

Case File / Name: ASR-0048-2020 Broadstone Oak City - Administrative Site Review City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION:

The site is generally located on the north side of Capital Boulevard west of the intersection of Capital Boulevard and Brentwood Road, with a common street

addresses of 2920 Glenridge Drive and 2815 Capital Boulevard.

REQUEST:

Development of a 4 building apartment community comprising 335 dwelling units, as well as a clubhouse building, associated site improvements, and dedication of a new street (Alloy Street) that generally bisects the site west to east. Total proposed building area is approximately 363,723 square feet. The site is approximately 11.74 acres zoned RX-4-CU (generally the portion of the site north of Alloy Street; zoning case Z-34-19) and CX-5-GR-CU (generally the portion of the site south of Alloy Street; zoning case Z-35-19). Associated preliminary

subdivision is SUB-0029-2020.

Variances (BOA-58-20) approved granting relief from the minimum ground floor elevation requirement set forth in UDO Section 3.2.4.F for Building 1 and Building 3; and granting relief from the maximum building height requirement set forth in UDO Section 3.3.1 for Building 4.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SUR-0587-2020: DSENG - Surety/Infrastructure

FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 6, 2021 by

McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

- 2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

- 5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Ø	Stormwater Maintenance Covenant Required
Ø	Utility Placement Easement Required
Ø	Cross Access Agreements Required

Ø	City Code Covenant Required
Ø	Slope Easement Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

The City Code Covenant shall be approved by the City and recorded with the county register of
deeds office where the property is located and a copy of the recorded document shall be provided to
the City by the end of the next business day following the recordation of the final plat. Further
recordings and building permits will be withheld if the recorded document is not provided to the Cit

Engineering

2. Cross access easements as shown shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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- 3. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
- 4. A Pedestrian and Bicycle Access deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
- 5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 6. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
- 7. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Stormwater

- The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- 9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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13. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

- 14. A public infrastructure surety for 44 street trees is provided to the City of Raleigh Development Services Development Engineering program (UDO 8.1.3).
- 15. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.18 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

- 1. Building elevations shall demonstrate compliance with the maximum building height as measured in accordance with UDO Section 1.5.7.
- 2. The subdivision map (associated case SUB-0029-2020) shall be recorded prior to issuance of building permit.

Engineering

 A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Stormwater

4. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Glenridge Drive and 39 street trees along new "Street A".

The following are required prior to issuance of building occupancy permit:



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Stormwater

- 1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

Urban Forestry

3. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 11, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Date: 01/12/2021 Development Services Dir/Designee

Staff Coordinator:

BROADSTONE OAK CITY



DEVELOPMENT THE	E + BIT CATE TABLE
BITE DATA	BIRDRO DATA
Zoning district (I' man than one, please provide by	Existing prose floor year choick be demolectured:
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RIV-4-CU (2-34-19)	All existing price foor sine to be demonstrated. All existing to be demoisshed (127-284 wh.
Gross rise screege: 12:50 Acres	New year for year year year year
# of paking operate required: San Cross Share	Total if gross (to remain and new) sect total of
# of pateng spaces proposed. San Louis Mont	Proposed # of Supplyings. 4
Drafts District (Fappicative) Name	Proposed # of stones for each; 4 (Rdg 1-4)
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Proposed use (UDO 11.4): Basidantial Appartments	1 (Cultinum entitle)
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Existing imparations Serious	Propert incention Surface
Acres: 5.07 Square teat: 246,008	Acres 8.01 Score Part 348.795
EMA Rep Protect #	
Neural Interdiction This [g] to	Wateria Tes (8 No
ADDODN'AL D	EVELOPMENTS
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Name for Buffer Yes (4 to RESCENTAL 5 to 15 for buffer public 300 for buffer public	EVELORMENTS Trick if choice units As or more
Next that Suffer Ves (2 to RESCENTAL 5	EVELOPMENTS Total of hotel units
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Name that State The (a) to RESCENTAL Of the State Stat	CVS.CMECTS Total onto Re or more Re or more Re or more In year priged a college count? Yes Re or years priged to college count? Yes Re or Re years of the college counts Yes Re or Re of the college counts Yes Re or Re of the county Yes Re or Re or the county Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes Yes

Development was foundations (ask OV) Proposed their Appliques(s) March Santonery (2014) and (2014) 2012 (Sections (3)). While In large Proposed (Sections (3)) and (3) and (GENER	AL INFORMATION	
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What is the project space Securities! Should distink Facility contact of Health American College Securities (Manufactures Color) Securities (Manufactures Colo	Wake Journy Property to	lentification Number(s) Pl	N) for each percel to w	hist these guidelines will apply
Official Residential (Non-Residential Control Official Religious trottles) (Residential Control Official Official Control Official Officia	PW #1215030251	PW #1915839651	PRI	PRIVE
	CMost Residential CP Clicinal Cthopping Co Scope of Work: Corners	ion-Residental Condo : : inter : : : : : : : : : : : : : : : : : : :	Office Children to dental Children	ethion (Paulantel Condo (Plata loater Town (Fowthiose (Other
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Total number of benforces lide: NOA Number affected NOA Number detailed NOA Total number of appreciant or conspicious units: AND		agata Care or Uto Care Dec	ding-units total	

Zerry Delivers CAS-GR-CU RI-4-CU	Proposed use of building(x) Appartments
CK-5-GR-CU(657 ac.); RX-4-CU(4 96 ac.)	CX3-GR-CU (289.678 at; 8X-4-CU (94348
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Stand Laure Libra	Fine Study No. 1000 May Seed S No.

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2815 CAPITAL BOULEVARD

RALEIGH, NORTH CAROLINA 27604

CONSOLIDATED PLAN REVIEW

CITY OF RALEIGH CASE #: ASR-0048-2020 CITY OF RALEIGH CASE #: SPR-0230-2020 PROJECT NUMBER: ALL-19020 **REVISED: DECEMBER 7, 2020 REVISED: DECEMBER 22, 2020** REVISED: IANUARY 6 2021

SITE ADDRESS:	2815 CAPITAL BLVD, BALEIGH NORTH CAROLINA 27604 2920 GLENNIDGE DR, BALEIGH NORTH CAROLINA 27609
PARCEL PN NUMBER:	1715830251, 1715839651
EXISTING/ZONING:	CK-5-GR-CU (REZIDAING CASC 4E-25-28) RK-4-CU (REZIDAING CASC 8E-36-19)
OVERLAYDISTRICT:	NONE
BLOCK PERIMETER:	PER 2-85-18. THE BLOCK PERIMETER REQUIREMENTS OF \$8.3.2.A OF THE UDO SHALL NOT BE APPLICABLE OF THE PROPERTY, AND THE APPLICABLE MAXIMUM BLOCK PERIMETER SHALL BE 4,559 EFF.
WATERSHED:	CRABTREE CHEEK
FLOCOPLUN/FIRM NAMEL:	20NE X/ PANEL: 87034817153
SITE AREA:	GROSS SITE AREA: 12.99 ACRES RUBILIO-MAY DEDICATION: 1.25 ACRES NET SITE AREA: 13.34 ACRES
TREE CONSERVATION	REQUIRED: 1.17 ACRES (LON) PROVIDED: 1.18 ACRES (LON)
VENSCLE PARKING	UPT 21 LIMITY 1 - 348 SPACES (LEPR LAWT) 3-40 (STATE LAWT) 1 - 55 SPACES (LEPR LAWT) 3-40 (STATE LAWT) 1 - 55 SPACES (LEPR LAWT) 3-50 (STATE LAWT) 1 - 55 SPACES (LEPR LAWT) 3-50 (STATE LAWT) 1 - 35
BICYCLE PIAKONG	LOT 1 HEQUISED: 34 HEQUISED: 34 HEQUISED: 4 LOT 2 HEQUISED: 4 HEQUISED: 34 HEQUIS
BUILD-TO	REQUIRED ALDING CAPITAL BLVD (LOTS): 227 LF OF 454 LF FRONTAGE (S2ND, 2014) REQUIRED ALDING ALLIOY ST (LOTS): 222 LF OF S77 LF FRONTAGE (S2ND, 2014) REQUIRED ALDING ALLIOY ST (LOTS): 223 LF OF S80 LF FRONTAGE (S2ND, 1014)
	PROVIDED ALONG CAPITAL BLVD (LOT1): 288.7 LF OF 454 LF FRONTAGE (\$2.8N) PROVIDED ALONG ALLOYS (LOT 1): 286.4 LF OF 577 LF FRONTAGE (\$3.8N) PROVIDED ALONG ALLOYS (LOT 2): 288.1 LF OF 500 LF FRONTAGE (\$5.8N)

THE MARIMUM CORNER CLARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCERACY ON THE MINIMAL ACCESSED CHARACY.

RIGHT-OF-WAY OBSTRUCTION NOTES

- PIGE TO THE START OF WORK, THE CUENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING MIGHERING MIGHERING COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PRENATS AND

- ALL PUBLIC SOCIALACS MUST BE ACCESSIBLE TO PEDESTRIANS WIND ARE VISUALLY IMPAIRED AN CONCERNS, DISTING AND ALTERNATIVE PRESTRIAN ROUTES DUBING CONSTRUCTION SHALL BE WITH THE FURLIL BIGHTS OF WAY ACCESSIBLETY GUIDELINES (PROYMAG), THE ADA STANDANDS INMINIAL OR UNIFIED TRAFFIC CONTROL DEVICES (MUTCO).

SOLID WASTE INSPECTION STATEMENT:

THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SEN-THE CITY OF RALISEN SOLID WASTE SCRINGES ISSUED WILL NOT SERVICE THIS DESIGN

	SD1.00	OVERALL AMENITY KEY PLAN
	SD2.00	AMENITY DETAILS
	LP1.00	OVERALL SITE LANDSCAPE PLA
_	LP1.10	OVERALL LANDSCAPE PLAN-LO
v	LP1.20	OVERALL LANDSCAPE PLAN-LO
v	LP2.00	PLANT SCHEDULE AND DETAIL
$\overline{}$	A-0	AVERAGE GRADE CALCULATION
U	A-1	BUILDING 1 ELEVATIONS
^	A-2	BUILDING 1 ELEVATIONS
J	A-3	BUILDING 2 ELEVATIONS
	A-4	BUILDING 2 ELEVATIONS
	A-5	BUILDING 3 ELEVATIONS
	A-6	BUILDING 3 ELEVATIONS
	A-7	BUILDING 4 ELEVATIONS
	A-8	BUILDING 4 ELEVATIONS
	A-9	CLUBHOUSE ELEVATIONS
	A-10	CLUBHOUSE ELEVATIONS
	A-11	MAIL KIOSK ELEVATIONS
	A-12	BUILDINGS SECTIONS

NC BUILDING CODE SUMMARY SHEET INFORMATION NC BUILDING CODE SUMMARY SHEET INFORMATION

NC BUILDING CODE SUMMARY SHEET INFORMATION SPECIFICATIONS

C-4 RETAINING WALL PROFILE #2 (CONTINUED) THRU #4

C-6 RETAINING WALL PROFILE #6 & #7 RETAINING WALL PROFILE #8 & #9

C-10 DETAIL SHEET - 1 OF 2

DUDUIC IMADDOVEMENTS OUMNITHES

PUBLIC IIVIPROVEIVIEW 13 QUA	MALLIES
PHASE NUMBER(S)	N/A
NUMBER OF LOT(S)	5
LOT NUMBER(S) BY PHASE	N/A
NUMBER OF UNITS	335
LIVABLE BUILDINGS	5
OPEN SPACE?	YES
NUMBER OF OPEN SPACE LOTS:	3
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PRIVATE SEWER (LF)	518
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	4
SEWER SERVICE STUBS	8

VICINITY MAP



ARCHITECTURAL SHEET INDEX C3.00 C3.01 C3.02 LOT 1 C3.03 C3.04 LOT 2 C4.00 ONS C4.01 C5.01 C5 02 C6.00

RETAINING WALL PLANS

G-1 COVER SHEET

RETAINING WALL SITE PLAN C-2 C-3 RETAINING WALL PROFILE #1 & #2

RETAINING WALL PROFILE #4 (CONTINUED) & #5

C-9 RETAINING WALL PROFILE #10

C-11 DETAIL SHEET - 2 OF 2

PUBLIC IMPROVEMENTS QUA	ANTITIES
PHASE NUMBER(S)	N/A
NUMBER OF LOT(S)	5
LOT NUMBER(S) BY PHASE	N/A
NUMBER OF UNITS	335
LIVABLE BUILDINGS	5
OPEN SPACE?	YES
NUMBER OF OPEN SPACE LOTS:	3
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PRIVATE SEWER (LF)	518
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	4
SEWER SERVICE STURS	8

CO.01 PROJECT N

PROJECT NOTES BOARD OF ADJUSTMENTS DECISION C0.02 C0.03 APPEARANCE COMMISSION DECISION C1.00 **EXISTING CONDITIONS (1 OF 2)** C1.01 EXISTING CONDITIONS (2 OF 2) C2.00 OVERALL SITE PLAN

C2.01 SITE PLAN - AREA "A" C2.02 SITE PLAN - AREA "B" C2.03 SITE PLAN - AREA "C"

OVERALL GRADING AND STORM DRAINAGE PLAN GRADING AND STORM DRAINAGE PLAN - AREA "A" GRADING AND STORM DRAINAGE PLAN - AREA "B" GRADING AND STORM DRAINAGE PLAN - AREA "C"

GRADING AND STORM DRAINAGE STRUCTURE TABLE OVERALL UTILITY PLAN UTILITY PLAN - AREA "A"

UTILITY PLAN - AREA "B" C4.03 UTILITY PLAN - AREA "C"

