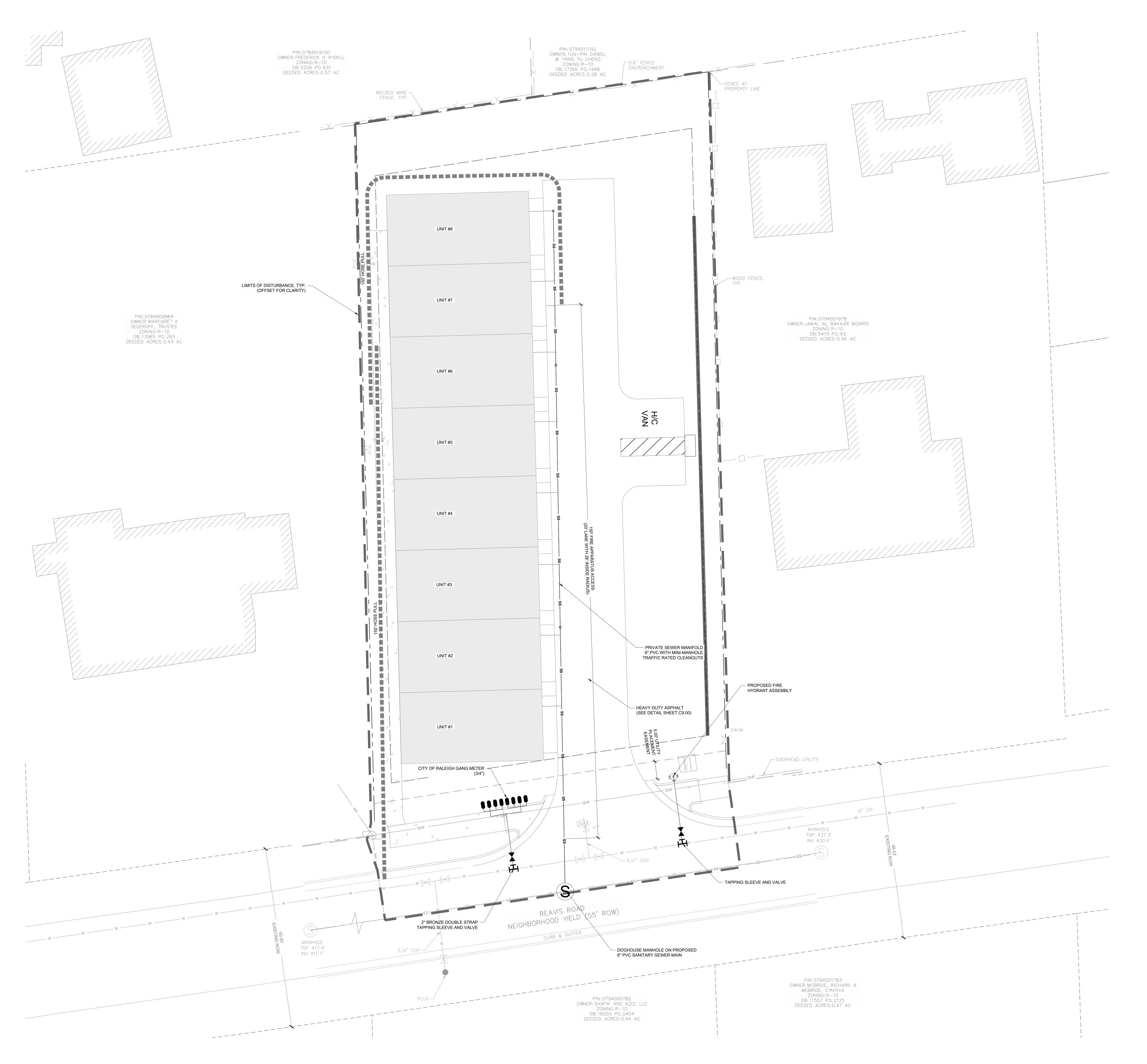




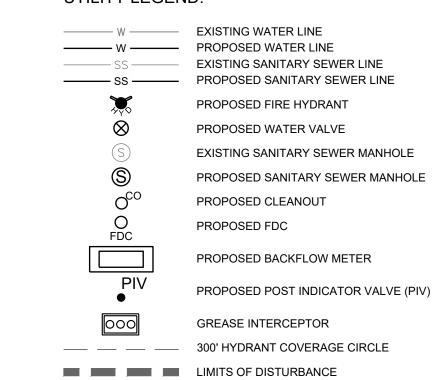


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S PROJECT: 4204 REAVIS ROAD
PROJECT #: C202410
SHEET TITLE

GRADING AND DRAINAGE PI



#### UTILITY LEGEND:



#### NOT

1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

#### STANDARD UTILITY NOTES:

PUBLICWELL.

ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN
 ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS &
 SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT
EDITION)

2. UTILITY SEPARATION REQUIREMENTS:

- a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A
- b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER
- CORPUD DETAILS W- 41 & S-49).

  f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

  3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO DEVIEW \*
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW &
   APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF
   RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
   DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO
- OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.

