



Administrative Approval Action

Case File / Name: ASR-0048-2020
Broadstone Oak City - Administrative Site Review

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the north side of Capital Boulevard west of the intersection of Capital Boulevard and Brentwood Road, with a common street addresses of 2920 Glenridge Drive and 2815 Capital Boulevard.

REQUEST: Development of a 4 building apartment community comprising 335 dwelling units, as well as a clubhouse building, associated site improvements, and dedication of a new street (Alloy Street) that generally bisects the site west to east. Total proposed building area is approximately 363,723 square feet. The site is approximately 11.74 acres zoned RX-4-CU (generally the portion of the site north of Alloy Street; zoning case Z-34-19) and CX-5-GR-CU (generally the portion of the site south of Alloy Street; zoning case Z-35-19). Associated preliminary subdivision is SUB-0029-2020.

Variances (BOA-58-20) approved granting relief from the minimum ground floor elevation requirement set forth in UDO Section 3.2.4.F for Building 1 and Building 3; and granting relief from the maximum building height requirement set forth in UDO Section 3.3.1 for Building 4.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUR-0587-2020: DSENG - Surety/Infrastructure

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 6, 2021 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Cross Access Agreements Required

<input checked="" type="checkbox"/>	City Code Covenant Required
<input checked="" type="checkbox"/>	Slope Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

Engineering

2. Cross access easements as shown shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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3. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
4. A Pedestrian and Bicycle Access deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
6. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
7. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Stormwater

8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
11. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
12. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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13. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

14. A public infrastructure surety for 44 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).
15. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.18 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Building elevations shall demonstrate compliance with the maximum building height as measured in accordance with UDO Section 1.5.7.
2. The subdivision map (associated case SUB-0029-2020) shall be recorded prior to issuance of building permit.

Engineering

3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Stormwater

4. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Glenridge Drive and 39 street trees along new "Street A".

The following are required prior to issuance of building occupancy permit:



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Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

Urban Forestry

3. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 11, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

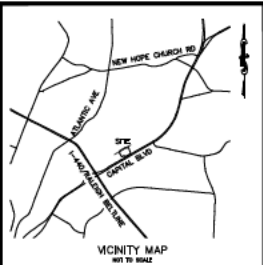
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 01/12/2021
Development Services Dir/Designee

Staff Coordinator:



I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE UNDER SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREON AT THE TIME OF THIS SURVEY.

RONALD T. FREDERICK, P.L.S. L-4730

DATE



PRELIMINARY

GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCELS(S) OF LAND. THIS IS AN EXISTING CONDITIONS SURVEY.
2. BENCHMARKS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: C-3-SUB-20 PER WAKE COUNTY USE.
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEPICTED BY FEMA FLOOD COMMUNITY PANEL #190770001 DATED 8/5/2004.
7. RETEIGHES: AS SHOWN.
8. UTILITY LOCATIONS: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT REDEVELOPED LOCATED THE UNDERGROUND UTILITIES.
9. NO FIELD UTILIZATION OF RELAXER WAS PERFORMED AS A PART OF THIS SURVEY AND NO MARKERS FOR SUCH WERE OBSERVED.
10. ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 83 WHICH MARK "TAMPA" P.C. 425.4 = 200.87.



McADAMS
The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 203
Raleigh, NC 27603
phone 919. 823. 4300
fax 919. 361. 2269
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www.mcadamsco.com

CLIENT

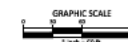
ALLIANCE RESIDENTIAL COMPANY
206 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28207



BROADSTONE OAK CITY
CONSOLIDATED REVIEW
2815 CAPITAL BOULEVARD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

LEGEND

- SECTION-MARKER
- CONCRETE MONUMENT
- EXISTING IRON PIPE
- IRON PIPE SET
- WAGONWAY MARK
- NO. EXISTING SURVEY MON.
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- WATER MANHOLE
- WATER VALVE
- BLIND OFF VALVE
- FIRE DEPT. CONNECTION
- DRAINAGE INLET/PAVED INLET
- CL. CATCH BASIN AT NO.
- STOP SIGN MANHOLE
- JUNCTION BOX
- FES
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- ELECTRIC PESTICIDE
- ELECTRIC HANDHOLE
- ELECTRIC BOX
- GUY WIRE
- POWER/UTILITY POLE
- GREASE TRAP MANHOLE
- CLEAN OUT
- SEWER MANHOLE
- IRRIGATION CONTROL VALVE
- RECLAIMED WATER METER
- GAS SERVICE METER
- GAS METER
- GAS REGULATOR
- GAS TEST STATION
- GAS VALVE
- CABLE TV BOX
- CATV HANDHOLE
- TELEPHONE HANDHOLE
- TELEPHONE BOX
- TELEPHONE MANHOLE
- TELEPHONE PESTICIDE
- FIBER OPTIC MANHOLE
- FIBER OPTIC MANHOLE
- UNKNOWN MANHOLE
- UNKNOWN UTILITY PESTICIDE
- BURIED CABLE WARNING POST
- TRAFFIC HANDHOLE
- BOLLARD
- AIR CONDITIONER
- SEW
- ROCK HOLE
- FLAG POLE
- GAS LINE
- WATER LINE
- SEWER LINE
- STORM LINE
- POWEE
- HANDHOLE
- CANOPY/BUILDING OVERHANG
- GUARD RAIL
- UNDERGROUND TV CABLE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND FIBER OPTIC CABLE
- UNKNOWN UTILITY
- UNDERGROUND AIR LINE
- UNDERGROUND STEAM LINE
- UNDERGROUND WATER LINE
- RECLAIMED WATERLINE
- OVERHEAD TELEPHONE LINE
- FOREMAN LINE
- OVERHEAD ELECTRIC LINE
- WOOD LINE
- RAILROAD TRACKS
- RE RAP