PLAN AND PROFILE - ALLOY STREET (FOR REFERENCE ONLY - PERMITTED UNDER SPR-0233-2020) PLAN AND PROFILE - ALLOY STREET (FOR REFERENCE ONLY - PERMITTED UNDER SPR-0233-2020) PLAN AND PROFILE - GLENRIDGE DRIVE (FOR REFERENCE ONLY - PERMITTED UNDER SPR-0233-2020) PLAN AND PROFILE - SS O/F "A" (FOR REFERENCE ONLY - PERMITTED LINDER SPR-0233-2020)

PLAN AND PROFILE - SS O/F "B" STA. 9+50.00 THRU STA. 14+50.00

FROSION CONTROL NOTES

OVERALL FROSION CONTROL PLAN - STAGE 1 C6.01 FROSION CONTROL PLAN - STAGE 1 - AREA "A" C6.02 EROSION CONTROL PLAN - STAGE 1 - AREA "B" C6.03 C6.04 EROSION CONTROL PLAN - STAGE 1 - AREA "C" OVERALL EROSION CONTROL PLAN - STAGE 2 C6.05 EROSION CONTROL PLAN - STAGE 2 - AREA "A"

C6.07 EROSION CONTROL PLAN - STAGE 2 - AREA "B" C6.08 EROSION CONTROL PLAN - STAGE 2 - AREA "C" C6.09 OVERALL EROSION CONTROL PLAN - STAGE 3 C6.10 FROSION CONTROL PLAN - STAGE 3 - AREA "A"

C6.11 EROSION CONTROL PLAN - STAGE 3 - AREA "B" EROSION CONTROL PLAN - STAGE 3 - AREA "C" C6.12 C6.13 NPDES EROSION CONTROL PLAN

C6.14 **EROSION CONTROL DETAILS EROSION CONTROL DETAILS** C8.00 SITE DETAILS

C8.01 SITE DETAILS C8.02 WATER DETAILS C8 U3 WATER DETAILS

STORM DRAINAGE DETAILS C8.04 C8.05 SEWER DETAILS LANDSCAPE PLAN - AREA "A" L5.00 L5.01 LANDSCAPE PLAN - AREA "B"

BUILD-TO EXHIBIT

15.02 LANDSCAPE PLAN - AREA "C" TREE CONSERVATION PLAN BOUNDARY (FOR REFERENCE ONLY - APPROVED UNDER SPR-42230-2003

LIGHTING PLAN LIGHTING PLAN

GENERAL NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND INCOOT STANDARDS

Private Sever Cotaction / Extension System

Part of State Separtment Parent p. 5-47730

IF NO DOT PERMIT APPROVAL REQUIRES SPECISIONIZED TO BE AMENDED OR REMISED, A MYLAR REVISION SHALL BE SUBMITTED TO THE CITY OF PALEIGH TO BE APPROVE THE PLAN

	IMPERVICUS AREA TRACKING TABLE*						
		FOL 7	LOT 2	LOT 3 OPEN SP	SCM W	LOF S SOM W	TOTAL
	ACREAGE	6.87.AC.	B.08 AC.	0.87.AC.	0.44 AC.	0.27 AC.	11.53 A
[MAX. IMPERMOUS AREA	4.95 AC.	1.54 AC.	0.05 AC.	D.OS AC.	0.05 AC.	6.64 AC

SITE PERMITTING APPROVAL

The City of Makigh consensity in the convention and exhaults of the Citys Public Maler System on above on this plan. The exhault and Construction exhibition would for this popiest send anothern to the standards and sportfunction of the Citys Public Milliam Intellant, No of Public Public Systems (Partier Public P. 1974).

Kasey Evans am appreving this decument.

CITY OF MALESCH - PLANS AUTHORIZED FOR CONSTRUCTION

or the proposal are been been trained for general completion with explication codes. This foliated review, our orders the contraction is not to be considered to represent that completion and of lingal explanation for each call contraction. The property works, object consideration consideration contraction represents for one set the appendix City. This and Friend less. This quadra extraction below in our of protects and only and of a peared up visition of City. State or feeling last. Observations reach it is considered until the first first

City of Rainigh Review Officer

FINAL DRAWING - RELEASED FOR CONSTRUCT



phone 919, 823, 4300 license number: C-0293, C-187

CONTACT

ANDY PADIAK PHONE: 919, 823, 4300

CHENT

ALUANCE RESIDENTIAL COMPANY CHARLOTTE NC 28207



PROJECT DIRECTORY

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207

LAND PLANNING, ENGINEER & LANDSCAPE ARCHITECTURE MCADAMS CO ONE GLEWWOOD AVE

CLINE DESIGN ASSOCIATES



5 BL OL 2021 4TH CONSOLIBATED REVIEW

CONSOLIDATED PLAN REVIEW PLANS FOR:

BROADSTONE OAK CITY RALEIGH, NORTH CAROLINA PROJECT NUMBER: ALL-1902



Re: Board of Adjustment Case BOA-0058-2020 Subject Property: 2815 Capital Boulevard and 2920 Glenridge Drive

Dear Applicant and Associated Parties:

At the November 9, 2020 meeting of the Raleigh Board of Adjustment (the "Board"), the Board approved with modifications the above request. The request sought:

In accordance with N.C. Gen. Stat. § 160A-388, please find enclosed a copy of the Board's adopted

12. Due to the steep topography of the Property along Alley Street (where Budding 4 will be located), and the UDO's method of measuring height based on existing grade, strict application of the UDO would limit the height of Building 4 to 57 feet, which is less than the fear (4) startles (of feet) permitted by the Property's zoring district.

Allowing the Variance Request will allow Building 4 to be constructed with a building beight of 66 feet, which is within the allowed height maximum of the Property's gosting duried.

Special Use Parmit Apprents!
If the report was for a special use permit CNLP' yaid the SUP request was approved, please note that.
If the report was for a special use permit CNLP' in the SUP request was approved, please note that.
If the report was the special use of the special use of the special use of the special use of the special use permit is required, including property of till first, has been filed by the applicant and accepted by the CPS, SEE DOS Section 10.2.3 II.

Please also note that, pursuant to the UDO, an approved SUP shall not, without prior approval of the

- loand:

 Change to inother use for more than 30 days;
 Increase its density or intensity;
 Endange, expand or increase its size;
 Increase the requirements for off-treet parking sposes;
 Substantially change the exterior appearance of buildings or
 Add new outdoor equipment and machinery.

Design Adjustment or Design Alternate Approval
If the respect for a design alternate are design adjustment, and the design alternate or design adjustment
respect two approved, please note that, present two the CDO, the approval is inscrepented state its
request two approved, please note that, present to the CDO, the approval as inscrepented state its
request two approved. Let all appear adjustment to the CDO, the approval and to the contract of the alternative approval. Sect CDO, Contract (to E. 1).

Should you have any questions concerning the decision of the Board, please do not he sitate to contact me at 919-996-6530.

CONCLUSIONS OF LAW

Pursuant to the foregoing FINDINGS OF FACT and UDO Section 10.2.10.D.3, the BOA makes the following Conclusions of Law:

- The Applicant/Property Owners scherized competent, material and the substantial evidence to establish that:
- an unnecessary hardship would result from the strict application of UDO Sections 3.2.4.F and 3.3.1;
- iii. the hardship did not result from actions taken by the Property Owners;
- iv. the requested variances are consistent with the spirit, purpose and intent of the ordinance, such that exhibit safety is secured, and substantial justice is achieved.

ACCORDINGLY, based on the feregoing FINDINGS OF FACT and CONCLUSIONS OF LAW, the BOA hereby grants the Variance Requests, as set forth above.

This the 14th day of December, 2028.

FINDINGS OF FACT

- The property at issue (the "Property") consists of 2 percels of land strating 12:98 acres in size. The Property is located at 2815 Capital Boulevard (PIN:1715-93-0251) and 2929 Gleenidee Drive (PIN: 1715-83-9651) in Raleigh.
- The parcel located at 2815 Capital Boulevard (the "Southern Parcel") is zoned Commercial Mixed-Use; five stories maximum; Genen Prostage; Conditional Use (CX-5GR-CU). The purcel located at 1920 Generáge Drive (the "Northern Parcel") is zoned Residential Mixed-Use; four tories maximum; Conditional Use (RX-4-CU).
- The Southern Parcel is owned by CB Hotel, LLC and the Northern Parcel is owned by Eagle Rock 50, LLC (the "Property Owners").
- The Southern Purcel abuts Capital Besileuard to the south. To the east and west
 of the Southern Purcel are parcels zoned CX-5-GR-CU, which also have frontage storag
 Capital Bodelevard.
- The Northern Paccel is currently vacant, wooded land. The Southern Paccel includes an existing structure and associated parking, which was previously used as a total use.

2815 Capital Blvd & 2920 Glenridge Dr Variances BOA-0058-2020 FoF & CoL

"2815 Capital Blvd & 2920 Glenridge Dr Variances BOA-0058-2

- Enail viewed by Rodney Swink (fewinkS25@gmail.com) 202-12-14-7-4654 PM GMT-IP address 66:1028.11

Acobe Sign

MCADAMS The John R. McAdams Company, Inc. One Glenwood Avenue Suite 201 Raleigh, NC 27603

phone 919. 823. 4300 fay 919 361 2269 license number: C-0293, C-187

CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY
CONSOLIDATED REVIEW
SPR-0230-2020
CONSTRUCTION DRAWINGS
2815 CAPITAL BOULEVARD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO. DATE
1 08. 31. 2020 REVISED PER 1ST CITY REVIEW
2 10. 29. 2020 IST CONSOLIDATED REVIEW
3 12. 07. 2020 2ND CONSOLIDATED REVIEW
4 12. 22. 2020 3RD CONSOLIDATED REVIEW
5 01. 06. 2021 4TH CONSOLIDATED REVIEW

PLAN INFORMATION

PROJECT NO. ALL-19020 FILENAME AVC19000-CR-N1 CHECKED BY JRB DRAWN BY SCALE MTC 07. 01. 2020 DATE

SHEET BOARD OF ADJUSTMENTS DECISION

C0.02

City of Raleigh Development Approval FINAL DRAWING - RELEASED FOR CONSTRUCTION

CITY OF RILEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Post for the present of the control of the control



VIA ELECTRONIC MAE, TO: mshart@morningsfarfawgroup.com, kvineseti@efiresoc.com, sesha@debnampioperties.com, and bill brar/fe@panel.com

Re: Appearance Commission Case DA-0001-2020 Subject Properties: 2815 Capital Boulevard and 2920 Glennidge Drive

were the solve-reterrisols request. In request scoppir, WHEREAG GB HEAL LL Can Edge Refs (SS QLLC, properly owners, request the following dissipnate to USO Section 8.3.5.C.X., which requires that diveweys accessing a more than eight-oid (SF) right-devise) be to associal which DV signatt eight partitional to consider the projects. A section of the solvent size solvent or the SC and solvent or the SC and size with solvent or the SC and size which solvent or the SC and size with solvent or the SC and

In accordance with N.C. Gen. Stat. § 160A-356, please find enclosed a copy of the Commission's adopted written decision approving this request.

Visitions. Account
If the request was for a variance and the variance was approved, please note that, pursuant to the City of Radegh Intelligence (Intelligence Intelligence I

Special Use Permit Approval

Modes Associations are considered as the record of the SUP request was approved, please note that, pursuant to the UDO, the SUP approval expires one (1) year from the date of approval by the Bloard, unless a completed building permit application is submitted or a zering permit is submitted when no building re-

- The section of Capital Boulevard that abuts the Property is a right-of-way that is greater than 80 feet in width.

- Without the Design Alternate Request, vehicular access to the Property would only sable from Glenridge Drive, which is located to the north west of the Property.

CONCLUSIONS OF LAW

Pursuant to the foregoing FINDINGS OF FACT and UDO Section 16.2.18, the sission makes the following Conclusions of Law:

The Design Alternate Request should be granted.

If the request was for a design alternate, and the design alternate request was approved, please note the pursuant to the UDO, the approval is incorporated into its corresponding site plan or subdivision approval and such approval shall expire, if at all, upon expiration of the corresponding site plan or subdivision approval. See UDO Section 102.18

The Property Owners / Applicant submitted competent, material and the substantial evidence to establish their

- The approved design alternate does not increase congestion or compromise safety;
- The design alternate is deemed reasonable due to one or more of the following:
- Given the existing physical environment, compliance is not physically feasible;
 Corrollance would not meaningfully improve connectivity; and 3. Corrollance is not compatible with adjacent uses.
- ACCORDINGLY, based on the feregoing FINDINGS OF FACT and CONCLUSIONS OF LAW, the Commission bereby grants the Design Alternate Request, as set forth above.

This the 5th of November, 2020.

RECEIVED CITY CLERKS OFFICE

2815 CAPITAL BOULEVARD & 2929 GLENRIDGE DRIVE, RALEIGH, NC DESIGN ALTERNATE APPROVAL CASE DA.1-29

CITY OF RALEIGH APPEARANCE COMMISSION FINDINGS OF FACT AND CONCLUSIONS OF LAW

This application for a design alternate from Sociator 8.3.5.C.2.c of the City of Rabrigh, Jurified Development Ordenance (the "TLOO") came before the Radigh Appeacase Commission the "Commission" to Archive 1, 7200 for a paral-pidcial learning lands on the tentions yet to wiscusses, the documentary evidence, the Design Alternate Application and related marrieds, the achibits and other vidence presented at the Archive 1, 7200 heaving, for Commission Fields at the Design Alternate should be granted and in support thereof, makes the following Findings (First and Condesisions of Laze:

- The Property Owners are CB Hotel, LLC and Eagle Rock 50, LLC (the "Property ins").
- 5. One of the Property's parcels abus Capital Beolevard and includes an existing structure and insociated packing area (the "Firet Praces"). The other proced is the Property is located behind the pracef that abuse Capital Bulloward and is currently wasnet and undervisioned (the "Second Praces"). The Second Praced has freetage along Glorskips Drive.