  5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE
- INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  6. SEWER BYPASS PUMPING A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES
- 7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE
- 8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

  9. INSTALL 3/4" COPPER\* WATER SERVICES WITH METERS LOCATED AT
- 9. INSTALL ¾" COPPER\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- 10. INSTALL 4" PVC\* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY
- 75 LINEAR FEET MAXIMUM.

  11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER
  SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON
  ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER
  THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
   GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING
- 14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- 15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- NORTH CAROLINA.

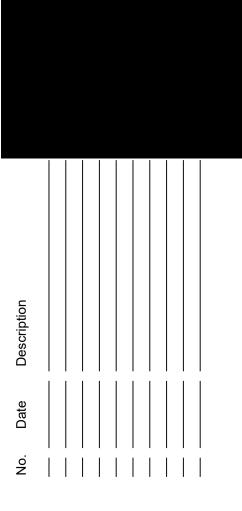
  16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (SAAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- 17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- 18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE
- INFORMATION.

  19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

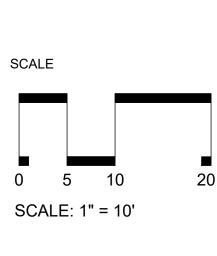
SWIFT PARTNERS

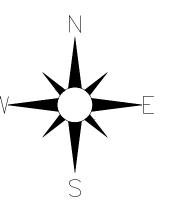


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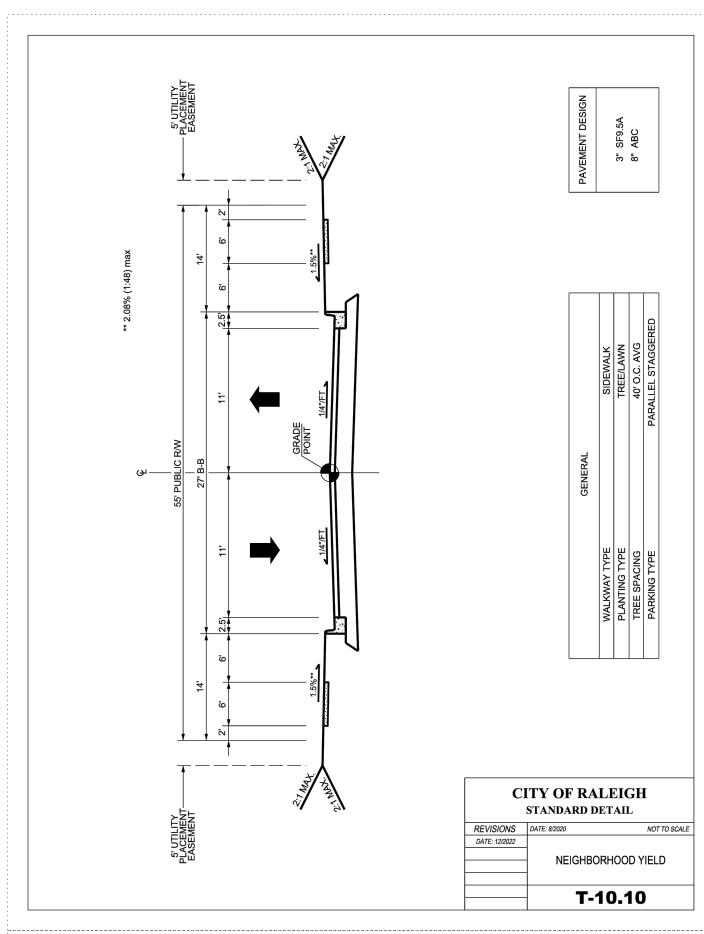
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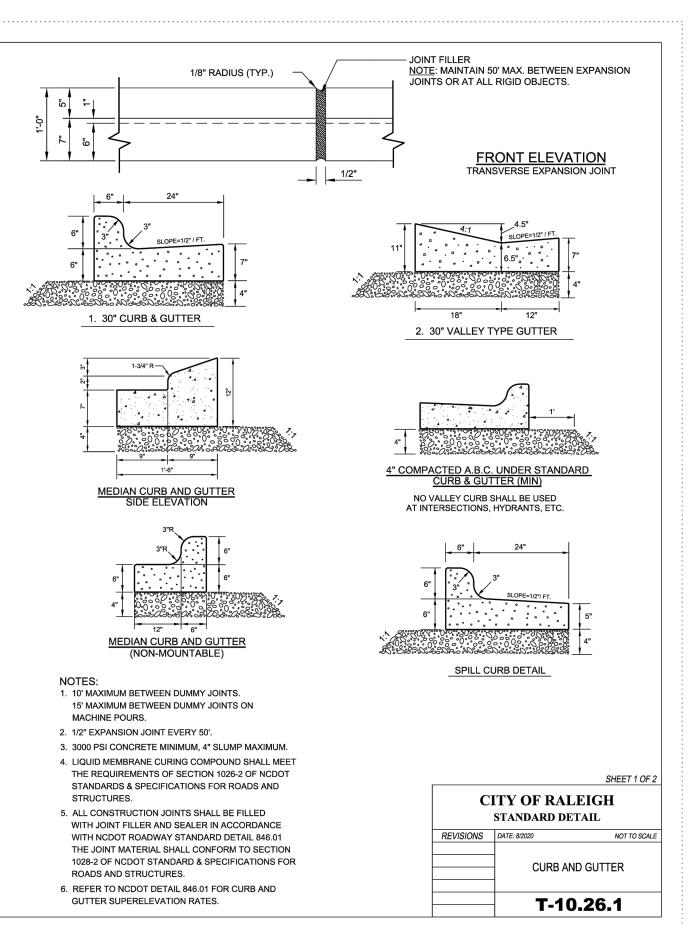