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

801-01	801-02	801-03	801-04	801-05	801-06	801-07	801-08	801-09	801-10	801-11	801-12	801-13	801-14	801-15	801-16	801-17	801-18	801-19	801-20	801-21	801-22	801-23	801-24	801-25	801-26	801-27	801-28	801-29	801-30	801-31	801-32	801-33	801-34	801-35	801-36	801-37	801-38	801-39	801-40	801-41	801-42	801-43	801-44	801-45	801-46	801-47	801-48	801-49	801-50	801-51	801-52	801-53	801-54	801-55	801-56	801-57	801-58	801-59	801-60	801-61	801-62	801-63	801-64	801-65	801-66	801-67	801-68	801-69	801-70	801-71	801-72	801-73	801-74	801-75	801-76	801-77	801-78	801-79	801-80	801-81	801-82	801-83	801-84	801-85	801-86	801-87	801-88	801-89	801-90	801-91	801-92	801-93	801-94	801-95	801-96	801-97	801-98	801-99	801-100	801-101	801-102	801-103	801-104	801-105	801-106	801-107	801-108	801-109	801-110	801-111	801-112	801-113	801-114	801-115	801-116	801-117	801-118	801-119	801-120	801-121	801-122	801-123	801-124	801-125	801-126	801-127	801-128	801-129	801-130	801-131	801-132	801-133	801-134	801-135	801-136	801-137	801-138	801-139	801-140	801-141	801-142	801-143	801-144	801-145	801-146	801-147	801-148	801-149	801-150	801-151	801-152	801-153	801-154	801-155	801-156	801-157	801-158	801-159	801-160	801-161	801-162	801-163	801-164	801-165	801-166	801-167	801-168	801-169	801-170	801-171	801-172	801-173	801-174	801-175	801-176	801-177	801-178	801-179	801-180	801-181	801-182	801-183	801-184	801-185	801-186	801-187	801-188	801-189	801-190	801-191	801-192	801-193	801-194	801-195	801-196	801-197	801-198	801-199	801-200	801-201	801-202	801-203	801-204	801-205	801-206	801-207	801-208	801-209	801-210	801-211	801-212	801-213	801-214	801-215	801-216	801-217	801-218	801-219	801-220	801-221	801-222	801-223	801-224	801-225	801-226	801-227	801-228	801-229	801-230	801-231	801-232	801-233	801-234	801-235	801-236	801-237	801-238	801-239	801-240	801-241	801-242	801-243	801-244	801-245	801-246	801-247	801-248	801-249	801-250	801-251	801-252	801-253	801-254	801-255	801-256	801-257	801-258	801-259	801-260	801-261	801-262	801-263	801-264	801-265	801-266	801-267	801-268	801-269	801-270	801-271	801-272	801-273	801-274	801-275	801-276	801-277	801-278	801-279	801-280	801-281	801-282	801-283	801-284	801-285	801-286	801-287	801-288	801-289	801-290	801-291	801-292	801-293	801-294	801-295	801-296	801-297	801-298	801-299	801-300	801-301	801-302	801-303	801-304	801-305	801-306	801-307	801-308	801-309	801-310	801-311	801-312	801-313	801-314	801-315	801-316	801-317	801-318	801-319	801-320	801-321	801-322	801-323	801-324	801-325	801-326	801-327	801-328	801-329	801-330	801-331	801-332	801-333	801-334	801-335	801-336	801-337	801-338	801-339	801-340	801-341	801-342	801-343	801-344	801-345	801-346	801-347	801-348	801-349	801-350	801-351	801-352	801-353	801-354	801-355	801-356	801-357	801-358	801-359	801-360	801-361	801-362	801-363	801-364	801-365	801-366	801-367	801-368	801-369	801-370	801-371	801-372	801-373	801-374	801-375	801-376	801-377	801-378	801-379	801-380	801-381	801-382	801-383	801-384	801-385	801-386	801-387	801-388	801-389	801-390	801-391	801-392	801-393	801-394	801-395	801-396	801-397	801-398	801-399	801-400	801-401	801-402	801-403	801-404	801-405	801-406	801-407	801-408	801-409	801-410	801-411	801-412	801-413	801-414	801-415	801-416	801-417	801-418	801-419	801-420	801-421	801-422	801-423	801-424	801-425	801-426	801-427	801-428	801-429	801-430	801-431	801-432	801-433	801-434	801-435	801-436	801-437	801-438	801-439	801-440	801-441	801-442	801-443	801-444	801-445	801-446	801-447	801-448	801-449	801-450	801-451	801-452	801-453	801-454	801-455	801-456	801-457	801-458	801-459	801-460	801-461	801-462	801-463	801-464	801-465	801-466	801-467	801-468	801-469	801-470	801-471	801-472	801-473	801-474	801-475	801-476	801-477	801-478	801-479	801-480	801-481	801-482	801-483	801-484	801-485	801-486	801-487	801-488	801-489	801-490	801-491	801-492	801-493	801-494	801-495	801-496	801-497	801-498	801-499	801-500	801-501	801-502	801-503	801-504	801-505	801-506	801-507	801-508	801-509	801-510	801-511	801-512	801-513	801-514	801-515	801-516	801-517	801-518	801-519	801-520	801-521	801-522	801-523	801-524	801-525	801-526	801-527	801-528	801-529	801-530	801-531	801-532	801-533	801-534	801-535	801-536	801-537	801-538	801-539	801-540	801-541	801-542	801-543	801-544	801-545	801-546	801-547	801-548	801-549	801-550	801-551	801-552	801-553	801-554	801-555	801-556	801-557	801-558	801-559	801-560	801-561	801-562	801-563	801-564	801-565	801-566	801-567	801-568	801-569	801-570	801-571	801-572	801-573	801-574	801-575	801-576	801-577	801-578	801-579	801-580	801-581	801-582	801-583	801-584	801-585	801-586	801-587	801-588	801-589	801-590	801-591	801-592	801-593	801-594	801-595	801-596	801-597	801-598	801-599	801-600	801-601	801-602	801-603	801-604	801-605	801-606	801-607	801-608	801-609	801-610	801-611	801-612	801-613	801-614	801-615	801-616	801-617	801-618	801-619	801-620	801-621	801-622	801-623	801-624	801-625	801-626	801-627	801-628	801-629	801-630	801-631	801-632	801-633	801-634	801-635	801-636	801-637	801-638	801-639	801-640	801-641	801-642	801-643	801-644	801-645	801-646	801-647	801-648	801-649	801-650	801-651	801-652	801-653	801-654	801-655	801-656	801-657	801-658	801-659	801-660	801-661	801-662	801-663	801-664	801-665	801-666	801-667	801-668	801-669	801-670	801-671	801-672	801-673	801-674	801-675	801-676	801-677	801-678	801-679	801-680	801-681	801-682	801-683	801-684	801-685	801-686	801-687	801-688	801-689	801-690	801-691	801-692	801-693	801-694	801-695	801-696	801-697	801-698	801-699	801-700	801-701	801-702	801-703	801-704	801-705	801-706	801-707	801-708	801-709	801-710	801-711	801-712	801-713	801-714	801-715	801-716	801-717	801-718	801-719	801-720	801-721	801-722	801-723	801-724	801-725	801-726	801-727	801-728	801-729	801-730	801-731	801-732	801-733	801-734	801-735	801-736	801-737	801-738	801-739	801-740	801-741	801-742	801-743	801-744	801-745	801-746	801-747	801-748	801-749	801-750	801-751	801-752	801-753	801-754	801-755	801-756	801-757	801-758	801-759	801-760	801-761	801-762	801-763	801-764	801-765	801-766	801-767	801-768	801-769	801-770	801-771	801-772	801-773	801-774	801-775	801-776	801-777	801-778	801-779	801-780	801-781	801-782	801-783	801-784	801-785	801-786	801-787	801-788	801-789	801-790	801-791	801-792	801-793	801-794	801-795	801-796	801-797	801-798	801-799	801-800	801-801	801-802	801-803	801-804	801-805	801-806	801-807	801-808	801-809	801-810	801-811	801-812	801-813	801-814	801-815	801-816	801-817	801-818	801-819	801-820	801-821	801-822	801-823	801-824	801-825	801-826	801-827	801-828	801-829	801-830	801-831	801-832	801-833	801-834	801-835	801-836	801-837	801-838	801-839	801-840	801-841	801-842	801-843	801-844	801-845	801-846	801-847	801-848	801-849	801-850	801-851	801-852	801-853	801-854	801-855	801-856	801-857	801-858	801-859	801-860	801-861	801-862	801-863	801-864	801-865	801-866	801-867	801-868	801-869	801-870	801-871	801-872	801-873	801-874	801-875	801-876	801-877	801-878	801-879	801-880	801-881	801-882	801-883	801-884	801-885	801-886	801-887	801-888	801-889	801-890	801-891	801-892	801-893	801-894	801-895	801-896	801-897	801-898	801-899	801-900	801-901	801-902	801-903	801-904	801-905	801-906	801-907	801-908	801-909	801-910	801-911	801-912	801-913	801-914	801-915	801-916	801-917	801-918	801-919	801-920	801-921	801-922	801-923	801-924	801-925	801-926	801-927	801-928	801-929	801-930	801-931	801-932	801-933	801-934	801-935	801-936	801-937	801-938	801-939	801-940	801-941	801-942	801-943	801-944	801-945	801-946	801-947	801-948	801-949	801-950	801-951	801-952	801-953	801-954	801-955	801-956	801-957	801-958	801-959	801-960	801-961	801-962	801-963	801-964	801-965	801-966	801-967	801-968	801-969	801-970	801-971	801-972	801-973	801-974	801-975	801-976	801-977	801-978	801-979	801-980	801-981	801-982	801-983	801-984	801-985	801-986	801-987	801-988	801-989	801-990	801-991	801-992	801-993	801-994	801-995	801-996	801-997	801-998	801-999	801-1000
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ADJACENT OWNERS

1. P/N: 171583695
GEM CAPITAL LLC
DB. 12189 PG. 1727
2929 BRENTWOOD RD.
2. P/N: 171583782
AVILA-OLIVERA, CARLOS
AVILA-OLIVERA, NERY
DB. 8420 PG. 2182
2927 BRENTWOOD RD.
3. P/N: 171583739
JONES, LINDA A.
DB. 16226 PG. 2056
2921 BRENTWOOD RD.
4. P/N: 171583821
STEWART, MARLYN H.
DB. 8573 PG. 1904
3001 BRENTWOOD RD.
5. P/N: 171583282
HORTON, DEBORAH C HERR,
EDWARD F.
DB. 14210 PG. 83
3009 BRENTWOOD RD.
6. P/N: 171583248
MARTIN, JERRY G MARTIN,
RUTH B.
DB. 2074 PG. 134
3009 BRENTWOOD RD.
7. P/N: 1715941003
BAKER, DEBRA A BAKER,
CHARLES D.
DB. 17620 PG. 790
2818 BARNWELL RD.
8. P/N: 171583049
VOLINA, EDGARDA RAFAEL DE
LEON RICHARDS, DANIEL
GARCIA
DB. 17164 PG. 992
2812 BARNWELL RD.
9. P/N: 171583977
PHELPS, NICHOLAS STEPHEN
DB. 17190 PG. 858
2808 BARNWELL RD.
10. P/N: 1715839014
DOWDALL, CHRISTOPHER
DOWDALL, CHRISTOPHER
DB. 16344 PG. 288
2804 BARNWELL RD.
11. P/N: 171583830
ABBOTT, JACK B ABBOTT,
JANICE L.
DB. 3066 PG. 347
2860 GLENRODGE DR.
12. P/N: 171583821
BAKER, DANIELLE K
DB. 15069 PG. 250.3
2848 GLENRODGE DR.
13. P/N: 171583784
BROCK, CHARLES W
DB. 17810 PG. 1271
2842 GLENRODGE DR.
14. P/N: 171583767
PRICE, KIMBERLY G
DB. 08-E PG. 3106
2839 GLENRODGE DR.
15. P/N: 1715837601
PENATE, JORGE F LEIVA
BAITE, KERRY L.
DB. 15929 PG. 1585
2834 GLENRODGE DR.
16. P/N: 1715836575
LEIVA, PENATE JORGE
DB. 12062 PG. 1343
2830 GLENRODGE DR.
17. P/N: 1715836448
SIMPSON, CHARLE W SIMPSON,
DOROTHY C
DB. 13478 PG. 870
2824 GLENRODGE DR.
18. P/N: 1715836411
TOMAN, JOE
DB. 13823 PG. 777
2822 GLENRODGE DR.
19. P/N: 1715942008
PENKERRASS, JESSICA H
PENKERRASS, ROBERT M
DB. 13669 PG. 777
3015 BRENTWOOD RD.

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NT

ALLIANCE RESIDENTIAL COMPANY
200 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28207



BROADSTONE OAK CITY

CONSOLIDATED REVIEW
SPR-0230-2020
CONSTRUCTION DRAWINGS
2815 CAPITAL BOULEVARD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

B

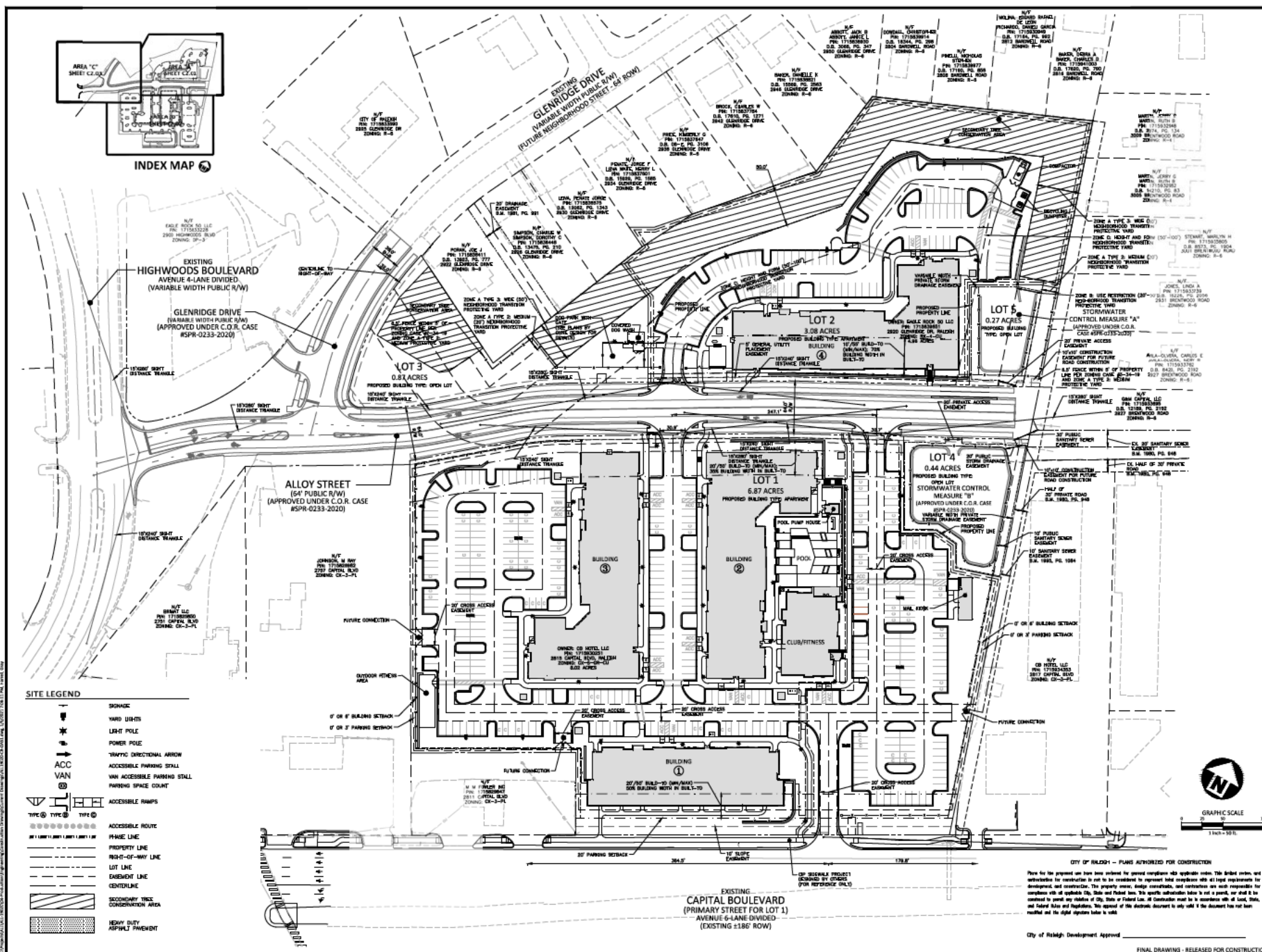
NO.	DATE	
1	08. XI. 2020	REVISED PER EST CITY REVIEW
2	10. XI. 2020	1ST CONSOLIDATED REVIEW
3	12. 07. 2020	2ND CONSOLIDATED REVIEW
4	12. 22. 2020	3RD CONSOLIDATED REVIEW
5	03. 06. 2021	4TH CONSOLIDATED REVIEW