2815 Captial Blvd & 2929 Glenridge Dr DA-1-20 Fof & CoL

"2815 Captial Blvd & 2929 Glenridge Dr DA-1-20 Fof & CoL" His

Adobe Sign

- Document emailed to Corey L. Bates (corey@newcitydesign.com) for signature 200-11-09-3 2004 RM GMT
- □ Email viewed by Corey L. Bales (corey@newchydesign.com). 2000 11-09 4:14:09 PM GMT-IP wateres: 24:198.204.10

CITY OF RILEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Place for the present of an internet member of the property and contributions of the property of the property

City of Raleigh Development Approval

FINAL DRAWING - RELEASED FOR CONSTRUCTION



MCADAMS The John R. McAdams Company, Inc. One Glenwood Avenue Suite 201 Raleigh, NC 27603

phone 919. 823. 4300 fay 919 361 2269 license number: C-0293, C-187

CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO. DATE
1 08. 31. 2020 REVISED PER 1ST CITY REVIEW
2 10. 29. 2020 IST CONSOLIDATED REVIEW
3 12. 07. 2020 2ND CONSOLIDATED REVIEW
4 12. 22. 2020 3RD CONSOLIDATED REVIEW
5 01. 06. 2021 4TH CONSOLIDATED REVIEW

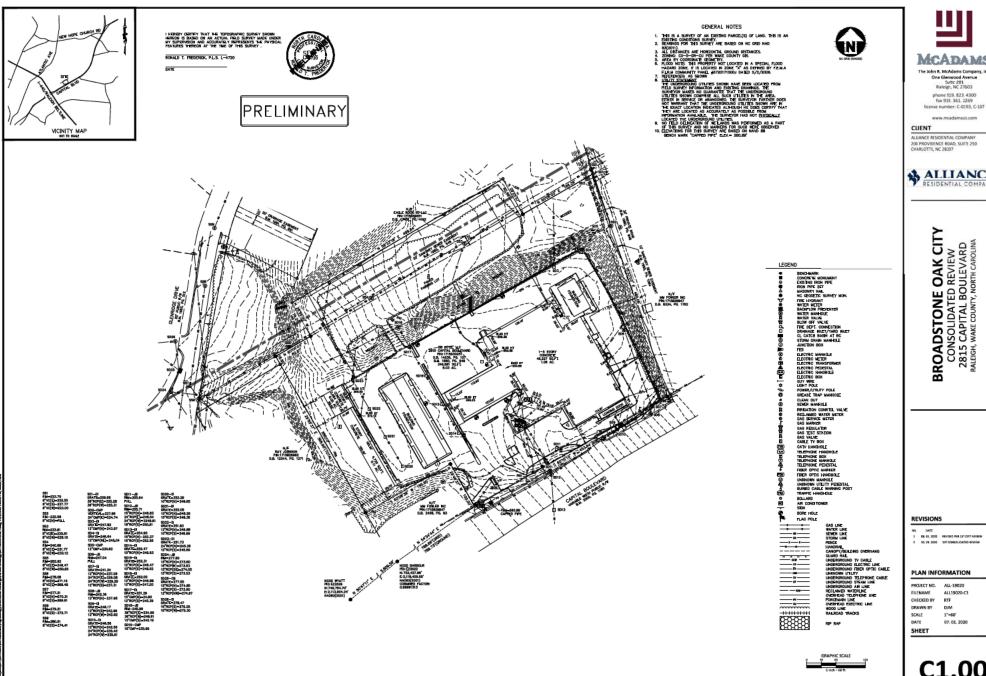
PLAN INFORMATION

PROJECT NO. ALL-19020 FILENAME AVC19000-CR-N1 CHECKED BY JRB

DRAWN BY SCALE MTC 07. 01. 2020 DATE SHEET

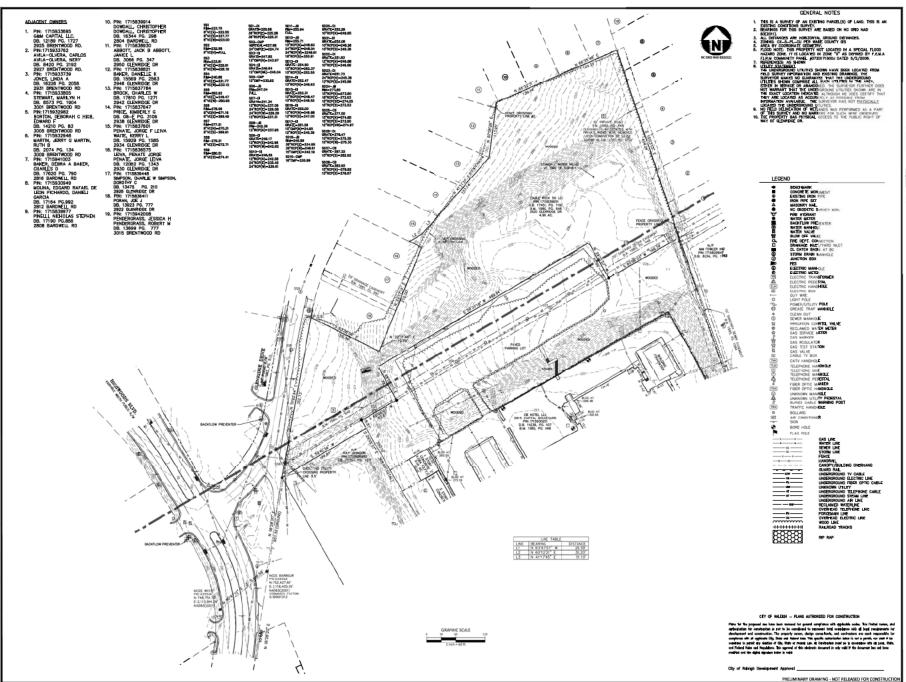
APPEARANCE COMMISSION DECISION

C0.03





C1.00





The John R. McAdams Company, Inc. One Glerwood Avenue Suite 201 Raleigh, NC 27603 phone 919. 823. 4300 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA



REVISIONS

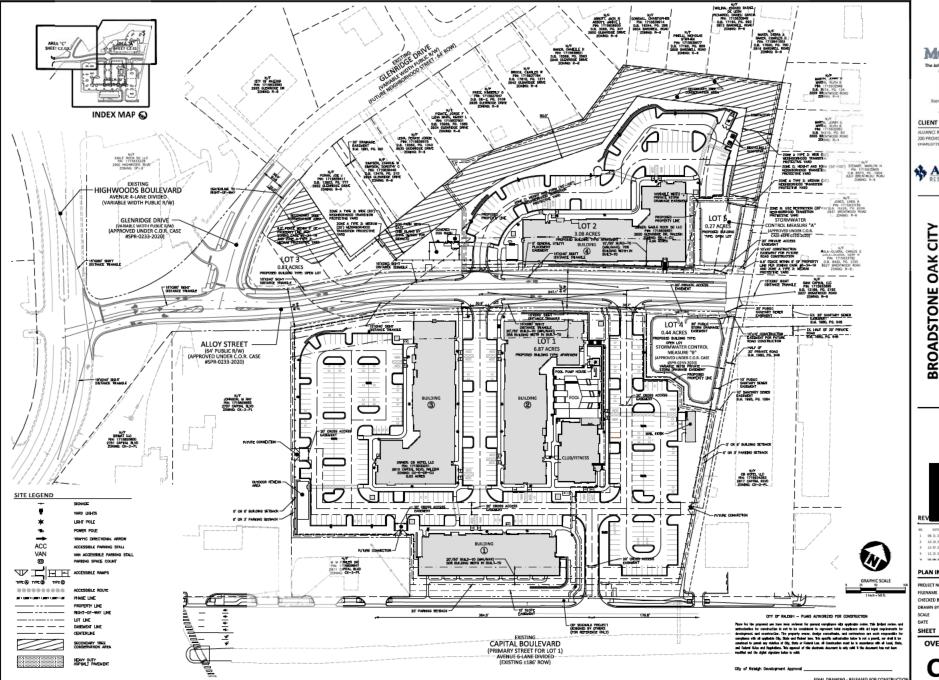
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1 06.34.2020 RDVS60-PCR 15T CITY RDVID 2 SO. 29. 2029 SET COMBOUGATED REVIEW

PLAN INFORMATION

PROJECT NO. FILENAME AU.19020-C2 CHECKED BY RTF DRAWN BY SCALE 1"=60" DATE 07. 01. 2020 SHEET

EXISTING CONDITIONS

C1.01





phone 919, 823, 4300

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207

ALLIANCE

BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA



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PLAN INFORMATION

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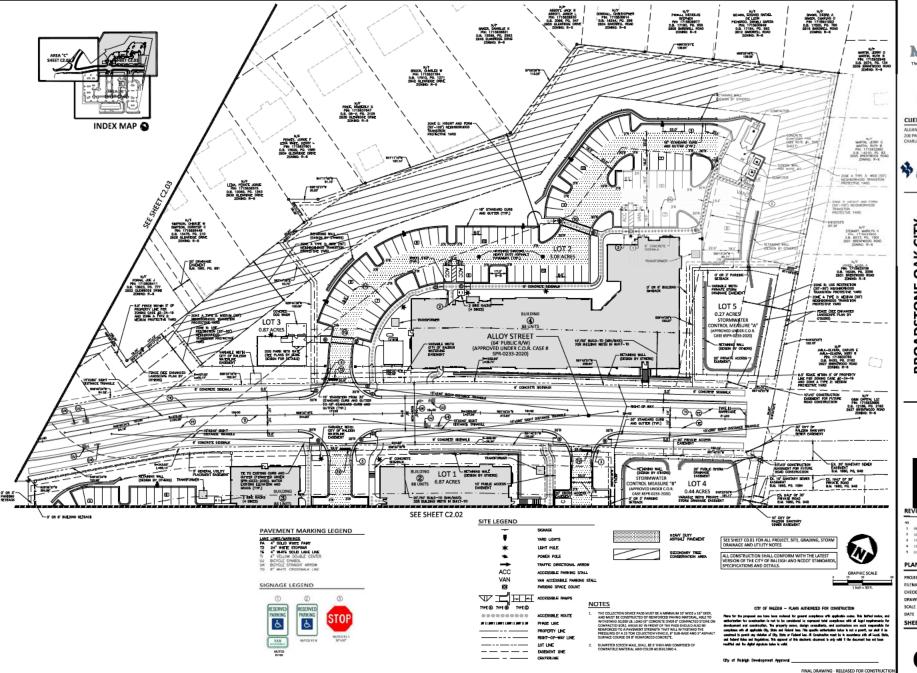
ALL19020-CR-51 CHECKED BY DRAWN BY

07.01.2020

SHEET

OVERALL SITE PLAN

C2.00





The John R. McAdams Company, Inc. One Glemwood Avenue Swite 201 Raleigh, NC 27503 phone 919. 823. 4300 fax 919. 361. 2269 license number: C-0193, C-187

CLIENT

200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

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 12.22.200 SMCCOMPOSIDENTE REVIEW
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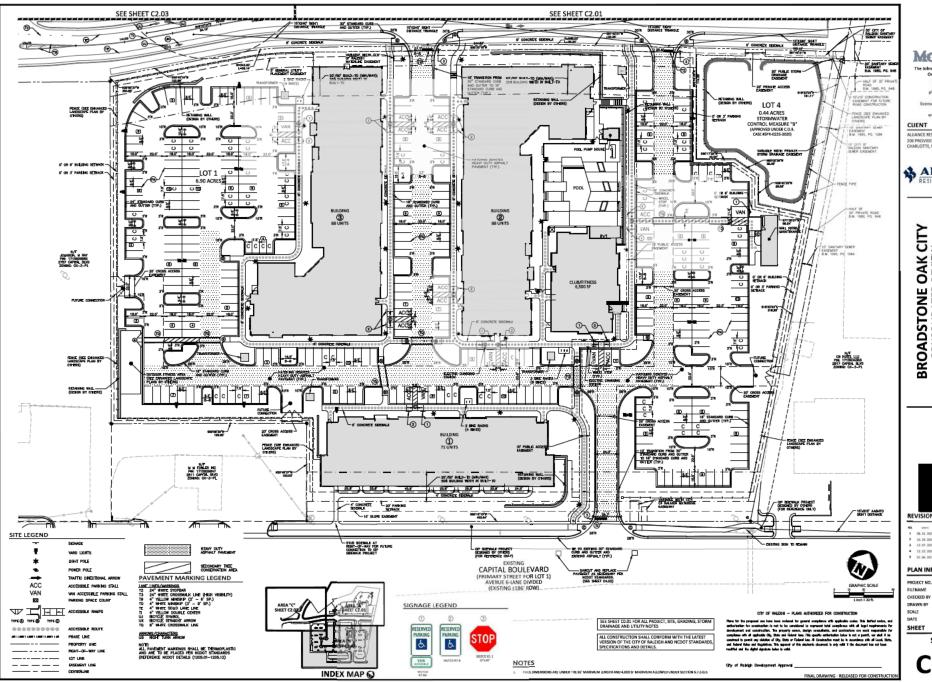
PLAN INFORMATION

PROJECT NO. FILENAME AUL19020-CR-S1 CHECKED BY JRB DRAWN BY SCALE 1"=30"

07. 01. 2020 SHEET

SITE PLAN

C2.01





CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAFOLINA



REVISIONS

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1 06. 33, 2039 REVISED PER 15T CITY REVIEW

2 10. 29, 2039 15T ORROQUEATED REVIEW

3 12. 07, 2039 2MDCORSOQUEATED REVIEW

4 12, 22, 2039 3RO CORROQUEATED REVIEW

5 01. 06, 2031 4DH CONSOQUEATED REVIEW

PLAN INFORMATION

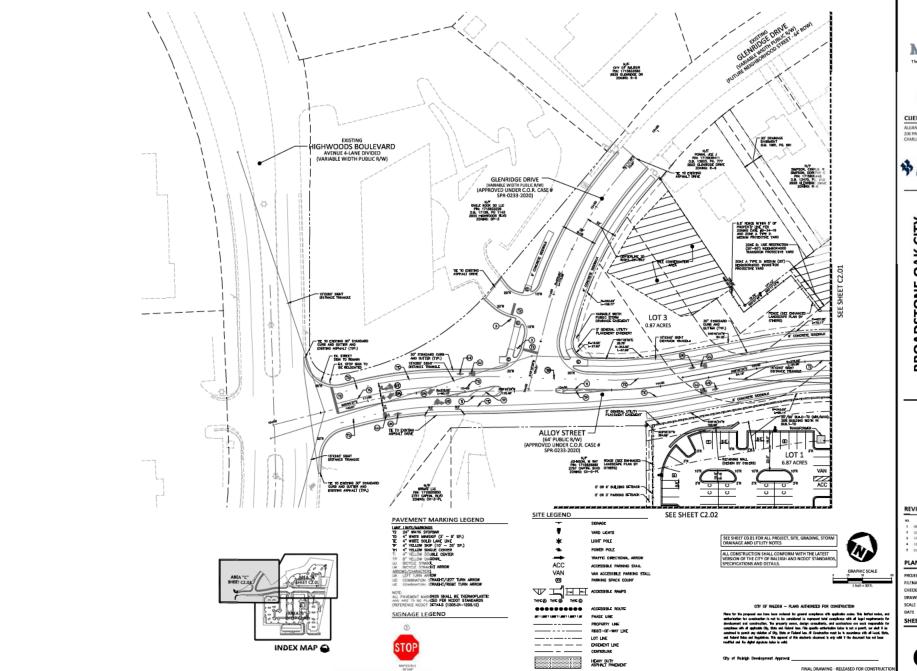
PROJECT NO.