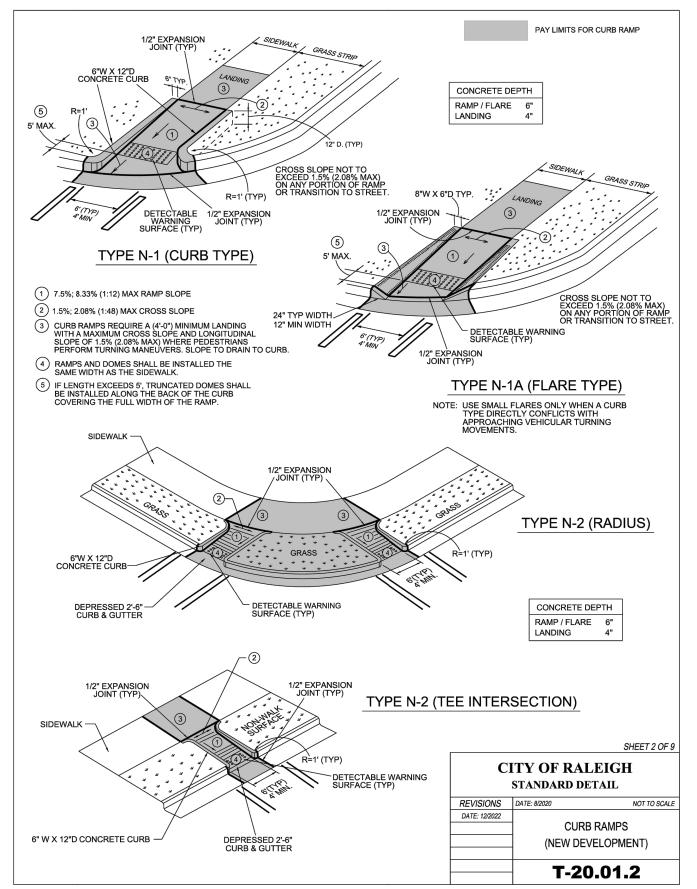


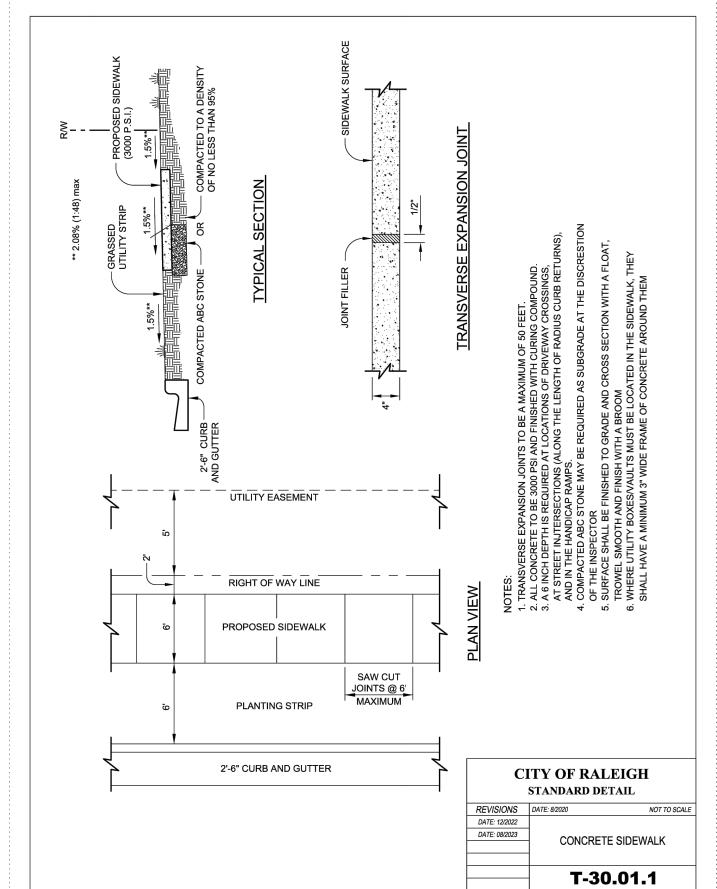
DRAWN BY: RS
PROJECT: 4204 REAVIS ROAD
PROJECT #: C202410
SHEET TITLE