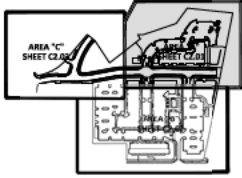
PLAN INFORMATION

PROJECT NO.	ALL-19020
FILENAME	ALL19020-CR-51
CHECKED BY	JRB
DRAWN BY	CGH
SCALE	1"=50'
DATE	07. 01. 2020
SHEET	

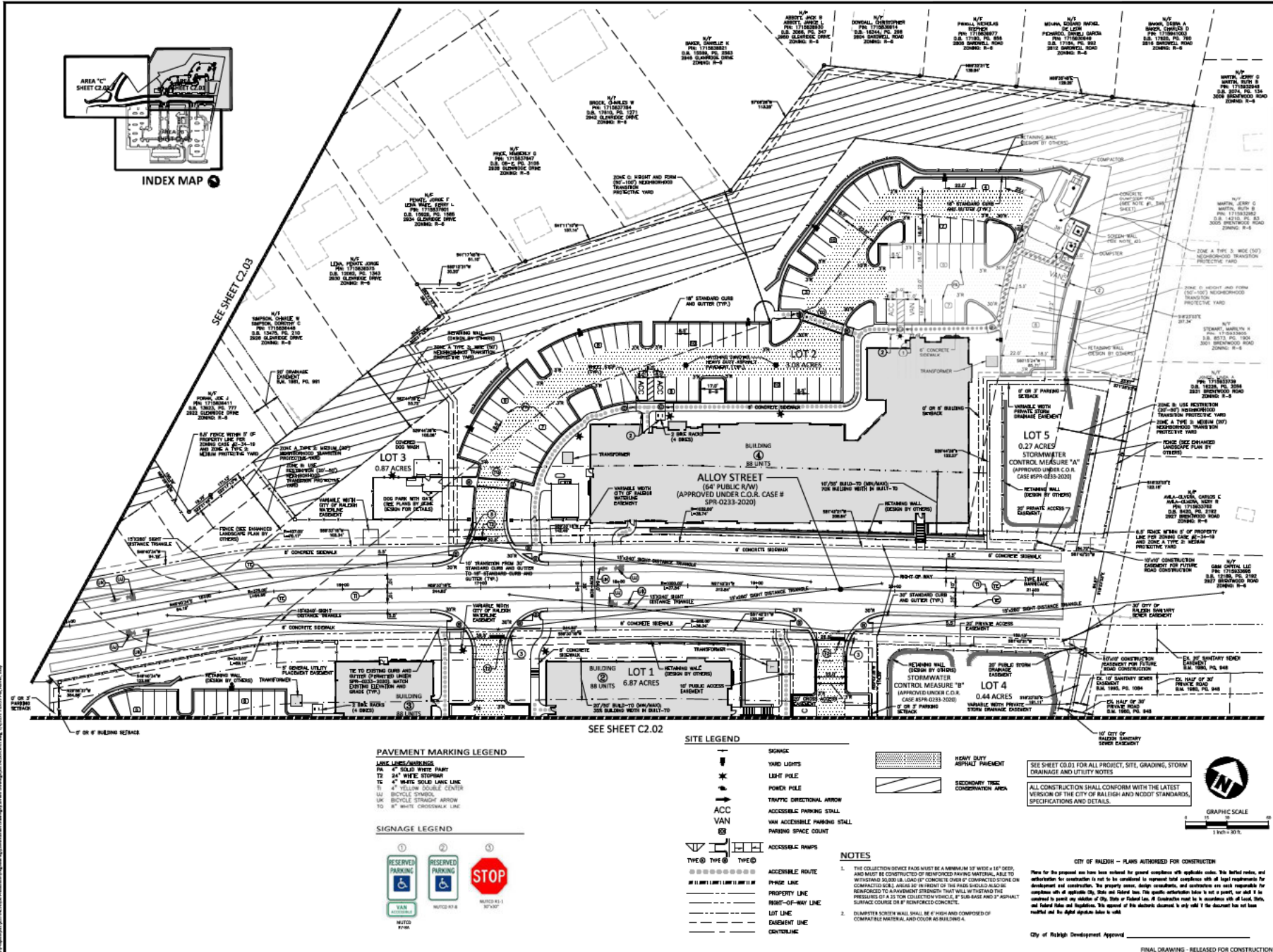
OVERALL SITE PLAN

C2.00





INDEX MAP



McADAMS

The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919.823.4300
fax 919.361.2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

ALLIANCE RESIDENTIAL COMPANY
206 PROVIDENCE ROAD, SUITE 250
CHARLOTTE, NC 28207

ALLIANCE
RESIDENTIAL COMPANY

BROADSTONE OAK CITY
CONSOLIDATED REVIEW
SPR-0230-2020
CONSTRUCTION DRAWINGS
2815 CAPITAL BOULEVARD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
1	08.15.2020	REVISED PER UTILITY NOTES
2	08.25.2020	REVISED PER UTILITY NOTES
3	09.07.2020	REVISED PER UTILITY NOTES
4	12.22.2020	REVISED PER UTILITY NOTES
5	01.06.2021	REVISED PER UTILITY NOTES

PLAN INFORMATION

PROJECT NO. ALL-19020
FILE NAME: ALL19020-CR-51
CHECKED BY: JRB
DRAWN BY: CGH
SCALE: 1"=30'
DATE: 07.01.2020

SHEET

SITE PLAN AREA "A"
C2.01



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CHARLOTTE, NC 28207



BROADSTONE OAK CITY CONSOLIDATED REVIEW SPR-0230-2020 CONSTRUCTION DRAWINGS 2815 CAPITAL BOULEVARD RALEIGH, WAKE COUNTY, NORTH CAROLINA

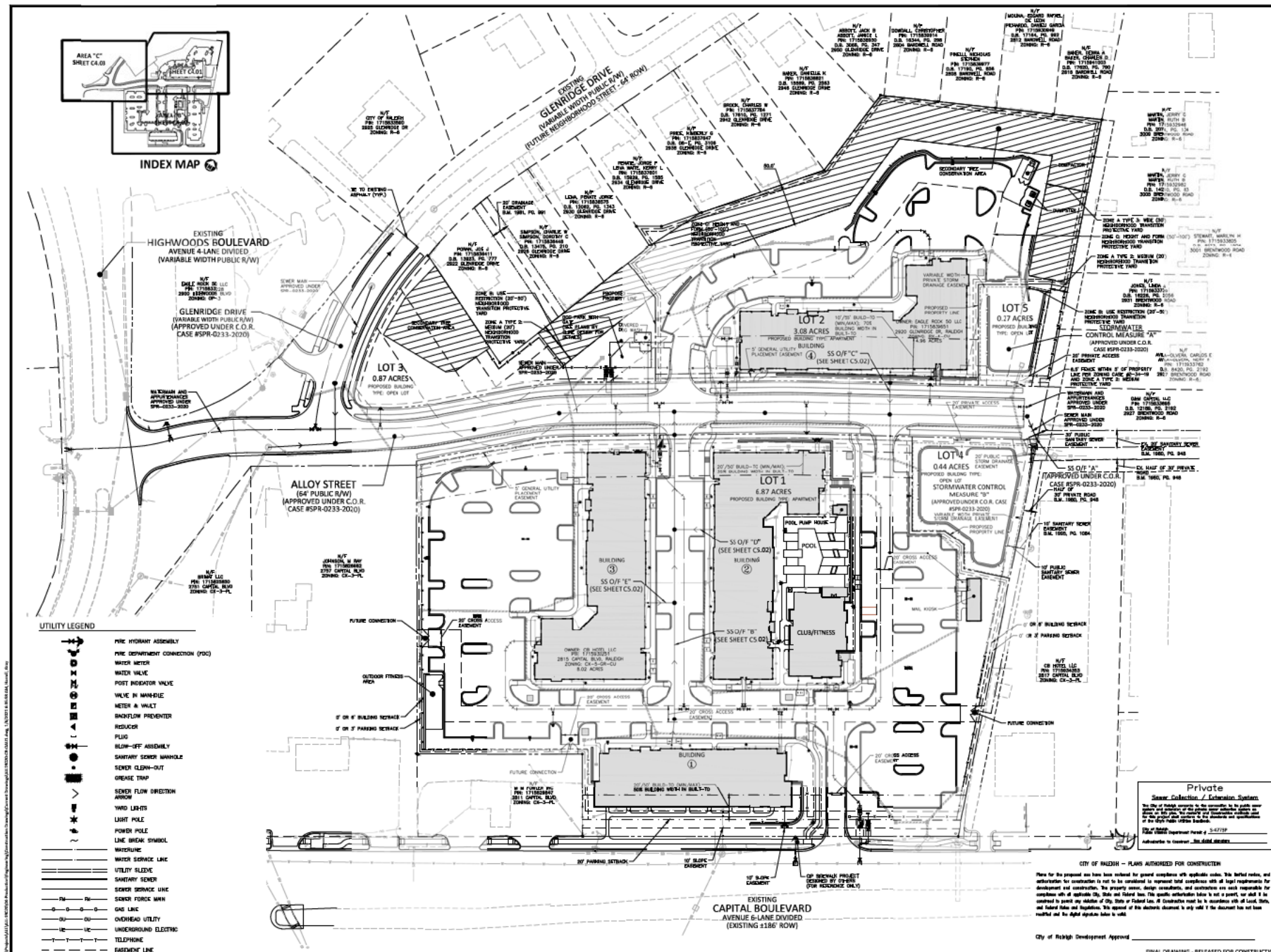
REVISIONS

NO.	DATE	REVISION
1	08.13.2020	REVISED PER UTILITY REVIEW
2	10.29.2020	1ST CONSOLIDATED REVIEW
3	12.07.2020	2ND CONSOLIDATED REVIEW
4	12.22.2020	3RD CONSOLIDATED REVIEW
5	01.06.2021	4TH CONSOLIDATED REVIEW