AUL19020-CR-S1 JRB 1"=30"

07. 01. 2020

SITE PLAN

C2.02





CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA



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1 06.33.203 MEVISED PER 15T CITY REVIEW

2 10.29.2030 15T COMMODIDATIO REVIEW

3 11.07.2030 3MD COMMODIDATIO REVIEW

4 11.22,2030 3MD COMMODIDATIO REVIEW

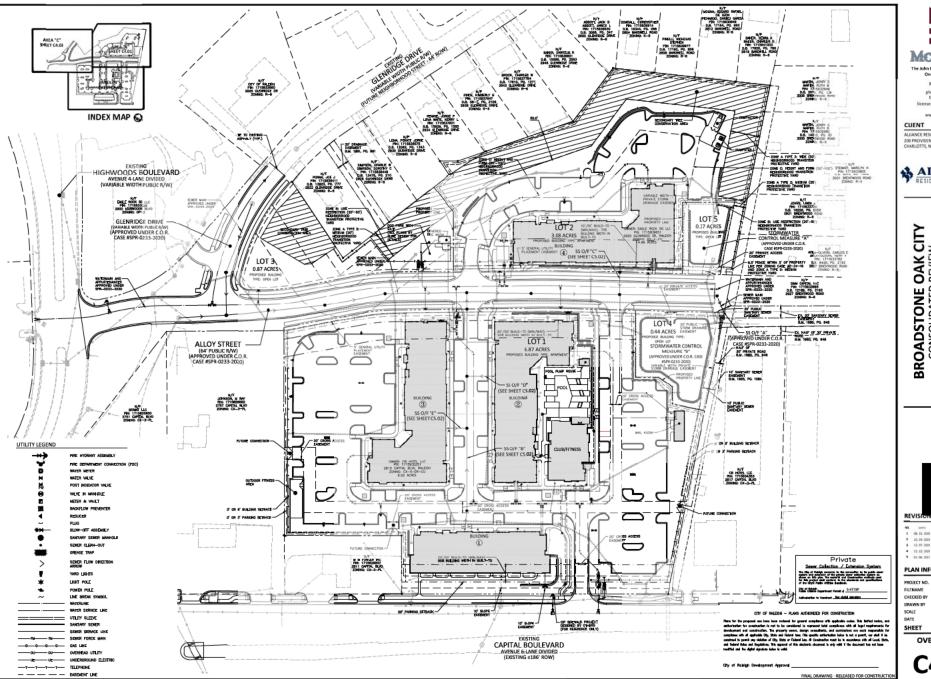
5 00.0231 4TH COMMODIDATIO REVIEW

PLAN INFORMATION

PROJECT NO. FILENAME AU.19020-CR-S1 CHECKED BY JRB DRAWN BY SCALE

1"=30" 07. 01. 2020 SHEET

SITE PLAN AREA "C" C2.03





CLIENT

200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA

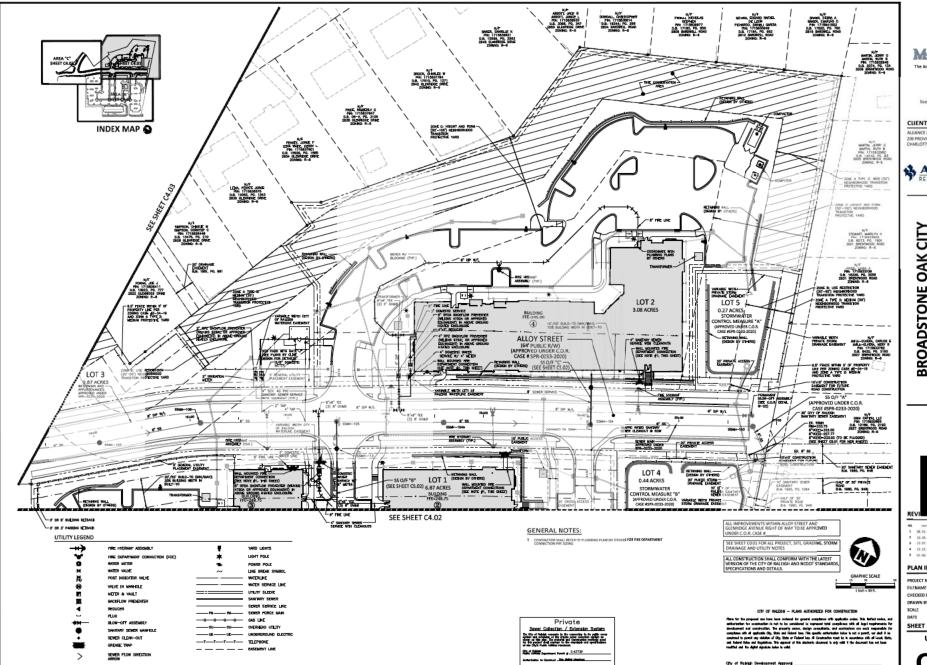
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PLAN INFORMATION

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07. 01. 2020

OVERALL UTILITY PLAN





CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA



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PLAN INFORMATION

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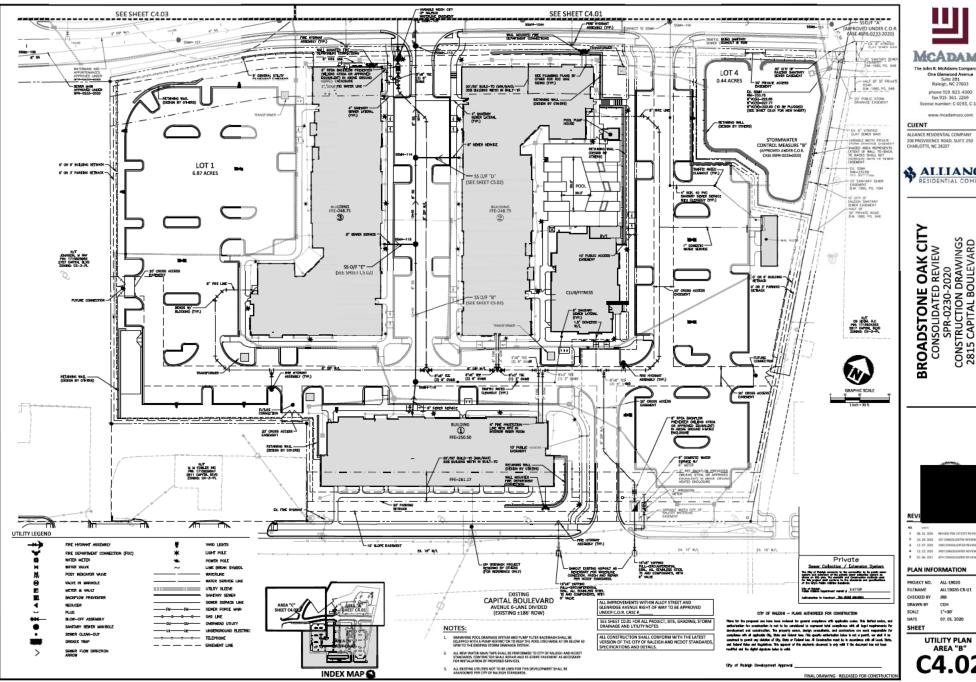
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FINAL DRAWING - RELEASED FOR CONSTRUCT

1"=30" 07. 01. 2020

UTILITY PLAN AREA "A"

C4.01





CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA



10. 29. 2020 15T COMSOLIDATED REVIEW

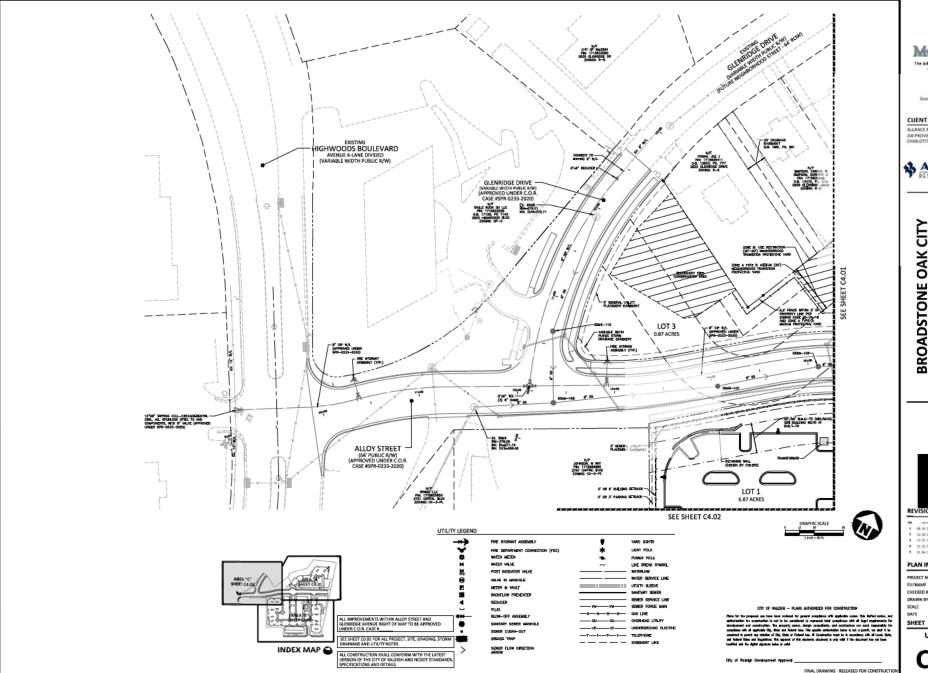
PLAN INFORMATION

PROJECT NO. AU.19020-CR-U1 CHECKED BY JRB. 1"=30"

07. 01. 2020

UTILITY PLAN

C4.02





CLIENT

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

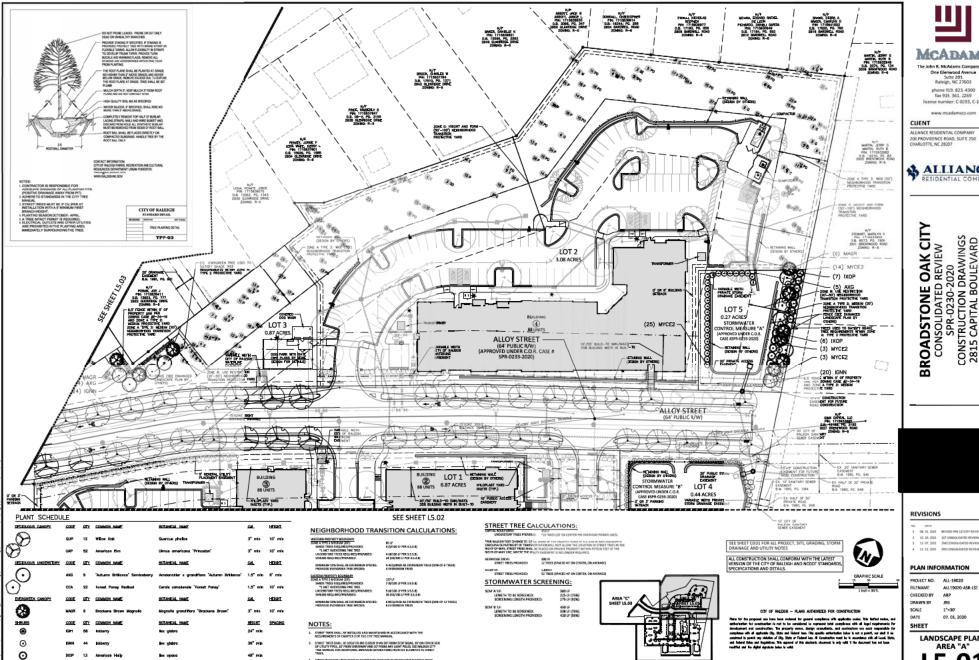
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4 12, 22, 2020 3MD CORROLLOATED REVIEW
5 01, 06, 2021 4TH CORROLLOATED REVIEW

PLAN INFORMATION

PROJECT NO. FILENAME AU.19020-ASR-U1 CHECKED BY JRB DRAWN BY SCALE 1"=30"

07. 01. 2020

UTILITY PLAN AREA "C"
C4.03



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One Glerwood Avenue Solte 201 Raleigh, NC 27503 phone 919. 823. 4300 fax 919. 361. 2269 license number: C-0293, C-187

ALLIANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WARE COUNTY, NORTH CAROLINA