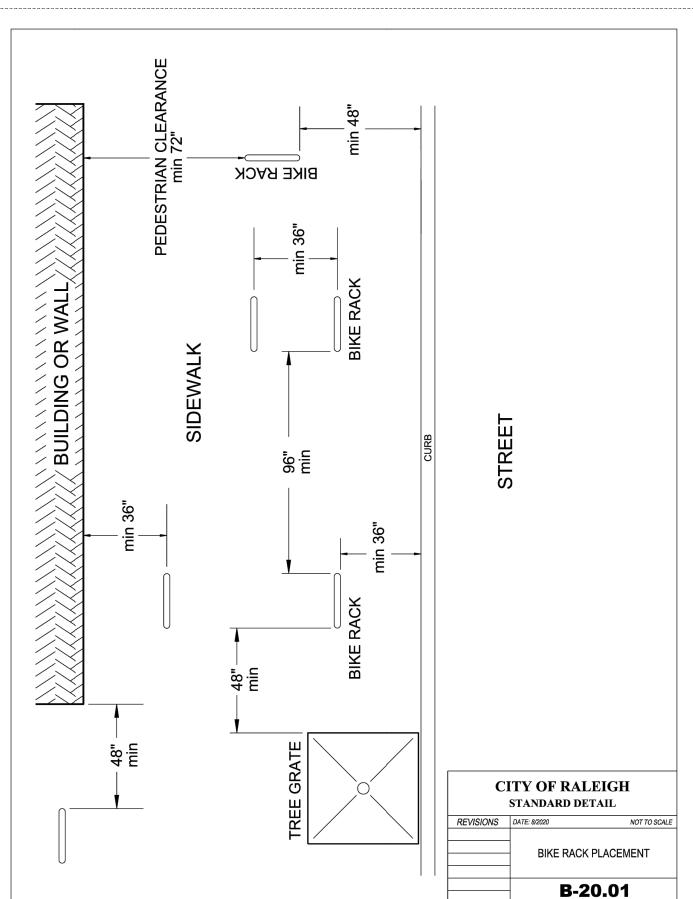
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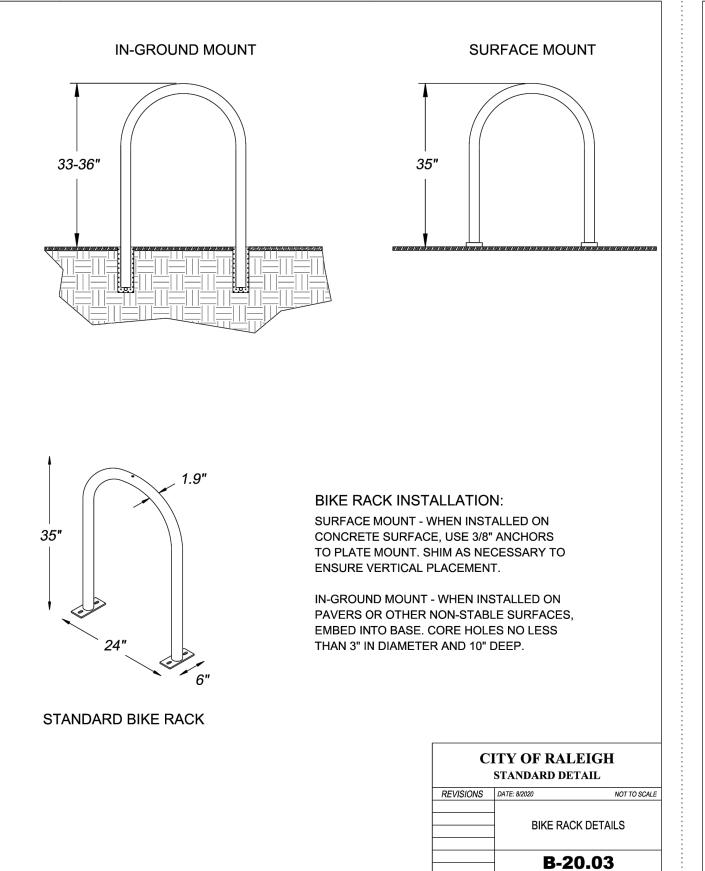