PLAN INFORMATION

PROJECT NO. ALL-19020
FILENAME: ALL19020-CR-CAU1
CHECKED BY JRB
DRAWN BY COH
SCALE 1"=50'
DATE 07.01.2020
SHEET

OVERALL UTILITY
PLAN
C4.00

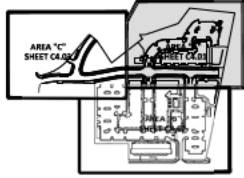


CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

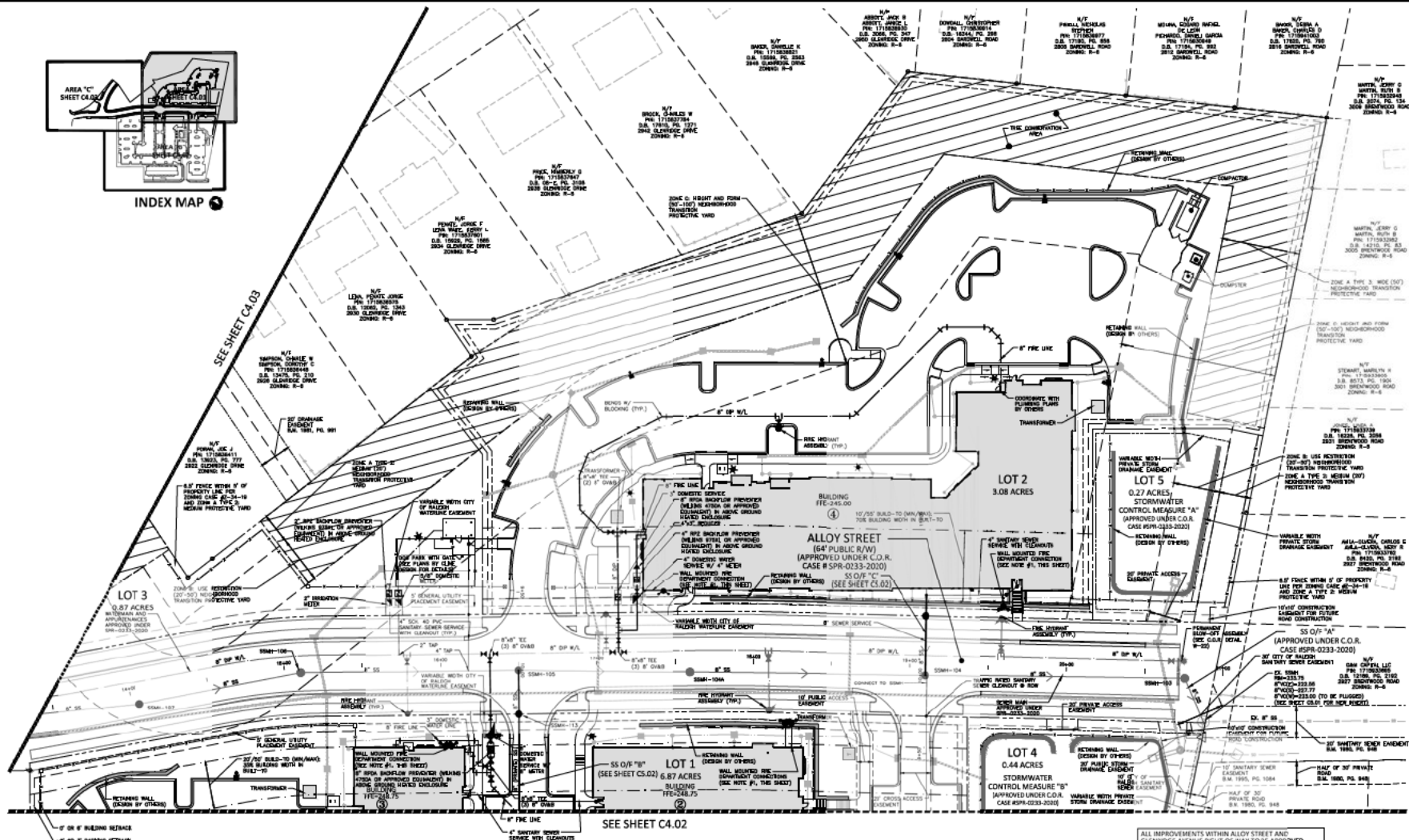
Private
Sewer Collection / Elevation System
The City of Raleigh approves the construction of the private sewer collection system shown on this plan. The property owner, designer, consultant, and contractor are each responsible for compliance with all applicable City, State and Federal laws. The specific construction details to be used in the project, as well as the location of the system, shall be as shown on this plan. The system shall be constructed in accordance with the City of Raleigh's standards and specifications. The system shall be constructed in accordance with the City of Raleigh's standards and specifications. The system shall be constructed in accordance with the City of Raleigh's standards and specifications.

City of Raleigh Development Approval

FINAL DRAWING - RELEASED FOR CONSTRUCTION



INDEX MAP



UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY		YARD LIGHTS
	FIRE DEPARTMENT CONNECTION (FDC)		POWER POLE
	WATER METER		LINE BREAK SYMBOL
	WATER VALVE		WATERLINE
	POST INDICATOR VALVE		WATER SERVICE LINE
	VALVE IN MANHOLE		UTILITY SUCKER
	METER & VAULT		SANITARY SEWER
	BACKFLOW PREVENTER		SANITARY SEWER MAN
	REDUCER		SANITARY SEWER MAN
	PLUG		GAS LINE
	BLOW-OFF ASSEMBLY		OVERHEAD UTILITY
	SANITARY SEWER MANHOLE		UNDERGROUND ELECTRIC
	REVER CLEAN-OUT		TELEPHONE
	GREASE TRAP		EASEMENT LINE
	SEWER FLOW DIRECTION ARROW		

GENERAL NOTES:

- CONTRACTOR SHALL REFER TO PLUMBING PLANS BY OTHERS FOR FIRE DEPARTMENT CONNECTION PIPE SIZING.

ALL IMPROVEMENTS WITHIN ALLOY STREET AND GLENHIDE AVENUE RIGHT OF WAY TO BE APPROVED UNDER C.O.R. CASE #.

SEE SHEET C4.03 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDDOT STANDARDS, SPECIFICATIONS AND DETAILS.



GRAPHIC SCALE
1 inch = 30 feet

Private
Sewer Collection & Sanitation System
The City of Raleigh reserves the right to modify the design and construction of this system to meet the needs of the City of Raleigh and the State of North Carolina. The City of Raleigh reserves the right to modify the design and construction of this system to meet the needs of the City of Raleigh and the State of North Carolina. The City of Raleigh reserves the right to modify the design and construction of this system to meet the needs of the City of Raleigh and the State of North Carolina.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

These plans for the proposed system have been prepared for the purpose of providing information to the City of Raleigh and the State of North Carolina. The City of Raleigh reserves the right to modify the design and construction of this system to meet the needs of the City of Raleigh and the State of North Carolina. The City of Raleigh reserves the right to modify the design and construction of this system to meet the needs of the City of Raleigh and the State of North Carolina.

City of Raleigh Development Approval

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RESIDENTIAL COMPANY

BROADSTONE OAK CITY
CONSOLIDATED REVIEW
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CONSTRUCTION DRAWINGS
2815 CAPITAL BOULEVARD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