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AU.19020-ASR-LS1 ARP

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City of Rojelph Development Approval

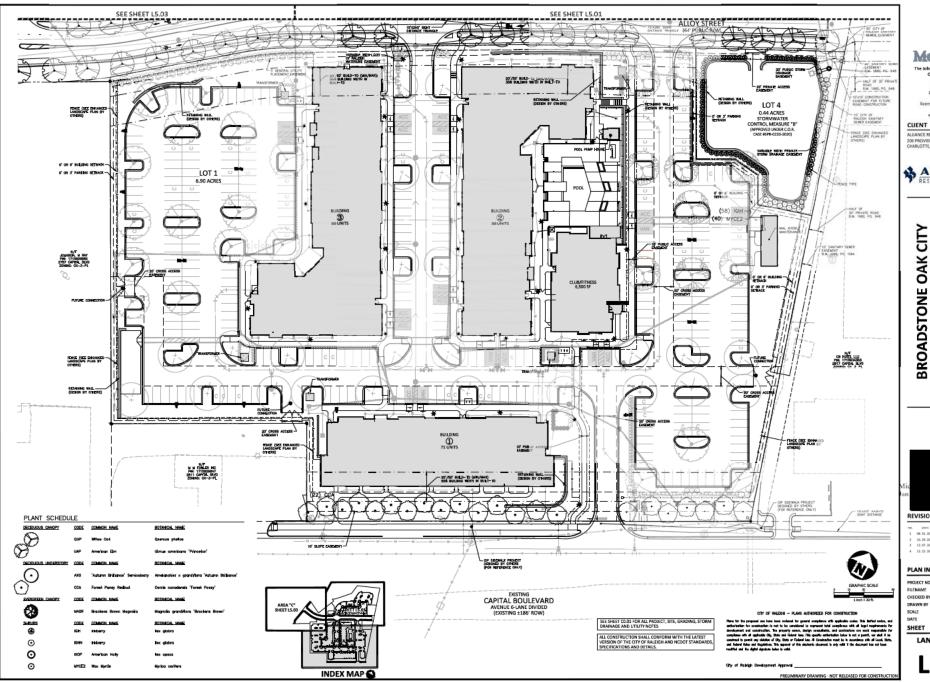
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT

INDEX MAP

07. 01. 2020

LANDSCAPE PLAN AREA "A"

L5.01





CLIENT

ALLIANCE RESIDENTIAL COMPANY 20I PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WARE COUNTY, NORTH CAROLINA



REVISIONS

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2 50. 29. 200 151 004600 DAYED REVIEW
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4 12. 22. 200 3R0 CONGOUGHED REVIEW

PLAN INFORMATION

PROJECT NO. CHECKED BY ARP

AU.19020-ASR-LS1 1"=30" 07. 01. 2020

LANDSCAPE PLAN

L5.02

LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CARDUNA STANDARDS AND SPECIFICATIONS

- PROPOSED TREES TO SE PLANTED A MEMMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TIBLINE OF THE TREE TO THE POLE.

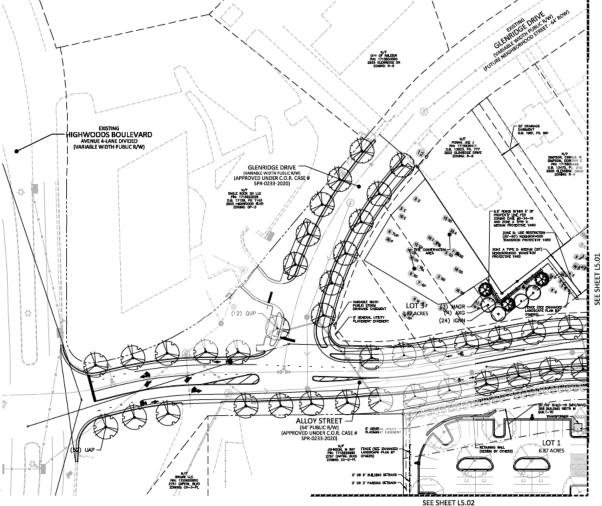
- OPSOIL SHALL BE FREE OF MATERIAL LANGER THAN 1.0 IMO I IN DIAMETER OR LENGTH NO SHALL NOT CONTAIN SLAG, CINCERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, LASH, OR OTHER EXTRANGUIS MATERIAL

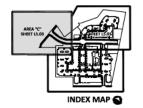
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A

- 26. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTI INSTALLATION









SEE SHEET CO.D1 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALFIGH AND NODOT STANDARDS.



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

City of Robigh Development Approval

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



phone 919. 823. 4300 fax 919. 361. 2269 license number: C-0293, C-187

CUENT

ALIJANCE RESIDENTIAL COMPANY 200 PROVIDENCE ROAD, SUITE 250 CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

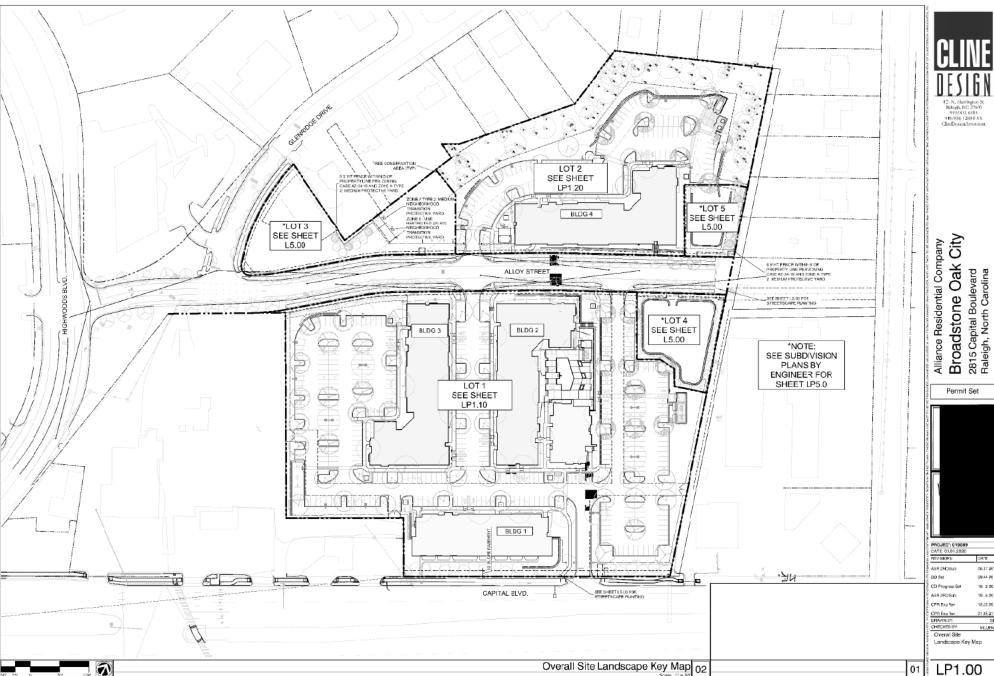
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PLAN INFORMATION

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SCALE 1"=30" DATE 07, 01, 2020 SHEET

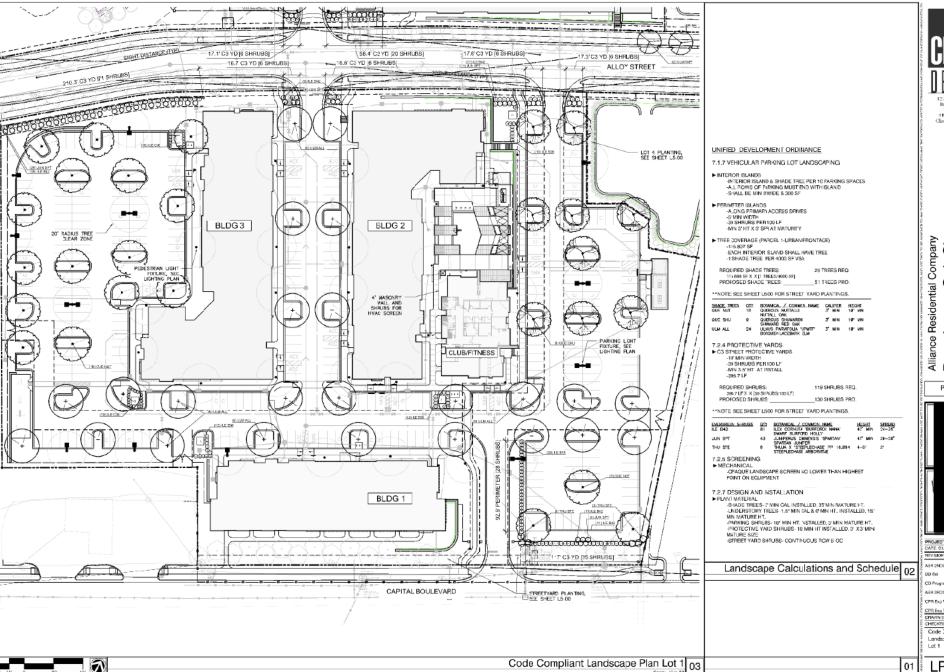
> LANDSCAPE PLAN L5.03



12) N. Harrington St. Bakiph, NC 27603 919/833-6413 949/836-1280 FAX ClircDosignAssuccom

Permit Set

10: 3.20



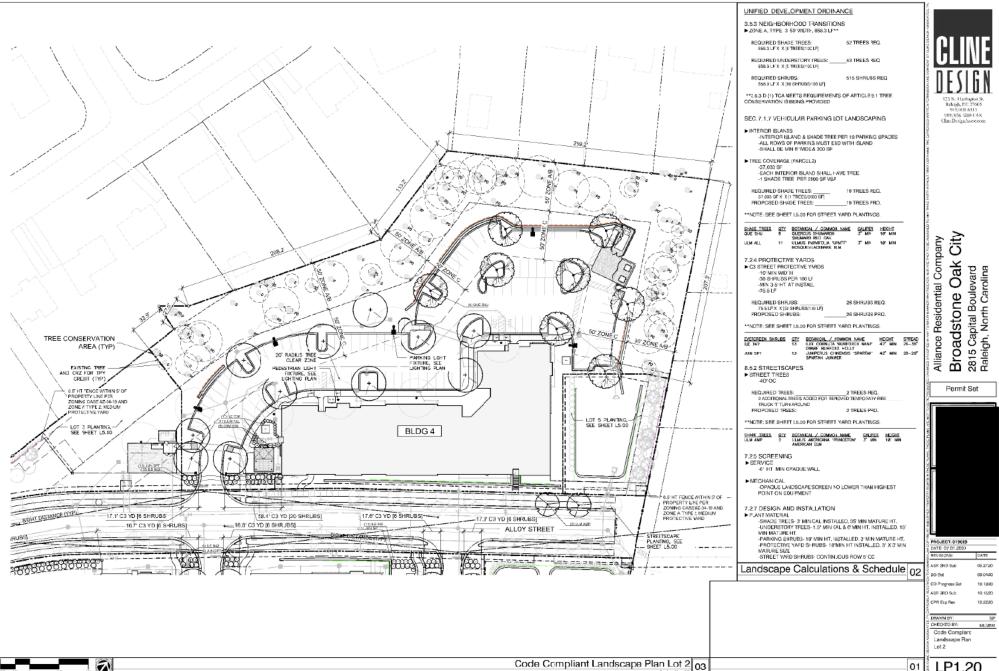


City. Company Alliance Residential Comps Broadstone Oak C 2815 Capital Boulevard Raleigh, North Carolina

Permit Set

ASR 2NDB// DD Set CD Prognas Set 10: 3.20 ASS SEDS O 10, 5,20 CPR Exp Rev 12.22.20 01.85.21 SP CPR Exp No. CHECKED BY Code Compliant

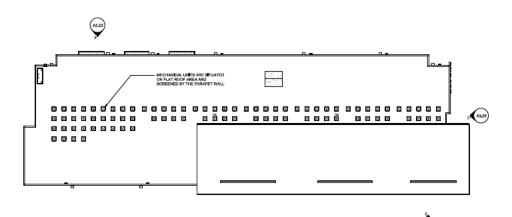
P1.10



LP1.20

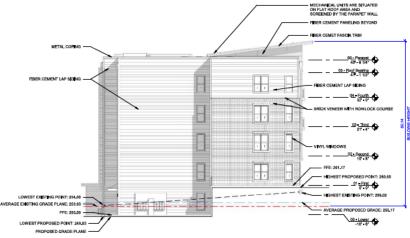


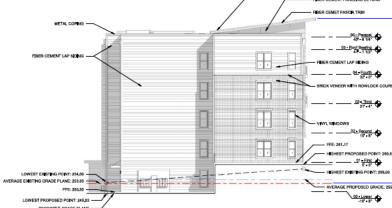




LOW-SLOPE STANDING SEAM METAL ROOF FIBER CEMENT FASCIA TRIM - METAL COPING OAKCITY 05 - Roof Bearing 41 - 1 1/2* 04 Fourth 0 63 Third 0 02 Second 0 BROCK ROWLOCK SILL -PREFAB METAL CANOPY BEYOND AVERAGE EXISTING GRADE PLANE: 253.63 FFE: 250.50 HIGHEST EXISTING POINT: 251.50 --------00 Lower 0 - LOWEST PROPOSED POINT: 249,83 PROPOSED GRADE PLANE

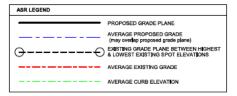
BUILDING 1 - EAST ELEVATION 2







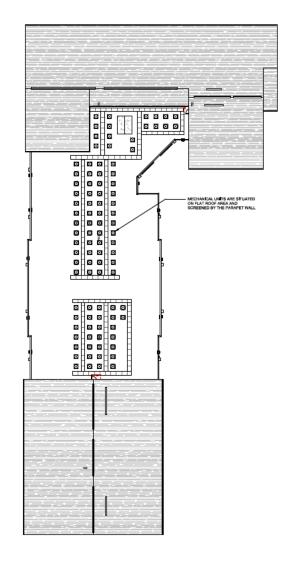
BROADSTONE OAK CITY RALEIGH, NC



BUILDING 1 - ROOF PLAN 3

BUILDING 1 - WEST ELEVATION 1

BUILDING 1 - ELEVATIONS A-2 As indicated 019089 | 11.24.2020 © 2020 Cline Design Associates, PA. This graphic is for Bustrative purposes only and is subject to change.