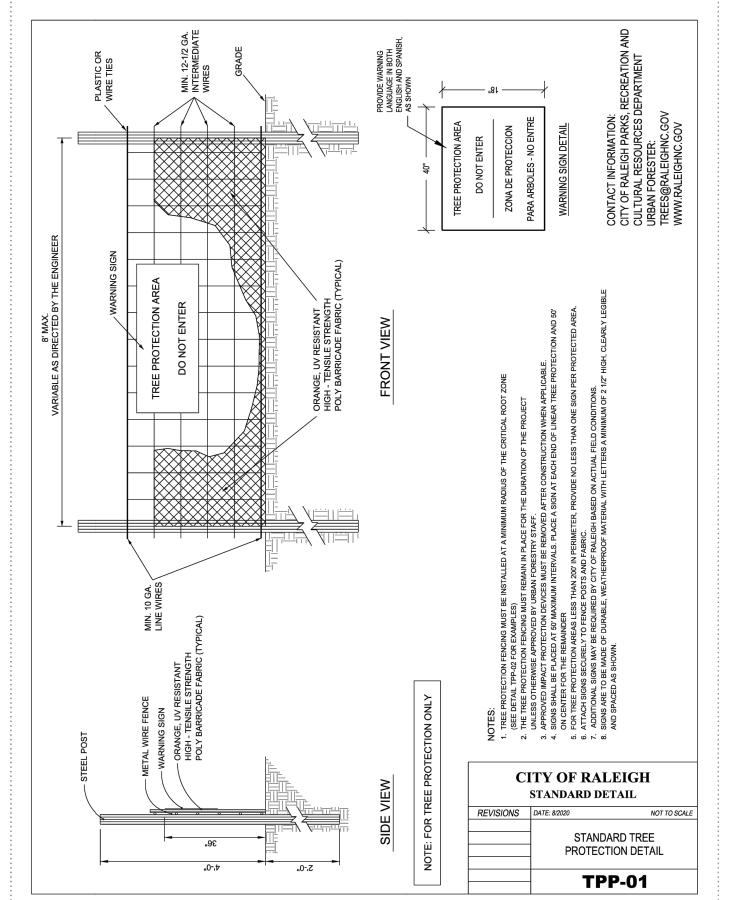


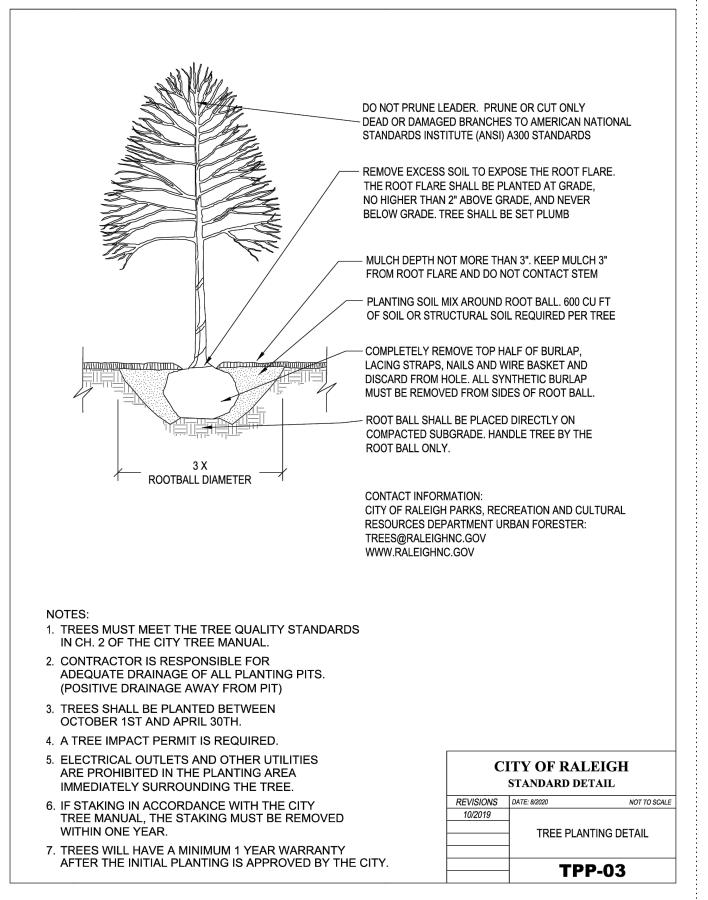


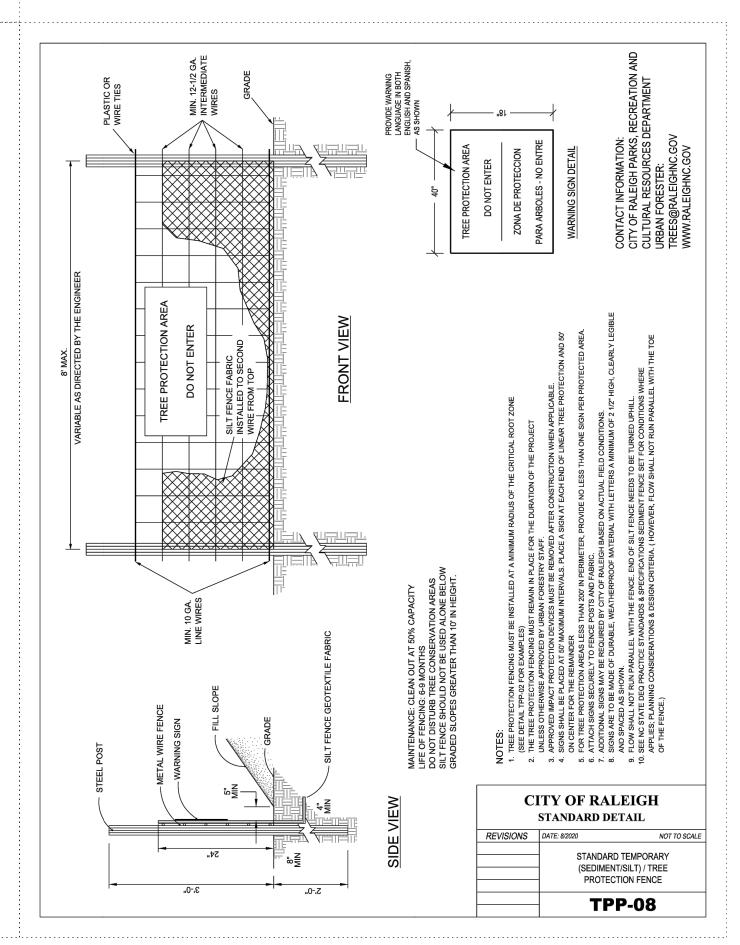




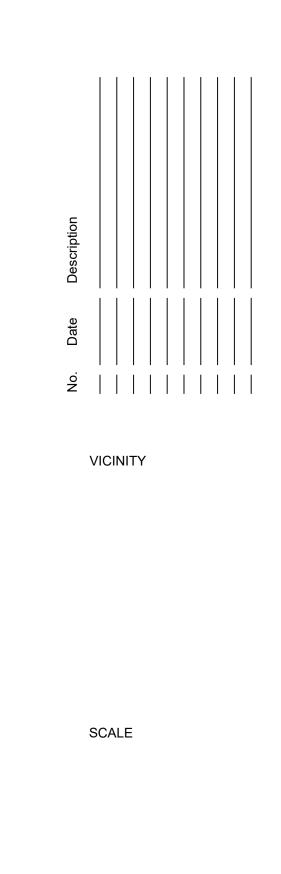




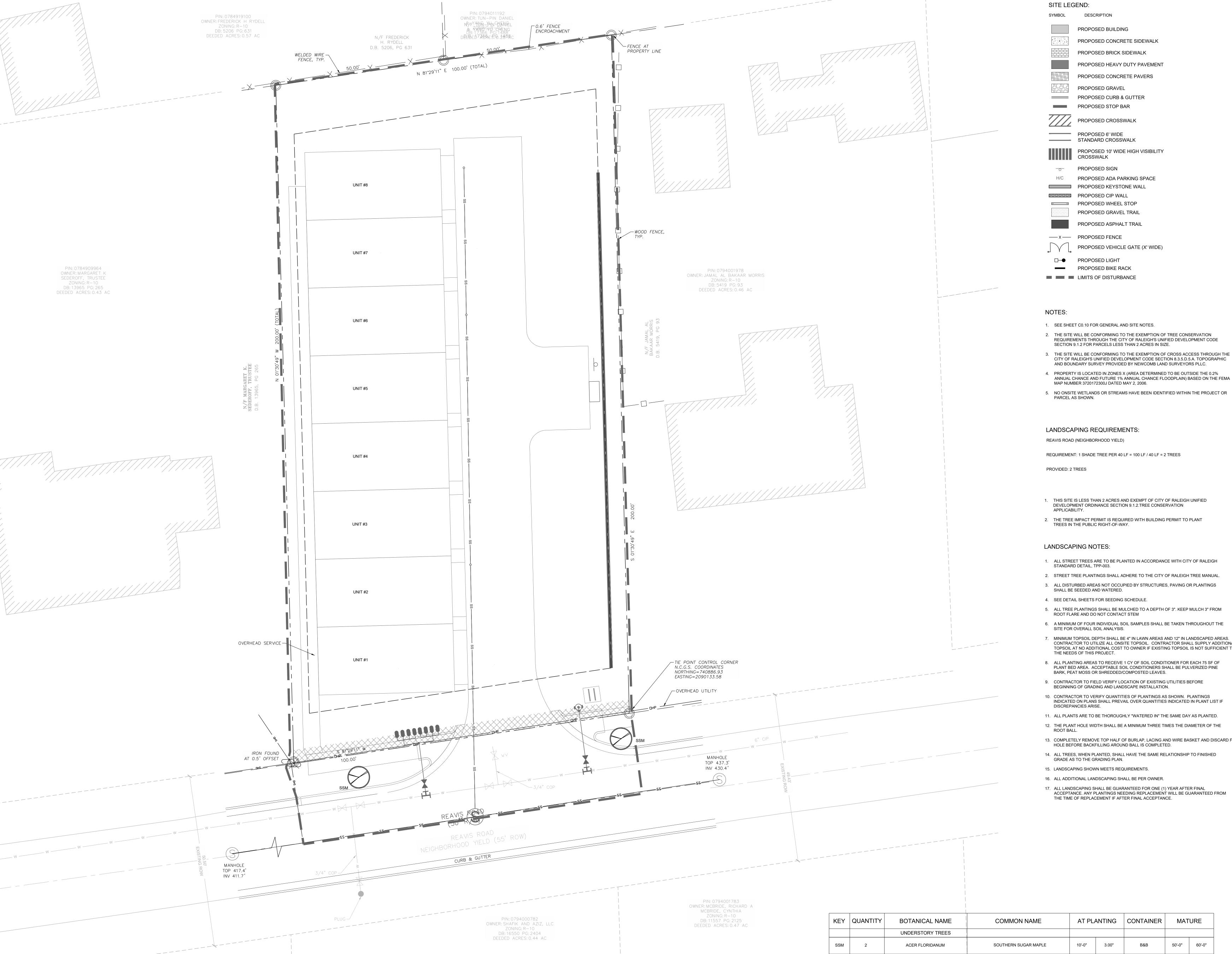








ARROW



SYMBOL DESCRIPTION PROPOSED BUILDING PROPOSED CONCRETE SIDEWALK PROPOSED BRICK SIDEWALK PROPOSED HEAVY DUTY PAVEMENT PROPOSED CONCRETE PAVERS PROPOSED GRAVEL PROPOSED CURB & GUTTER PROPOSED STOP BAR PROPOSED CROSSWALK PROPOSED 6' WIDE ——— STANDARD CROSSWALK PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK → PROPOSED SIGN H/C PROPOSED ADA PARKING SPACE