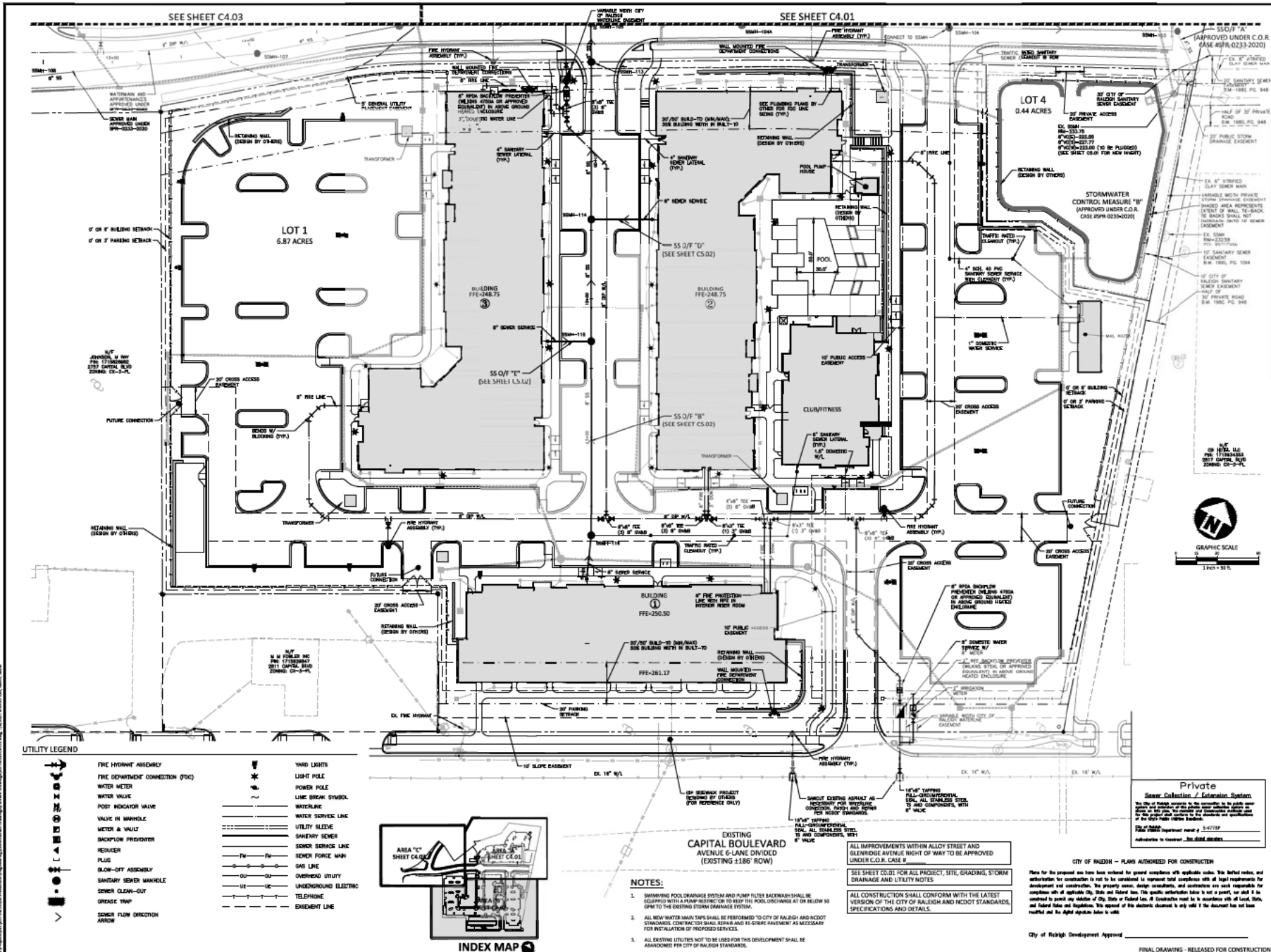
REVISIONS

NO.	DATE	REVISION
1	08.13.2020	REVISED PER UTILITY REVIEW
2	05.29.2020	REVISED PER UTILITY REVIEW
3	02.07.2020	2ND CONSOLIDATED REVIEW
4	12.22.2019	1ST CONSOLIDATED REVIEW
5	05.06.2019	4TH CONSOLIDATED REVIEW

PLAN INFORMATION
PROJECT NO. ALL-19020
FILMNAME ALL19020-CR-011
CHECKED BY JMB
DRAWN BY COH
SCALE 1"=30'
DATE 07.01.2020
SHEET

UTILITY PLAN
AREA "A"
C4.01

FINAL DRAWINGS - RELEASED FOR CONSTRUCTION



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CONSTRUCTION DRAWINGS
2815 CAPITAL BOULEVARD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
1	08.19.2020	REVISED PER UTILITY REVIEW
2	05.29.2020	1ST CONSOLIDATED REVIEW
3	02.07.2020	2ND CONSOLIDATED REVIEW
4	12.22.2019	3RD CONSOLIDATED REVIEW
5	05.06.2017	4TH CONSOLIDATED REVIEW

PLAN INFORMATION

PROJECT NO.	ALL-19620
FILE NAME	ALL19620-CR-011
CHECKED BY	JMB
DRAWN BY	COH
SCALE	1"=30'
DATE	07.01.2020

SHEET

UTILITY PLAN
AREA "B"
C4.02

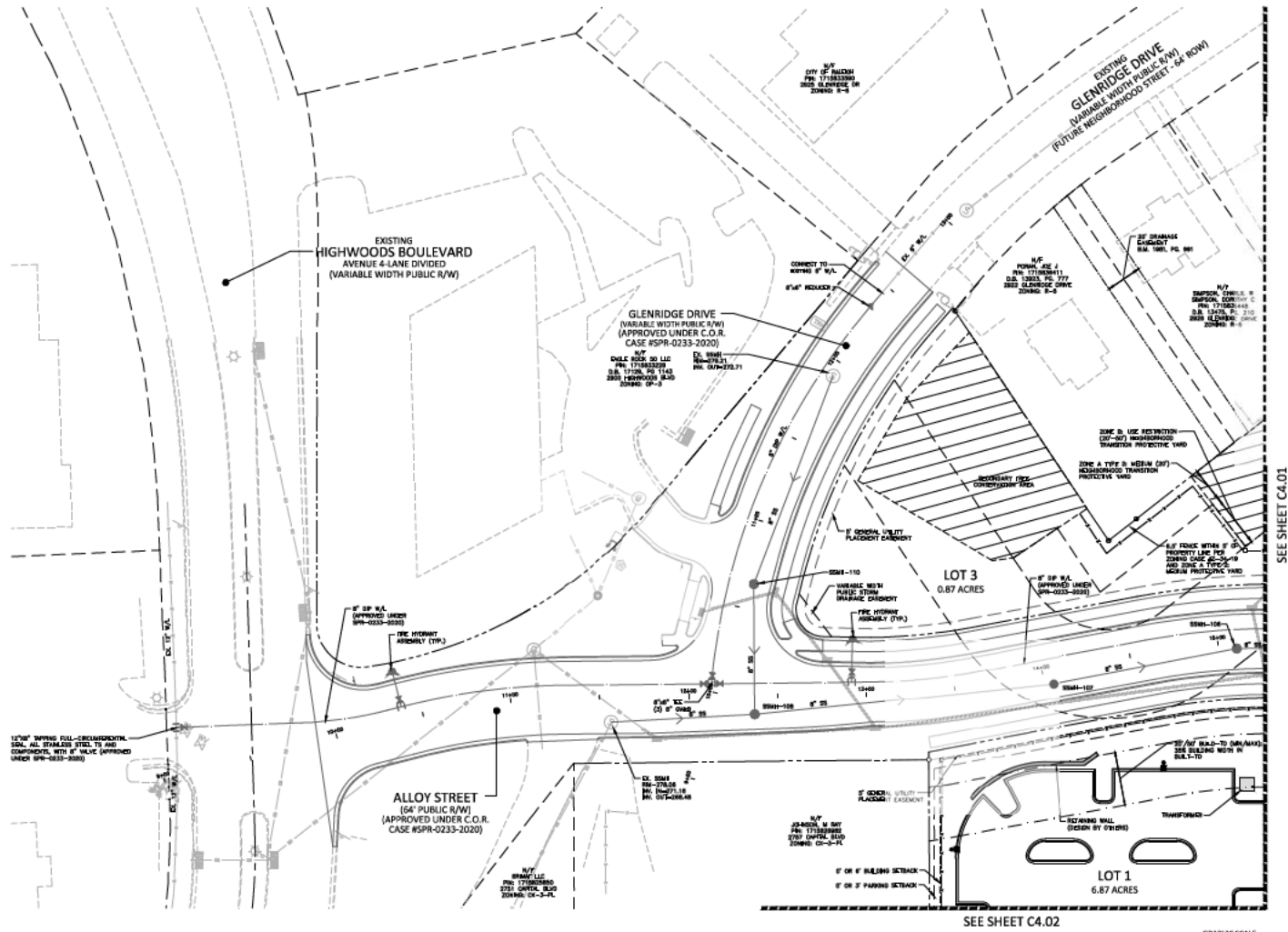
REVISIONS

NO.	DATE	DESCRIPTION
1	08.15.2020	REVISED PER UTILITY REVIEW
2	10.29.2020	EST CONSOLIDATED REVIEW
3	12.07.2020	2ND CONSOLIDATED REVIEW
4	12.22.2020	3RD CONSOLIDATED REVIEW
5	01.06.2021	4TH CONSOLIDATED REVIEW

PLAN INFORMATION

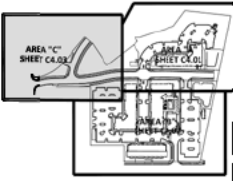
PROJECT NO.	ALL-19020
FILENAME	ALL19020-ASR-LT1
CHECKED BY	JRB
DRAWN BY	CGH
SCALE	1"=30'
DATE	07.01.2020

UTILITY PLAN
AREA "C"
C4.03



UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY		YARD LIGHTS
	WATER METER		LIGHT POLE
	WATER VALVE		POWER POLE
	POST INDICATOR VALVE		LINE BREAK SYMBOL
	VALVE IN MANHOLE		WATER SERVICE LINE
	METER & VAULT		UTILITY EASEMENT
	SANITARY SEWER PREHEADER		SANITARY SEWER
	REDUCER		SEWER SERVICE LINE
	PLUG		SEWER FORCE MAIN
	BLOW-OFF ASSEMBLY		GAS LINE
	SANITARY SEWER MANHOLE		OVERHEAD UTILITY
	SEWER CLEAN-OUT		UNDERGROUND ELECTRIC
	GRASSY TRAP		TELEPHONE
	SEWER FLOW DIRECTION ARROW		EASEMENT LINE



INDEX MAP

ALL IMPROVEMENTS WITHIN ALLOY STREET AND GLENRIDGE AVENUE RIGHT OF WAY TO BE APPROVED UNDER C.O.R. CASE #.