ASPHALT SHOUGLES -66 - Perepet • 1711(111111) FIRER CEMENT TRIN 1711/11811 EXISTING GRADE PLANE HIGHEST EXISTING POINT: 235,00

BUILDING 2 - NORTH ELEVATION (ALLOY ST.) 4



BUILDING 2 - ROOF LAYOUT (BLDGS, 3 & 4 SIM.) 1



BROADSTONE OAK CITY

RALEIGH, NC

ASR LEGEND PROPOSED GRADE PLANE AVERAGE PROPOSED GRADE (may overlap proposed grade plane) EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS AVERAGE EXISTING GRADE AVERAGE CURB ELEVATION

BUILDING 2 - SOUTH ELEVATION 3/32" = 1/47

BUILDING 2 - ELEVATIONS 019089 | 11.24.2020 As indicated © 2020 Cline Design Associates, PA. This graphic is for Bustrative purposes only and is subject to change.

A-3



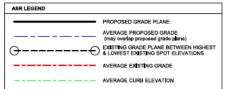
BUILDING 2 - EAST ELEVATION 4





BROADSTONE OAK CITY

RALEIGH, NC



BUILDING 2 - ELEVATIONS

A-4 3/32" = 1'-0" 019089 | 11.24.2020 © 2020 Cline Design Associates, PA. This graphic is for Bustrative purposes only and is subject to change.







BROADSTONE OAK CITY RALEIGH, NC PROPOSED GRADE PLANE

AVERAGE PROPOSED GRADE
(may overlap proposed grade plane)

EXISTING GRADE PLANE BETWEEN HIGHEST
4 LOWEST EXISTING SPOT ELEVATIONS

AVERAGE EXISTING GRADE

AVERAGE CURB ELEVATION

BUILDING 3 - ELEVATIONS

3/32* = 1'-0" 019089 | 11.24.2020

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A-5



BUILDING 3 - EAST ELEVATION 4





BUILDING 4 - NORTH ELEVATION 2





BROADSTONE OAK CITY

RALEIGH, NC

AVERAGE PROPOSED GRADE (may overlap proposed grade plane) EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS AVERAGE EXISTING GRADE AVERAGE CURB ELEVATION

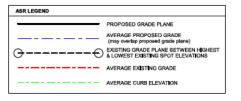
BUILDING 4 - ELEVATIONS

A-7 3/32" = 1'-0" 019089 | 11,24,2020 © 2020 Cline Design Associates, PA. This graphic is for Bustrative purposes only and is subject to change.



BUILDING 4 - EAST ELEVATON 2





ASR 15 BLDG 4 - WEST ELEVATION 1



BROADSTONE OAK CITY

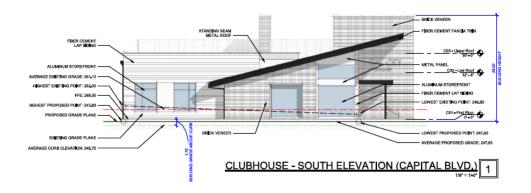
RALEIGH, NC

BUILDING 4 - ELEVATIONS

A-8 3/32" = 1'-0" 019089 | 11.24.2020 © 2020 Cline Design Associates, PA. This graphic is for Bustrative purposes only and is subject to change.

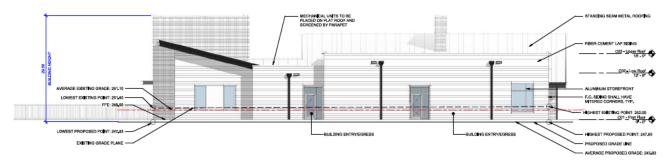


CLUBHOUSE - NORTH ELEVATION 2

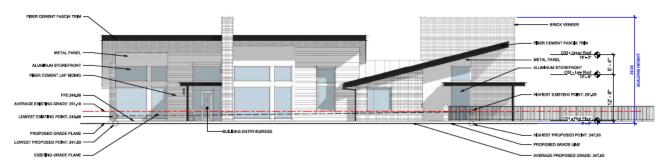


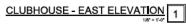


ASR LEGEND PROPOSED GRADE PLANE AVERAGE PROPOSED GRADE (may overlap proposed grade plane) EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS - AVERAGE EXISTING GRADE -- AVERAGE CURB ELEVATION



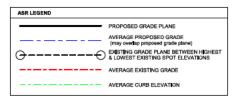
CLUBHOUSE - WEST ELEVATION 2







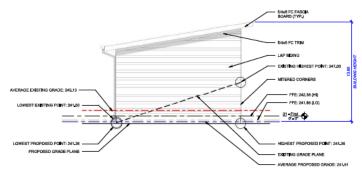
BROADSTONE OAK CITY



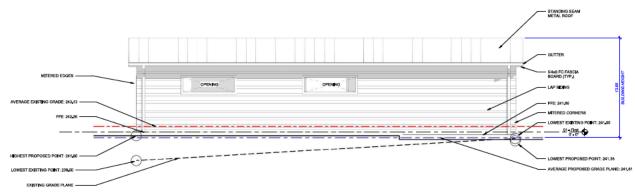
CLUBHOUSE - ELEVATIONS

1/8" = 1'-0" 019089 | 11.24.2020

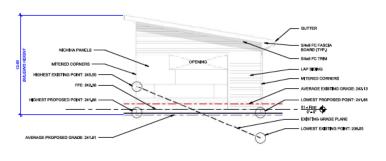
A-10



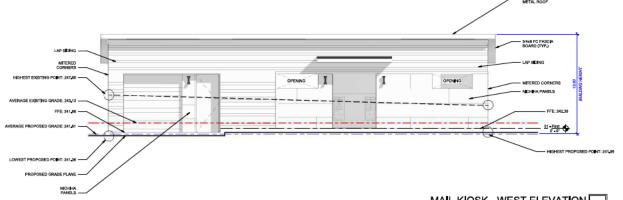
MAIL KIOSK - NORTH ELEVATION



MAIL KIOSK - EAST ELEVATION 3



MAIL KIOSK - SOUTH ELEVATION 2



MAIL KIOSK - WEST ELEVATION 1/4" - 1/4" 1

A-11



BROADSTONE OAK CITY

RALEIGH, NC

ASR LEGEND

PROPOSED GRADE PLANE

AVERAGE PROPOSED GRADE
(may overlap proposed grade plane)

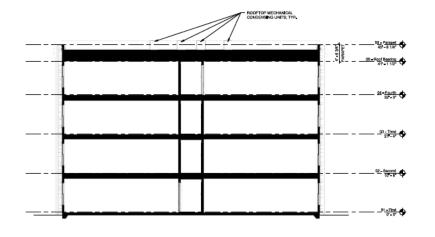
EMSTING GRADE PLANE SETWEEN HIGHEST
& LOWEST EMSTING SPOT ELEVATIONS

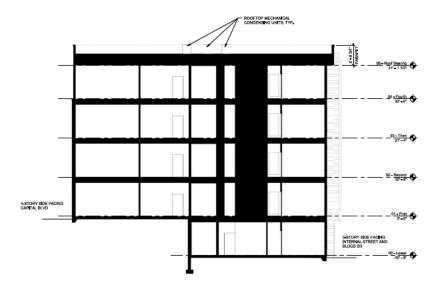
AVERAGE EXISTING GRADE

AVERAGE CURB ELEVATION

MAIL KIOSK - ELEVATIONS

1/4" = 1'-0" 019089 | 11.24.2020 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000 | 02000





BLDG 2-4 - Section 2

BLDG 1 - Section



BROADSTONE OAK CITY

RALEIGH, NC

BUILDING SECTIONS

A-12 019089 | 11,24,2020

1/8" = 1"-0"
019089 | 11
0 2020 Cline Design Associates, PA. This graphic is for Bustrative purposes only and is subject to change.

BROADSTONE OAK CITY APARTMENTS

RETAINING WALLS

2815 CAPITAL BOULEVARD RALEIGH, NC

Retaining Wall Profile #1 Not To Scale 2815 Capital Boulevard Broadstone Oak City Apartments - Raleigh, NC Retaining Wall Profile #2 Not To Scale 2815 Capital Boulevard

Retaining Wall Profile #3 Not To Scale 2815 Capital Boulevard

Retaining Wall Profile #4 Not To Scale 2815 Capital Boulevard



PYGOTI Beodulature Oak City Apartments Location: 2815 Capital Boulevard

Retaining Wall Profile #5 Not To Scale 2815 Capital Boulevard one Oak City Apartments - Raleigh, NC

Retaining Wall Profile #6 Not To Scale 2815 Capital Boulevard one Oak City Apartments - Raleigh, NC

Retaining Wall Profile #7

Not To Scale 2815 Capital Boulevard

Retaining Wall Profile #8 Not To Scale 2815 Capital Boulevard ne Oak City Apartments



Not To Scale 2815 Capital Boulevard ne Oak City Apartments

Retaining Wall Profile #10

Not To Scale 2815 Capital Boulevard one Oak City Apartments – Raleigh, NC

GEOTECHNICAL GENERAL NOTE:

, GEOTECHNICAL INFORMATION HAS NOT BEEN PROMBED FOR THIS PROJECT, THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REPER TO SHEET C-1).
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GENERAL DESIGN NOTE:

I, WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A. PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 & C-2A AS PROVIDED BY THE JOHN R. MCADAN'S COMPANY, INC. DATED 07/01/20 & REVISED 08/31/20.

ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES, ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

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development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City. State and Federal laws, This specific authorization below is not a permit, nor shall it be

NC BUILDING CODE SUMMARY SHEET INFORMATION (REQUIRED BY CITY OF RALEIGH)

RETAINING WALL PROFILE #2 (Continued) Thru #4

RETAINING WALL PROFILE #4 (Continued) & #5_

SHEET INDEX

SPECIFICATIONS_ RETAINING WALL SITE PLAN_

RETAINING WALL PROFILE #1 & #2

RETAINING WALL PROFILE #6 & #7_

RETAINING WALL PROFILE #8 & #9_

RETAINING WALL PROFILE #10

DETAIL SHEET - SHEET 1 OF 2_

DETAIL SHEET - SHEET 2 OF 2

RETAINING WALL PROFILE #7 (Continued).

Debreic Approval: This approval is being lessed electrosistip. This approval is valid only unported eigenture of a City of Rabigit Revise Officer below. The City will retain a copy of the approved plans, Any work authorized by the approval must prosech in accessions will be plan less or the will be City. This declaratic approval may not be edited once issued, Any modification to this approval cross insued will mediate this approval.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for

City of Raleigh Development Approval





RALEIGH, NC 27609 EMAIL ADDRESS: MMAGRATH@VENTURE-E.COM

BROADSTONE OAK CITY APTS.

2815 CAPITAL BOULEVARD RALEIGH, NC

COVER SHEET BROADSTONE OAK CITY APARTMENTS - RALEIGH, NC

DATE: DECEMBER 2, 2020 DES: TUH DRAWN: TUH APPROVED: MIM	SCALE HORIZONTAL: N/A VERTICAL: N/A	G-1
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G-1

C-2

C-3

C-4

C-5

C-6

C-7

_C-8

_C-9

_C-10

C-11

AGAG A PREPARATE PA		
2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECT	CTS ALLOWABLE AREA	
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)	Primary Occupancy Classification(s):	
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (Reproduce the following data on the building plans theet 1 or 2)		7.4-4 □ A-5
(Keyrousee the tonewing data on the turning pains those 1 or 2)	Assembly A-1 A-2 A-3 Districts Business Districts Districts],,4 [],,5
Name of Project: Broadstone Oak City Apts.	Factory F-1 Moderate R-F-2 Law	H-4 Health H-5 H
Address: 2815 Capital Boulevard Zip Code		14
Owner/Authorized Agent: Mark J. Magrathphose II ((919)) 676 - 0303 E-Mail mmagrath	h@venture-e.com I-1 Condition 1 2	
Owned By: City/County Private State	I-2 Condition 1 12	
Code Enforcement Jurisdiction: X City County State	I-3 Condition 1 2 3 4 5	
		78-4
		High-piled
CONTACT:	■ Parking Garage □ Open □ Inclosed	Repair Garage
DESENDER FRM NAME LICENSE # TELEPHONE # E-MAIL Architectural ()	Orillity and Miscellaneous Accessory Occupancy Classification(s):	
Civil John R. McAdems Co. Inc. Justin R. Beard 025954 (919) 823-4300 www.n	ncadamaco.com Incidental Uses (Table 509):	
Electrical ()	This separation is not exempt as a set Separated (se (Le suceptions).	
Fire Alarm	Special Uses (Chapter 4 – List Code Sections).	
Plumbing () Meclanical ()	Special Provisions: (Chapter 5 = List Code Section)	
Sprinkler-Standpipe ()		
Structural ()	Mixed Occupancy: Selectione Separation: Selections Exception:	
Retaining Walls >5' High Venture Eng. Mark J. Magrath (24480) ((919) 678-0303 mmagra	sh@verture=com Selections Acqual Area of Occasions A + Acqual Area of Occasions A	
Other (**)		≤ 1
Cont. Should like the little line and contains should also be person, pre-englishered, michile designers, etc.		
2018 NC BUILDING CODE: New Building Shell/Core 1st Time Interior Comp	pictions + +	≤1.0
Addition Phoned Construction - Shell Core	STORY DESCRIPTION AND (4) (B) (C)	(D)
2018 NC EXISTING BUILDING CODE: Prescriptive Alteration Level I Historic I		
(check all that upply)		STURY OR UNLIMITED ¹³
Chapter 14 Alteration Level III		
CONSTRUCTED: (date) CURRENT OCCUPANCY(8) (Ch. 3):		
RENOVATED: (date) PROPOSED OCCUPANCY(8) (Ch. 3):		
OCCUPANCY CATEGORY (Table 16045): Current: Proposed:		
OCCUPANCS CATEGORY (Table 1004.5); Current: Proposed:	Frontage area increases from Section 506.2 are computed thus:	
BANC BUILDING DATA	 Perimeter which fronts a public way or open space having 20 feet minimum 	width =(F)
Construction Types DEA DEA DEA DIV DV-A	b. Total Building Perimeter c. Ratio (F/P) (F/P)	
(check all that apply) I-B II-B III-B XV-B	c. Ratio (F/P) = (F/P) d. W = Minimum width of public way (W)	
Sprinklers: X No Partial NEPA D NEPA DR NEPA DD	Unlimited area applicable under conditions on section of	
Standplpes: X No Class 1 11 11 Wet Dry	Maximum Building Area - total number of store on the barding x 14 (maximum 3	stories) (506.2).
Primary Fire District: X No Yes Flood Hazard Area: X No Yes		maximum area of air traffi
Special Impedious Required: No X Yes	control towers must comply with Table 412.3.1. Footage increase is based on the unsprinklered area value in Table 506.2.	
GROSS BUILDING AREA TABLE	Promage increase is oased on the taspentiaered area value in 1101e 500.2.	
	· · · · · · · · · · · · · · · · · · ·	
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL 2 rd Phoer		
2 st Floor		
Mezzarine		
1 ⁴ Flace		