PROPOSED KEYSTONE WALL PROPOSED CIP WALL PROPOSED WHEEL STOP

PROPOSED ASPHALT TRAIL — x — PROPOSED FENCE

PROPOSED VEHICLE GATE (X' WIDE) □—● PROPOSED LIGHT

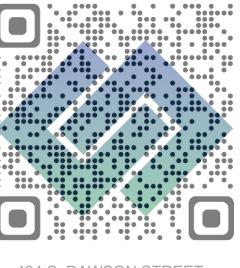
■ ■ LIMITS OF DISTURBANCE

- 2. THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
- CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 8.3.5.D.5.A. TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY NEWCOMB LAND SURVEYORS PLLC.
- 4. PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA
- 5. NO ONSITE WETLANDS OR STREAMS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR

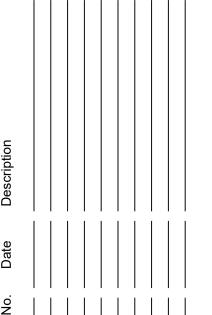
REQUIREMENT: 1 SHADE TREE PER 40 LF = 100 LF / 40 LF = 2 TREES

- 1. THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2.TREE CONSERVATION
- 2. THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.
- 1. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH
- 2. STREET TREE PLANTINGS SHALL ADHERE TO THE CITY OF RALEIGH TREE MANUAL.
- 3. ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE SEEDED AND WATERED.
- 4. SEE DETAIL SHEETS FOR SEEDING SCHEDULE.
- 5. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM
- ROOT FLARE AND DO NOT CONTACT STEM
- 6. A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- 7. MINIMUM TOPSOIL DEPTH SHALL BE 4" IN LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET
- PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- 9. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- 10. CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF
- 11. ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- 12. THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE
- 13. COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- 14. ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED
- 15. LANDSCAPING SHOWN MEETS REQUIREMENTS.
- 16. ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ACCEPTANCE. ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

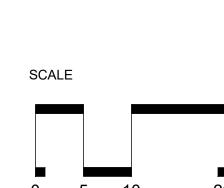
EΥ	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING		CONTAINER	MATURE	
		UNDERSTORY TREES						
SM	2	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	10'-0"	3.00"	B&B	50'-0"	60'-0"
				•		'		



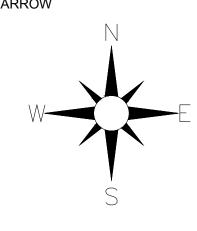
424 S. DAWSON STREET RALEIGH NC 27601 FIRM LICENSE: P-2187