SEE SHEET C4.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDDOT STANDARDS, SPECIFICATIONS AND DETAILS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed work have been reviewed for general compliance with applicable codes. The staff review, and authorization for construction is not to be construed to represent total compliance with all legal requirements for development and construction. The property owner, design professionals, and construction are each responsible for compliance with all applicable City, State and Federal laws. The specific authorization below is a permit, not a warranty, and it is intended to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal codes and regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval

FINAL DRAWING - RELEASED FOR CONSTRUCTION



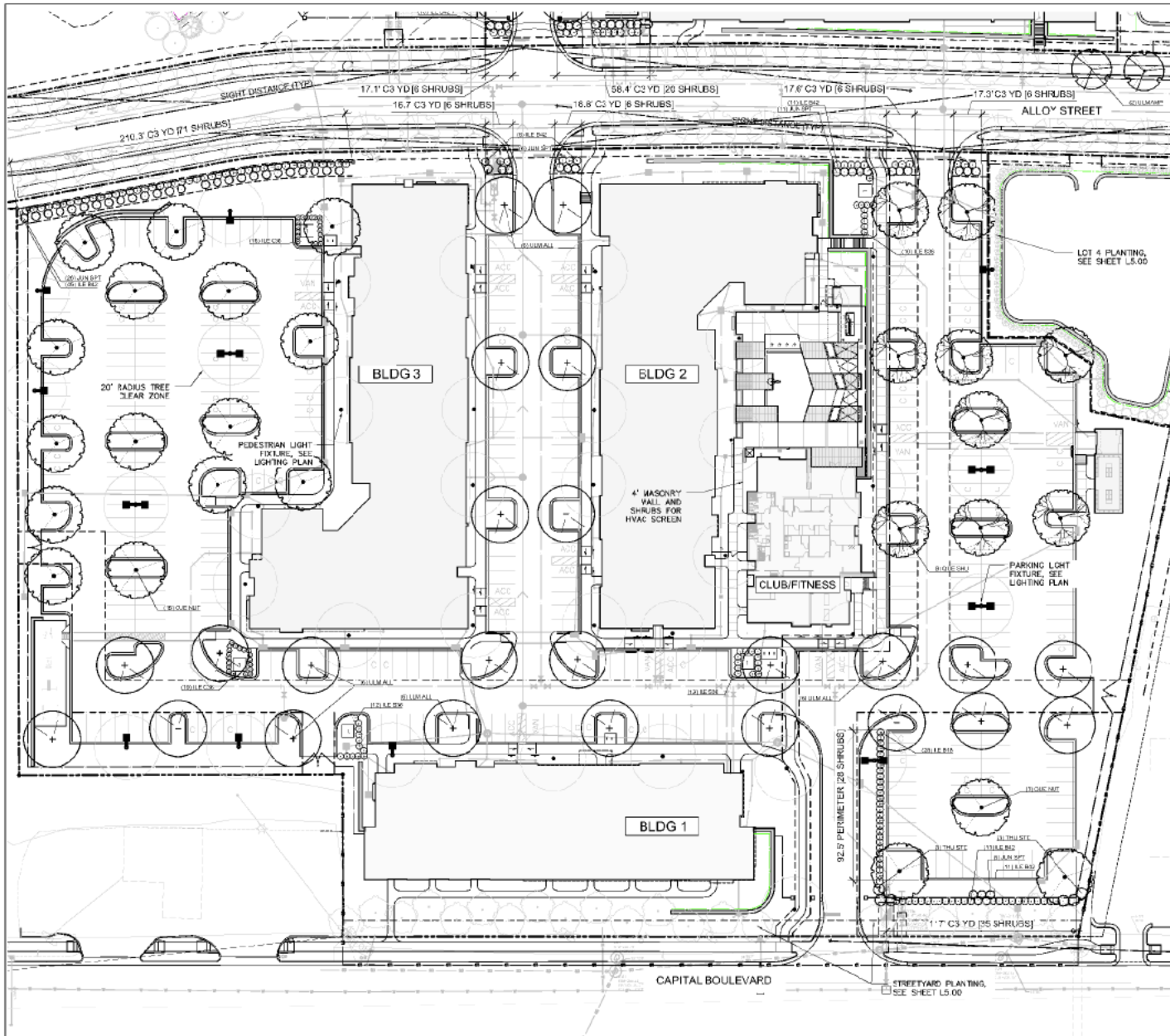
Alliance Residential Company
Broadstone Oak City
2815 Capital Boulevard
Raleigh, North Carolina

Permit Set

PROJECT: 019089	
DATE: 07.01.2020	
REVISIONS:	DATE:
ASR 2ND SUB	06.17.20
CD SET	09.04.20
CD Progress Set	10.03.20
ASR 3RD SUB	10.05.20
CPR Exp Rev	12.02.20
CPR Exp Rev	01.05.21
DRAWN BY:	SE
CHECKED BY:	ML/MW

Overall Site
Landscape Key Map

LP1.00



UNIFIED DEVELOPMENT ORDINANCE

7.1.7 VEHICULAR PARKING LOT LANDSCAPING

- INTERIOR ISLANDS
 - INTERIOR ISLAND & SHADE TREE PER 10 PARKING SPACES
 - ALL ROWS OF TREES MUST END WITH ISLAND
 - SHALL BE MIN 10' WIDE & 300 SF

- PERIMETER ISLANDS
 - ALONG PRIMARY ACCESS DRIVES
 - 5' MIN WIDTH
 - 30 SHRUBS PER 100 LF
 - MIN 3' HT X 5' SPAT MATURITY

- TREE COVERAGE (PARCEL 1-URBANFRONTAGE)
 - 115,807 SF
 - EACH INTERIOR ISLAND SHALL HAVE TREE
 - 1 SHADE TREE PER 4000 SF VSA

REQUIRED SHADE TREES: 29 TREES REQ.
PROPOSED SHADE TREES: 31 TREES PRO.

***NOTE: SEE SHEET L500 FOR STREET YARD PLANTINGS.

SHADE TREES	QTY	BOTANICAL / COMMON NAME	CALIPER	HGT
QUC NUT	18	QUERCUS NUTTALLII	3" MIN	18' MIN
QUC SHU	9	QUERCUS SHUMARDII	3" MIN	18' MIN
ULM ALL	24	ULMUS PARVIFLORA "SPRINT"	3" MIN	18' MIN

7.2.4 PROTECTIVE YARDS

- C3 STREET PROTECTIVE YARDS

- 10' MIN WIDTH
- 30 SHRUBS PER 100 LF
- MIN 3.5' HT AT INSTALL
- 395.7 LF

REQUIRED SHRUBS: 119 SHRUBS REQ.
PROPOSED SHRUBS: 130 SHRUBS PRO.

***NOTE: SEE SHEET L500 FOR STREET YARD PLANTINGS.

EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	HGT	SPREAD
LEE BAZ	81	LEX CORNUTA BURSPER NANA	4" MIN	24"-36"
JUN SPT	43	QUERCUS SHUMARDII	4" MIN	24"-36"
THU SITE	8	THUJA X "STEEPLECHASE" PP	4'-5'	2'

7.2.5 SCREENING

- MECHANICAL
 - OPAQUE LANDSCAPE SCREEN NO LOWER THAN HIGHEST POINT ON EQUIPMENT

7.2.7 DESIGN AND INSTALLATION

- PLANT MATERIAL
 - SHADE TREES: 7" MIN CAL INSTALLED, 35" MIN MATURE HT.
 - UNDERSTORY TREES: 1.5" MIN CAL & 6' MIN HT. INSTALLED, 15' MIN MATURE HT.
 - PARKING SHRUBS: 18" MIN HT. INSTALLED, 3' MIN MATURE HT.
 - PROTECTIVE YARD SHRUBS: 18" MIN HT INSTALLED, 3' X 3' MIN MATURE SIZE
 - STREET YARD SHRUBS- CONTINUOUS ROW & OC

Landscape Calculations and Schedule 02

PROJECT: 019009	
DATE: 03/01/2020	
REV: 0001	DATE
ASR 2ND020	06/27/20
DD 001	09/04/20
CD Progress Set	10/23/20
ASR 3RD030	10/23/20
CPR Exp Rev	12/22/20
CPR Exp Rev	01/25/21
CRWIN 01	SP
CHECKED BY	01/25/21
Code Compliant	
Landscape Plan	
Lot 1	

Code Compliant Landscape Plan Lot 1 03

Scale: 1" = 30'

LP1.10 01

**CLINE
DESIGN**

172 N. Hargett St.
Raleigh, NC 27601
919.833.6413
919.833.1284 FAX
ClineDesign@comcast.net

Alliance Residential Company
Broadstone Oak City
2815 Capital Boulevard
Raleigh, North Carolina

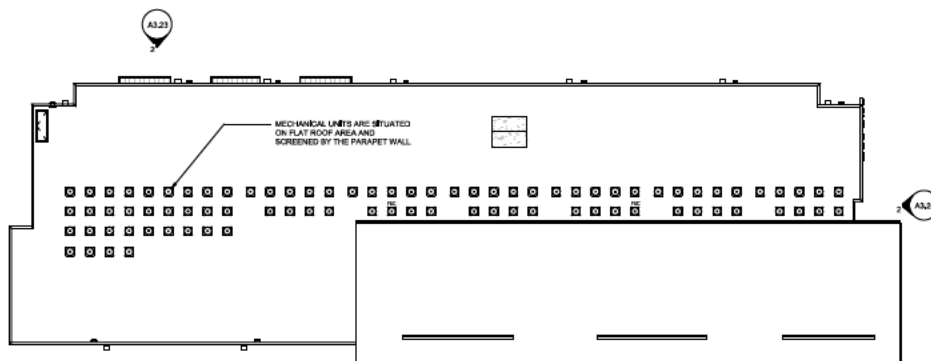
Permit Set



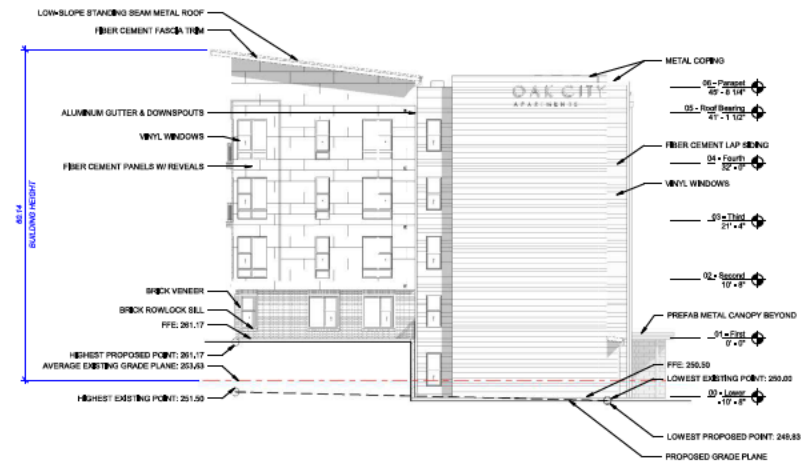
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3/32" = 1'-0"



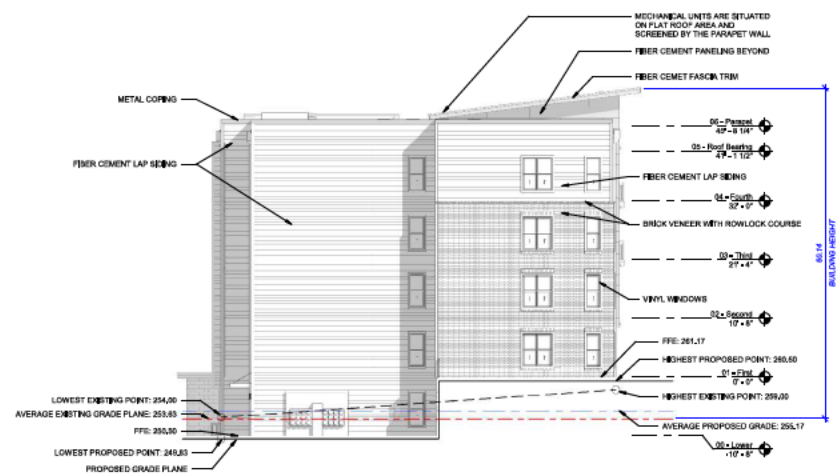
BUILDING 1 - SOUTH ELEVATION (CAPITAL BLVD.) 1
3/32" = 1'-0"



BUILDING 1 - ROOF PLAN 3
1/16" = 1'-0"



BUILDING 1 - EAST ELEVATION 2
3/32" = 1'-0"



BUILDING 1 - WEST ELEVATION 1
3/32" = 1'-0"

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION



BROADSTONE OAK CITY
RALEIGH, NC

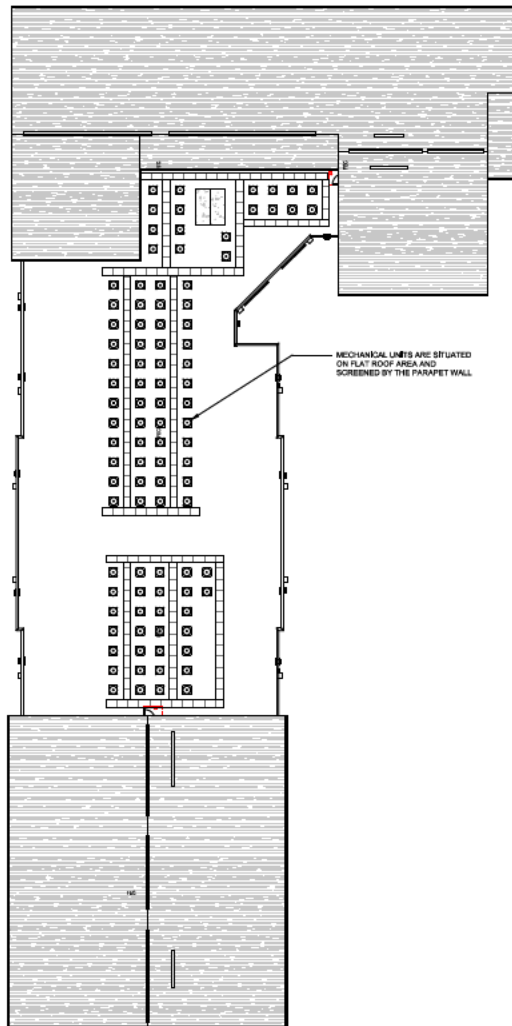
BUILDING 1 - ELEVATIONS

As indicated

019089 | 11.24.2020

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A-2



BUILDING 2 - ROOF LAYOUT (BLDGS. 3 & 4 SIM.) 1
1/16" = 1'-0"



BUILDING 2 - NORTH ELEVATION (ALLOY ST.) 4
3/32" = 1'-0"



BUILDING 2 - SOUTH ELEVATION 3
3/32" = 1'-0"

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION

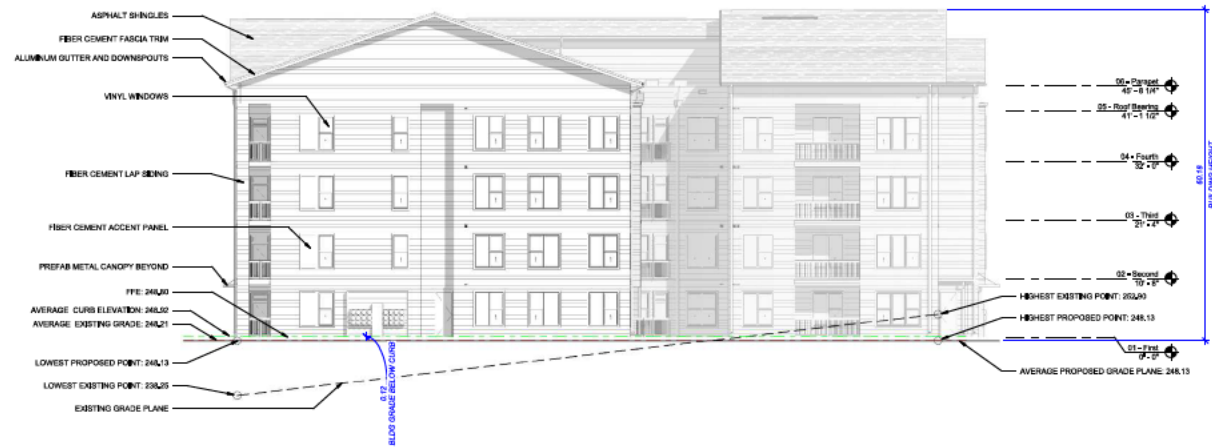


BUILDING 2 - EAST ELEVATION 4
3/32" = 1'-0"



BUILDING 2 - WEST ELEVATION 3
3/32" = 1'-0"

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION



BUILDING 3 - NORTH ELEVATION (ALLOY ST.) 4
3/32" = 1'-0"

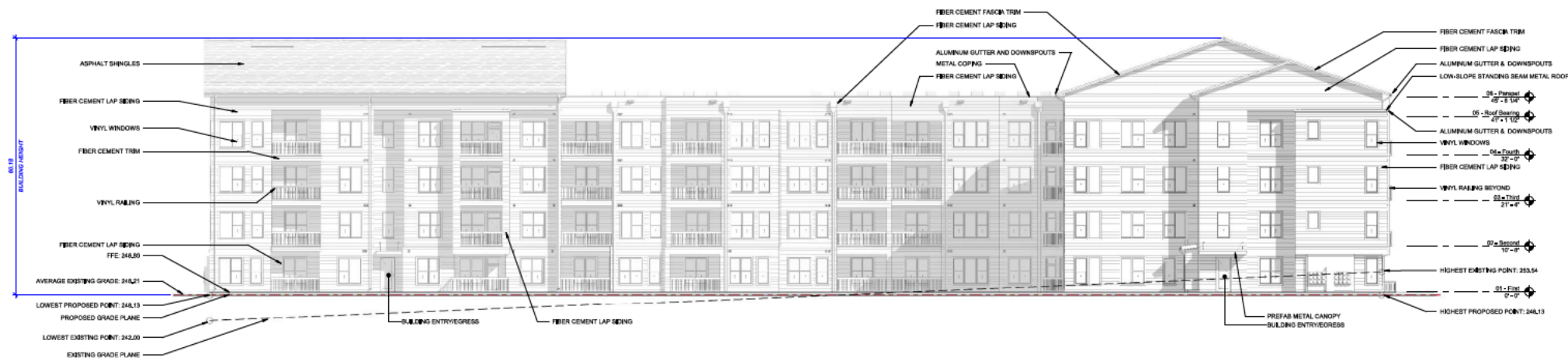


BUILDING 3 - SOUTH ELEVATION 3
3/32" = 1'-0"

ASR LEGEND	
—	PROPOSED GRADE PLANE
---	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
⊕ --- ⊖	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
---	AVERAGE EXISTING GRADE
---	AVERAGE CURB ELEVATION



BUILDING 3 - EAST ELEVATION 4
3/32" = 1'-0"



BUILDING 3 - WEST ELEVATION 3
3/32" = 1'-0"



BROADSTONE OAK CITY
RALEIGH, NC

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION

BUILDING 3 - ELEVATIONS

3/32" = 1'-0"

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A-6

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BUILDING 4 - NORTH ELEVATION 2
3/32" = 1'-0"



BUILDING 4 - SOUTH ELEVATION (ALLOY ST.) 1
3/32" = 1'-0"

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION



BROADSTONE OAK CITY
RALEIGH, NC

BUILDING 4 - ELEVATIONS

3/32" = 1'-0"

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A-7

019089 | 11.24.2020



BUILDING 4 - EAST ELEVATION 2
3/32" = 1'-0"



ASR 15 BLDG 4 - WEST ELEVATION 1
3/32" = 1'-0"

ASR LEGEND	
——	PROPOSED GRADE PLANE
- - - -	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
- - - -	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
- - - -	AVERAGE EXISTING GRADE
- - - -	AVERAGE CURB ELEVATION

BUILDING 4 - ELEVATIONS

3/32" = 1'-0"

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A-8

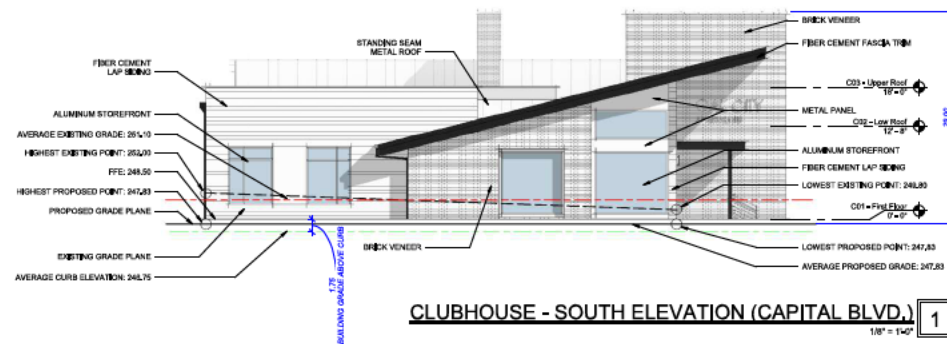
019089 | 11.24.2020



BROADSTONE OAK CITY
RALEIGH, NC

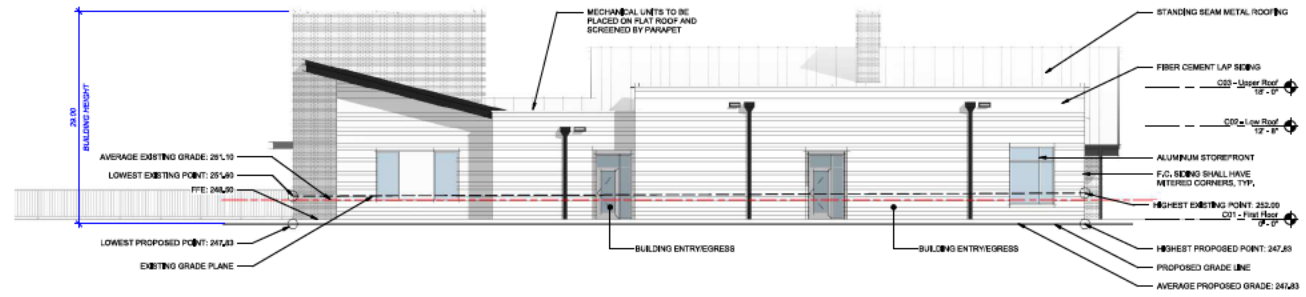


CLUBHOUSE - NORTH ELEVATION 2
1/8" = 1'-0"



CLUBHOUSE - SOUTH ELEVATION (CAPITAL BLVD.) 1
1/8" = 1'-0"

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION

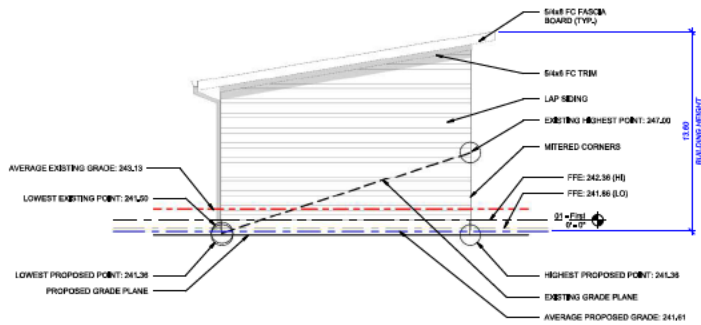


CLUBHOUSE - WEST ELEVATION 2
1/8" = 1'-0"

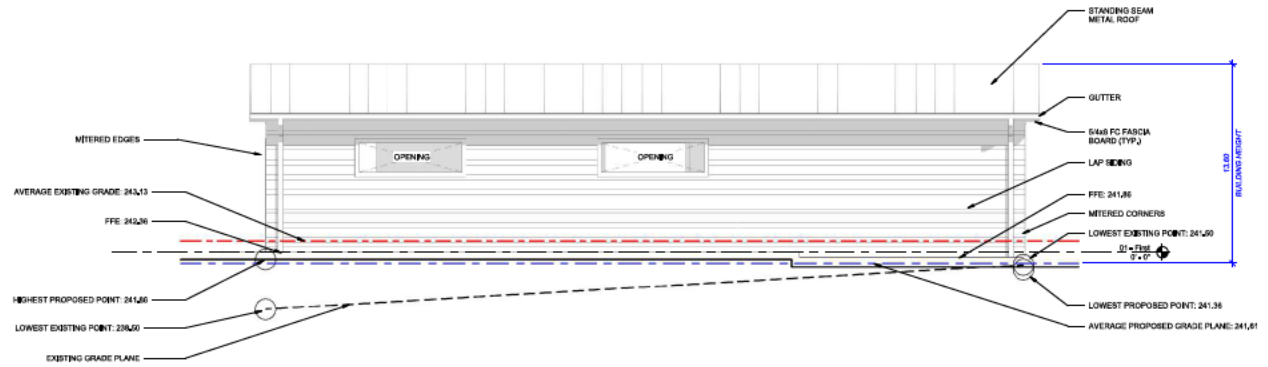


CLUBHOUSE - EAST ELEVATION 1
1/8" = 1'-0"

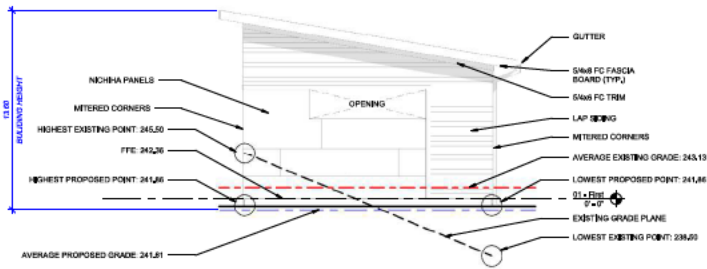
ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION



MAIL KIOSK - NORTH ELEVATION 4
1/4" = 1'-0"



MAIL KIOSK - EAST ELEVATION 3
1/4" = 1'-0"



MAIL KIOSK - SOUTH ELEVATION 2
1/4" = 1'-0"



MAIL KIOSK - WEST ELEVATION 1
1/4" = 1'-0"

ASR LEGEND	
	PROPOSED GRADE PLANE
	AVERAGE PROPOSED GRADE (may overlap proposed grade plane)
	EXISTING GRADE PLANE BETWEEN HIGHEST & LOWEST EXISTING SPOT ELEVATIONS
	AVERAGE EXISTING GRADE
	AVERAGE CURB ELEVATION



BROADSTONE OAK CITY
RALEIGH, NC

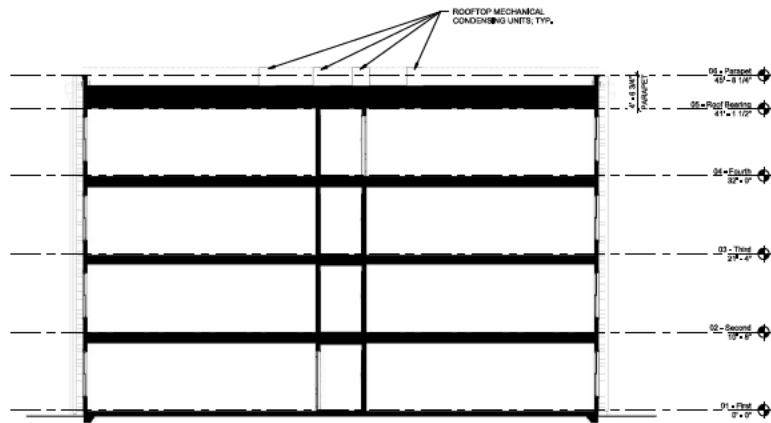
MAIL KIOSK - ELEVATIONS

1/4" = 1'-0"

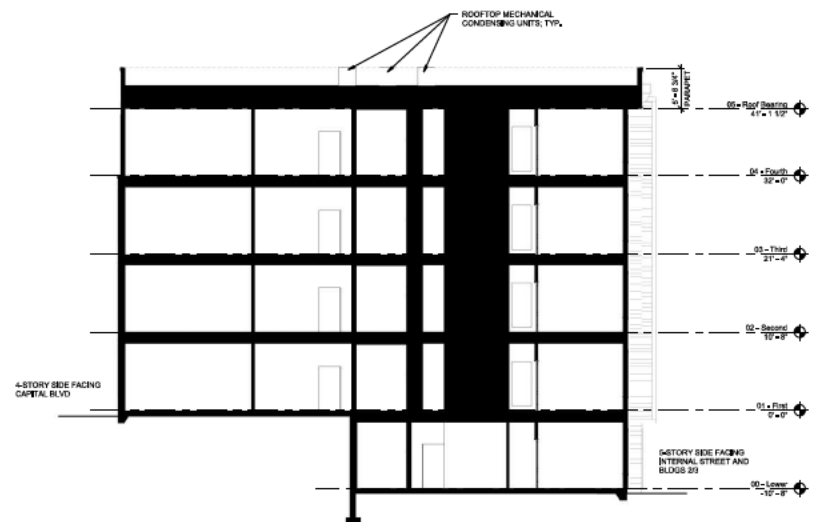
© 2020 Cline Design Associates, PA. This graphic is for illustrative purposes only and is subject to change.

A-11

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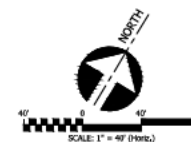


BLDG 2-4 - Section 2
1/8" = 1'-0"



BLDG 1 - Section 1
1/8" = 1'-0"

MATCHLINE AA
SEE SHEET C-2 FOR CONTINUATION OF
MATCHLINE AA



GEOTECHNICAL GENERAL NOTE:

1. GEOTECHNICAL INFORMATION HAS NOT BEEN PROVIDED FOR THIS PROJECT, THEREFORE, ASSUMPTIONS WERE MADE BASED ON SOIL CHARACTERISTICS IN THE AREA (REFER TO SHEET C-1).
 IF SOILS ARE DIFFERENT IN THE FIELD THAN LISTED IN THE GEOTECHNICAL REPORT, VENTURE ENGINEERING, P.A. MUST BE NOTIFIED IMMEDIATELY BEFORE WORK CAN CONTINUE.
2. A GLOBAL STABILITY ANALYSIS HAS NOT BEEN DONE FOR THIS PROJECT. WE RECOMMEND THAT A GLOBAL STABILITY ANALYSIS BE PERFORMED BY A 3RD PARTY GEOTECHNICAL ENGINEER FOR RETAINING WALLS THAT HAVE SLOPES ABOVE, BELOW, BOTH (SLOPES ABOVE & BELOW THE RETAINING WALL) & MULTI-TIERED RETAINING WALLS.

GENERAL DESIGN NOTE:

- GENERAL DESIGN NOTE:**
1. WALL PROFILES WERE CREATED & DESIGNED BY VENTURE ENGINEERING, P.A., PER EXISTING & PROPOSED GRADES AS SHOWN IN PLAN VIEW ON SHEET C-2 & C-2A AS PROVIDED BY THE JOHN R. McADAMS COMPANY, INC. DATED 07/01/20 & REVISED 08/31/20.
2. ALL GRADES SHOWN ON RETAINING WALL SITEPLAN IN THIS SET OF DRAWINGS ARE NOT KNOWN TO BE ORIGINAL DESIGN GRADES OR AS-BUILT GRADES. ALL GRADES TO BE SURVEY STAKED PRIOR TO CONSTRUCTION.
- NOTE:**
THIS CIVIL SITE GRADING

NOTE:

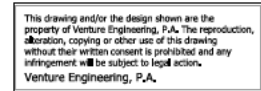
THIS CIVIL SITE GRADING PLAN SHOWN HERE & PLAN VIEWS WERE DONE BY THE JOHN R. McADAMS COMPANY, INC. DATED 08/2020.
VENTURE ENGINEERING, P.A. IS NOT RESPONSIBLE FOR ERRORS/OMISSIONS ON CIVIL ENGINEERING GRADING PLAN.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval _____

DATE: DECEMBER 2, 2020	SCALE HORIZONTAL: $1" = 40'$ VERTICAL: N/A	DRAWING NUMBER: C-2A
DIST: TLH		
DRAWN: TLH		
APPROVED: RHM		



THIS CIVIL SITE GRADING PLAN SHOWN HERE & PLAN VIEWS WERE DONE BY THE JOHN R. McADAMS COMPANY, INC. DATED 08/2020.
VENTURE ENGINEERING, P.A. IS NOT RESPONSIBLE FOR ERRORS/OMISSIONS ON CIVIL ENGINEERING GRADING PLAN.

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval _____

DATE: DECEMBER 2, 2020	SCALE	DRAWING NAME C-2A
DWG: TLH	HORIZONTAL: 1" = 40'	
DRAWN: TLH	VERTICAL: N/A	
APPROVED: MMH		