FIRE PROTECTION REQUIREMENTS BURNING DUMENT DETAIL® DESIGN® SHEET®FOR
AND FOR BATED
SHEET & RATED PENETRATEON Bearing Walls Exterior walls North fetotor walls and partitions ohanns Supporting Floors Corridor Separation Secupancy Fire Barrier Separation Smeke Portion

ALLOWABLE HEIGHT

Building Height in Feet (Table 504.3)

PERCENTAGE OF WALL OF ENDING CALCULATIONS			LATERAS
FIRE SEPARATION DISTANCE (FEET) FROM PROPRIETY LINES	Dentes of openings Profection (Table 705.8)	ALLOWANIE AREA (%)	ACTUAL SHOWS ON PLANS (%)
	-NI	Δ	
		$\overline{}$	

DEDCENTAGE OF WALL OBENING CALCULATIONS

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: Exit Signs: Fire Alarm: Smoke Detection Systems: Carbon Monoxide Detection:

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #:

- Like Saday Plan Sheet #:

 Fire adds' models traid well foundins (Chapter 7)

 Assured and real procepty line heatines (fination the site plan)

 Statient will expening uses with respect to distance to assured ampetity lines (706.8)

 Coopparey Use for each area in induse to acceptant load calculation (Table 1004.1.2)

 Cooppare (Line for each area

 Exist access travel distances (10)

 Common path of reach distances (10)

 Common path of reach distances (10)

 Common path for fire active distances (10)

 Color are visible for each exist of the color acceptance (10)

 Maintaine advantated secondural II copper facilities (10)

 Maintaine advantated (10)
- Actual occupant load for each

- □ A separate schematic plan indicating when #6s and #floreciting another nord anseture is provide purposes of ecceptancy separation.

 □ Lectation of downs with purish hardware (1616.1.10)

 □ Lectation of downs with delived gross locks and the amount of delay (1010.1.9.7)

 □ Lectation of downs with efficient gross is locks (1010.1.9.9)

 □ Lectation of demonstrate explanel with hard-open services.

 □ Lectation of energency explanel with deposit and the provided of the purpose of position for any without position.

 □ The square foreogen of send fire using comparison of the Occupancy Chasification 1-2 (407.5)

 □ Wet any cut experience of the states that may have been utilized regarding the items shower.

Bearing Capacity Testing in ALL footings, Compaction Texting in Reinforced Zone every 8* lift. Segmental Block Reianing Walls (Diamond Pro Anchor Block Units) (Special Inspections By ATC Cardno)

GEOTECHNICAL GENERAL NOTE:

- 1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1).
- IF SOLS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
- 2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A SRD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS A MULTIMERED RETAINING WALLS.

GENERAL DESIGN NOTE:

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REVISIONS

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Venture Engineering, P.A. 312 WEST MILLBROOK ROAD SUITE 237

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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

City of Raleigh Development Approval

DATE:

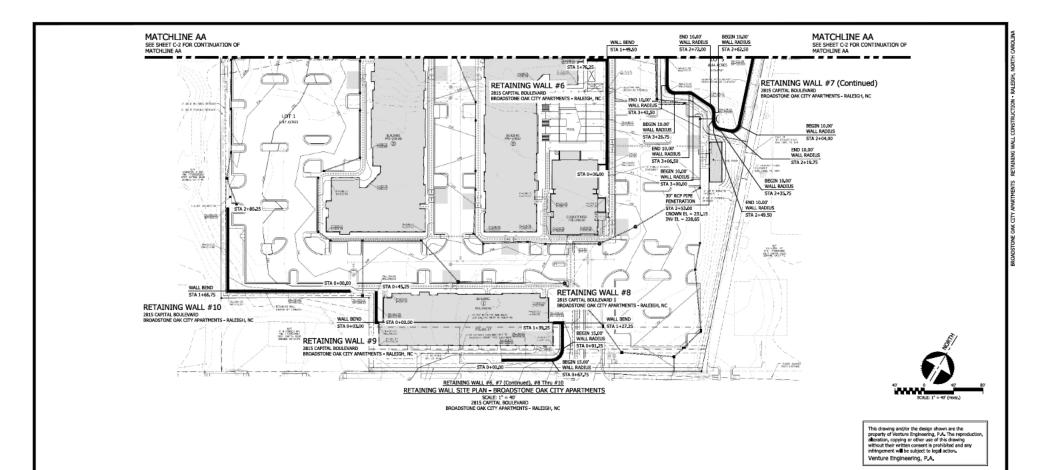
BROADSTONE OAK CITY A	PTS.
RETAINING WALLS	

2815 CAPITAL BOULEVARD RALEIGH, NC

Venture Engineering, P.A.

NC BUILDING CODE SUMMARY SHEET INFORMATION (Required By The City Of Raleigh)
BROADSTONE OAK CITY APARTMENTS - RALEIGH, NC

DATE: DECEMBER 2, 2020 DES: TLH DRAWN: TLH APPROVED: MIN	SCALE HORIZONTAL: N/A VERTICAL: N/A	B-1
	رت	



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THIS CIVIL SITE GRADING PLAN SHOWN HERE & PLAN VIEWS WERE DONE BY THE JOHN R. M≾ADAMS COMPANY, INC. DATED 08/2020. VENTURE ENGINEERING, P.A. IS NOT RESPONSIBLE FOR ERRORS/OMMISSIONS ON CIVIL ENGINEERING GRADING PLAN.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and raiss for the physician due from the movement by general companies with againstine colors, in the interest review, one accordance for common facilities in the later colors for inspected sold or register with allegal and partners for compleme with all published. Only, there are furfaced from, this specific extraction before much a present, for which the complement with all published. The specific extraction for the complement of the present produced from the complement of the present produced for the discharged from the section of COD, these for referred laters of the COD and the section for the colors of the colors of the discharged colors of the co

City of Raleigh Development Approval

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	DESCRIPTIONS	DATE	
	REVISIONS		

Venture Engineering, P.A. 312 WEST MILLBROOK ROAD SUITE 237

RALEIGH, NC 27609 P: 919-602-1894 F: 919-676-0301 EMAIL ADDRESS: MMAGRATH@VENTURE-E.COM LICENSE NO. C-2590

BROADSTONE OAK CITY APTS.

2815 CAPITAL BOULEVARD RALEIGH, NC

RETAINING WALL SITE PLAN - SHEET 2 OF 2 OADSTONE OAK CITY APARTMENTS - RALEIGH, NO RETAINING WALL #6, #7 (Continued), #8 Thru #10

DATE: DECEMBER 2, 2025 DES: TLH DRAWN: TLH APPROVED: NOM	SCALE HORIZONTAL: 1° = 40' VERTICAL: N/A	C-2A
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ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Select one

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GEOTECHNICAL GENERAL NOTE:

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- ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES, ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.

REVISIONS

Venture Engineering, P.A.
312 WEST MILLBROOK ROAD SUITE 237
RALEIGH, NC 27609

P: 919-602-1894 F: 919-676-0301 EMAIL ADDRESS: MMAGRATH@VENTURE-E.COM LICENSE NO. C-2590 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Riem for the proposed use have been inviewed for general complaces with applicable codes. This limited moise, and authoristics for controlled to the best of the considered to represent that complaces with allegal registered that the development and controlled the rest of the controlled the complaces with all applicable Copy, State and Federal Jan. The quarties extravation below to set a person, and the controlled to controlled the controlled to controlled to the controlled to

City of Raleigh Development Approval_

BROADSTONE OAK	CITY	APTS.
2815 CAPITAL BOULEVARD RALEIGH, NC		

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Venture Engineering, P.A.

NC BUILDING CODE SUMMARY SHEET INFORMATION (Required By The City Of Raleigh) BROADSTONE OAK CITY APARTMENTS - RALEIGH, NC

DATE: DECEMBER 2, 2020 DES: TUH HOREZONTAL: DRAWN: TLH B-3 APPROVED: NON

1.1 GENERAL

RIDGEROCK RETAINING WALL SYSTEMS ARE DESIGNED AS A GRAVITY RETAINING WALL UTILIZING A HIGH DENSITY POLYESTER GEOGRID TO REMINORCE THE SOIL ZONE BEHIND THE WALL. THE GEOGRID IS POSITIVELY CONNECTED TO THE MODULAR CONCRETE BLOCK CREATING A BEINFORCED SOIL MASS CAPABLE OF RESISTING LATERAL EARTH PRESSURES AND SURCHARGED LOADS, ALL REFERENCES TO THE ENGINEER REFER TO VENTURE ENGINEERING, P.A.

1.2 QUALITY ASSURANCE

CONTRACTOR SHALL BE QUALIFIED TO BUILD RETAINING WALLS AND SHALL SUBMIT CERTIFICATION, PRIOR TO START OF WORK THAT THEY HAVE SUCCESSFULLY INSTALLED ON A MINUM OF 5 SIMILAR PROJECTS, LE, HEGHT, SOUR ILL TYPES, ERECTION TOLERANCES, ETC.

1.3 BACK FILL MATERIALS

THE SOIL MATERIAL ASSOCIATED WITH THE RETAINING WALL IN THE REINFORCED ZONE, THE RETAINED ZONE, OR THE FOUNDATION BEDDING SHALL HAVE THE FOLLOWING PROPERTIES:

A.) FOUNDATION SOILS = 28 DEGREES, COHESION = 0 PSF, UNIT WEIGHT = 120 LBS/CU,F,T.

B.) RETAINED SOILS = 28 DEGREES, COHESION = 0 PSF, UNIT WEIGHT = 120 LBS/CU.F.T.

C.) REINFORCED SOILS = 28 DEGREES, COHESION = 0 PSF, UNIT WEIGHT = 120 LBS/CU.F.T.

D.) UNIT FILL SHALL CONSIST OF CLEAN 1" MINUS CRUSHED STONE OR CRUSHED GRAVEL MEETING THE FOLLOWING:

THE SOILS CHARACTERISTICS ABOVE WERE ASSUMED BASED ON SOILS CONDITIONS ON SIMILAR PROJECTS IN THAT AREA, IF THIS INFORMATION DOES NOT REPRESENT THE ACTUAL SOIL TO BE USED, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND THE WALL SHALL BE REDESIGNED.

> % PASSING SIEVE SIZE 100 75-100 0-10 0-5 No. #4 No. #50

E.) REINFORCED BACKFILL SOILS SHALL BE FREE OF DEBRIS OR ORGANIC MATERIAL MEETING THE FOLLOWING GRADATION:

SIEVE SIZE % PASSING 100 100-75 < 0-60 < 25-30 No. #200

1.4 FOUNDATION LOADS

RETAINING WALLS UNDER 20 FEET IN HEIGHT SHALL HAVE A MINIMUM BEARING OF 3,000 PSF.
RETAINING WALLS OVER 20 FEET IN HEIGHT SHALL HAVE A MINIMUM BEARING OF 5,000 PSF.

1.5 CONCRETE MASONRY WALL UNITS

CONCRETE WALL UNITS SHALL BE RIDGEROCK UNITS MANUFACTURED IN ACCORDANCE WITH ASTM-C1372 AND ASTM C140 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI, UNITS SHALL BE INTERLOCKED WITH NON-CORROSIVE FIBERGLASS PINS.

1.6 GEOGRID REINFORCEMENT

THE GEOGRID REINFORCING MATERIAL SHALL BE HIGH TENACITY POLYESTER MANUFACTURED BY SYNTEEN AND SHALL MEET THE SPECIFICATION REQUIREMENTS PUBLISHED BY STRATAGRID FOR:

GRIDLOCK 370 (APPROVED EQUAL)

1.7 WALL BATTER

BATTER FOR THE ENTIRE WALL SHALL BE MAINTAINED AT A 4.4° SETBACK.

2.0 FOUNDATION REQUIREMENTS

THE FOUNDATION BEARING CAPACITY THAT WAS ASSUMED FOR DESIGN SHALL BE VERIFIED IN THE FIELD, AND COPIES OF THE TEST DATA FILED WITH THE ENGINEER. THE FOOTING SHALL BE CLEARED OF LOOSE SOIL. A MINIMUM OF 12" OF WASHED STONE SHALL BE PLACED AT THE BACK OF EACH BLOCK AS INDICATED ON THE

2.1 LEVELING PAD

MATERIAL SHALL CONSIST OF COMPACTED SAND, GRAVEL, CRUSHED ROCK, OR UNREINFORCED CONCRETE, THE PAD SHALL BE 4"-6" THICK. SAND OR GRAVEL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
AGGREGATE MATERIAL SHALL RECEIVE A MINIMUM OF ONE PASS OF THE COMPACTION EQUIPMENT.