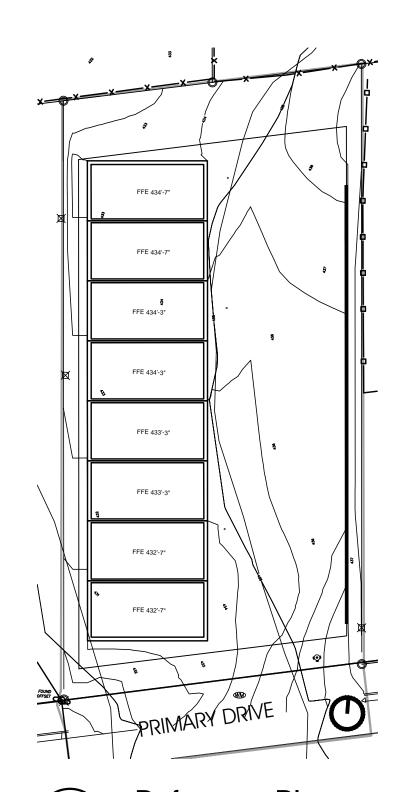


VICINITY



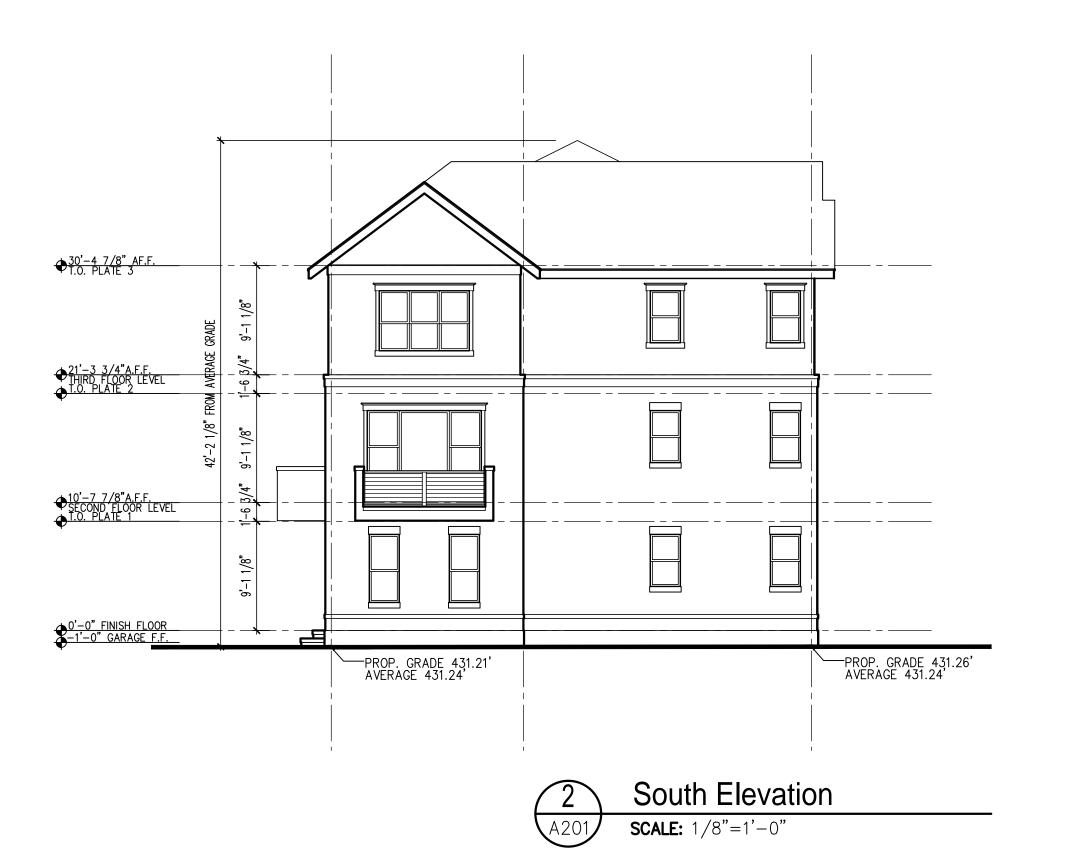
SCALE: 1" = 10'





Reference Plan

SCALE: 1/32"=1'-0"

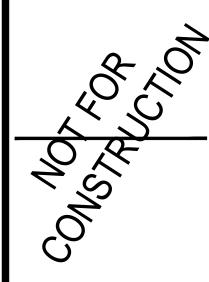






1304 HILLSBOROUGH ST. RALEIGH, NC 27605 919.831.1308 FAX 919.831.9737

June 28, 2024



☐ PROGRESS PRINT

HEALTH DEPT. PLAN CHECK
6/28/24 ■ BUILDING DEPT. PLAN CHECK

BID SET

CONSTRUCTION SET

- SUBMITTAL DOCUMENT

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

Reavis
Townhomes

4204 Reavis Rd
Raleigh, NC
PROGRESS SET

DESIGNER : CLB

DRAWN : CG

CHECKED : CLB

SCALE : AS SHOWN

JOB NUMBER : 8344

SHEET TITLE

Exterior

Elevations

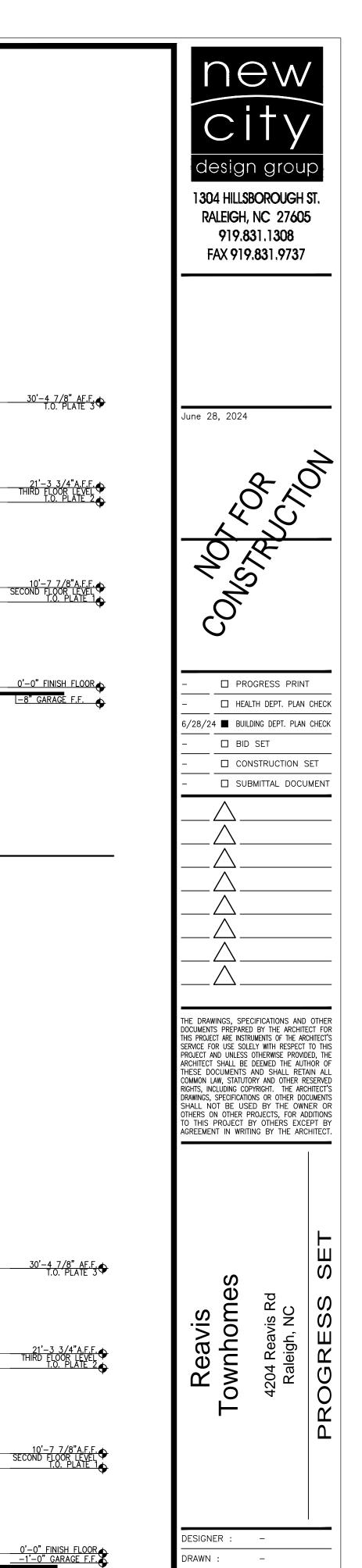
A-201



0'-0" FINISH FLOOR

-8" GARAGE F.F.

─\_PROP 434'



PROP. GRADE — 434'

North Elevation

PROP 431.26' AVG 431.24'

West Elevation

**SCALE:** 1/8"=1'-0"

SCALE: AS SHOWN

JOB NUMBER: 8344

SHEET TITLE

Exterior

Elevations

SHEET NUMBER

A-202

CHECKED :