

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>ASR-0048-2019</u>		Planning Coordinator: <u>BOIVIN</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: <u>S-78-03</u>	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Durham Drive Professional Center - Lots 3 & 4</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>330 & 331 Gideon Creek Way</u>			
Site P.I.N.(s): <u>1702-40-7675 & 1702-40-8409</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. The proposed indoor recreation/event building will be single-story, approximately 6,559 sf, as well as another 20,000 – 25,000 sf of programmed outdoor recreation space with 70-80 parking spaces and associated infrastructure			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: <u>Gideon Creek Properties, LLC</u>		Title: <u>Current Owner/Seller</u>	
Address: <u>326 Tryon Road, Raleigh, NC 27603-3530</u>			
Phone #: <u>N/A</u>		Email: <u>N/A</u>	
Applicant Name: <u>Danny Howell, PE</u>			
Company: <u>Real Engineering, Inc.</u>		Address: <u>PO Box 58054, Raleigh, NC 27658</u>	
Phone #: <u>(919) 539-7340</u>		Email: <u>Danny@RealEngineeringNC.com</u>	

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 3.64 (Lot 3: 1.62/Lot 4: 2.02)	New gross floor area: 6,559 sf
# of parking spaces required: 51	Total sf gross (to remain and new): 6,559 sf
# of parking spaces proposed: 72 (131%)	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): In & Outdoor Recreation	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>0.007</u> Square Feet: <u>309</u>	Proposed Impervious Surface: Acres: <u>1.35</u> Square Feet: <u>58959</u>
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Danny Howell, PE (Real Engineering, Inc.) to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: <u>Pete D. Jernigan, P.E. MANAGING MEMBER</u>	Date: July 8, 2019
Printed Name: Pete Jernigan, P.E. <u>GIDEON CREEK PROPERTIES, LLC</u>	

Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- Yes, my project meets the mailed notification requirement and my letters are provided with this application.
The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500" and no larger than 1"=1000'; and adopted zoning conditions (if any)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Demolition plan: Clearly indicate items to be removed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B)</i>)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Proposed stormwater plan: include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Architectural Elevations showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

NOTE: Revisions to previously approved site plans must contain the following minimum information:

REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. List date of previously approved site plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide updated site data table including building square footages, parking calculations, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Provide documented history of impervious surfaces with dates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

SYMBOLS AND ABBREVIATIONS

ABC	AGGREGATE BASE COURSE		EXISTING CURB INLET
B-B	BACK TO BACK		EXISTING GRATE INLET/YARD INLET
BOA	BLOW-OFF ASSEMBLY		EXISTING FLARED END SECTION
C&G	CURB AND GUTTER		EXISTING FIRE HYDRANT
CFS	CUBIC FEET PER SECOND		EXISTING BLOW-OFF ASSEMBLY
CI	CURB INLET		EXISTING GATE VALVE
CMP	CORRUGATED METAL PIPE		EXISTING SAN SEWER MANHOLE
CO	CLEAN OUT		EXISTING CLEAN OUT
COM	COMMUNICATION		EXISTING POWER POLE
CONC	CONCRETE		EXISTING AREA LIGHT
DI	DROP INLET		EXISTING SIGN
DIP	DUCTILE IRON PIPE		NEW CURB INLET
FES	FLARED END SECTION		NEW GRATE INLET/YARD INLET
FH	FIRE HYDRANT		NEW FLARED END SECTION
FM	FORCE MAIN		NEW FIRE HYDRANT
FT	FEET		NEW GATE VALVE
FT/SEC	FEET PER SEC		NEW REDUCER
GV	GATE VALVE		NEW WATER METER
HDPE	HIGH DENSITY POLYETHYLENE		NEW TEE
LF	LINEAR FEET		NEW MANHOLE
MH	MANHOLE		NEW CLEAN OUT
PP	POWER POLE		NEW SIGN
PVC	POLYVINYL CHLORIDE		TEMP SILT FENCE
R	RADIUS		TEMP TREE PROTECTION FENCE
R/W	RIGHT-OF-WAY		TEMP DIVERSION DITCH
RED	REDUCER		DISTURBED LIMITS
RCP	REINFORCED CONCRETE PIPE		STREAM
RPZ	REDUCED PRESSURE ZONE		EXISTING GAS LINE
SS	SANITARY SEWER		EXISTING COMMUNICATIONS LINE
STA	STATION		EXISTING UNDERGROUND TELEPHONE
U/G	UNDERGROUND		EXISTING UNDERGROUND ELECTRIC
WCR	WHEELCHAIR RAMP		EXISTING OVERHEAD ELECTRIC
W/L	WATER LINE		EXISTING WATER LINE
WM	WATER METER		EXISTING SANITARY SEWER
YI	YARD INLET		EXISTING STORM DRAINAGE
			NEW STORM DRAINAGE
			NEW WATER LINE
			NEW SANITARY SEWER
			NEW SANITARY SEWER FORCE MAIN
			NEW GAS MAIN
			HANDICAPPED ACCESSIBLE ROUTE

SHEET INDEX

C0.0	COVER
C0.1	EXISTING CONDITIONS & DEMOLITION PLAN
C0.2	RECOMBINATION PLAN
C1.1	SITE PLAN
C2.1	UTILITY PLAN
C3.1	GRADING AND DRAINAGE PLAN
SL1.1	SITE LIGHTING PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE NOTES & DETAILS
A1	ARCHITECTURAL ELEVATIONS

BOARD OF ADJUSTMENT DECISION

A-131-19 - 9/9/19
DECISION: APPROVED AS REQUESTED
WHEREAS GIDEON CREEK PROPERTIES, LLC, PROPERTY OWNER, REQUESTS A 3.361' DESIGN ADJUSTMENT FROM THE 4,000' MAXIMUM BLOCK PERIMETER REQUIREMENTS SET FORTH IN SECTION 8.3.2.A. OF THE UNIFIED DEVELOPMENT ORDINANCE THAT RESULTS IN A BLOCK PERIMETER OF 7,361'; A DESIGN ADJUSTMENT FOR COMPLETE RELIEF FROM THE STUB STREET REQUIREMENTS SET FORTH IN SECTION 8.3.4.C.; AND A DESIGN ADJUSTMENT FOR COMPLETE RELIEF FROM THE CROSS-ACCESS REQUIREMENTS SET FORTH IN SECTION 8.3.5.D. IN ORDER TO CONSTRUCT AN APPROXIMATELY 6,599 SQUARE FEET GENERAL BUILDING FOR INDOOR RECREATION USES ON A 3.64-ACRE PROPERTY ZONED INDUSTRIAL MIXED-USE-3 LOCATED AT 330 AND 331 GIDEON CREEK WAY.

DEVELOPER:

RuftyPeedin®
COMMERCIAL DESIGN BUILD

RUFFY-PEEDIN COMMERCIAL DESIGN BUILD
5121 KINGDOM WAY, SUITE 208
RALEIGH, NC 27607

CONTACT: ADAM ZAYTOUN
PHONE: (919) 459-8100
EMAIL: Adam@Rufty-Peedin.com

ARCHITECT:

MAURER ARCHITECTURE

MAURER ARCHITECTURE
115 1/2 E. HARGETT STREET
RALEIGH NC 27601

CONTACT: ETHAN PAGE, RA
PHONE: (919) 238-1784
EMAIL: Ethan@MaurerArchitecture.com

LANDSCAPE ARCHITECT:

SITE COLLABORATIVE

SITE COLLABORATIVE
821 WAKE FOREST ROAD
RALEIGH, NC 27604

CONTACT: GRAHAM H. SMITH, RLA
PHONE: (919) 805-3586
EMAIL: Graham@SiteCollaborative.com

ENGINEER:

REAL ENGINEERING, INC.
PO BOX 58054
RALEIGH, NORTH CAROLINA 27658
TELEPHONE: (919) 539-7340
CERTIFICATION NUMBERS: NCBELS

CONTACT: DANNY L. HOWELL, JR. PE
EMAIL: Danny@RealEngineeringNC.com

OWNER:

GIDEON CREEK PROPERTIES, LLC
326 TRYON ROAD
RALEIGH, NC 27603-3530

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

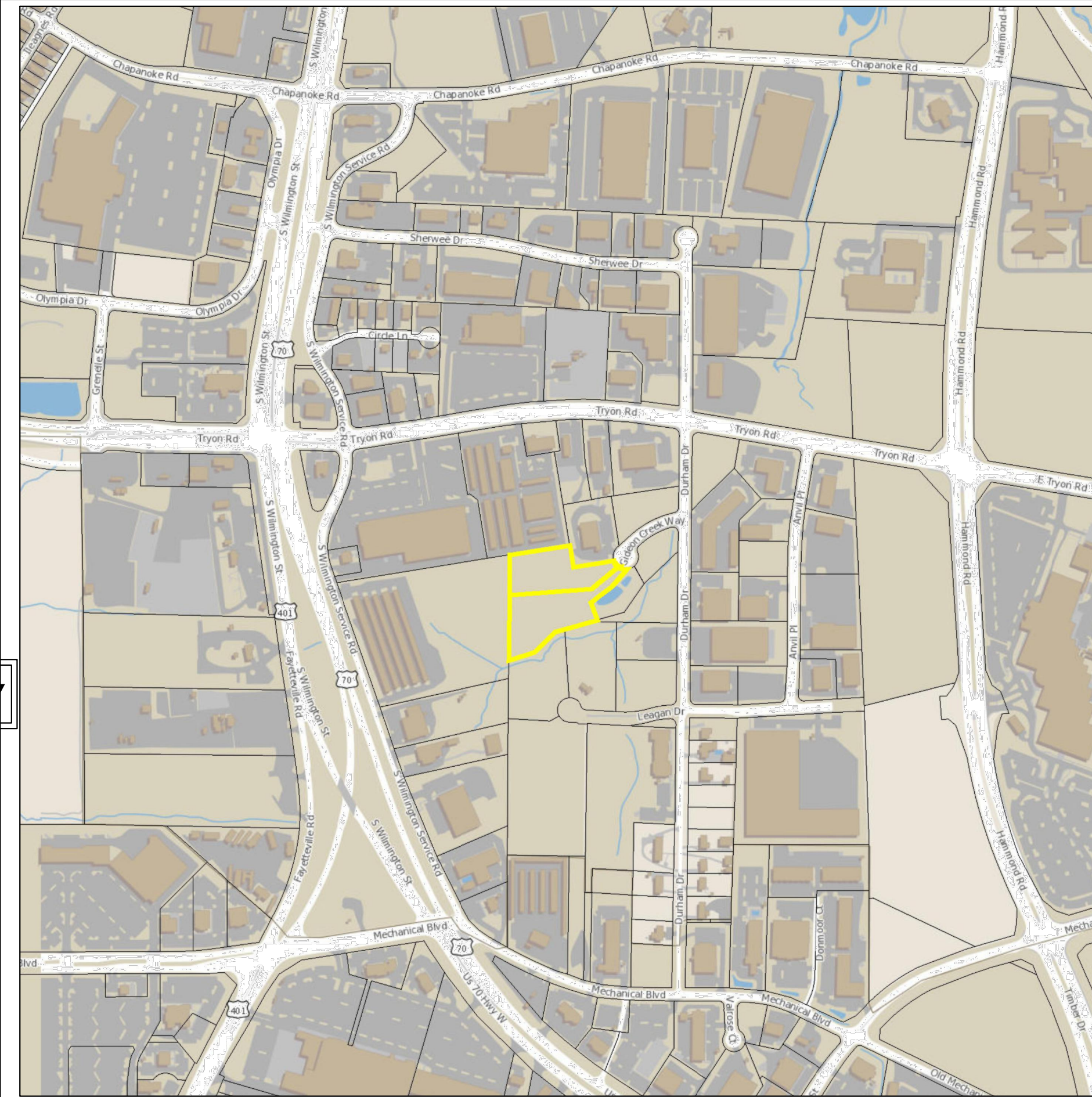
Office Use Only: Transaction #:		Planning Coordinator:	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: S-78-03	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #:	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: A-131-19 (Approved)	
		Zoning Case #:	
		Administrative Alternate #:	
GENERAL INFORMATION			
Development name: The Maxwell - Raleigh, NC (f. Durham Drive Professional Center - Lots 3 & 4)			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 330 & 331 Gideon Creek Way			
Site P.I.N.(s): 1702-40-7675 & 1702-40-8409			
Please describe the scope of work. Include any additions, expansions, and change of use. The proposed indoor recreation/event space will be a 7,970 sf single-story building, with 16,000 sf programmed outdoor recreation space and amenity area, plus 60 parking spaces and associated infrastructure			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: Gideon Creek Properties, LLC		Title: Current Owner/Seller	
Address: 326 Tryon Road, Raleigh, NC 27603-3530			
Phone #: N/A		Email: N/A	
Applicant Name: Danny Howell, PE			
Company: Real Engineering, Inc.		Address: PO Box 58054, Raleigh, NC 27658	
Phone #: (919) 539-7340		Email: Danny@RealEngineeringNC.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
Gross site acreage: 3.64 (Lot 3: 1.98/Lot 4: 1.66)	Existing gross floor area to be demolished: 0
# of parking spaces required: 41	New gross floor area: 7,970 sf
# of parking spaces proposed: 60 (146%)	Total sf gross (to remain and new): 7,970 sf
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): In/Outdoor Recreation	

STORMWATER INFORMATION			
Existing Impervious Surface: Acres: 0.007	Square Feet: 309	Proposed Impervious Surface: Acres: 1.00	Square Feet: 43,519
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____			
Neuse River Buffer	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel units:	
# of bedroom units: 1br:	2br:	3br:	4br or more:
# of lots:		Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No	

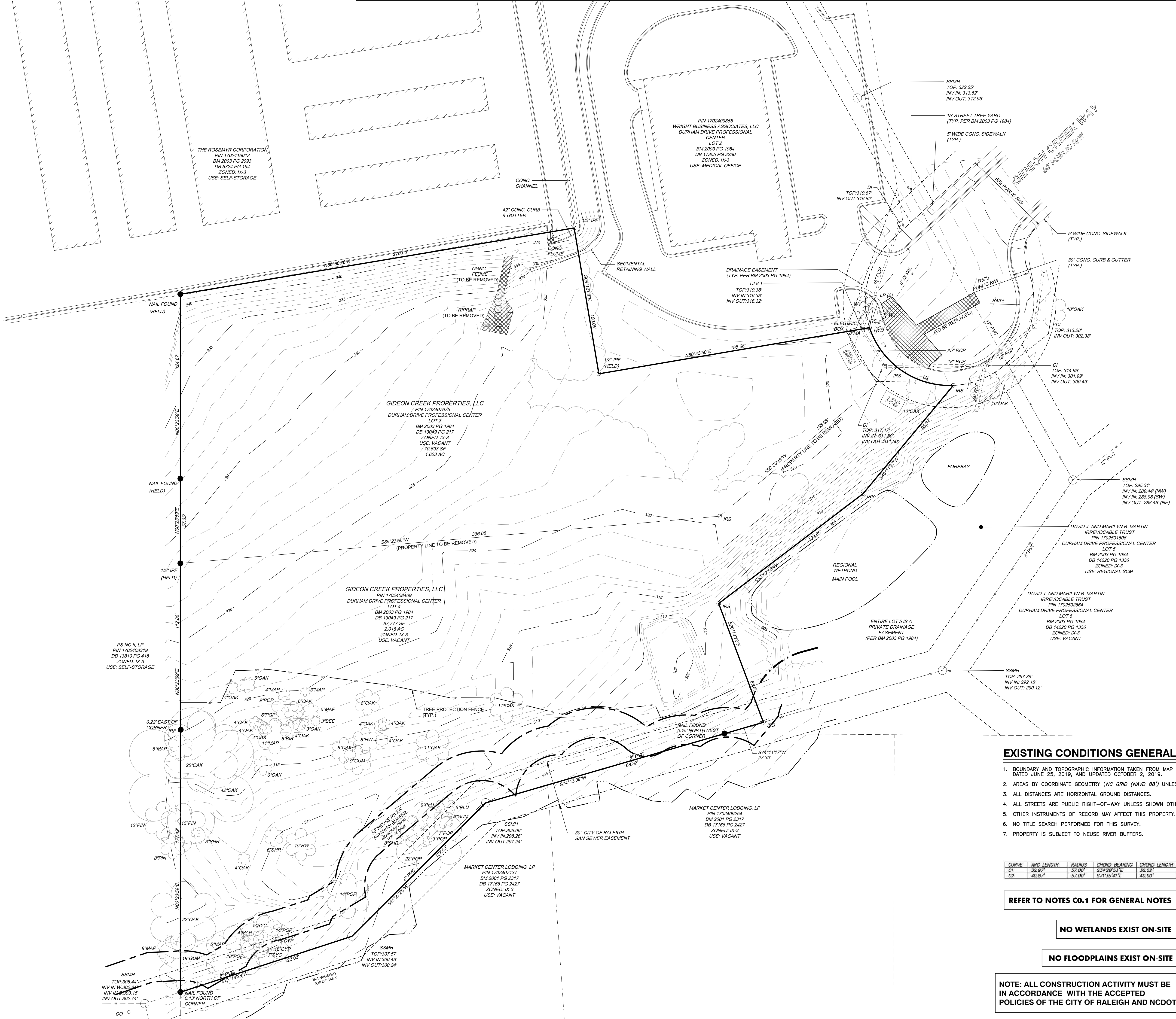
SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Danny Howell, PE (Real Engineering, Inc.)</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Pete Jernigan</u>	Date: <u>October 15, 2019</u>
Printed Name: Pete Jernigan, P.E.	



VICINITY MAP
SCALE: 1" = 500'

EL:2019/19011 - The Maxwell - Raleigh/lot Construction/02:19011 1x Cond/2anno.dwg, EXIST CONDITIONS, 15/4/2019 9:51:06 AM, dummy

©2019 REAL ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF REAL ENGINEERING, INC.



EXISTING CONDITIONS GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP BY gsc SURVEYING, DATED JUNE 25, 2019, AND UPDATED OCTOBER 2, 2019.
2. AREAS BY COORDINATE GEOMETRY (NC GRID (NAVD 88')) UNLESS SHOWN OTHERWISE.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ALL STREETS ARE PUBLIC RIGHT-OF-WAY UNLESS SHOWN OTHERWISE.
5. OTHER INSTRUMENTS OF RECORD MAY AFFECT THIS PROPERTY.
6. NO TITLE SEARCH PERFORMED FOR THIS SURVEY.
7. PROPERTY IS SUBJECT TO NEUSE RIVER BUFFERS.

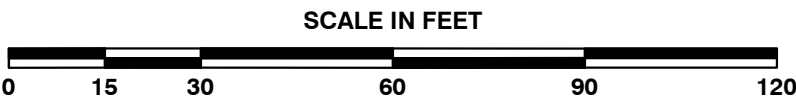
CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	32.97'	57.00'	S34°28'53"E	32.32'
C2	40.87'	57.00'	S71°35'41"E	40.00'

REFER TO NOTES C0.1 FOR GENERAL NOTES

NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH AND NCDOT



SHEET
C0.1

O.	DATE	DESCRIPTION
2	12-06-19	PER CoR COMMENTS
1	10-16-19	PER CoR COMMENTS

THE MAXWELL
DURHAM DRIVE PROFESSIONAL CENTER - LOTS 3 & 4
330 & 331 GIDEON CREEK WAY
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

EXISTING
CONDITIONS &
DEMOLITION PLAN
SCALE: 1" = 30'

JOB NO: 19011 DATE: 07-11-19

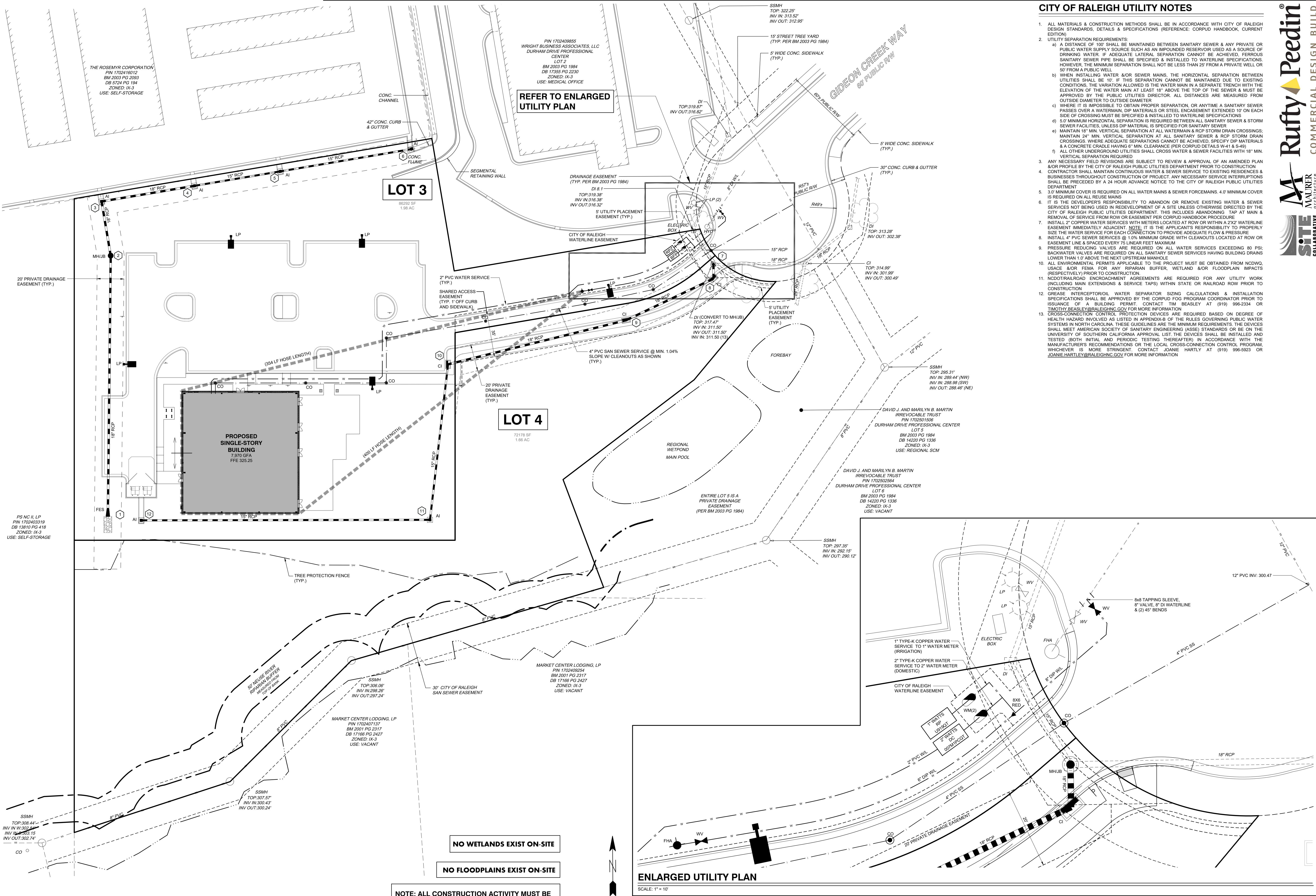
PO BOX 58054
RALEIGH, NC 27658
(919) 539-7340
NCBELS FIRM NO: C-4406

NOT RELEASABLE FOR BIDDING OR CONSTRUCTION

CITY OF RALEIGH PROJECT NO. ASR-0048-2019



REAL
ENGINEERING



CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' 0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & RCP PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3' 0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4' 0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' 0" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE & RCP FEMA FOR ANY RIPARIAN BUFFER, WETLAND & RCP FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR/OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

PO BOX 58054
RALEIGH, NC 27658
(919) 539-7340
NCBELS FIRM NO: C-4406

UTILITY
PLAN

THE MAXWELL M
DURHAM DRIVE PROFESSIONAL CENTER - LOTS 3 & 4
330 & 331 GIDEON CREEK WAY
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

NO.	DATE	DESCRIPTION
2	12-06-19	PER COR COMMENTS
1	10-16-19	PER COR COMMENTS

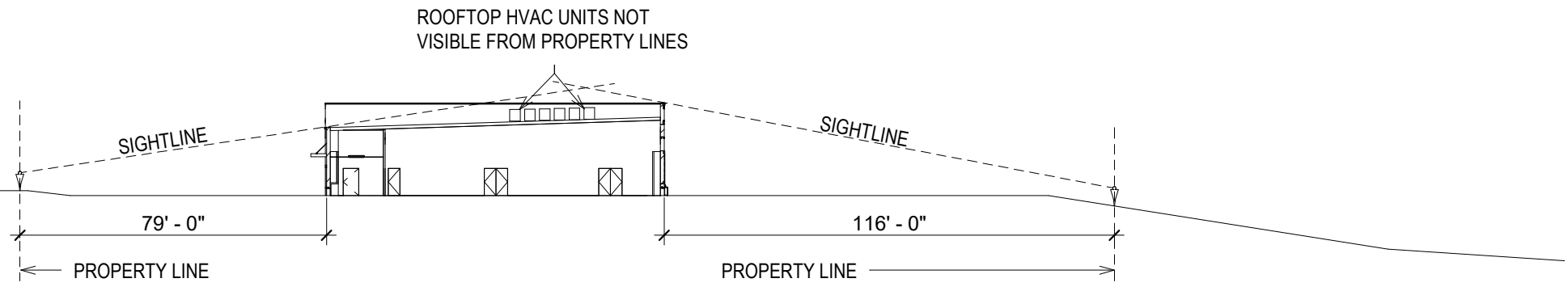
SHEET
C2.1



PRE-DEVELOPMENT AVERAGE GRADE LINE CALCULATIONS				
WEST ELEVATION:	SPOT ELVs:	322' + 327.15' =	649.15/2 =	324.58' AVERAGE GRADE LIVE
SOUTH ELEVATION	SPOT ELVs:	322' + 319.75' =	641.75/2 =	320.88' AVERAGE GRADE LINE
EAST ELEVATION	SPOT ELVs:	319.75' + 323.6' =	643.35/2 =	321.68' AVERAGE GRADE LINE
NORTH ELEVATION	SPOT ELVs:	323.6' + 327.15' =	650.75/2 =	325.38' AVERAGE GRADE LINE
				= 1292.52/4 = 323.13
OVERALL PRE DEVELOPMENT AVERAGE GRADE LINE				323.13'*

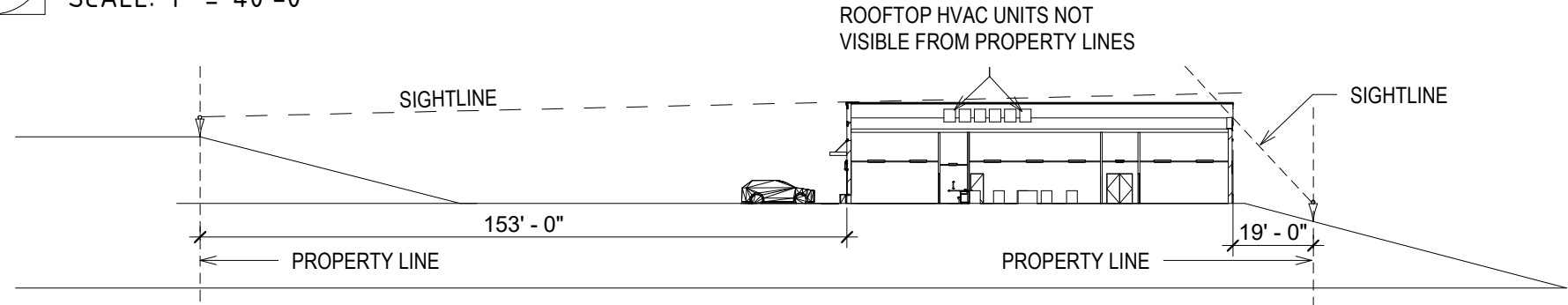
*MOST RESTRICTIVE AVERAGE GRADELINE

PROPOSED AVERAGE GRADE LINES				
WEST ELEVATION:	SPOT ELVs:	325.25' + 325.25' =	650.5/2 =	325.25' AVERAGE GRADE LINE
SOUTH ELEVATION	SPOT ELVs:	325.25' + 325.25' =	650.5/2 =	325.25' AVERAGE GRADE LINE
EAST ELEVATION	SPOT ELVs:	325.25' + 325.25'=	650.5/2 =	325.25' AVERAGE GRADE LINE
NORTH ELEVATION	SPOT ELVs:	325.25'+ 325.25'=	650.5/2 =	325.25' AVERAGE GRADE LINE
				= 1301/4 = 325.25'
OVERALL PROPOSED AVERAGE GRADE LINE				325.25'



7 E-W SITE SECTION

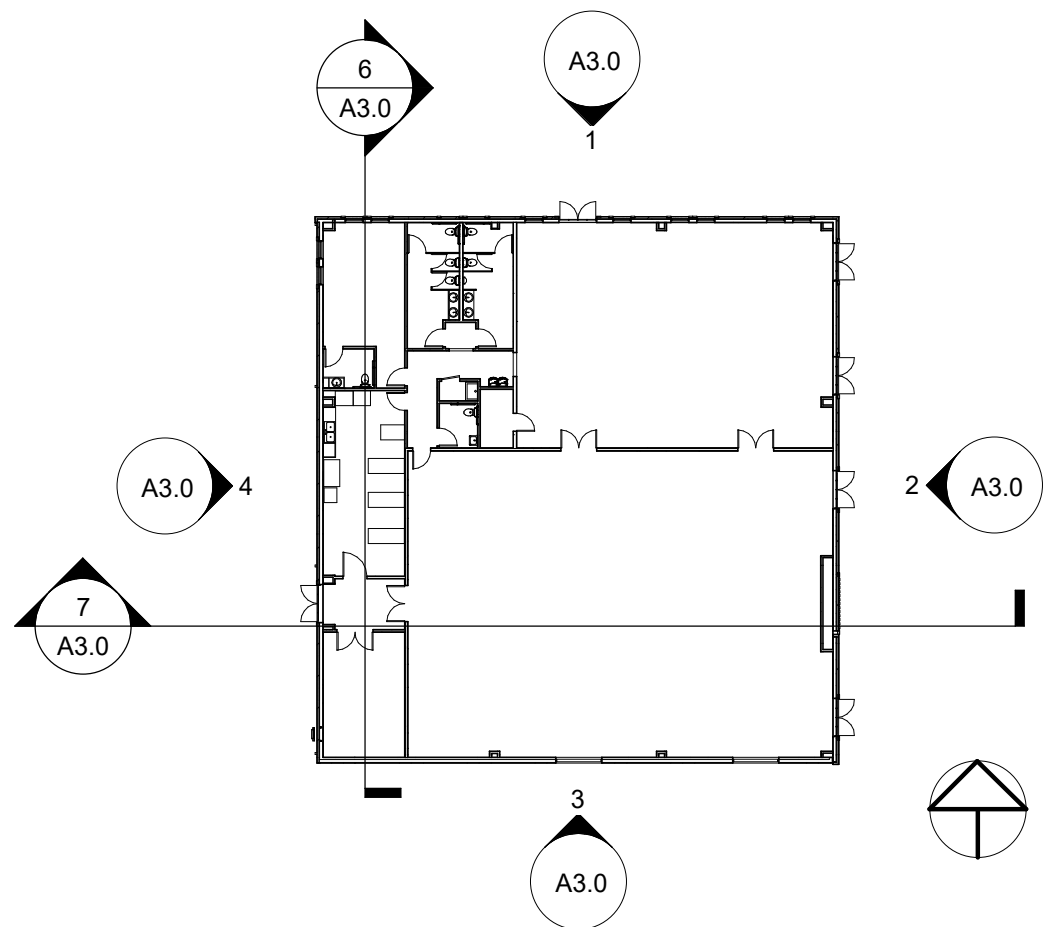
SCALE: 1" = 40'-0"



6 N-S SITE SECTION

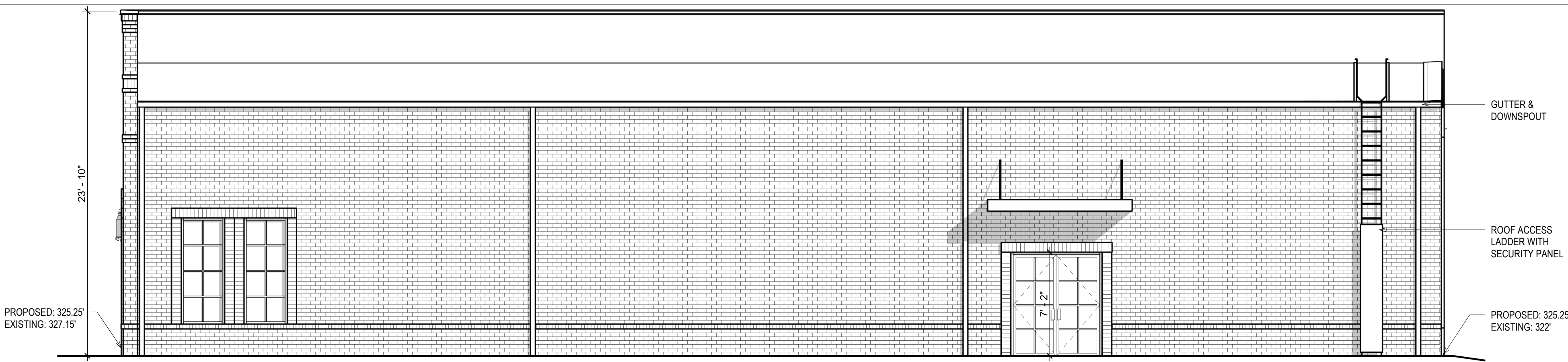
SCALE: 1" = 40'-0"

EAST ELEVATION TRANSPARANCY CALCULATIONS		
EAST ELEVATION (STREET FACING):		
- 1ST FLOOR FACADE SF (GRADE TO 12' ABOVE SIDEWALK):		1094 SF
- TRANSPARENCY:		275 SF = 25% (20% REQUIRED)
- TRANSPARENCY FROM 3'-8":		199 SF = 199/270 = 74% (OVER 50% REQUIREMENT)
-ALL GLAZING TO HAVE A TRANSPARENCY HIGHER THAN 80% AND AN EXTERNAL REFLECTANCE OF LESS THAN 15% PER C.O.R. U.D.O. 15.9.B.4		
-ALL OTHER FACADES NOT STREET FACING		



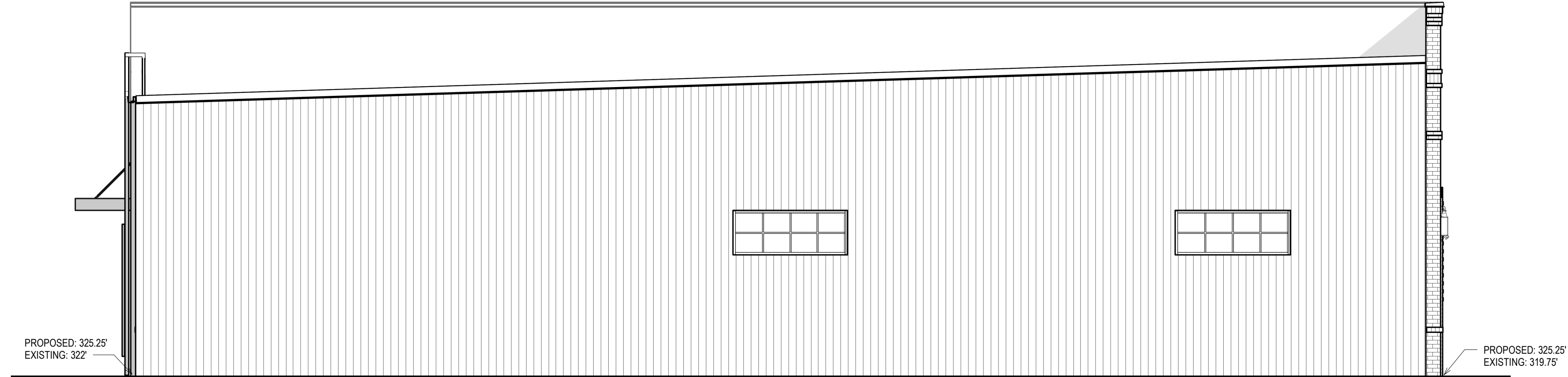
5 KEY PLAN

SCALE: 1/32" = 1'-0"



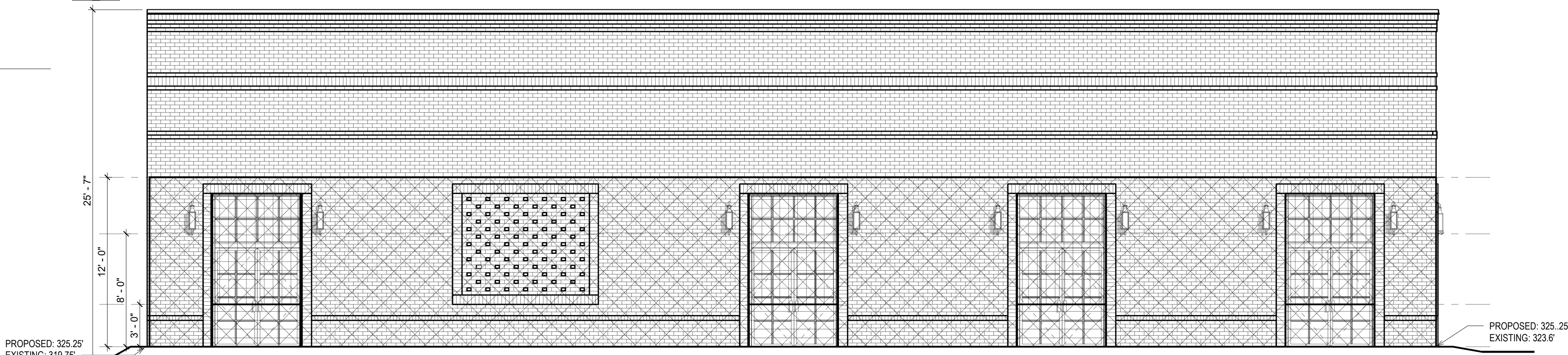
4 WEST ELEVATION ASR

SCALE: 3/16" = 1'-0"



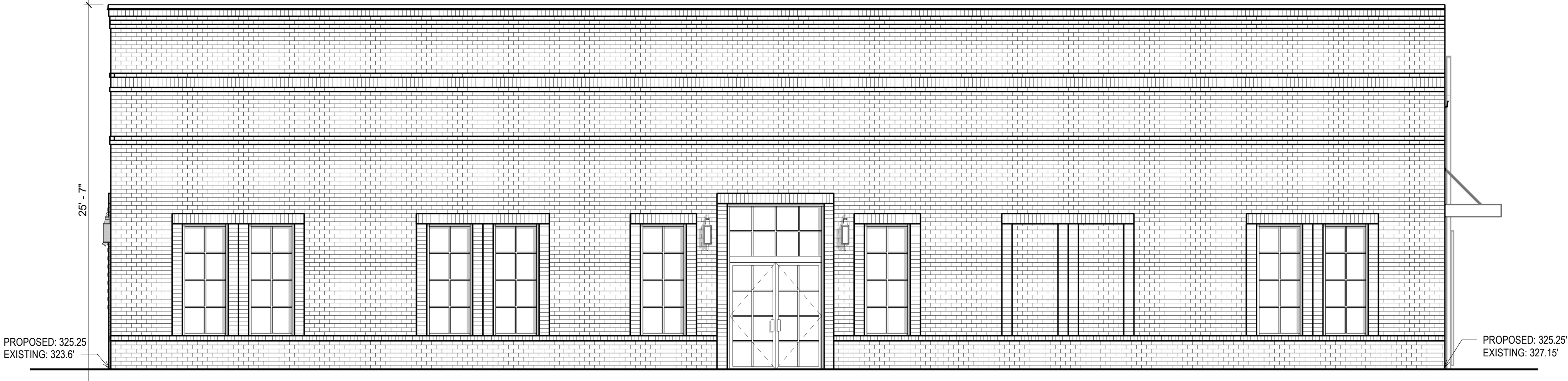
3 SOUTH ELEVATION ASR

SCALE: 3/16" = 1'-0"



2 EAST ELEVATION ASR (STREET FACING FACADE)

SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION

SCALE: 3/16" = 1'-0"

DATE	12.05.19
DR.	EBP
CH.	DSM
PROJ. #	19049
REVISIONS	DATE