2.2 UNIT FILL

THE VOID WITHIN EACH UNIT SHALL BE FILLED WITH A WASHED STONE HAVING 100% OF THE AGGREGATE PASSING THE 2" SIEVE, A NIMMUM OF 3/6" WASHED STONE SIZE IS REQUIRED, ON MORE THAN 5% PASSING THE 2"500 SIEVE, PACE THIS MATERIAL BEHIND THE ROCK AS WELL ALL BLOCKSS MATERIAL SHALL BE SKYET CEAN FROM THE TOP OF THE BLOCK PRIOR TO INSTALLING THE NEXT COURSE. DACH COURSE OF BLOCK SHALL BE COMPLETELY FILLED BEFORE PROCEEDING TO THE NEXT COURSE.

2.3 FIRST BLOCK COURSE

THE FIRST COURSE OF BLOCK SHALL BE PLACED ON TOP OF AND IN FULL CONTACT WITH THE LEVELING PAD, THE UNITS SHALL MAINTAIN A DISTANCE OF MINRUM OF FROM THE FRONT AND BACK OF THE LEVELING PAD, PROPER ALIGNMENT MAY BE ACRIEVED WITH THE ALD OF A STRING LINE. A THIRE PLACINE PINS IN EACH OF APPROPRIATE HOLES PROCEED TO THE NEXT COURSE OF BLOCK, EACH UNIT SHALL CONTACT THE UNITS ON BOTH SIDES AS WELL AS ABOVE AND BELOW, SOME ADJUSTMENTS MAY BE REQUIRED FOR WALLS WITH CURVES

2.4 CAPS

APPLY A CONSTRUCTION ADHESIVE TO THE UNITS TO PREVENT THEIR REMOVAL.

3.0 GEOGRID INSTALLATION

THE GEOGRID REINFORCEMENT SHALL BE LALD HORIZONTFALLY ON COMPACTED BACK FILL AND CONNECTED TO THE CONCRETE WALL UNITS/RIDGEROCK UNITS SHALL BE USED FOR THIS PROJECT), GEOGRID SHALL BE PULLED TAUT REMOVINGS. ALL SLACK FROM THE MATERIAL AND AND/GHOED BEFORE ADDING FILL GEOGRID SHALL BE PULLED INSTALLED AT THE ELEVATIONS AND LENGTHS REQUIRED AS SHOWN ON THE PLANS, (REFER TO DETAILS FOR THE APPROPRIATE ORIENTATION) SOIL SURFACE SHALL BE SMOOTH AND LEVEL AND LEVEL COMPACTED TO 95% STANDARD PROCTOR REFORE INSTALLING THE GRID.

3.1 FILL PLACEMENT

BACK FILL MATERIAL SHALL BE AND COMPACTED 95% STANDARD PROCTOR ON EVERY GEOGRID LIFT LAYER INTERVAL-ONLY HAND OPERATED EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET OF THE KEYSTONE UNITS, BACK FILL, SHALL BE PLACED FROM THE WALL BEARWARD TO INSURE TAUTNESS OF THE GEOGRID, CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOGRID.

3.2 UNSUITABLE MATERIAL

SOILS CONTAINING ROOTS, BRUSH, SOD, OR THE OTHER ORGANIC MATERIAL SHALL NOT BE ALLOWED, RROZEN SOILS, SOW, JUC, HEAVY CLAYS, OR WET SOILS SHALL NOT BE ALLOWED, MITIRELA PRESSING THE 4PO SIZEY SHALL HAVE A LIQUID LIMIT OF LESS THAN 30 AND A PLASTIC LIMIT OF LESS THAN 15, UNLESS WRITTEN CONSENT IS OBTAINED FROM THE PRICINER PRICIAT OR ALCOMENT.

3.3 SOIL PROPERTIES

MINIMUM INTERNAL ANGLE OF FRICTION SHALL EQUAL OR BE GREATER THAN REFERENCE IN SECTION 1.3 VERIFICATION SHALL BE FILED WITH THE ENGINEER THAT THE SOIL WILL MEET THIS CRITERIA.

4.0 SOIL TESTING

COMPACTION TESTING SHALL BE PERFORMED FOR EVERY LIFT ELEVATION REQUIRING GEOGRID OR EVERY 3RD LIFT AS A MINIMUM TEST SHALL BE FILED WITH THE ENGINEER'S OFFICE.

5.0 HYDROSTATIC PRESSURE POTENTIAL

THE ENGINEER SHALL BE NOTIFIED IF ANY OF THE FOLLOWING SHOULD BECOME EVIDENT:

- WATER OR WETNESS FROM OR IN A CUT BANK.
 LOCAL SPRINGS, LOCAL STORM DRAINS, SEWER, WATER LINES UNDER OR BEHIND THE WALL.

6.0 ACCEPTABLE BLOCK

RIDGEROCK UNITS SHALL BE USED & KEPT FREE OF DEFECTS THAT WOULD INTERFERE WITH THE PLACING OR POSITIONING OF THE UNIT OR IMPAIR ITS STRENGTH, MINOR CRACKS INCIDENTAL TO THEIR USUAL METHOD OF MANUFACTURING OR MINOR CHIPPING RESULTING FROM SHIPMENT & DELIVERY ARE NOT GROUNDS FOR REJECTION.

GEOTECHNICAL GENERAL NOTE:

- GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT. THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1).
- IF SOLS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
- 2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TERED RETAINING WALLS.

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7.0 ACCEPTABLE GEOGRID

GEOGRID SHALL BE REJECTED IF 20% OR MORE OF A STRUCTURAL RIB HAS BEEN CUT OR RIPPED. THE CONTRACTOR SHALL INSPECT ALL GEOGRID DELIVERED TO THE SITE AND REJECT MATERIALS THAT MEET THIS CRITERIA. IF THE GEOGRID IS DAMAGED ON THE CONSTRUCTION SITE, IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

8.0 DRAINAGE COMPOSITE

(APPLIES TO CUT WALL APPLICATIONS ONLY), WHERE SITE CONDITIONS WARRANT, DRAINAGE COMPOSITE SHALL BE INSTALLED TO COMER 30% OF THE CUT BEHIND THE GEOGRID LAYERS, STRATA-ORAIN (6 FT, WIDE SCHOOS) PROVIDE 30% COVERAGE WHEN INSTALLED ON 15 FT, CENTERS AND 2/3 THE WALL HEIGHT.

9.0 SPECIAL PROVISIONS

- A. GENERAL CONTRACTOR SHALL COORDINATE UPPER GEOGRID LAYERS INSTALLATION WITH PAVING
- B. MAINTAIN THE DIRECTION OF DRAINAGE AWAY FROM THE WALL FACE AT TIMES DURING CONSTRUCTION OF THE WALL AND FINISH GRADING AS SHOWN ON PLANS.
- C. PLACEMENT OF GEOGRID SHALL BE AS PER PLANS REFERENCE TO LENGTH AND ELEVATIONS.
- D. THE ENGINEER SHALL BE NOTIFIED BY THE INSTALLING CONTRACTOR SHOULD THE EMBEDMENT DEPTH OF THE BLOCK SE LESS THAN 4" FOR WALLS UNDER OR EQUAL TO FTL, 12" FOR WALLS GREATER THAN 7 F, MOR 2-0" FOR WALLS GREATER THAN 0R EQUAL TO 14 FT.
- E. THE REINFORCED SOIL IS ASSUMED TO BE SANDY TYPE MATERIAL.

10.0 QUALIFICATION OF DESIGN

- A. STABILITY OF ANY TEMPORARY SLOPES REQUIRED BY THE INSTALLATION OF A SEGMENTAL RETAINING WALL SHALL BE ADDRESSED BY A QUALIFIED GEOTEOMICAL ENGINEER, RESPONSIBILITY OF THESE TEMPORARY SLOPE SETS WITH THE OWNER AND/OR ARCHITECT OF THIS PROJECT AND THE SLOPES SHALL MEET ALL SHAST SHADORS, SLOPES STEPPINSS — 1,5H:1V.
- HANDRAIL/GUARDRAIL REQUIREMENTS SHALL BE DETERMINED BY THE CIVIL SITE ENGINEER OF RECORD, NOT VENTURE ENGINEERING, P.A.
- C. NOTIFY VENTURE ENGINEERING, P.A. PRIOR TO MODIFYING IF EXISTING SITE TOPOGRAPHY DOES NOT MATCH CONDITIONS OUTLINED ON RETAINING WALL PROFILE.

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and

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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

City of Raleigh Development Approval

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Venture Engineering, P.A. 312 WEST MILLBROOK ROAD SUITE 237

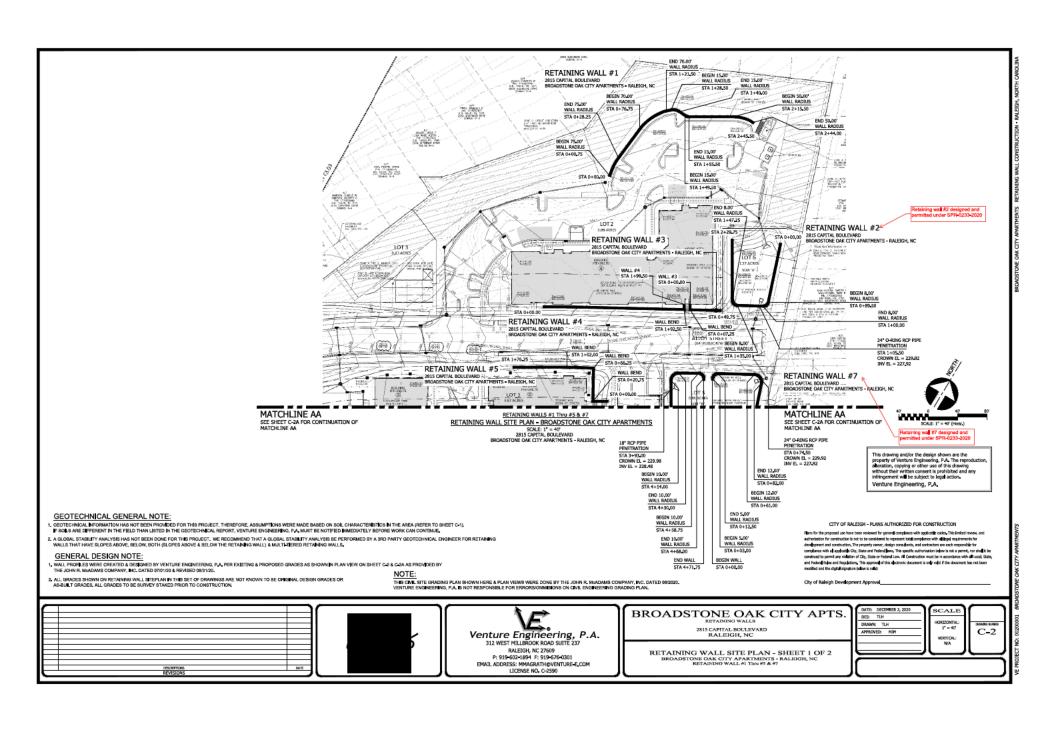
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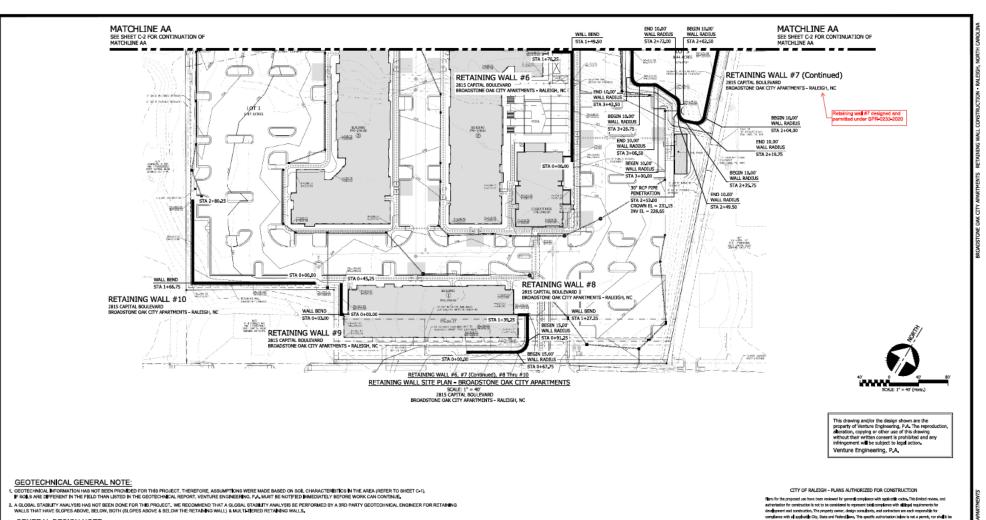
BROADSTONE	OAK	CITY	APTS.
RETAINING	WALLS		

2815 CAPITAL BOULEVARD RALEIGH, NC

SPECIFICATIONS BROADSTONE OAK CITY APARTMENTS - RALEIGH, NC

DATE: DECEMBER 2, 2020 DES: TLH DRAWN: TLH APPROVED: NIM	SCALE HORIZONTAL: N/A VERTICAL: N/A	живс илих С-1
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BROADSTONE OAK CITY APTS. 2815 CAPITAL BOULEVARD RALEIGH, NC

RETAINING WALL SITE PLAN - SHEET 2 OF 2 DADSTONE OAK CITY APARTMENTS - RALEIGH, NO RETAINING WALL #6, #7 (Continued), #8 Thru #10

HORIZONTAL: 1" = 40' VERTICAL: N/A	C-2A
	HOREZONTAL: 1" = 40' VERTICAL: